

August 2, 2021

Paul Ashworth  
City of Hartford  
260 Constitution Plaza  
Hartford, CT 06103

RE: Burger King (914 New Britain Ave, Hartford, CT) – Variance Request

Dear Mr. Paul Ashworth,

On behalf of our Client, we are submitting revised site plans, floor plan, building elevations, signage cut sheet, and variance application for the property noted above. The updated documents are reflective of the property survey as well as prior City comments. Please find below an itemized list of the requested variances (*italics*), along with our corresponding responses (**bold**).

1. *Expansion of a nonconforming accessory use (§ 3.4.1 Drive-through facilities are not permitted in the MS-1 zone)*

**We are seeking a variance to modify the existing drive-thru by adding a second drive-thru ordering station and associated appurtenances. This change is proposed in an effort to provide additional drive-thru stacking and increase efficiencies for customers as well as store operations.**

2. *More than 1 wall sign proposed (§ 8.3 Wall Sign Requirements - Limited to 1 wall sign per building)*

**We are seeking a variance to have additional logo signs on our building. As proposed, we are requesting to install a wall sign on the two sides of the building as well as the front of the building, in addition to the proposed canopy sign on the front of the building. The additional signage is requested to help identify the building for vehicles traveling on the roadway from either direction, especially in an area as heavily commercialized as this. This proposed signage would be similar to the adjacent Mobil Mart as it has (1) sign on the building and (2) on the fueling canopy.**

Please note that we have already increased the project scope to appease non-relevant design changes requested by the City including additional front glazing, addition of a door on the west side of the building, and addition of sidewalk to the public R.O.W. (pending confirmation of roadway jurisdiction and required permitting). We would also be willing to look at changing some of the existing asphalt in the rear to greenspace and adding a tree, in an effort to decrease stormwater runoff, or adding some low shrubs or landscaping in the front. These surplus changes noted create a financial hardship for our Client, and they would need to be able to fund these changes by the potential increase in revenue associated with the additional drive-thru lane as well as additional signage. Thus, we are requesting approval of the (3) requested variances noted above.

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**Headquarters**

615 Fishers Run, Victor, NY 14564  
phone 585.742.2222 • fax 585.924.4914  
web [www.apd.com](http://www.apd.com) • email [info@apd.com](mailto:info@apd.com)

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**Office Locations**

P.O. Box 11626, Santa Ana, CA 92711 • phone/fax 714.987.1380



We would respectfully request placement on the September 7<sup>th</sup> 2021 Zoning Board of Appeals hearing. We would also ask that the City confirm if they have had conversations with West Hartford regarding the proposed application, as a portion of the site lies within their jurisdiction as well. Should you have any comments, questions, or are in need of additional information, please feel free to contact us.

Sincerely,

*Todd Markevich*

Todd Markevich, P.E.  
Owner/Member

Enclosures:

cc: James Cammilleri (via email)





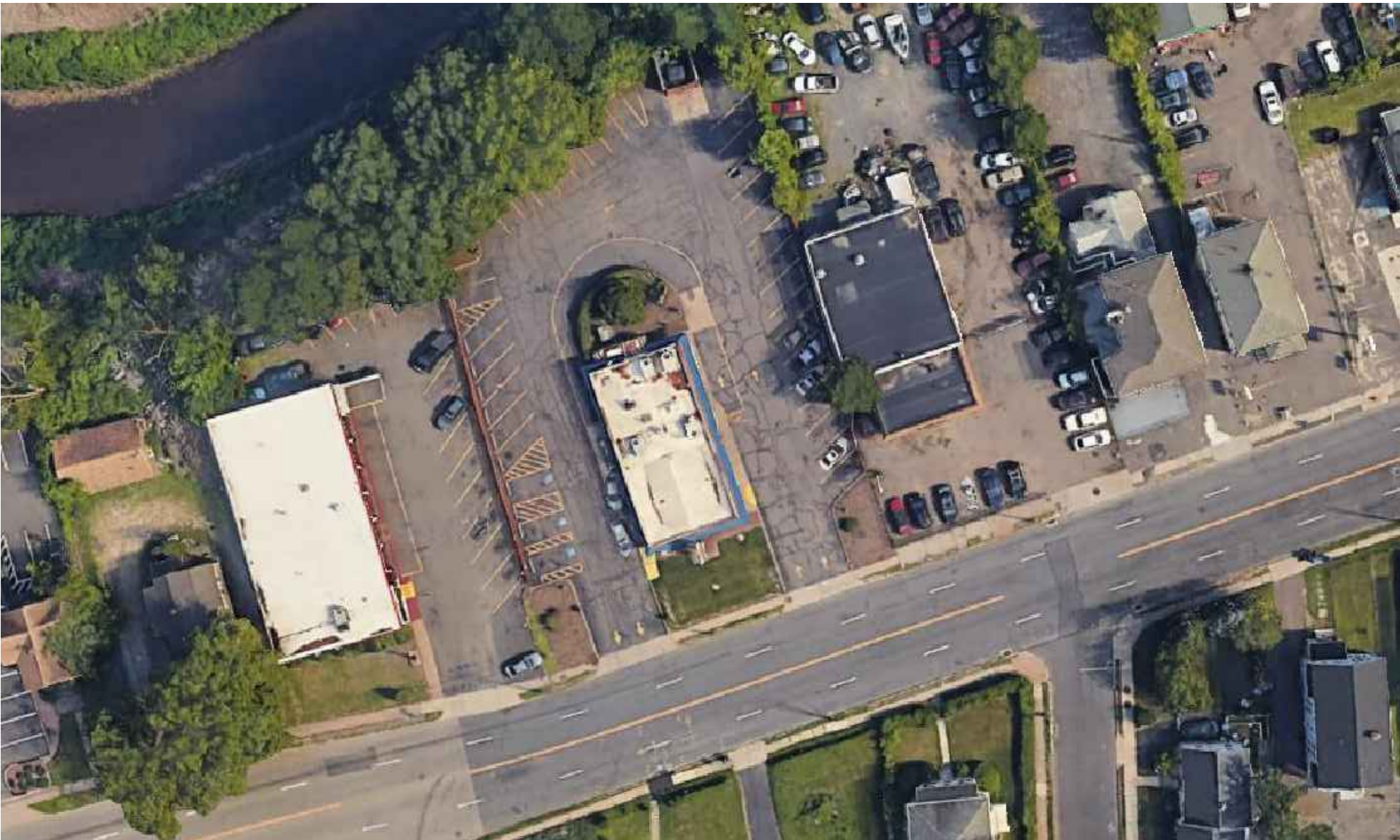
SITE DEVELOPMENT PLANS

FOR

BURGER KING -CITY OF HARTFORD, CT

914 NEW BRITAIN AVE

HARTFORD, CT, 06106



LOCATION SKETCH  
N.T.S.

DRAWING LIST:

- CS
- SV
- C1
- C2
- C3
- C4
- C5
- Cover Sheet
- Survey
- Demolition Plan
- Site Plan
- Grading & Utility Plan
- Details Sheet
- Specifications

CLIENT:

JSC MANAGEMENT GROUP  
BURGER KING FRANCHISEE  
PO BOX 217  
LYNDONVILLE NY 14098  
(585) 755-3950

ENGINEER:

APD ENGINEERING & ARCHITECTURE  
615 FISHERS RUN  
VICTOR, NY 14564  
(585) 742-0222  
CONTACT: TODD MARKEVICZ, P.E.

AGENCY & MUNICIPALITY CONTACTS:

CITY OF HARTFORD  
260 CONSTITUTION PLAZA  
HARTFORD, CT 06103  
(860) 757-9040  
CONTACT: CHARLES MATHEWS, DEPARTMENT HEAD

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Revisions:		Date:	
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CONSTRUCTION

CIVIL ENGINEER OF RECORD  
Name: Todd G. Markevitz  
Connecticut License No.: 33814  
Exp. Date: January 31, 2022

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ARCHITECTURE

615 Fishers Run Victor, NY 14564  
585.742.2222 - www.apd.com

Burger King  
JSC MANAGEMENT GROUP  
ATTN: JAMES CAMMILLERI  
BURGER KING FRANCHISEE  
585.755.3950

Burger King - Store #6807  
Hartford, CT  
914 New Britain Ave  
City of Hartford, CT 06106  
Hartford County  
Project Name & Location:

Cover Sheet

Drawing Name:

Date: 06/28/21

Type:

Drawn By: ASH

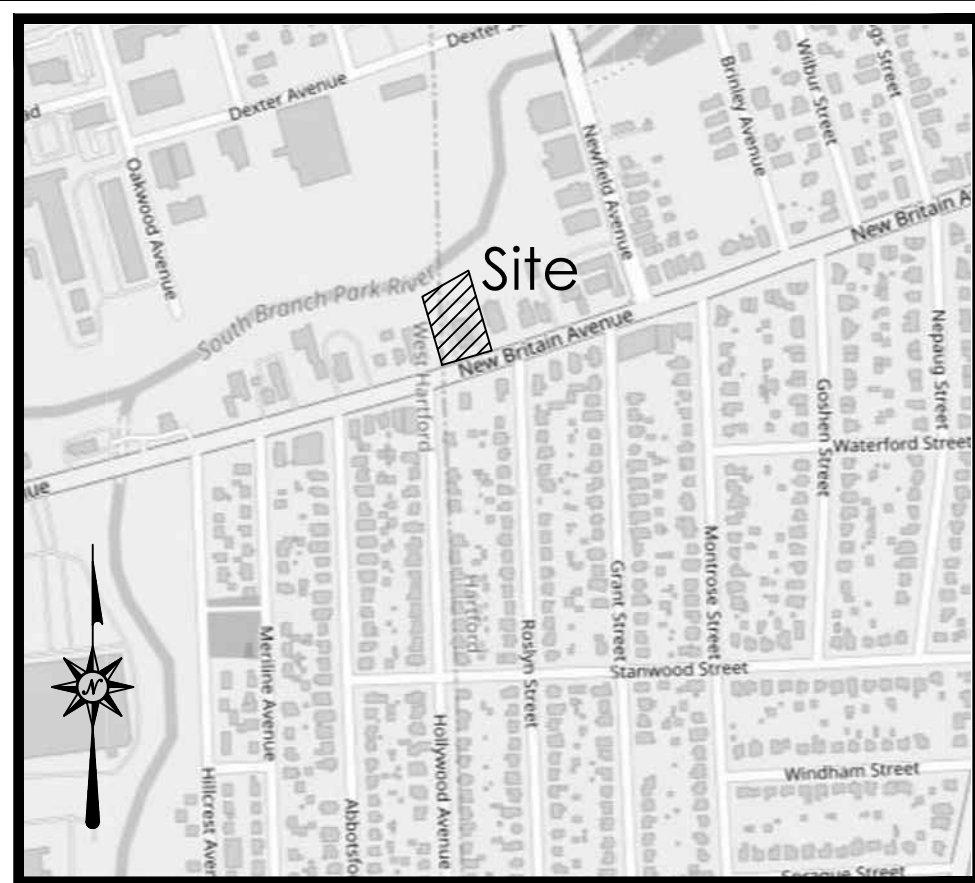
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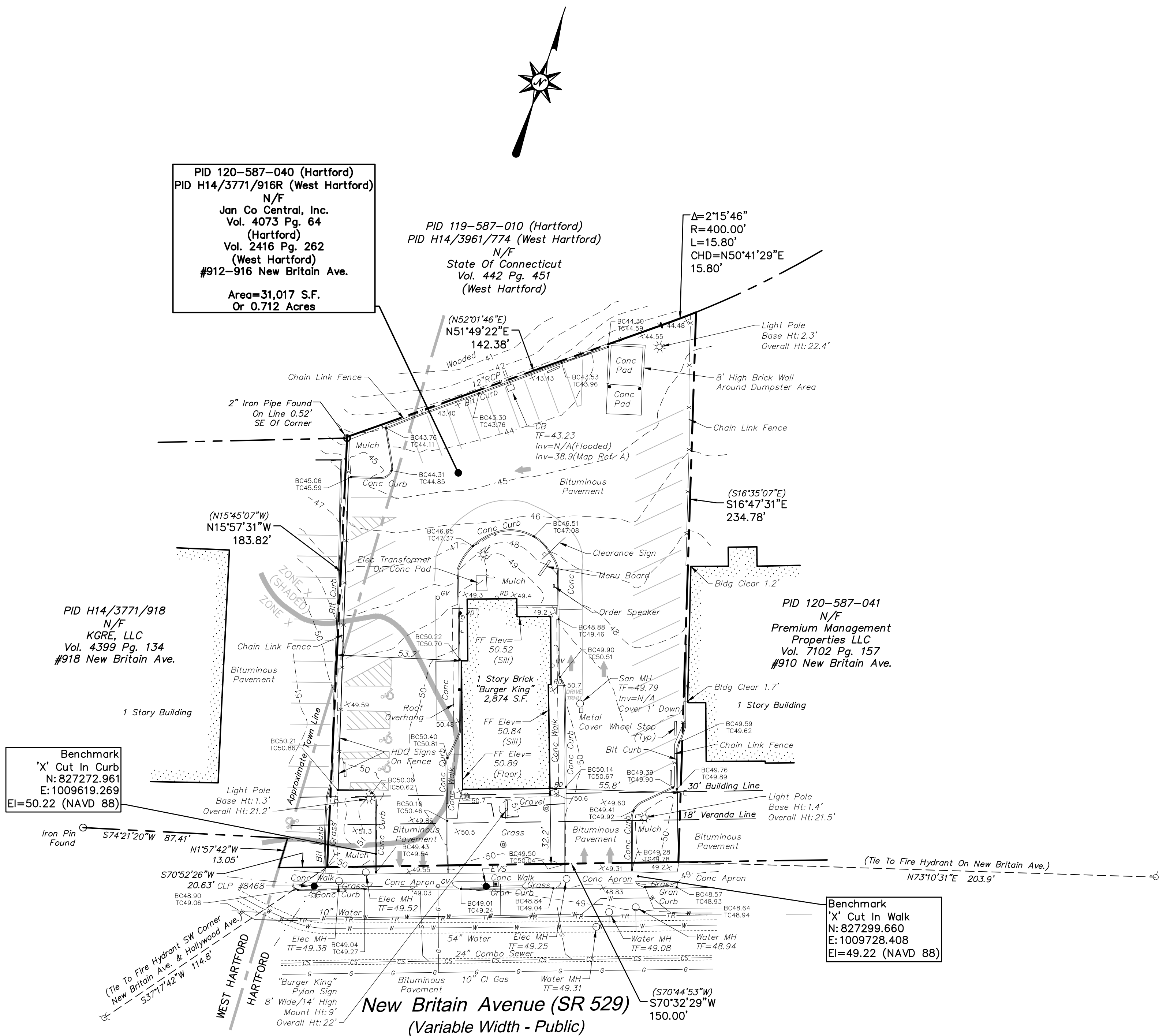
Drawing No.





LOCATION MAP  
NOT TO SCALE

## SITE PICTURES



## GENERAL NOTES

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- D) THE TYPE OF SURVEY PERFORMED IS A (PROPERTY/BOUNDARY SURVEY AND IS INTENDED TO DEPICT THE EXISTING CONDITIONS WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
2. NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 2011)(BEARINGS IN PARENTHESES ARE DEED BEARINGS) AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES DURING JUNE 2021 REFERENCED TO THE C.O.R.S. NETWORK BASE STATION "CTNE" LOCATED IN NEWINGTON, CT HAVING THE FOLLOWING PUBLISHED VALUES:  
STATION: CTNE (DH7113)  
COORDINATES (US FT): N: 806142.77, E: 1009694.65  
ELLIPSOID HEIGHT (US FT): 136.97 (41.749m)
3. ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). THE DATUM WAS DETERMINED BY USING (GEOD 18) AND IS BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN JUNE 2021 AND REFERENCED TO C.O.R.S. BASE STATION "CTNE" LOCATED IN NEWINGTON, CT HAVING THE PUBLISHED COORDINATE AND ELEVATION VALUES AS DESCRIBED IN NOTE 2 ABOVE.
4. PARCEL IS LOCATED IN A FLOOD AREA "X" (SHADED). (AREAS OF 0.2% ANNUAL CHANCE FLOOD) AND FLOOD AREA "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 0900300502F PANEL 502 OF 675 EFFECTIVE DATE: SEPTEMBER 26, 2008.
5. THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
6. LATERALS TO BUILDING FOR SAN, STORM WATER, ELEC. AND GAS NOT FOUND ON OLD RECORD PLANS. CLIENT IS DIRECTED TO HIRE GPR/RADIO DETECTION UTILITY MARKING COMPANY TO LOCATE LATERAL IF REQUIRED. THIS TO BE COORDINATED WITH SITE SURVEYORS TO UPDATE SURVEY PLAT.

