



**City of Hartford  
Department of Development Services  
Planning Division**

260, Constitution Plaza, Hartford, Connecticut 06103-1822

Return Form to the Planning Desk Counter | 860-757-9040

# PLANNING AND ZONING APPLICATION

**PLEASE CHECK THE ACTION(S) YOU ARE APPLYING FOR:**

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> Zoning Appeal                         | <input type="checkbox"/> Approval of Location       | <input type="checkbox"/> Historic Review |
| <input type="checkbox"/> Zoning Permit: Signage/ Use/Accessory | <input checked="" type="checkbox"/> Zoning Variance | <input type="checkbox"/> Lot Combination |
| <input type="checkbox"/> Site Plan                             |   | <input type="checkbox"/> Liquor Permit   |
| <input type="checkbox"/> Subdivision/Lot Line Revision         | <input type="checkbox"/> Zoning Map Change          | <input type="checkbox"/> Special Permit  |

Receiving Federal Funds:

☐ Yes ☐ No

☐ Demo ☐ Add. ☐ Repair

Recent photos are required for all Historic Apps

## 1. PROPERTY INFORMATION

Property Address: 62 Clermont St. City: Hartford State: CT Zip Code: 06106  
 Parcel ID: 142-588-120 Zoning District: (<http://assessor1.hartford.gov/default.asp>)  
 Property Owner: Yimi F. Reyes  
 Property Owner's Address: 67 Natick St City: Hartf. State: ct Zip Code: 06106  
 Phone: 860 709 5920 Email: reyesfer\_2000@yahoo.com

## 2. APPLICANT

☒ Please check if "Applicant" is the same as "Property Owner"

Name of Applicant: Yimi F. Reyes File Date: \_\_\_\_\_  
 Address: 67 Natick St City: Hartford State: ct Zip Code: 06106  
 Phone: 860 709 5920 Email: reyesfer\_2000@yahoo.com

## 3. PRIMARY POINT OF CONTACT:

Name: Evelyn P. Sabillon  
 Phone: 860 680 1059  
 Email: evelyn.sabillon@yahoo.com

**4. PROJECT NARRATIVE**

Describe your application action(s) and provide as much detail as possible. Attach additional pages if necessary:

this project consists of renovating the property on 62 Clermont st. Hartford Ct 06106, to enlarge the home using all available space. - Originally the house is 22 feet wide and 24 in length. I have attached the blueprints for this project in which shows the use of the front porch as added living space.

**\*\* PLEASE COMPLETE THE FOLLOWING SECTIONS AS THEY PERTAIN TO THE ACTIONS YOU ARE APPLYING FOR.  
DON'T FORGET TO SIGN THE APPLICATION ON THE LAST PAGE!**

**A. COMPLETE IF APPLYING FOR ZONING MAP CHANGE:**

Proposed Zone: N/A

Describe the existing use of land and buildings in the zone change area:

Describe the proposed use of land and buildings in the zone change area:

Reason for this request:

**B. COMPLETE IF APPLYING FOR ZONING APPEAL:**

Are you an aggrieved party? (Check one): ☐ Yes ☐ No

Permit or Violation number: \_\_\_\_\_

State your reason for appealing the decision of the zoning administrator or zoning enforcement officer:

**C. COMPLETE IF APPLYING FOR ZONING VARIANCE:**

State the particular hardship\* or unnecessary difficulty that prompts this application **and** cite the section of the zoning regulations that you are seeking relief from. (Continue this narrative on a separate sheet if necessary.)

\*A "hardship" is defined by the Connecticut State Statutes Section 8-6 where by "with respect to a parcel of land where, owing to conditions especially affecting such parcel but not affecting generally the district in which it is situated, a literal enforcement of such by laws, ordinances or regulations would result in exceptional difficulty or unusual hardship." Note that "mere financial loss does not constitute hardship warranting granting of variance [unless] loss is so great as to amount to confiscation of applicant's property; [a] variance might be justified."

**D. COMPLETE IF APPLYING FOR SUBDIVISION, LOT LINE REVISION, OR LOT COMBINATION****Lot Subdivision/Lot Line Revision:**

Number of new lots to be created: \_\_\_\_\_ Area of each of the new lots in square feet \_\_\_\_\_

Street frontage of each of the new lots in feet \_\_\_\_\_

**Lot Combination:**

Address of lots to be combined \_\_\_\_\_

Map/Block/Lot for each property to be combined: Map \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Map \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Map \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

(Map/Block/Lot and address information can be found at <http://gis.hartford.gov/parcelviewer/index.html>)

**E. COMPLETE IF APPLYING FOR HISTORIC REVIEW**

**IMPORTANT:** HISTORIC COMMISSION APPROVAL MUST FIRST BE OBTAINED BEFORE ANY BUILDING OR DEMOLITION PERMIT WILL BE ISSUED FOR WORK ON HISTORIC PROPERTIES. AFTER HISTORIC APPROVAL APPLICANTS MAY STILL NEED ZONING REVIEW. NO WORK MAY BEGIN UNTIL A BUILDING PERMIT IS ISSUED

**\*\*Recent photos AND proposed specifications/cut sheets for material are required to be submitted with this application.**

Proposed work includes: (Check all that apply)

<input type="checkbox"/> Repairs	<input type="checkbox"/> Addition	<input type="checkbox"/> New construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Other (specify)
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If proposing demolition, provide reason (attach additional pages if necessary):

Current materials being repaired/ replaced:

Materials/products being used