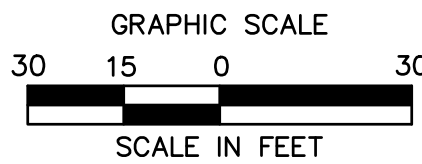
## MAP REFERENCES

- "PREPARED FOR BURGER KING CORPORATION, 912-916 NEW BRITAIN AVE., HARTFORD, COUNTY, HARTFORD, CONN., SCALE: 1 IN.=20 FT., DATE: OCT. 17, 1989, REV: 2-21-90, BY ALFORD ASSOCIATES, WINDSOR, CONNECTICUT AND FILED AS MAP 1918 IN THE HARTFORD TOWN CLERK'S OFFICE.
- "RESTAURANT FOR: BURGER KING CORPORATION", SCALE: 1 IN.=20 FT., DATE: DEC. 4, 1989, REV: 5-7-90, BY R.G. MURPHY.
- "RESTAURANT FOR: BURGER KING CORPORATION", SCALE: 1 IN.=20 F.T., DATE: DEC. 5, 1989, BY R.G. MURPHY.

## LEGEND

---	Property Line
---	Setback Line
- - - -	Major Contour
- - - -	Minor Contour
X X	Fence
- - - -	Overhead Wires
- - - -	Gas Line
- - - -	Sanitary Sewer
- - - -	Combination Sewer
- - - -	Underground Traffic Signal Cable
- - - -	Water Line
●	Handhole
●	Utility Pole
●	Utility Pole w/ Light
—	Guy Wire
☼	Light Pole
○	Gas Valve
○	Manhole
⊙	Stone
○	Roof Drain
⊖	Fire Hydrant
⊖	Valve- Utility Type Unknown
—	Sign
●	Bollard
⊙	Handicap Symbol
—	Bot Curb & Top Curb Elev
—	Existing Spot Grade
—	Deed Bearing

THIS SURVEY WAS PREPARED DURING THE COVID-19 PANDEMIC OF 2020-2021 AT WHICH TIME PHYSICAL ACCESS TO THE LOCAL LAND RECORDS AND OTHER MUNICIPAL OFFICES HAS NOT BEEN AVAILABLE. AS A RESULT, THIS SURVEY HAS BEEN BASED ON TITLE RESEARCH DERIVED FROM ON-LINE RECORDS AND OTHER SOURCES AND IS SUBJECT TO THE RESULTS OF A PROPER TITLE SEARCH.

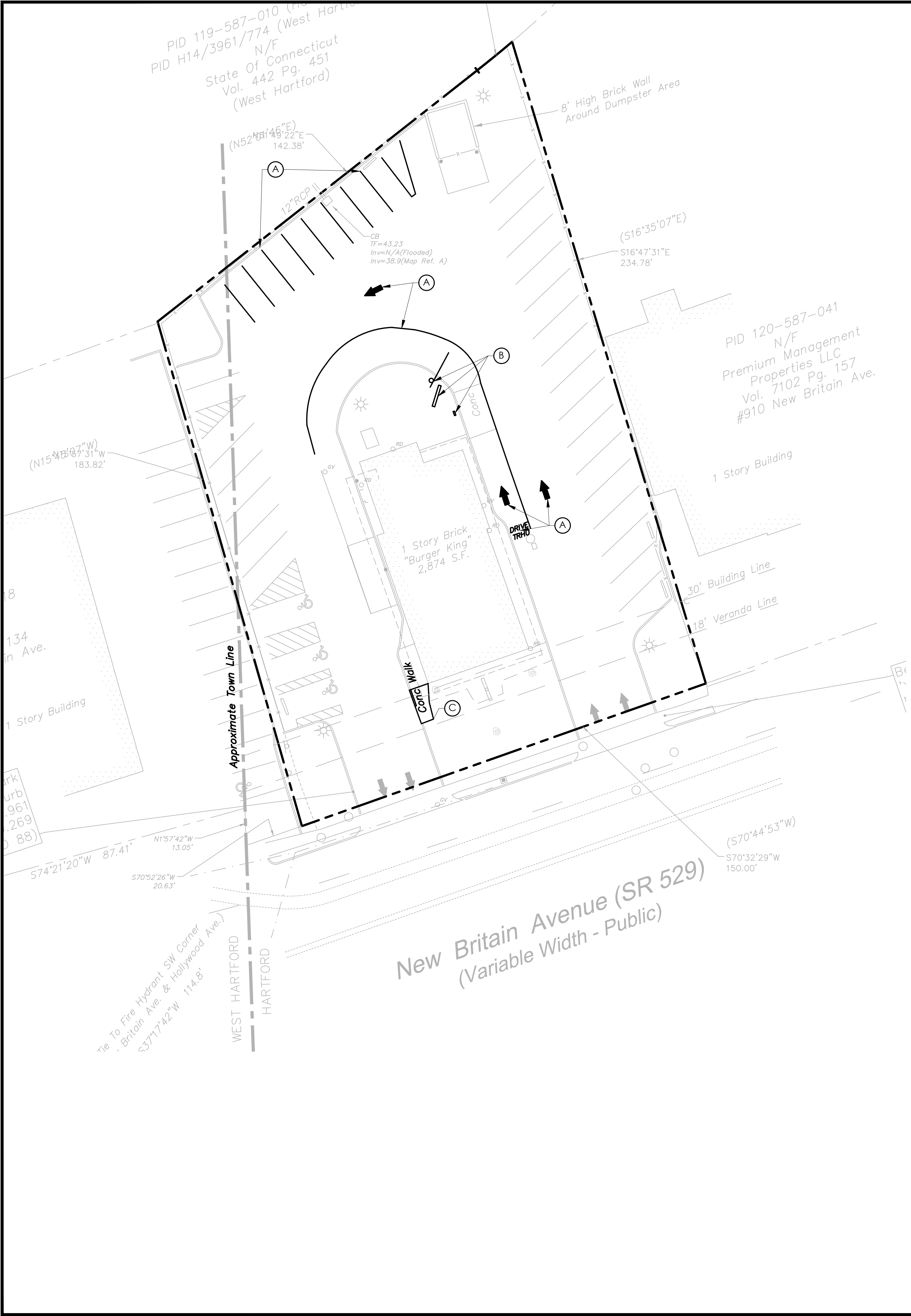


TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Jennifer Marks  
JENNIFER MARKS L.S. #17939

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.





DEMOLITION LEGEND:

- (A) PAVEMENT STRIPING AND MARKINGS TO BE REMOVED
- (B) REMOVE EXISTING DRIVE-THRU MENU BOARD AND APPURTENANCES
- (C) CONCRETE TO BE REMOVED

REFERENCE:

- SURVEY.DWG, SV-1, LAST REVISED ON 06/23/2021, PREPARED BY BL COMPANIES
- CONNECTEXPLORER ONLINE ORTHOGRAPHIC HI-RES IMAGERY BY EAGLEVIEW DATED 05/01/20.

AS REQUIRED BY CONNECTICUT STATE LAW, CONTRACTOR SHALL CONTACT DIG SAFE AT 811 OR 1-800-922-4455 FOR LOCATIONS STAKE-OUT OF ALL UTILITIES, AT LEAST 2 WORKING DAYS AND NO MORE THAN 30 DAYS PRIOR TO ANY EXCAVATION.

LEGEND OF EXISTING FEATURES

REFER TO THE SURVEY PREPARED BY BL COMPANIES

LEGEND OF IMPROVEMENTS

- SUBJECT PARCEL PROPERTY LINE
- EXISTING FEATURES/STRUCTURES TO REMAIN
- EXISTING FEATURES TO BE DEMOLISHED
- PAVEMENT TO BE REMOVED
- BUILDING TO BE DEMOLISHED
- CONCRETE TO BE REMOVED

DEMOLITION NOTES:

- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED. EROSION CONTROL SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS. CONTRACTOR SHALL NOTE THAT THIS PROJECT WILL DISTURB LESS THAN 1 ACRE AND THEREFORE A NPDES/SPDES PERMIT IS NOT REQUIRED. CONTRACTOR SHALL STRICTLY ADHERE TO THE LIMITS OF DISTURBANCE TO ENSURE THIS DISTURBANCE THRESHOLD IS NOT EXCEEDED.
- ALL SIDEWALKS, SLABS, FOUNDATIONS, DEBRIS, AND MISCELLANEOUS DEMOLITION OF ALL ITEMS SHOWN IN CONSTRUCTION DOCUMENTS SHALL BE SPOILED OFF-SITE IN A LEGAL MANNER STUMPS AND BRUSH MAY NOT BE BURIED AND MUST BE REMOVED AND DISPOSED OF OFFSITE. PAVEMENT REMOVED WILL BE ALLOWED AS RECYCLED FILL ONLY AFTER REVIEW AND APPROVAL BY OWNER AND GEOTECHNICAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, TRANSPORTING, AND DISPOSAL. PROOF OF LEGAL DISPOSAL SHALL BE PROVIDED UPON OWNER REQUEST.
- ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR ABANDONMENT. PROTECT ALL EXISTING UTILITIES TO REMAIN.
- CONTRACTOR TO REMOVE, RELOCATE AND/OR PROVIDE TEMPORARY UTILITY SERVICES, WHEN APPLICABLE. ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, TANKS, VAULTS, STRUCTURES, ASPHALT, ETC. SHOWN AND NOT SHOWN, WITHIN THE CONSTRUCTION LIMITS AND WHERE NEEDED, SHALL BE REMOVED OR RELOCATED TO ALLOW FOR NEW CONSTRUCTION, AS SHOWN. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. REFER TO THE SURVEY FOR ADDITIONAL INFORMATION. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIALS AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS. RECYCLED FILL SHALL NOT BE USED IN BUILDING PAD.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND PROVIDE PROPER NOTIFICATION PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES, INCLUDING INSPECTION AND TESTING AND INCLUDE IN BASE BID. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. SOME UTILITIES MAY BE CONSIDERED PRIVATE AND NOT LOCATED BY UTILITY COMPANIES. VERIFY THE LOCATIONS OF ALL LATERALS, SERVICE CONNECTIONS, LIGHTING CIRCUITS, SIGN CIRCUITS, AND OTHER UTILITIES AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
- UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED WITH LOW DENSITY CELLULAR CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 50 PSI. ALL ABANDONED PIPES WITHIN 2' OF THE FINISHED GRADE OR WITHIN THE PROPOSED BUILDING FOOTPRINT SHALL BE REMOVED. PIPES OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT MAY BE REMOVED OR ABANDONED, AT CONTRACTORS DISCRETION. ALL STRUCTURES NOT BEING REUSED SHALL BE COMPLETELY REMOVED. AT MANHOLES AND STRUCTURES TO REMAIN, ABANDONED PIPES SHALL BE CUT AND PLUGGED AND THE REMAINING MANHOLE/STRUCTURE REPAIRED TO PROVIDE A SOLID, SOUND AND WATERPROOF STRUCTURE.
- CAUTION: NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE LISTED REFERENCES, RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE AND THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. CONTRACTOR IS RESPONSIBLE TO VERIFY GRADES AND UTILITIES (INCLUDING INTEGRITY) SHOWN ON SURVEY PLAN PRIOR TO START OF ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE DOCUMENTED AND SUBMITTED TO ALDI AT THE TIME OF DISCOVERY. THIS WORK SHALL BE COMPLETED EARLY ENOUGH TO AVOID DELAYS AND ALLOW FOR REDESIGN IF REQUIRED. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET EXISTING CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. SOME UTILITIES MAY BE CONSIDERED PRIVATE AND NOT LOCATED BY UTILITY COMPANIES. VERIFY THE LOCATIONS OF ALL LATERALS, SERVICE CONNECTIONS, LIGHTING CIRCUITS, SIGN CIRCUITS, AND OTHER UTILITIES AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. SANITARY AND STORM SEWERS SHALL BE TESTED PRIOR TO ABANDONING THEM TO VERIFY THEY ARE NO LONGER IN USE. TESTING SHALL INCLUDE FLOW TESTING, AIR TESTING, TELEVISION, AND OTHER TESTING NECESSARY TO VERIFY PIPES ARE PROPERLY DISCONNECTED. IF FLOW IS NOTED IN PIPES THE CONTRACTOR SHALL TRACK DOWN SOURCE AND VERIFY IT IS NOT AN ACTIVE UTILITY OR DRAINAGE CONNECTION.
- CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS OR AS MAY BE REQUIRED TO PROVIDE A SMOOTH, PROPERLY DRAINING, PAVEMENT SURFACE. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. EXISTING PAVEMENT AND CONCRETE SHALL BE SAW-CUT PRIOR TO REMOVAL.
- MANHOLES, CATCH BASINS, CLEANOUTS, VALVE BOXES, FRAMES, COVERS AND GRATES TO REMAIN SHALL BE PROTECTED AND ADJUSTED TO FINAL GRADES, IF APPLICABLE.
- ABANDON EXISTING UTILITIES ONLY AFTER CRITICAL NEW SYSTEMS ARE IN PLACE AND OPERATIONAL (I.E. STORM DRAINAGE, WATER, SANITARY SERVICES TO EXISTING STRUCTURES). IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR PROPER AND SAFE SEQUENCING OF ABANDONMENT OF UTILITIES.
- FOR ALL UTILITY LINES DESIGNATED TO BE REMOVED, PLACE AND COMPACT STRUCTURAL BACKFILL WITHIN TRENCH AFTER REMOVAL. FOLLOW AUTHORITY HAVING JURISDICTION REQUIREMENTS WITHIN R.O.W.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND IS RESPONSIBLE FOR ALL DEWATERING, IF REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PERMITS AND EASEMENTS REQUIRED ABOVE AND BEYOND THOSE PREVIOUSLY OBTAINED AND PAY ANY ASSOCIATED FEES. THIS INCLUDES ANY TEMPORARY ACCESS PERMITS, CONSTRUCTION EASEMENTS, OR GRADING RELEASES.
- REMOVE EXISTING PAVEMENT MARKINGS WHICH INTERFERE OR CONFLICT WITH THE PROPOSED STRIPING. CONDUCT GRINDING, SCRAPING, SANDBLASTING OR OTHER OPERATIONS IN SUCH A MANNER THAT THE FINISHED PAVEMENT SURFACE IS NOT DAMAGED OR LEFT IN A PATTERN THAT IS MISLEADING OR CONFUSING. USE DUST COLLECTION SYSTEM WHEN PAVEMENT PREPARATION INCLUDES GRINDING, SCRAPING OR SANDBLASTING OF EXISTING PAVEMENT MARKINGS.

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CIVIL ENGINEER OF RECORD  
Name: Todd G. Markevicz  
Connecticut License No.: 33814  
Exp. Date: January 31, 2022

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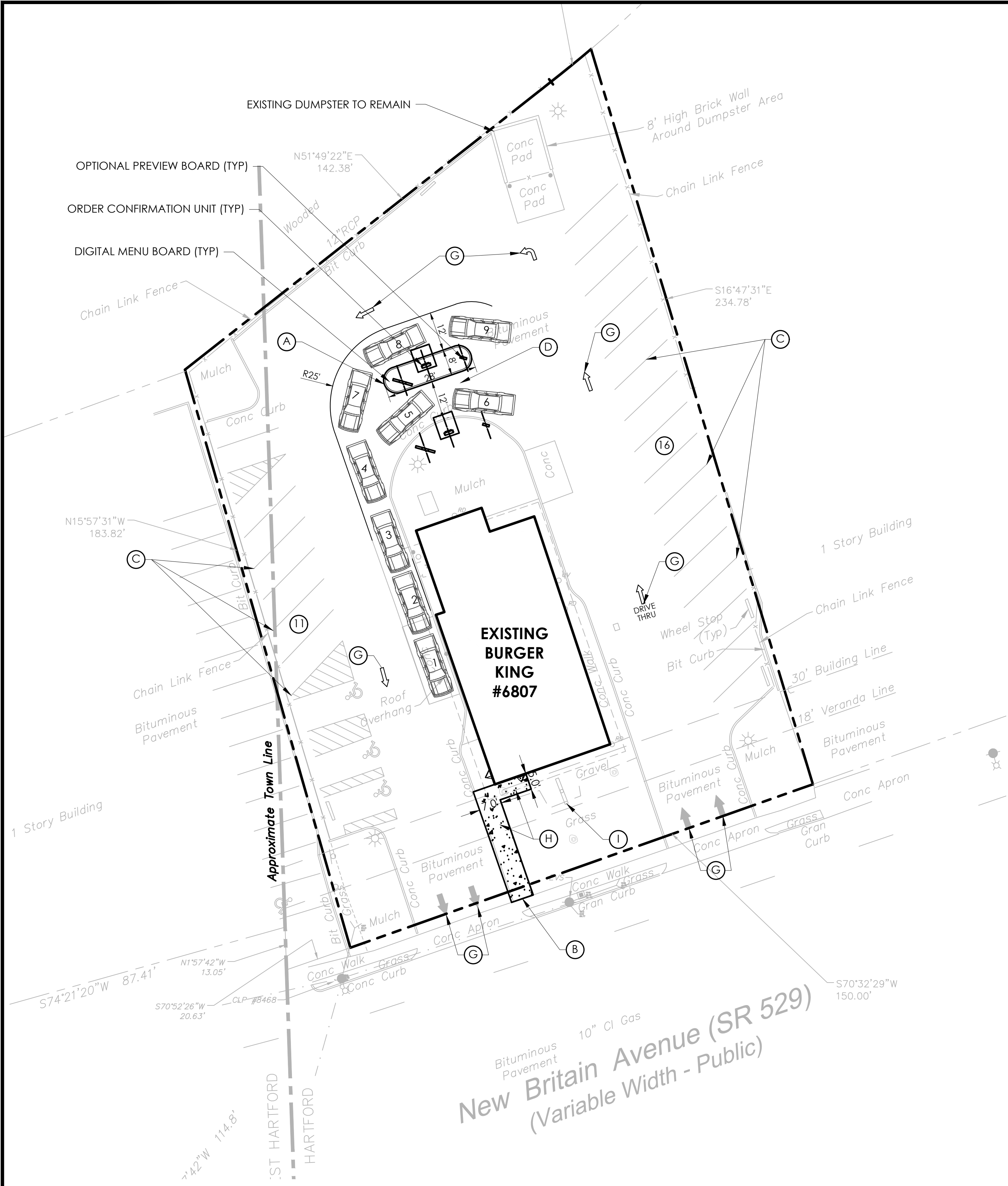
Burger King  
JSC MANAGEMENT GROUP  
ATTN: JAMES CAMMILLERI  
BURGER KING FRANCHISEE  
585.755.3950

Burger King - Store #6807  
Hartford, CT  
914 New Britain Ave  
City of Hartford, CT 06106  
Hartford County  
Project Name & Location:

Demolition Plan

Drawing Name:Project No.  
Date: 06/28/2120-0189  
Type:  
Drawn By: ASHC1  
Scale: 1"=20'Drawing No.





SITE LEGEND:

- (A) RAISED CURBED ISLAND WITH LAWN/ LANDSCAPING
- (B) PORTION OF SIDEWALK WITHIN R.O.W. REQUIRES DOT PERMIT
- (C) REPAINT PAVEMENT MARKINGS AS NEEDED
- (D) ASPHALT PAVEMENT AS REQUIRED
- (E) PROPOSED 4" SINGLE YELLOW SOLID STRIPING
- (F) PAINTED PARKING ISLAND AREA TO BE STRIPED WITH 4" SYSL @ 2'-0" O.C. AND AT 45° TO PARKING SPACE.
- (G) PAVEMENT ARROWS
- (H) CONCRETE SIDEWALK
- (I) EXISTING PYLON SIGN

GENERAL NOTES:

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF HARTFORD STANDARDS AND SPECIFICATIONS AND/OR THE ASSOCIATED UTILITY PROVIDERS.
- ALL EXISTING BUILDING(S), SITE, ROADWAY, UTILITY, BOUNDARY, AND TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS REPRESENTED BASED ON USE OF THE LISTED REFERENCES. CONTRACTOR TO VERIFY LOCATION AND LIMITS OF WORK PRIOR TO STARTING. ANY CHANGES OR CONFLICTS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC., WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. OUTSIDE OF WORK LIMITS CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY WITHIN PROXIMITY OF THE BUILDING AND UTILITY INTERRUPTIONS WITH THE OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES OF WORK TO MINIMIZE DISTURBANCE AND INCONVENIENCE TO THE STORE OPERATION. THE EXISTING BUILDING MAY REMAIN IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL APPLICABLE AGENCIES TO MAINTAIN EMERGENCY ACCESS TO THEIR SATISFACTION. ALL WORK THAT WILL IMPACT TRUCK DELIVERIES, ACCESS, AND/OR PARKING SHALL BE PHASED IN SUCH A WAY AS TO MAINTAIN OPERATION AND ACCESS TO THE STORE.
- ANY EXISTING STRIPING WHICH IS TO REMAIN IN PLACE AND WHICH MAY BECOME OBSCURED OR DAMAGED DUE TO THE CONSTRUCTION OF IMPROVEMENTS SHALL BE REPLACED AND/OR REPAINTED AS NECESSARY.
- REFER TO THE SURVEY FOR THE PROPERTY BOUNDARY INFORMATION (E.G. LOT AREA, BEARINGS, DISTANCES, ETC).

REFERENCE:

- SURVEY.DWG, SV-1, LAST REVISED ON 06/23/2021, PREPARED BY BL COMPANIES
- CONNECTEXPLORER ONLINE ORTHOGRAPHIC HI-RES IMAGERY BY EAGLEVIEW DATED 05/01/20.

AS REQUIRED BY CONNECTICUT STATE LAW, CONTRACTOR SHALL CONTACT DIG SAFE AT 811 OR 1-800-922-4455 FOR LOCATIONS STAKE-OUT OF ALL UTILITIES, AT LEAST 2 WORKING DAYS AND NO MORE THAN 30 DAYS PRIOR TO ANY EXCAVATION.

LEGEND OF EXISTING FEATURES

REFER TO THE SURVEY PREPARED BY BL COMPANIES

LEGEND OF IMPROVEMENTS

- BACK OF CURB
- FACE OF CURB/BACK OF CURB
- SUBJECT PARCEL PROPERTY LINE
- SETBACK LINE
- CONCRETE SIDEWALK (REFER TO DETAIL)
- PEDESTRIAN CROSSWALK (REFER TO DETAIL)

SITE NOTES:

- ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES. REPAINT (TWO COATS) EXISTING DIRECTIONAL ARROWS, STOP BARS, AND OTHER PAVEMENT MARKINGS ON ENTIRE SITE TO MATCH EXISTING.
- THE EXISTING STORE MAY REMAIN OPEN DURING PORTIONS OF CONSTRUCTION. ANY WORK IMPACTING STORE OPERATIONS SHALL BE COORDINATED WITH THE OWNER IN ADVANCE, AND VEHICULAR, TRUCK AND PEDESTRIAN ACCESS TO THE STORE SHALL BE MAINTAINED AT ALL TIMES WHEN STORE IS OPEN.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

SITE DATA:

LOCAL JURISDICTION:	CITY OF HARTFORD
ZONING CLASSIFICATION:	MS-1 MAIN STREET DISTRICT
PERMITTED USES:	EATING PLACES
ACCESSORY USES:	DRIVE-THROUGH FACILITY
OWNER:	Janco Central Inc.
PROPERTY ACREAGE:	± 0.72 ACRES
EXISTING IMPERVIOUS:	± 0.63 ACRES
PROPOSED IMPERVIOUS:	± 0.63 ACRES

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Revisions:Date:

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Seal

7/14/2021

Seal

CIVIL ENGINEER OF RECORD

Name: Todd G. Markevicz

Connecticut License No.: 33814

Exp. Date: January 31, 2022

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ENGINEERING

ARCHITECTURE

615 Fishers Run Victor, NY 14564

585.742.2222 - www.apd.com

Burger King

JSC MANAGEMENT GROUP

ATTN: JAMES CAMMILLERI

BURGER KING FRANCHISEE

585.755.3950

Burger King - Store #6807

Hartford, CT

914 New Britain Ave

City of Hartford, CT 06106

Hartford County

Project Name & Location:

Site Plan

Drawing Name:

Date: 06/28/21

Type:

Drawn By: ASH

Scale: 1"=20'

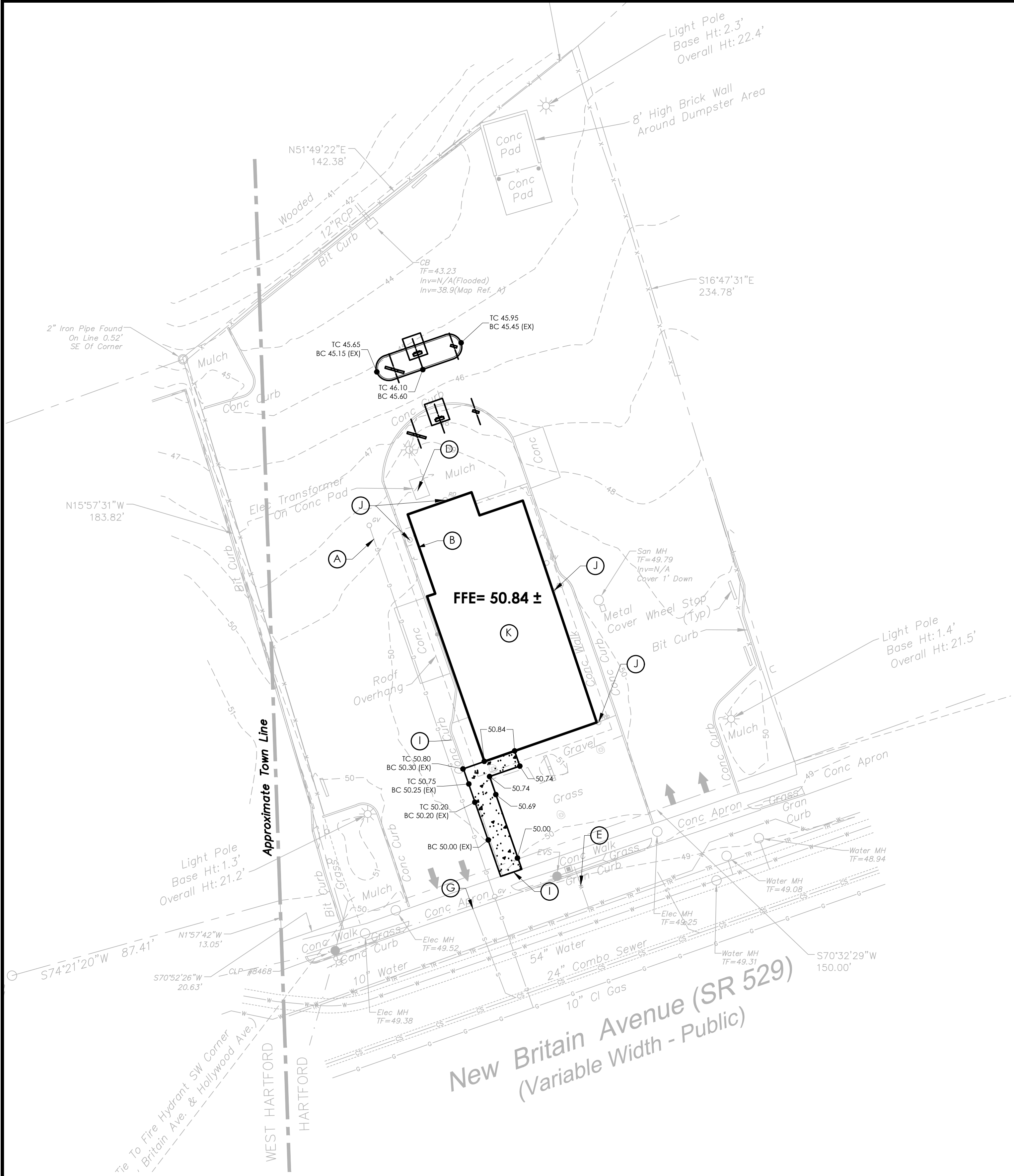
Project No.

20-0189

C2

Drawing No.





KEY NOTES:

- (A) EXISTING GAS SERVICE
- (B) EXISTING GAS METER
- (C) EXISTING ELECTRIC SERVICE
- (D) EXISTING ELECTRIC METER
- (E) EXISTING WATER SERVICE
- (F) EXISTING WATER ENTRY
- (G) EXISTING SANITARY SEWER
- (H) EXISTING SANITARY SEWER EXIT
- (I) MATCH GRADE OF EXISTING SIDEWALK
- (J) EXISTING ROOF DRAIN
- (K) CONNECT NEW ROOF DRAINS & DOWNSPOUTS TO EXISTING STORM SEWER

UTILITY NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON LISTED REFERENCES, RECORDS OR THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO EXISTING UTILITY LINES AS A RESULT OF HIS ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER. THE CONTRACTOR SHALL TAKE WHATEVER MEASURES NECESSARY TO LOCATE AND PROTECT EXISTING UTILITIES, STRUCTURES, AND OTHER FACILITIES TO REMAIN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR TO VERIFY EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, SIZE, MATERIAL, AND INTEGRITY OF EXISTING UTILITIES. ANY CONFLICTS WITH PROPOSED WORK SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IN SUFFICIENT TIME TO ALLOW FOR REDESIGN WITHOUT IMPACT TO PROJECT SCHEDULE.
- SEE SPECIFICATIONS FOR BACKFILLING AND COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- THE CONTRACTOR SHALL ADJUST TOPS OF CLEANOUTS, MANHOLES, VALVES, HANDHOLES, ETC. TO REMAIN TO PROPOSED FINISHED GRADE, AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND COMPLYING WITH THE SPECIFICATIONS OF THE UTILITY COMPANIES AND LOCAL AUTHORITIES WITH REGARDS TO MATERIALS, INSTALLATION, INSPECTION, TESTING, CLEANING, CERTIFICATION, RECORD MAP, AND AS-BUILT REQUIREMENTS OF THE UTILITY COMPANIES AND AUTHORITIES HAVING JURISDICTION. UNDERGROUND UTILITIES SHALL BE INSTALLED, INSPECTED AND APPROVED BY ALL AUTHORITIES HAVING JURISDICTION BEFORE BACKFILLING. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 48 HOURS BEFORE CONNECTING TO ANY EXISTING LINE. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION, SIZE, AND INVERT OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY COMPANIES FOR REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE MINIMUM SEPARATION BETWEEN WATER AND SEWER LINES SHALL BE 18 INCHES VERTICALLY MEASURED FROM OUTSIDE TO OUTSIDE OF PIPE AT A CROSSING. EXCEPT AT CROSSINGS, A MINIMUM 10 FOOT HORIZONTAL SEPARATION MEASURED FROM OUTSIDE TO OUTSIDE OF PIPE SHALL BE MAINTAINED.

REFERENCE:

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LEGEND OF EXISTING FEATURES

REFER TO THE SURVEY PREPARED BY BL COMPANIES

LEGEND OF IMPROVEMENTS

SUBJECT PARCEL PROPERTY LINE

TC 895.50  
X BC 895.50  
TW 895.50

SPOT ELEVATION  
TC/BC=TOP & BOTTOM OF CURB  
TW=TOP OF WALL

ABBREVIATION

AC -ASPHALT CONCRETE  
LF -LINEAR FEET  
SF -SQUARE FEET  
DIA -DIAMETER  
INV -INVERT  
CPP -CORRUGATED POLYETHYLENE PIPE (SMOOTHED LINE)  
HDPE -HIGH DENSITY POLYETHYLENE PIPE  
PVC -POLYVINYL CHLORIDE  
TG -TOP OF GRATE  
GE -GROUND ELEVATION  
TC -TOP OF CURB  
BC -BOTTOM OF CURB/EDGE OF PAVEMENT  
HP -HIGH POINT  
F.F.E. -FINISH FLOOR ELEVATION  
TW -TOP OF WALL  
BW -BOTTOM OF WALL

GRADING AND DRAINAGE NOTES:

- CONTRACTOR SHALL NOTE THAT THIS PROJECT WILL DISTURB LESS THAN 1 ACRE AND THEREFORE A NPDES/SPDES PERMIT IS NOT REQUIRED. CONTRACTOR SHALL STRICTLY ADHERE TO THE LIMITS OF DISTURBANCE TO ENSURE THIS DISTURBANCE THRESHOLD IS NOT EXCEEDED.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- A GEOTECHNICAL REPORT HAS NOT BEEN PREPARED GIVEN MINIMAL CHANGES TO SITE.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT, CONTINUOUS GRADE, AND POSITIVE DRAINAGE (AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS). THE CONTRACTOR SHALL ADJUST TOPS OF CLEANOUTS, MANHOLES, VALVES, HANDHOLES, ETC. TO REMAIN TO PROPOSED FINISHED GRADE, AS NECESSARY.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING, PUMPING, AND TREATMENT OF WATER. THE CONTRACTOR IS CAUTIONED THAT GROUNDWATER AND PERCHED GROUNDWATER MAY BE ENCOUNTERED. NO WATER FROM ANY CONSTRUCTION WORK, PROCESSOR AREA SHALL BE RELEASED DOWNSTREAM OR INTO STORM SYSTEMS, UNTIL PROPERLY TREATED AND ALL SEDIMENT REMOVED.
- EARTHWORK SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL VEGETATION, TOPSOIL, ORGANIC SUBSOIL, AND ANY SURFACE DEBRIS IN AREAS WHERE REGRADING IS REQUIRED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE TOPSOIL AT A DEPTH AS NOTED IN THE SPECIFICATIONS. UTILIZE TEMPORARY SEEDING AS NEEDED TO MINIMIZE EXPOSURE.

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Revisions:Date:

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Seal

7/14/2021

Seal

CIVIL ENGINEER OF RECORD

Name: Todd G. Markevicz

Connecticut License No.: 33814

Exp. Date: January 31, 2022

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A P D Engineering and Architecture, LLC

112 West Hill Road

West Hartford, CT 06110

860.234.1111

www.apd-engineering.com

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BURGER KING FRANCHISEE

585.755.3950

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Hartford, CT

914 New Britain Ave

City of Hartford, CT 06106

Hartford County

Project Name & Location:

Grading & Utility

Plan

Drawing Name:

Date: 06/28/21

Type:

Drawn By: ASH

Scale: 1"=20'

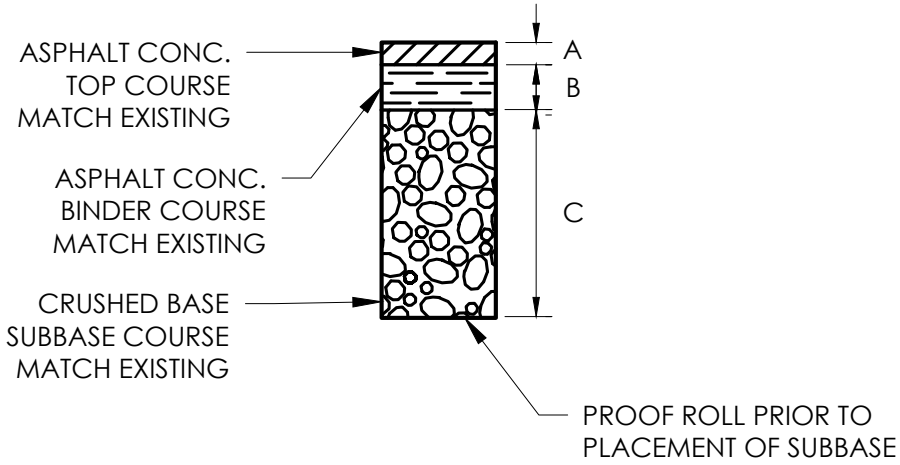
Project No.

20-0189

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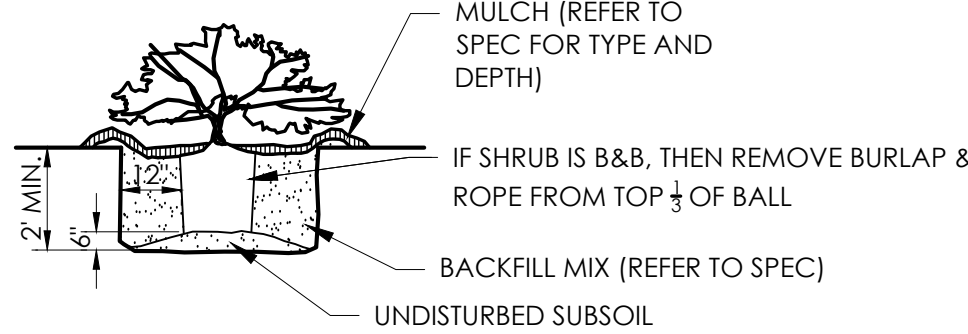
Drawing No.



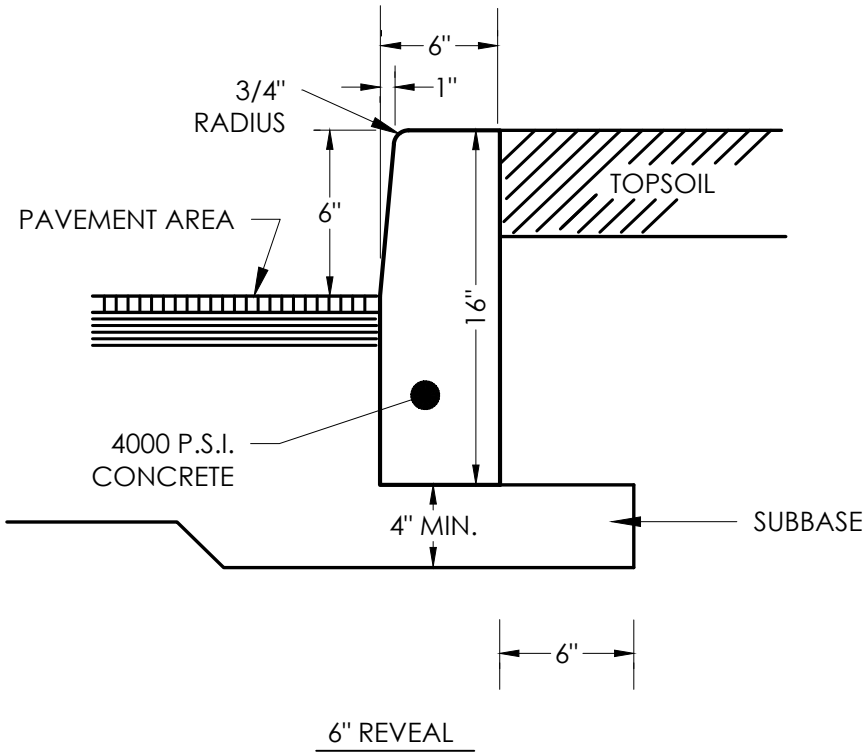


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C	MATCH EX.

PAVING SECTION DETAIL  
N.T.S

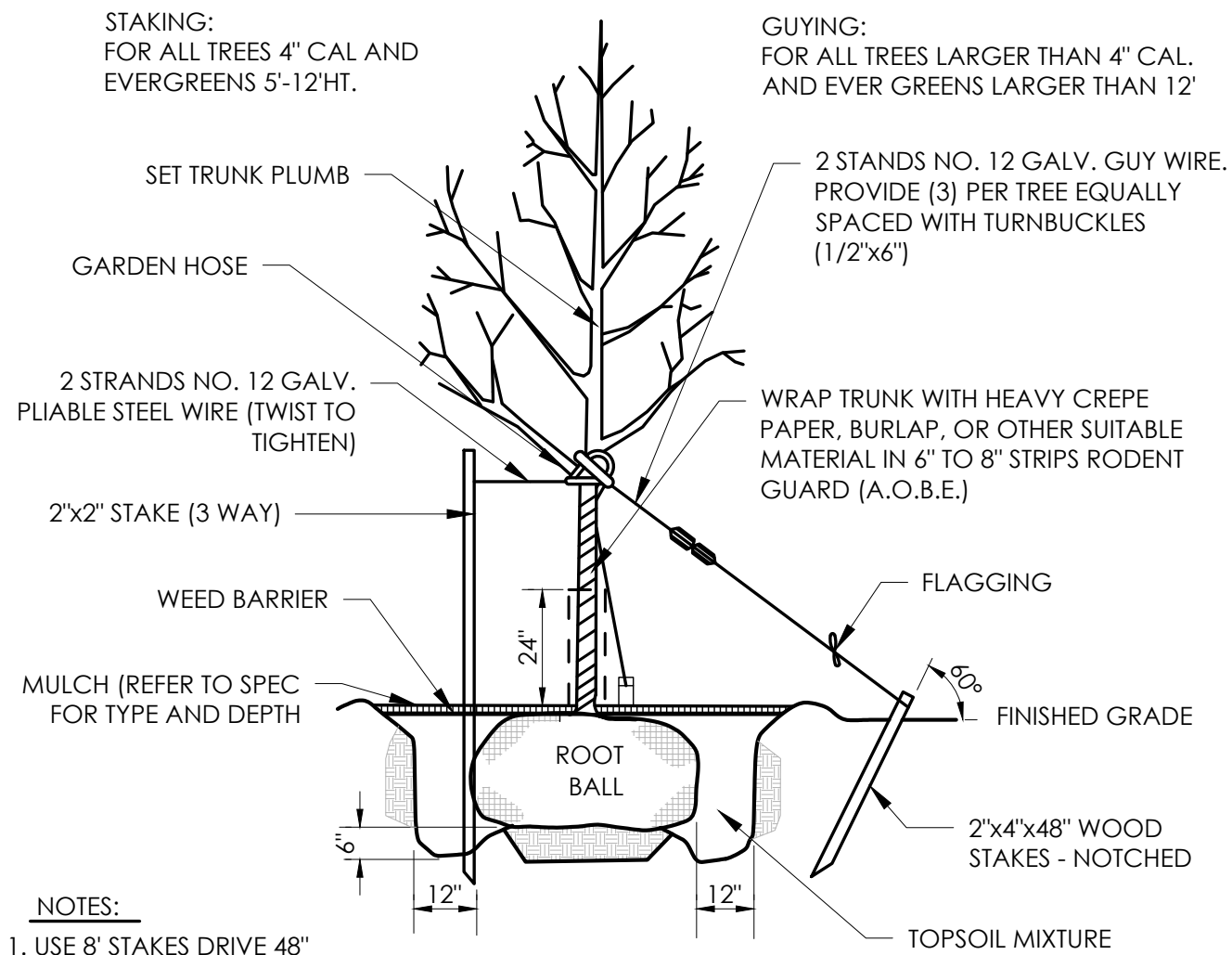


SHRUB PLANTING DETAIL  
N.T.S



- NOTES:
1. CONTROL JOINTS 10 FEET ON CENTER TO DEPTH OF  $\frac{1}{4}$  THE CURB THICKNESS
  2. EXPANSION JOINTS WITH PREMOLDED FILLER 50 FEET ON CENTER

CONCRETE CURB DETAIL  
N.T.S



- NOTES:
1. USE 8" STAKES DRIVE 48" BELOW GROUND.
  2. ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.

TREE PLANTING DETAIL  
N.T.S

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CONSTRUCTION

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615 Fishers Run Victor, NY 14564  
585.742.2222 - www.apd.com

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JSC MANAGEMENT GROUP  
ATTN: JAMES CAMMILLERI  
BURGER KING FRANCHISEE  
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914 New Britain Ave

City of Hartford, CT 06106

Hartford County

Project Name & Location:

Details Sheet		
Drawing Name:		
Date: 06/28/21	Project No.	
Type:	20-0189	
Drawn By: ASH	C4	
Scale: N.T.S.	Drawing No.	



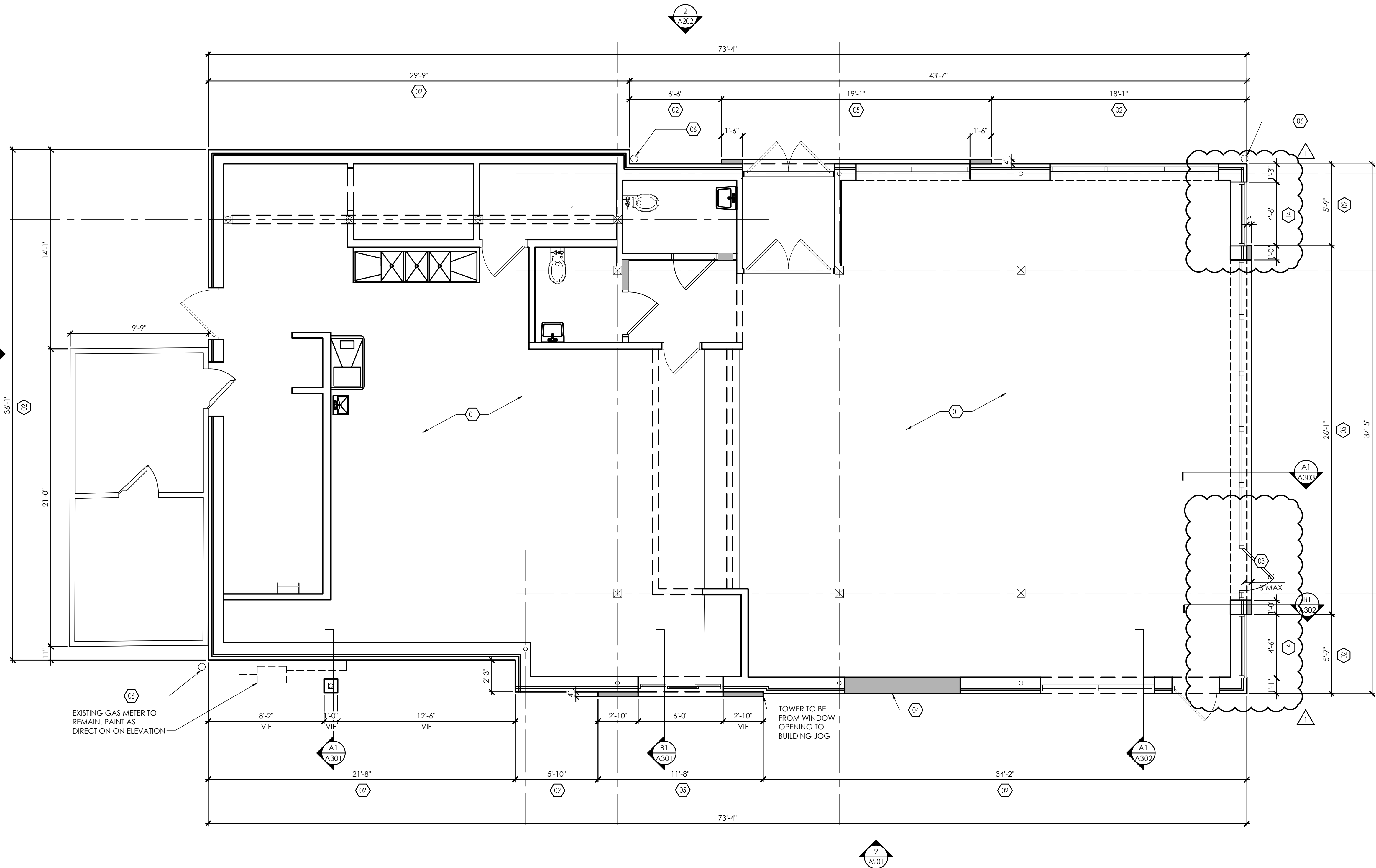
THE SPECIFICATIONS ARE NOT PROVIDED AS AN INDICATION OF WORK, BUT PROVIDE REQUIREMENTS AND STANDARDS OF WORK REQUIRED, OR COULD BECOME REQUIRED, DUE TO UNFORESEEN CONDITIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTIONS REQUIREMENTS. WHEN THESE SPECIFICATIONS ARE IN CONFLICT WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION THE MORE STRINGENT SHALL BE REQUIRED AS DETERMINED BY THE ENGINEER AND AUTHORITY HAVING JURISDICTION.		Issued:	Date:
GENERAL CONSTRUCTION CONDIITIONS			
<p>1. The term of Owner as used in these specifications and notes shall include the owner of the property, the company or party that hired the Contractor, the company or party that signed the contract for this work, and the agents of each. The Owner's representative shall be the individual or party assigned by the Owner to be the Owner's representative. Owners of adjacent properties shall include the property owners, lessee, leasee, coparcener, and operator of any business on that property.</p> <p>2. All work and materials shall comply with all local, state, and federal regulations, codes, and OSHA standards and be constructed to meet or exceed those codes.</p> <p>3. The Contractor shall be responsible for all temporary permits, connection permits, fees, inspections and record keeping required by all municipl, utility, health, environmental, state, or federal agencies that may have jurisdiction. Furthermore, the Contractor shall be responsible to meet or exceed all requirements of the agencies or authorities having jurisdiction over his work. All conflicts in requirements of different agencies, authorities, and/or the design shall be brought to the attention of the owner's representative before proceeding.</p> <p>4. The Contractor shall be responsible to locate and maintain the property and project limits throughout the project. All conflicts between the design and the project/property limits shall be brought to the attention of the owner's representative before proceeding. Unless described in the contract documents or shown on the drawings the Owner has not secured any right of ways, easements or agreements with other property owners or property users. Therefore, it shall be the Contractor's responsibility to secure and maintain any temporary right of ways, easements, permits, or agreements he may need to perform his work. All such agreements shall hold the Engineer of Record, and his agents, liabilities and the responsibility of the Contractor to bear all costs. The Contractor shall copy the Owner on releases of all agreements prior to final payment by the Owner to the Contractor. The Contractor shall not interfere with operations of adjacent businesses and work shall be completed off-hours, as necessary. Coordinate with Municiplity for any restrictions on allowable working hours.</p> <p>5. Unless otherwise noted on the drawings or in the contract documents the Contractor shall be responsible for all construction survey, layout, and record drawings for this contract. Any conflicts in survey/layout and the design or agencies requirements shall be brought to the attention of the owner's representative prior to proceeding with the work. The Contractor shall protect and safeguard all existing survey corners, monuments, control, and tie-downs. The Contractor shall pay all costs to repair or replace damaged survey monuments, control, and tie-downs. Record drawings shall be provided in accordance with any requirements of the authorities having jurisdiction including the required information to be provided, and signatures, seals, and certifications that may be required.</p> <p>6. No changes to the design or materials specified may be made without written authorization by the Engineer of Record or in the case of utilities or road work to be dedicated, the authority receiving dedication. At the end of the contract, the Contractor shall provide to the Owner a record set of drawings reflecting all changes made by the Contractor during construction.</p> <p>7. Erosion control is necessary whenever sediment, dust, erosion, or contaminated run-off may occur. The Contractor shall be responsible to place and maintain whatever erosion control or run-off protection is required to protect his work, the work of others, the project, adjacent properties and the health and well being of the public. Erosion control shall be designed by a Professional Engineer and meet all OSHA requirements. All excavations shall be familiar with all federal, state, and local requirements regarding erosion and run-off control.</p> <p>8. The Contractor shall be familiar with the project site and all adjacent pedestrian, traffic, and business uses. The Contractor shall take whatever precautions and steps necessary to maintain safety and operation of these uses in accordance with federal, state, county, and local requirements. The Contractor shall be responsible for costs and damages caused from his failure to take proper and adequate precautions. The Contractor shall be familiar with all federal, state, and local requirements regarding these uses.</p> <p>9. The Contractor shall be responsible for costs and delays associated with weather, groundwater, and other occurrences that could be expected or are common with this type of work. The Contractor shall review all pertinent documents including soils reports, soils borings, and other soil or site data.</p> <p>10. The Contractor shall be responsible to save and protect his work throughout the contract. Any damages requiring repairs or replacement shall be corrected by the Contractor at his expense.</p> <p>11. When work is done within a road, utility or private easement, right of way, or other property agreement, the Contractor shall do all work within that area per the authority having jurisdiction.</p> <p>12. When separate site and building contracts are performed, the site Contractor shall be responsible to bring utilities to within 5 feet of building for unless noted otherwise on drawings or contract documents.</p> <p>13. All utilities are shown per surface survey and/or record maps and may vary from actual in-field locations. The Contractor is responsible for all utility stake outs and locating utilities prior to commencing work. Any damage to utilities shall be repaired by the Contractor at his expense or the failure to verify differences between drawings and actual field conditions will be the responsibility of the Contractor to repair, replace, or pay damages at no expense to the contract.</p> <p>14. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. The Contractor shall use support systems, sloping, benching, and other means of protection. This includes, but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA Trench excavation requiring shoring, shoring or other shoring devices shall be designed by a Professional Engineer and meet all OSHA requirements. All excavations shall maintain safe side slopes in accordance with local, state and O.S.H.A. requirements. No slopping of material close to an open cut or steep slope will be permitted in an effort to prevent cave-ins.</p> <p>15. The contractor shall select the means and methods for providing support of excavations in accordance with safety requirements, plans, and project specifications. The contractor must evaluate soil conditions during excavations since variations in the soil can occur across the site. The excavations should be monitored continuously for signs of deterioration such as seepage of water or sloughing of soil into the excavation. The contractor is ultimately responsible for excavation safety.</p> <p>16. The Contractor shall notify the Owner immediately and stop all work in areas where hazardous materials are discovered. When required, the Contractor shall notify the appropriate environmental and health agencies.</p> <p>17. The Contractor shall coordinate with the Authority having jurisdiction for all required inspections and be responsible to hire any required third party inspectors.</p> <p>18. For any testing, inspections, and/or certifications requiring a Professional Engineer, the Contractor shall be responsible to hire a third party engineer. A copy of all tests shall be provided to the Engineer of Record.</p> <p>19. Any discrepancies between plans, details, and specifications shall be immediately brought to the attention of the Engineer of Record.</p> <p>20. Stabilizing fabric (woven geotextiles). If required, shall meet the following requirements "modulus (load at 10% elongation)=1150 per ASTM D1682-64", "Grab tensile strength 200lb per ASTM M 1682-64", "mullen burst strength = 400psi per ASTM D 3786-87", "trapezoid tear strength when applicable = 115lb per ASTM D1117-87", "coefficient of permeability K O/SEC = .015 per ASTM D 4491-85", "water flow rate QPM/S= 60 per ASTM D 4491-85". When stabilization fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's recommendations. Refer to Geotextiles Engineers' report, if available, for additional information.</p> <p>21. Filter fabric (non-woven geotextile). If required, shall meet the following requirements "grab tensile elongation =50% per ASTM D1682-64", "Grab tensile strength 70lb per ASTM D 1682-64", "mullen burst strength = 200psi per ASTM D 3786-87", "trapezoid tear strength when applicable = 33lb per ASTM D1117- 87", "coefficient of permeability K O/SEC = .2 per ASTM D 4491-85", "water flow rate QPM/S= 180 per ASTM D 4491-85". When filter fabric is used it shall be pulled tight and all wrinkles removed. Overlaps shall be in accordance with manufacturer's recommendations.</p>			
EARTHWORK			
<p>1. Earthwork shall not commence until erosion control plans, including applicable BMP's, are in place, in accordance with the project plans.</p> <p>2. Refer to Project Geotechnical Report for full project recommendations. Where Geotechnical Report is not clear or does not give requirements, the following may be used.</p> <p>3. Prior to starting any cuts or fills the Contractor shall strip and stockpile all topsoil. Stripping of topsoil can only commence after the clear and grub operations are complete and all erosion control devices are in place in that area. Topsoil shall be stockpiled in areas designated on the plans or approved by the owner's representative. The Contractor shall review the soils reports, boring logs, and, when necessary, his own field verification so as to be familiar with the depth of topsoil. The Contractor shall take all reasonable precautions to prevent over and under removal.</p> <p>4. Unless otherwise noted, the grades shown on the plans are finished grades. Therefore, pavement, floors, subbase, and other improvements must be subtracted to calculate subgrade elevations.</p> <p>5. The Contractor shall maintain a survey grid that is not less than 100' x 100' or other means acceptable to the Owner's representative that will indicate location and amount of cut or fill remaining. At subgrade this grid shall be 50' x 50' with location and final grade marked directly or survey shall be completed demonstrating that the subgrade is +/- .01 feet of required subgrade.</p> <p>6. Unless otherwise noted on the drawings or in the contract documents, the Contractor shall retain and pay all cost for soil compaction testing to be performed by an independent testing laboratory. For each lift placed, compaction testing shall be done every 2000 sq. ft. in trenches, compaction testing shall be done every other lift with at least 1 test every 50 LF.</p> <p>7. Structural fill placed 2 feet or deeper below the finished subgrade elevation or finished grade of graded areas shall have a maximum particle size of 6 inches. Structural fill placed within the upper 2 feet of proposed subgrade or finished grade of graded areas shall have a maximum particle size of 3 inches.</p> <p>8. Compaction requirements shall be those outlined in the soils report, if provided. If the soils report is not clear or does not give requirements, the following will be used.</p> <p>8a. Under and to 20 feet outside the building envelope the soils shall be compacted to a minimum of 95% maximum dry density per ASTM D 1557 (modified proctor).</p> <p>8b. Under proposed or future pavement areas, including 10 feet outside such areas, the soil shall be compacted to a minimum of 93% maximum dry density per ASTM D 1557 (modified proctor).</p> <p>8c. All landscape and lawn areas shall be compacted to 90% maximum dry density per ASTM D 1557 (modified proctor).</p> <p>8d. The testing lab shall test soils in accordance with ASTM D 2922 (nuclear method) with proctors for each soil type.</p> <p>8e. Constructed berms shall be compacted to 95% maximum dry density per ASTM D1557.</p> <p>9. All material to be used for fill shall be free of organics, frozen material, contaminated material, debris, and any rocks larger than 4 inches. For fill placement within 1 foot of subgrade, no rock shall be greater than 2 inches in diameter. The Contractor shall bear all cost associated with drying, segregating, or required methods to treat soils to meet compaction and other requirements.</p> <p>10. All fill placed within berms that detain/retain water shall be a minimum of 20 percent by weight of material passing the No. 200 sieve, and a maximum particle size of 6 inches. The limit of the berm areas shall include both the upstream and downstream slopes down to an elevation equal to the bottom of the planting soil media (excluding this planting soil media area). Any on-site cut areas could be utilized as fill material for the berm, as long as all construction requirements and specifications were met (placement, compaction, gradation, permeability, etc.). Inclusion of vegetation, organics, material, or frozen soil in the embankment, as well as placing of embankment material on a frozen surface is prohibited. Bedding material for all pipes and conduits within berm area shall be placed in layers not thicker than 4 inches before compaction with particle size limited to 3 inches in the greatest dimension, and compacted to required density of fill material for berm. Anti-seep controls are required for all pipes/utilities within the berm area.</p> <p>11. The Contractor shall take all necessary precautions to protect earthwork operations from weather and ground water including keeping positive drainage, divert drainage, dewatering, and sealing disturbed areas with a steel drum roller prior to inclement weather.</p> <p>12. If imported material is required, the source and a random composite sample shall be reviewed by the testing laboratory prior to being brought to site. The testing laboratory shall test for percent passing the 200 sieve that does not exceed the existing on site material or in no case greater than 10% They shall also verify consistency with existing on site materials and all other requirements. Waivers to these requirements can only be given jointly by Engineer of Record and the Geotechnical Engineer that prepared the soils report.</p> <p>13. The testing lab may restrict some on site materials from being used as fill in building or pavement areas when it is their opinion that the material will not meet requirements stated here. If such conditions do exist and other material is not available on site, the owner's representative must authorize in writing the use of import material unless there will be no additional cost to the contract.</p> <p>14. Fills shall be placed in lifts not to exceed 8 inches in mass lifts and 6 inches in trench or restricted areas. All subgrades shall be thoroughly profiled using a smooth drum roller with a minimum static drum weight of 20 tons, operated in static mode. A minimum of 2 overlapping passes in one direction followed by 2 overlapping passes in a direction perpendicular to the first 2 passes. Areas which are unsuitable and which cannot be stabilized with repeated compacting effort shall be overexcavated to a suitable subgrade. The undercut should be of adequate depth such that, after backfilling is complete the resulting subgrade surface is firm and stable under proofrolling. Onsite structural fill may be used to attain proposed subgrade elevation to replace the removed unsuitable material. If imported structural fill, base, or subbase course materials are used to backfill the undercuts within the building or pavement areas, a woven geotextile should be placed at the bottom of the undercut area prior to placement of the fill.</p> <p>15. Contractor is to remove any debris or surficial organic soils (ie. topsoil, organic subsoil, reworked soil) which may be encountered within the proposed building footprint, floor slabs, and pavement areas prior to the placement of any fill.</p> <p>16. All find subgrade under proposed pavement, building, or other structure shall be proof rolled as described above for the identifying of soft areas. Areas found to be unacceptable shall be scarified, scilt, and re- compacted. Refill by proof roll as necessary.</p> <p>17. All fill material is to be in place and compacted prior to installation of proposed utilities. Refer to pipe bedding details for trench dimensions. Additional width will only be allowed for trench excavation and only after approval of the Engineer of Record. No more trench shall be open in one day than can be properly backfilled in that same day to minimize weather and safety concerns. When backfilling around pipes, provide uniform support at invert and proper compaction under, along, and over the pipe. Care shall be given while backfilling around pipes to prevent damage to the pipes including: placing backfill/bedding by hand, using hand operated plate rammers or jumping jacks, and other load restrictive techniques until fills are a minimum of 2 feet or manufacturer's recommended depths, which ever is greater, above the top of the pipe. Compaction requirements are not relaxed in these areas and will remain as stated on the drawings or above. If clean stone is used as a bedding or encasement, filter fabric shall be placed between the natural soils and backfill and the stone to prevent migration of fines. Anti-seep controls shall be provided in accordance with the details. The Contractor is cautioned against the migration of fines from soils adjacent to voids. Where such conditions exist the Contractor shall install or wrap those areas with filter fabric to prevent fines from migrating into voids.</p> <p>18. If rock is encountered that was not indicated on the plans or soils report, the area for removal should be measured and reworked with the owner's representative prior to rock removal. Rock will be defined as the natural earth materials that can not be removed with conventional earth working equipment.</p> <p>19. Where rock is adjacent to a structure or utility, the rock shall be removed to a minimum of 6 inches below and 1 times the diameter, but not less than 1 foot or greater than 3 feet on any side.</p> <p>20. No explosives will be allowed until all permits are granted and the Owner has signed off. Pre and post blast reports must be kept and recorded. All structures within the area of the blast must receive a pre-blast survey. All blasting must be performed by a licensed blaster.</p> <p>21. Unless otherwise noted on the drawings, the Contractor shall remove all excess topsoil, cut material, or waste material from site and dispose of in a legal manner.</p>			
WATER SYSTEMS AND SERVICES			
<p>1. The water systems and services shall be supplied and placed in accordance with all local, state and federal requirements. When the requirements of the authority having jurisdiction differ from those shown on this plan, Contractor shall adhere to the more stringent standards.</p> <p>2. Refer to Pipe Bedding Detail for pipe bedding requirements.</p> <p>3. All water piping, fittings and appurtenances shall be placed a minimum of <b>5 feet of cover in lawn and 8 feet of cover in paved areas</b>. Pipe sizes 4 inches and up shall be ductile iron or polyvinyl chloride as indicated on the drawings (If not shown use ductile iron). Pipe sizes below 4 inches shall be copper or polyethylene as indicated on the drawings (If not shown use copper).</p> <p>4. The minimum separation between water services and sewer lines shall be 18 inches measured vertically from outside to outside of pipe at the crossing. A standard length of water pipe shall be centered at the crossing to maintain the distance between the crossing and the nearest water service pipe joint. The sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18" clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (Class 50). Contractor shall adjust elevation of water service needed to maintain adequate separation and burial depth. When the water service runs under the sewer line, a gravel or crushed stone backfill meeting the requirements of subbase shall be placed and compacted around the water pipe up half the diameter of the sewer pipe to provide adequate support to the sewer line. Ductile iron pipe shall be provided in accordance with AWWA C151, 6 inch diameter and greater shall be Class 50 and 6 inches and smaller shall be Class 51). Ductile iron pipe shall be lined with a cement mortar and seal coated in accordance with AWWA C104. Gaskets shall be provided in accordance with AWWA C111. Fittings shall be ductile iron in accordance with AWWA C153 compact fittings with a pressure rating of 350 psi. Water services and sewer lines running parallel shall have a minimum separation of 10 feet measured from outside of pipe to outside of pipe. At crossings, one full length of water pipe shall be located so both pipes will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required.</p> <p>5. All pipes shall be installed per manufacturer's recommendations. Ten gauge copper tracer wire shall be placed with all plastic pipe. Pipe material shall be as follows:</p> <p>5a. PVC (Polyvinyl Chloride) pipe shall be furnished in accordance with AWWA C900 for pipe 4 inches or greater and ASTM D 1785, schedule 40, gaskets per ASTM F 477-- elastomeric seal, solvent cement per ASTM D 2554 for pipes smaller than 4 inches.</p> <p>5b. PE (Polyethylene) pipe shall be furnished in accordance with AWWA C901 and ASTM D2737. Ten gauge copper tracer wire will be placed with all plastic pipes.</p> <p>5c. DP (Ductile iron) pipe shall be provided and installed in accordance with AWWA C151 and C900 (6 inches and greater shall be Class 50, smaller than 6 inches shall be Class 51). Ductile iron pipe shall be lined with a cement mortar and seal coated in accordance with AWWA C104. Gaskets shall be provided in accordance with AWWA C111. Fittings shall be ductile iron in accordance with AWWA C153 compact fittings with a pressure rating of 350 psi. Standard ductile iron or cast iron fittings shall be supplied in accordance with AWWA C110 with a pressure rating of 250 psi. The lining and gaskets for the fitting shall meet the same requirements as the pipe. If recommended in the soils report, ductile iron pipes shall be encased in polyethylene in accordance with AWWA C105 and for cast iron fittings both whenever soils are primarily dry or not pH balanced.</p> <p>5d. Copper water pipe shall be supplied in accordance with ASTM B 98-- type K, seamless with fittings per AWWA C800.</p> <p>6. Gate Valves shall be nonrising stem, double disc, bronze disc Resilient seated, cast iron or ductile iron body and bonnet in accordance with AWWA C509 and pressure rated for 250 psi. Ten gauge copper tracer wire will be placed with all pipes.</p> <p>7. Valve box shall be cast iron with a base compatible with valve, 5 inches in diameter, screw type extension at top and a cover that reads "WATER".</p> <p>8. All tap and/or connection material and work shall be done in accordance with and coordinated with the local Water Authority and Health Department. When the Authority so requires, the taps and/or connections shall be done by the Authority themselves and paid for by the Contractor.</p> <p>9. Thrust restraints shall be used at all fittings, pipes and appurtenances that cause a change in direction, flow or are subject to thrust or a hammering by water flow. Thrust restraints will include concrete thrust blocks (3000 psi), anchoring joints and tie rods. Concrete thrust blocks shall be used unless space, access or maintenance restraints prohibit their use.</p> <p>10. Curb stops shall have a bronze body, ground plug key ball with wide tee head. The curb stop shall be compatible with adjoining pipes. The service box shall have a telescoping top section with a length that will allow the adjustment centered when buried to the appropriate depth. The service box shall be of a size and type that is compatible with the curb stop. The cover shall have the lettering "WATER".</p> <p>11. All meters, vaults and backflow shall meet the requirements of the health department and other agencies having jurisdiction.</p> <p>12. Fire hydrants shall conform to the requirements of the local water authority, fire department and AWWA C502. Drain stone shall have 100% passing the 1 1/2 inch sieve, 100% passing the 1/2 inch sieve and 0 -- 15% passing the 3/8 inch sieve. All hydrants will include a gate valve and box located at the hydrant branch to shut off the hydrant line.</p> <p>13. All bedding and encasements shall be compacted with care to achieve proper compaction without damaging the pipe, fittings, or appurtenances.</p> <p>14. If clean stone is required by the local authority having jurisdiction and is approved by Owner and/or Engineer of Record, then the bedding material shall be wrapped in filter fabric and anti-seep controls shall be provided to prevent the migration of fines.</p> <p>15. All water main fittings and valves shall be tested for pressure and leakage in accordance with AWWA G300. Test water shall be potable. Test pressures shall not be less than 1.25 times the working pressure at the highest point of the line during the working period. The pressure may not drop more than 5 psi during the 2 hour test. Leakage will not exceed more than 1 in./500 ft. (2, 1/3,200) where L = allowable leakage, in gallons per hour. "Se" length of pipe tested, in feet. "D" nominal diameter of pipe, in inches" "P" average test pressure during test, in pounds per square inch (gauge) during the same 2 hour duration.</p> <p>16. After fitting and appurtenances not part of the main line testing shall be tested by visual inspection for leakage under normal working pressures.</p> <p>17. All main lines and appropriate appurtenances shall be flushed and disinfected in accordance with AWWA G951 and the requirements of the appropriate health department.</p> <p>18. The Contractor will coordinate all testing and disinfecting with the water authority and health department.</p> <p>19. Any testing failure shall require the Contractor to repair or replace the failed section at no additional expense to the contract.</p>			
SEEDING AND LANDSCAPING			
<p>1. Topsoil shall be removed from stockpiles and spread in the areas shown on the plans. The depth of topsoil shall be a minimum of 4 inches in lawn areas and a minimum of 12 inches in landscape planting areas. If enough topsoil is not available onsite, the Contractor is required to import as necessary. All disturbed lawn areas are to receive topsoil, seed, mulching, and water until a healthy stand of grass is established.</p> <p>2. Topsoil shall consist of fertile, natural agricultural soil substantially free of subsoil, stumps, rocks, brush, stone, clay lumps, or similar objects larger than 2 inches in the greatest dimension. Topsoil for reuse shall be screened if required to meet size and debris removal. Topsoil shall be approved by the owner at his source prior to transporting. The topsoil shall be fine graded to the lines and grades shown on the plans. The Contractor is responsible for keeping topsoil, seed, fertilizer, etc. off structures, pavements, and other site amenities, and will clean up unwanted deposits, at his expense.</p> <p>3. Mow all areas to be cleared &amp; seeded to 6" height maximum prior to beginning any new lawn work.</p> <p>4. Loosen and fill subgrade of lawn areas to a minimum depth of four inches, remove stones measuring 1.5 inches in any dimension, remove sticks, sod, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.</p> <p>5. Preparation of unchanged grades: where lawns are to be planted in areas that have not been altered of disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: till to a depth of six inches, apply soil amendments and initial fertilizers as specified. till soil to a homogeneous mixture and fine texture and complete fine grading.</p> <p>6. Clean all new lawn areas to be seeded of all debris, branches, stumps, brush, logs, metal, sticks, stones, etc. larger than two inches in diameter.</p> <p>7. Roll, rake, and/or drag lawn areas to remove ridges and fill depressions to meet finish grades and to create a smooth, mowable lawn surface.</p> <p>8. Unless otherwise indicated limestone containing at least 85% of total carbonates, and 30% magnesium carbonates; ground so that at least 90% passes a ten mesh sieve, and at least 50% passes a 100 mesh sieve.</p> <p>9. The topsoil shall have a pH of 6.0 to 6.8 and an organic content of 3 to 20%. The gradation of the topsoil shall be 100% passing 2 inch sieve, 85 to 100% passing the 1 inch sieve, 65 to 100% passing the 1/4 inch sieve and 20 to 80% passing the No. 200 sieve.</p> <p>10. Lawn fertilizer shall be 55% nitrogen, 10% phosphorus and 10% potash where 50% of the nitrogen is derived from ureadum source. Work into soil at a rate of 1000 lbs per acre before seeding.</p> <p>11. Lawn seed shall be "50% by weight, 85% purity, 85% germination of Pennine Perennial Ryegrass", "30% by weight, 97% purity, 85% germination of Pennine Red Fescue", "20% by weight, 85% purity, 80% germination of Common Kentucky Bluegrass" at a rate of .200 lbs per acre. Much all seeded areas with approved straw at rate of 4000 lbs per acre. Maintain much as necessary and clean up under satisfactory germination.</p> <p>12. Seed mix (Type B Unmowed -- 1V,3H or steeped) apply at a rate of 100 lbs. per acre using the following proportions by weight:</p>			



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# 1 New Floor Plan

SCALE: 1/4" = 1'-0"



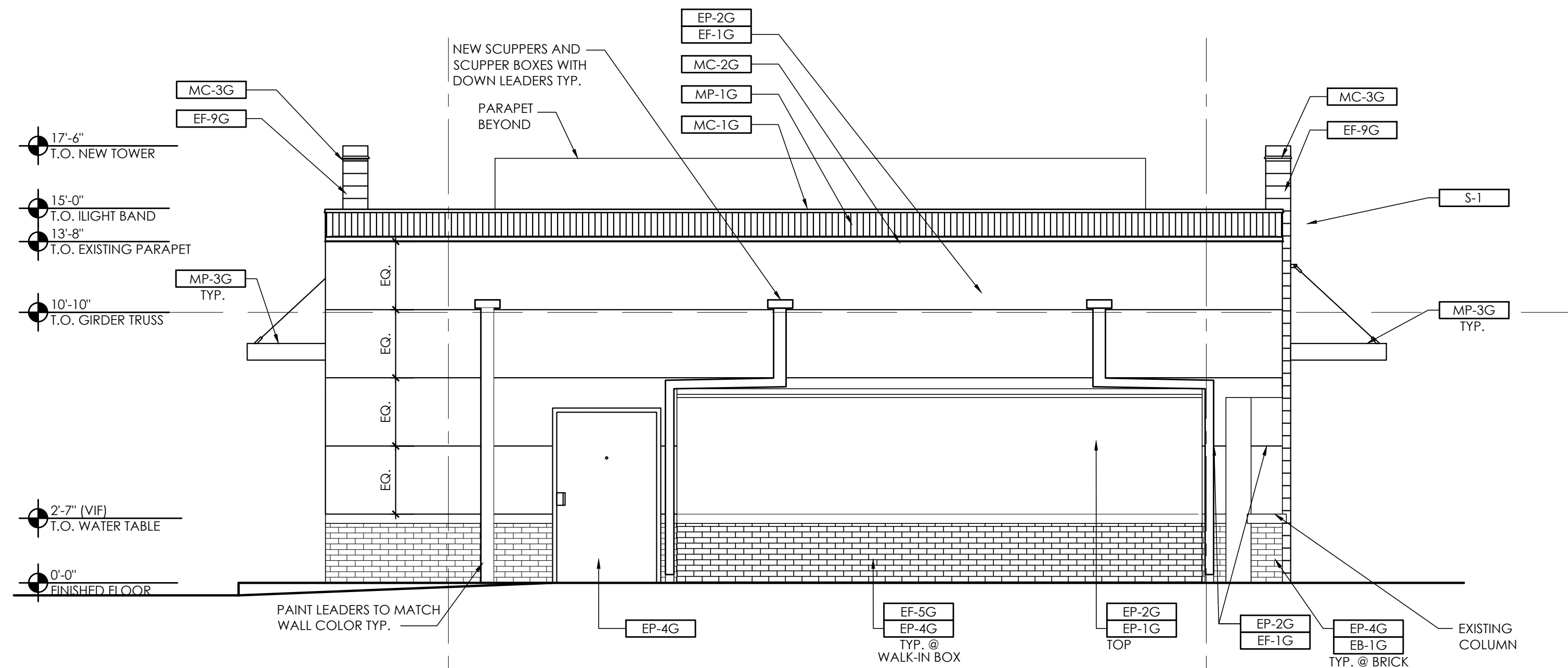
- GENERAL NOTES:
- ALL CONSTRUCTION SHALL CONFORM TO THE CODES LISTED ON G-001:
    - THE CODES, RULES, AND REGULATIONS OF THE STATE IN WHICH THE WORK IS BEING PERFORMED.
    - NFPA REQUIREMENTS AS WELL AS TO STANDARDS OF UNDERWRITERS LABORATORIES INC., AND LOCAL UTILITY CO.
    - CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS AS REQUIRED TO PROVIDE THE NEW CONSTRUCTION.
  - CONTRACTOR SHALL VISIT THE SITE AND EXAMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. BIDS SHALL INCLUDE PROVISIONS FOR A COMPLETE JOB BASED ON THE DESIGN INTENT SHOWN ON THE DRAWINGS. FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO START OF WORK AND REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER.
  - CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL COORDINATION AS REQUIRED INCLUDING COORDINATION WITH ANY WORK PROVIDED BY OWNER AND BY OTHERS.
  - THE OWNER SHALL DESIGNATE STAGING AND STORAGE AREAS OF THE SITE FOR USE BY CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE OF RUBBISH MATERIALS, CONTRACTOR'S TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS.
  - AREAS OF THE SITE AND ANY EXISTING CONSTRUCTION TO REMAIN, AND IF DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THE ORIGINAL CONDITION (AT NO ADDITIONAL COST TO THE OWNER.)
  - CONTRACTOR SHALL PROVIDE ALL PROTECTION OF THE WORK THROUGHOUT CONSTRUCTION AS REQUIRED AND PER CODE.

- GENERAL NOTES:
- DIMENSIONS ARE TO FINISHED FACE AT EXISTING CONSTRUCTION AND FACE OF EXTERIOR SHEATHING AT NEW CONSTRUCTION.
  - GC TO FIELD VERIFY ALL EXISTING DIMENSIONS AND COLUMN LOCATIONS.

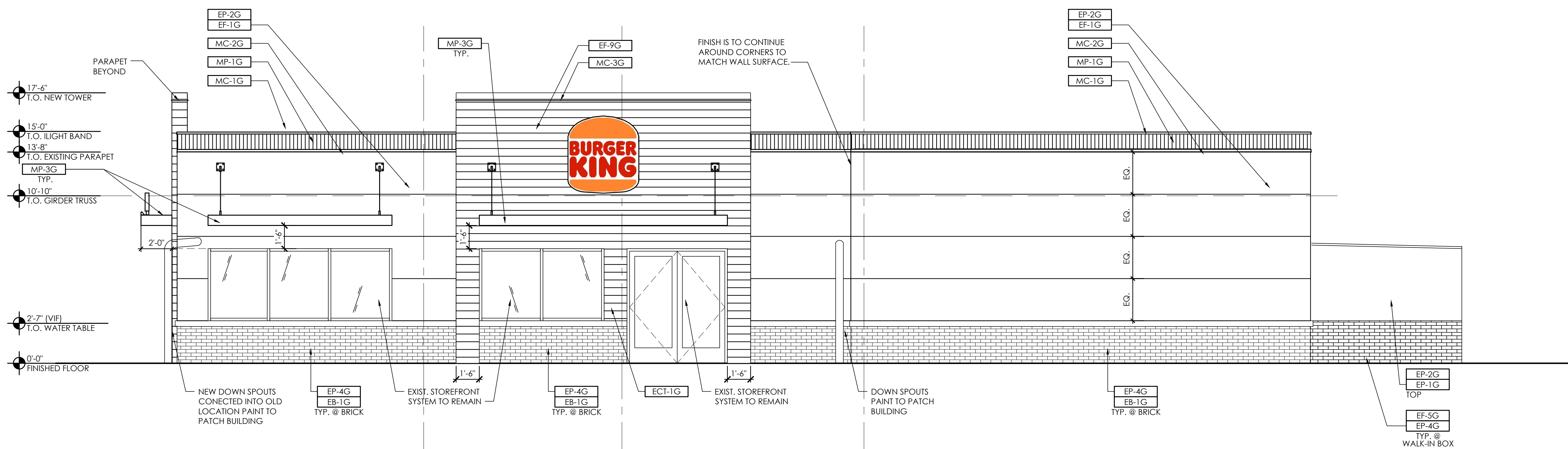
KEYED NOTES	
01	FOR INTERIOR WORK, SEE INTERIOR DECOR SUBMITTAL BY OTHERS
02	INSTALL FIBER CEMENT WALL PANEL OVER EXISTING SHEATHING ABOVE EXISTING WATER TABLE DETAIL SEE SECTION
03	NEW 3'X7' ENTRY DOOR TO MATCH EXISTING GLAZING. HARD WARE TO MATCH ADJACENT DOOR. PATCH AND REPAIR FOUNDATION TO BE FLUSH TRANSITION BETWEEN SLAB AND EXTERIOR.
04	NEW WALL INFILL AT WINDOW OPENING. FINISH TO MATCH ADJACENT WALL BOTH INTERIOR AND EXTERIOR PROVIDE WEATHER TIGHT CONSTRUCTION WITH INSULATION SIMILAR TO EXISTING WALL
05	NEW ARCHON TOWER WITH TOP AT 17'-0" AFF - REFER TO WALL SECTION
06	LOCATION OF EXISTING ROOF DRAIN TO BE RECONNECTED WITH NEW ROOF DRAIN SYSTEM
07	NEW BUILDING MOUNTED CANOPY WITH TIE BACK SUPPORTS - REFER TO BUILDING SECTIONS FOR ADDITIONAL INFORMATION
08	NEW LED BAND PARAPET WITH BOTTOM AT 13'-8"
09	NEW BUILDING MOUNTED CANOPY AT MAIN ENTRANCE
10	NEW BUILDING MOUNTED LOGO SIGN
11	NEW BUILDING MOUNTED LED "RACING STRIPE"
12	ALL EXISTING ROOFTOP EQUIPMENT TO REMAIN
13	HATCHED AREA DELINEATES APPROXIMATE AREA OF NEW ROOF MEMBRANE WORK
14	NEW GLAZING UNIT TO MATCH EXISTING SYSTEMS.

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Revisions:		Date:	
1	ZONING COMMENTS	5/21/2021	
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PROJECT ARCHITECT/ENGINEER		DATE	
PROJECT LEAD		DATE	
PROJECT DESIGNER		DATE	
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JSC Management Group			
Burger King Inc. Store # 6807 914 New Britain Ave. Hartford, CT 06106 Hartford County Project Name & Location:			
New Floor Plan			
Drawing Name:		Project No.	
Date: 01.11.2021		20-0189	
Type: BK-22		A-101	
Drawn By: AJL		Drawing No.	
Scale: As Noted			





1 North (Rear) Elevation  
SCALE: 1/4" = 1'-0"



2 East (Right Side) Elevation  
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE:	
EB-1G	EXTERIOR EXISTING BRICK
ECT-1G	EXTERIOR CERAMIC TILE, RED NATURAL (24 x 12)
EF-1G	NICIHA FIBER CEMENT EXTERIOR FINISH, STUCCO
EF-9G	NICIHA FIBER CEMENT, VINTAGEWOOD EF762, "CEDAR"
EF-5G	NICIHA FIBER CEMENT, BRICK
EP-2G	EXTERIOR PAINT BY PPG, TANNERS TAUPE
EP-4G	EXTERIOR PAINT BY PPG, MONTEREY CLIFFS
MC-1G	METAL COPING, TOP OF LIGHT BAND, PERMASNAP PLUS
MC-2G	METAL COPING, BELOW LIGHT BAND, PERMASNAP PLUS
MC-3G	METAL COPING, TOP OF ARCHON, PERMASNAP PLUS
MP-1G	PARAPET LIGHT BAND
MP-3G	METAL CANOPY, CLEAR ANODIZED
NOTE 1) SEE COMPLETE BURGER KING 20/20 GARDEN GRILL EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM.FOR MORE INFORMATION.	
NOTE 2) EXTERIOR PAINTS OVER PRIMER, PPG 17-921 SEAL-GRIP PRIMER	
ALL FINISHES AS PER GARDEN GRILL FINISH SCHEDULE. REFER TO EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM.	

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PROJECT LEAD  
DATE

PROJECT DESIGNER  
DATE

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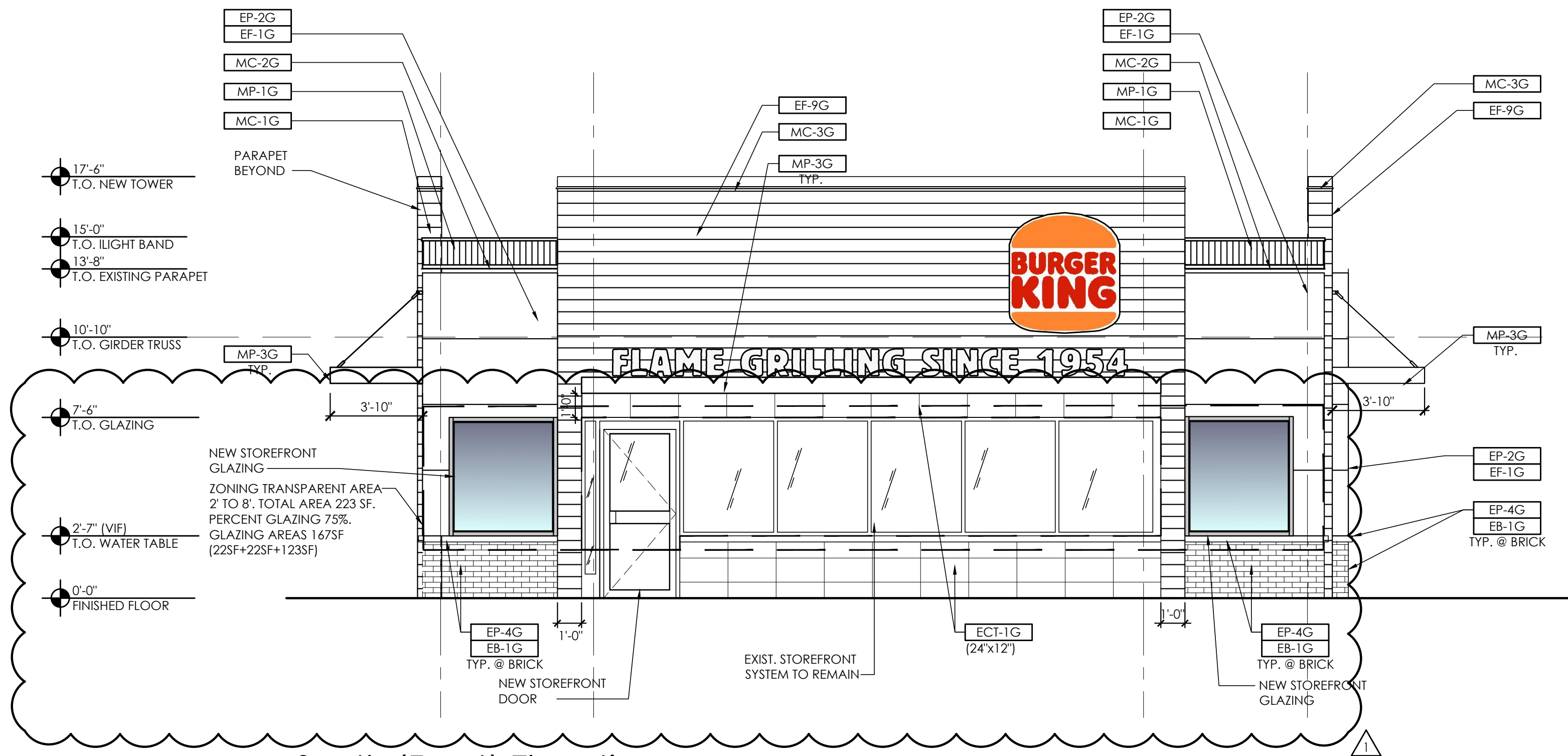
**JSC**  
Management Group

Burger King Inc.  
Store # 6807  
914 New Britain Ave.  
Hartford, CT 06106  
Hartford County  
Project Name & Location:

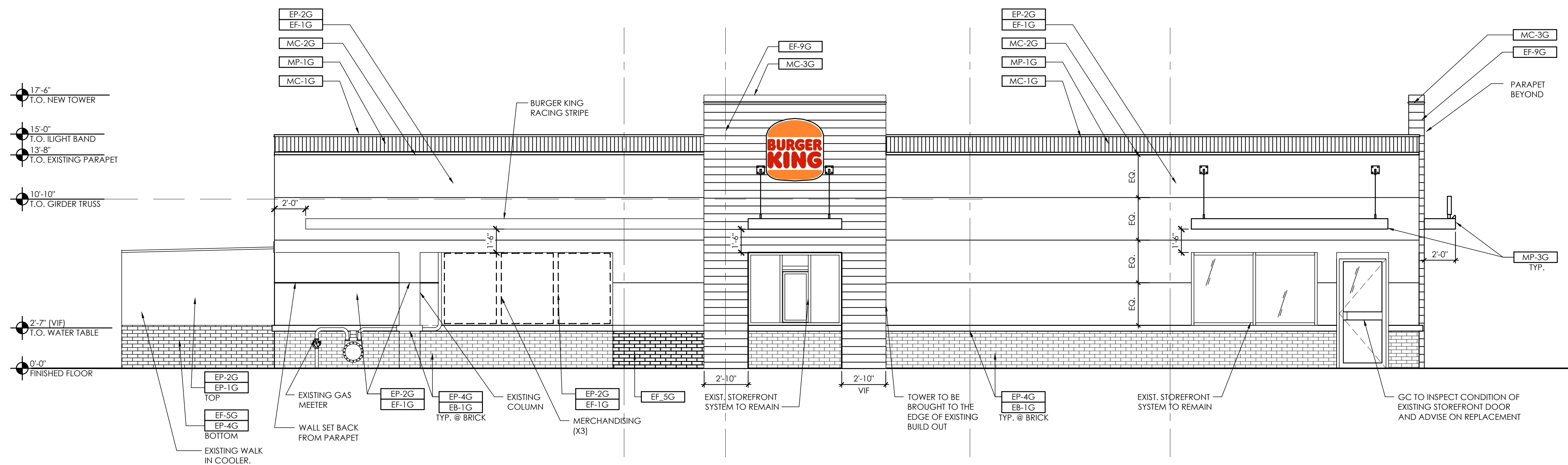
Exterior Elevations

Drawing Name:		Project No.
Date: 01.11.2021		20-0189
Type: BK-22		
Drawn By: CB		A-202
Scale: As Noted		Drawing No.





1 South (Front) Elevation  
SCALE: 1/4" = 1'-0"



2 West (Drive-Thru) Elevation  
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE:	
EB-1G	EXTERIOR EXISTING BRICK
ECT-1G	EXTERIOR CERAMIC TILE, RED NATURAL (24 x 12)
EF-1G	NICHHA FIBER CEMENT EXTERIOR FINISH, STUCCO,
EF-9G	NICHHA FIBER CEMENT, VINTAGEWOOD EF762, "CEDAR"
EF-5G	NICHHA FIBER CEMENT, BRICK
EP-2G	EXTERIOR PAINT BY PPG, TANNERS TAUPE
EP-4G	EXTERIOR PAINT BY PPG, MONTEREY CLIFFS
MC-1G	METAL COPING, TOP OF LIGHT BAND, PERMASNAP PLUS
MC-2G	METAL COPING, BELOW LIGHT BAND, PERMASNAP PLUS
MC-3G	METAL COPING, TOP OF ARCHON, PERMASNAP PLUS
MP-1G	PARAPET LIGHT BAND
MP-3G	METAL CANOPY, CLEAR ANODIZED
NOTE 1) SEE COMPLETE BURGER KING 20/20 GARDEN GRILL EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM.FOR MORE INFORMATION.	
NOTE 2) EXTERIOR PAINTS OVER PRIMER, PPG 17-921 SEAL-GRIP PRIMER	
ALL FINISHES AS PER GARDEN GRILL FINISH SCHEDULE, REFER TO EXTERIOR FINISH SCHEDULE AT DESIGNWITHBK.COM.	

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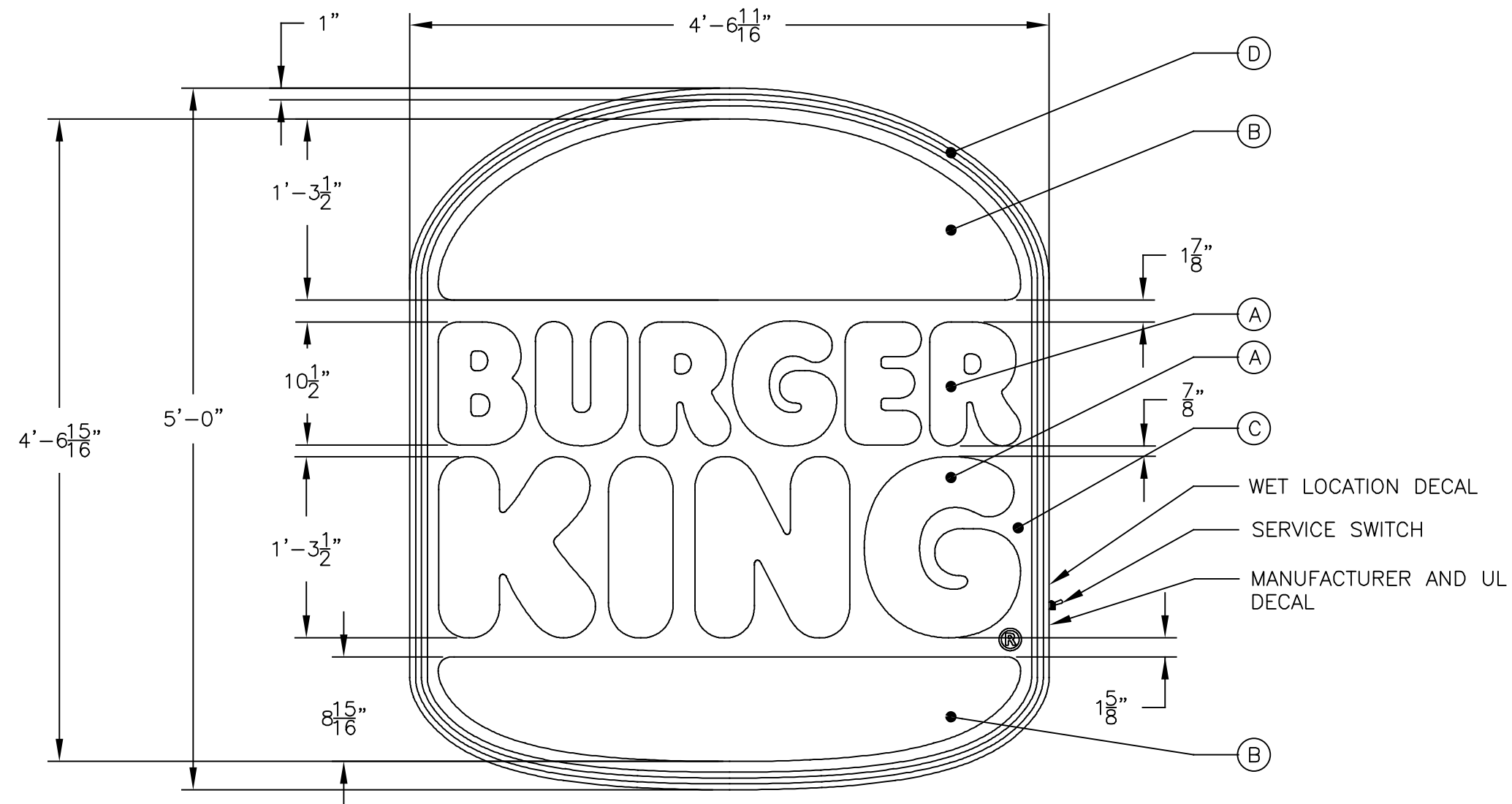
**JSC**  
Management Group

Burger King Inc.  
Store # 6807  
914 New Britain Ave.  
Hartford, CT 06106  
Hartford County  
Project Name & Location:

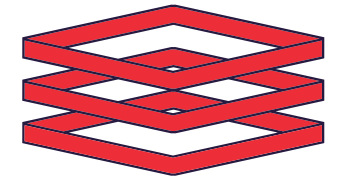
Exterior Elevations

Drawing Name:	Project No.
Date: 01.11.2021	20-0189
Type: BK-22	
Drawn By: CB	A-201
Scale: As Noted	Drawing No.





ELECTRICAL NOTE—ACTUAL # OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR.  
 TOTAL AMPS: .3 (TOTAL)  
 # OF CKTS: 1 @ 20 AMP(RECOMMENDED)  
 VOLTS: 120  
 ELECTRICAL CONNECTION AS FOLLOWS:  
 GREEN TO GREEN (GROUND), WHITE TO WHITE (NEUTRAL), BLACK TO BLACK (POWER)  
 THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF 2017 NEC AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.  
 THE LOCATION OF DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICLE 600.6(A)(1) OF 2017 NEC.  
 ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND CARRY (U.L.) LABELS.



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#### COLOR NOTES:

A	"BURGER KING" 3M 3630-143 POPPY RED
B	"BUN" 3M 3630-84 TANGERINE
C	"BACKGROUND" 3M 3635-30 WHITE DIFFUSER
D	PAINT SATIN ALUMINUM

#### REVISION:

C

#### DESIGNER

JOSH JOHNSON

#### DRAWING NUMBER

BK600

#### CLIENT:

BURGER KING

#### SCALE:

1:10

#### DATE:

3/3/2020

#### PAGE NUMBER:

1 OF 5

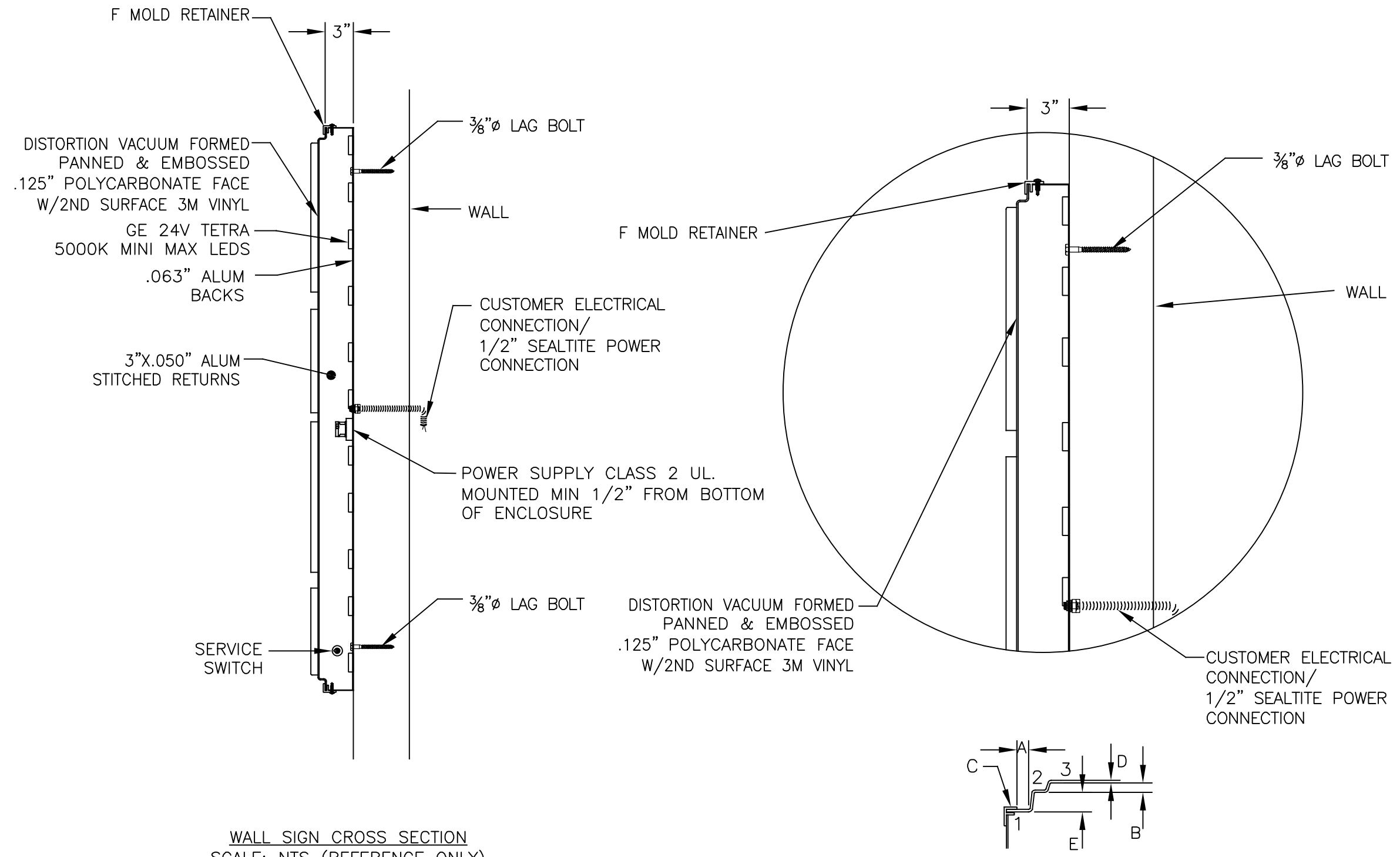
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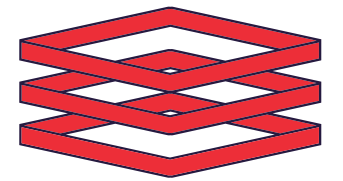
DEPARTMENT: DESIGN





WALL SIGN CROSS SECTION  
SCALE: NTS (REFERENCE ONLY)  
EQUIPMENT GROUNDED

PANNED & EMBOSSED DETAIL  
NTS FOR ILLUSTRATION ONLY  
(A) FLANGE STD 1/2"  
(B) EMBOSMENT HEIGHT STD 3/4"  
(C) RETAINER F MOLD  
(D) MATERIAL THICKNESS .125" PCB  
(E) PAN DEPTH 1/2"  
☒ PCB ☐ ACRYLIC ☐ ACRYSTEEL



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COLOR NOTES:

A	XXXXXXXXXXXXXX
B	XXXXXXXXXXXXXX
C	XXXXXXXXXXXXXX
D	XXXXXXXXXXXXXX

REVISION:

C

DESIGNER

JOSH JOHNSON

DRAWING NUMBER

BK600

CLIENT:

BURGER KING

SCALE:

1:20

DATE:

3/4/2020

PAGE NUMBER:

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PAGE TYPE:

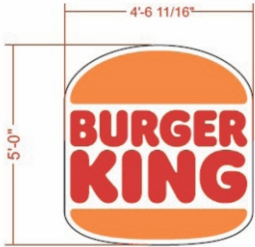
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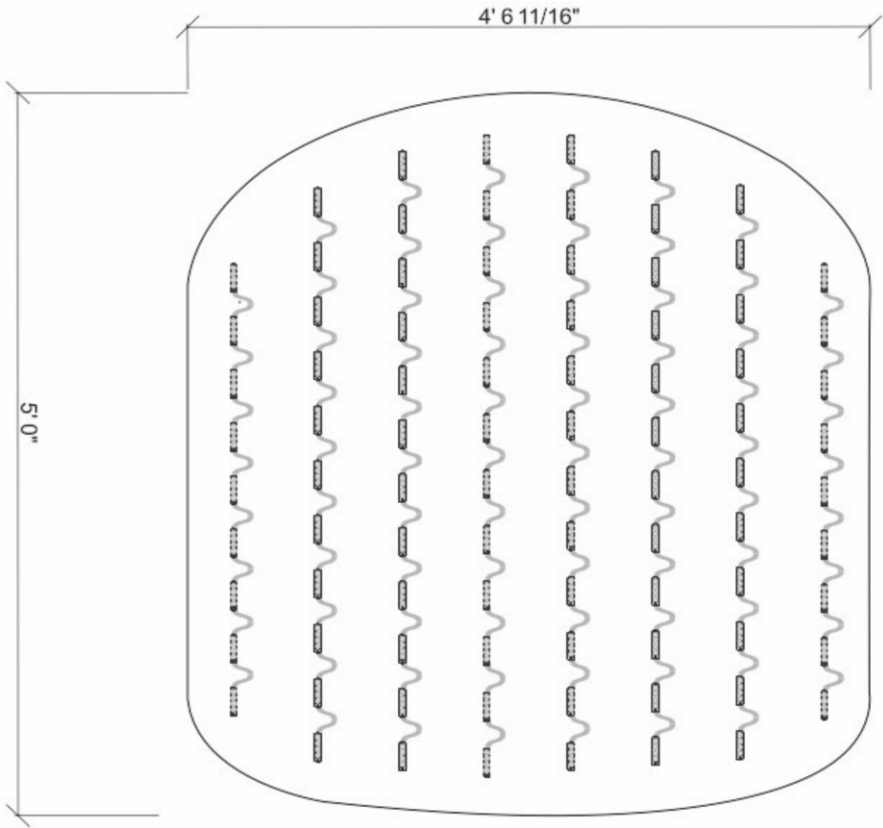
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Laboratories, Inc.  
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DESIGN

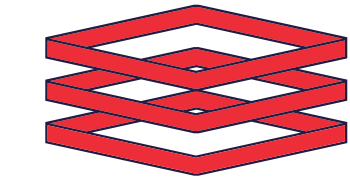




Material Breakdown		
miniMAX 50K (24V)	Modules	24V P/S
WALL	88	P/S 1



<p>1) THE GRAPHICS ABOVE ARE FOR REFERENCE ONLY and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimates as well as affect product selection, quantities, application, and illumination.</p> <p>2) LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY. The sign manufacturer must verify module placement and quantity to ensure even illumination.</p> <p>3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM.</p> <p>4) All signs should be tested as complete units (including correct Tetra® power supply) before installation for acceptable color, illumination, intensity, &amp; functionality.</p> <p>5) For detailed information refer to the applicable Tetra® product found under Signage; <a href="https://products.gecurrent.com/led-signage-lighting">https://products.gecurrent.com/led-signage-lighting</a></p>	Sign Type		Illumination	Primary Circuit (120 VAC)	SKU	Description	Name	Quantity	
	SINGLE FACED CABINET		FACE LIT	1.1 Amps	93053667	GEMM2450-W1	miniMAX 50K (24V)	88 Modules	44 Ft
	Can Depth	LED Distance From Face	Power Supply Location	Total Module Watts					
	3"	N/A	REMOTE	30.62 Watts					
	Special Instructions			Total System Watts		GEPS24-100U-GLX	100W - 24V (GLX)		1 Ea
	24V MINIMAX (6.0" OC); TO BE INSTALLED @ 4.8" OC			36.44 Watts		*****	*****		0 Ea
				Sign Area		GEDSRL08	Rails (8')		0 Ea
	Sign Information			20.68 Sq Ft		GEDSLB1 / GEDSRC1	Assy Brkts / Mtg Clip		0 Ea
				Energy Usage					
				1.76 Watts/Sq Ft	191600041 or 192160004		Wire Connector	20 Ea	
				9409		18 AWG Supply Wire	60 Ft		
				191600041		Wire End Cap	16 Ea		
TECHNICAL SUPPORT: 888-694-3533  EMAIL: <a href="mailto:tetradrawings@gecurrent.com">tetradrawings@gecurrent.com</a>		 a Daintree company		Drawn By: GNT Checked By: GNT Date: 11/6/20	Job Name: Wall  Customer Name: Burger King	Drwg #: 088286 - 10  Rev -  PAGE 1 OF 1			



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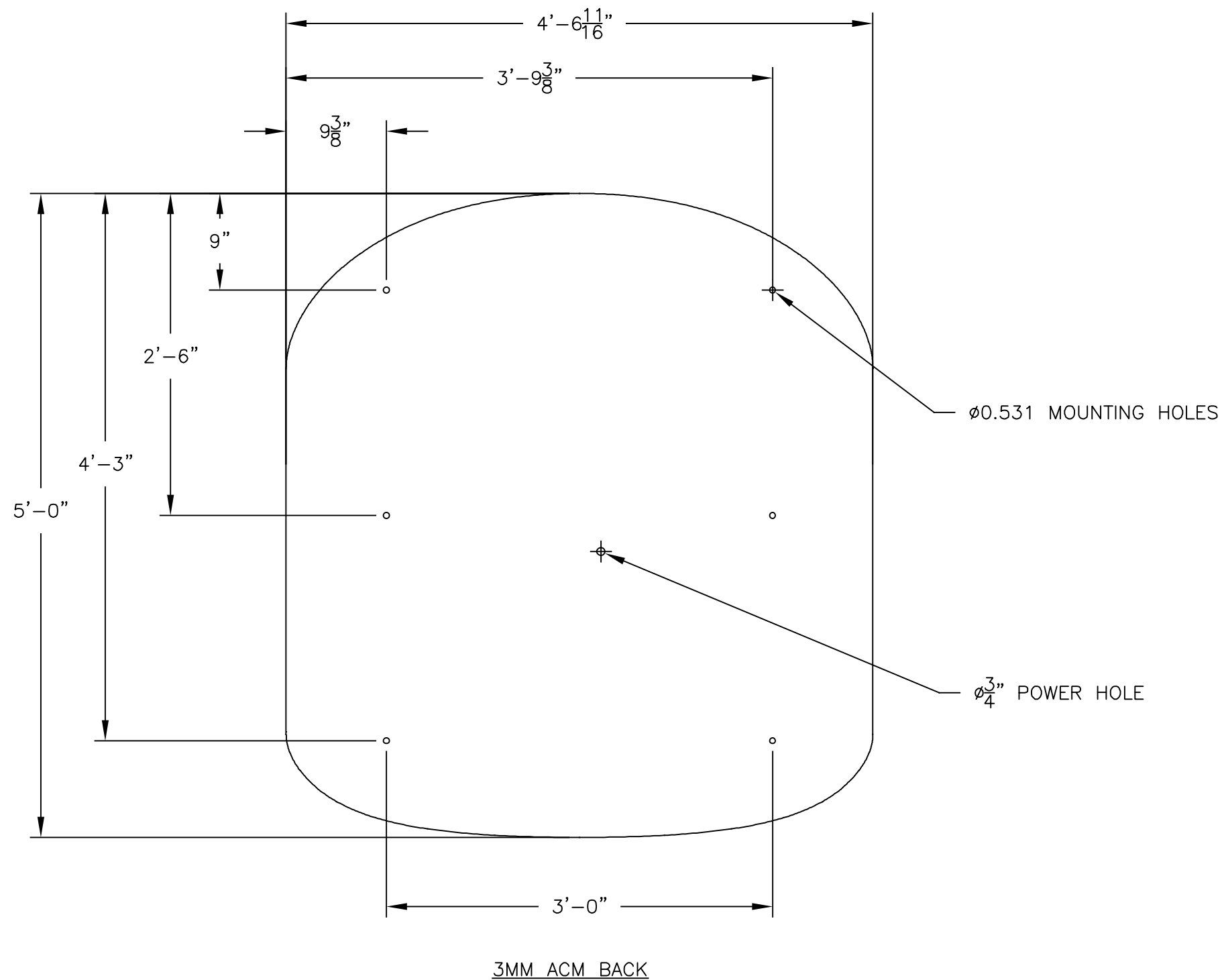
FAX: 850-392-0673

[www.enterabranding.com](http://www.enterabranding.com)

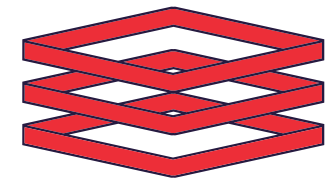
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3 OF 5	
PAGE TYPE:	
PRESENTATION	
	Underwriters Laboratories, Inc. LISTED
DEPARTMENT: DESIGN	





FRAME BILL OF MATERIAL:			
24	SQFT	AS0017	.063" ALUM
17	LFT	AC0055	.050 SILVER COIL



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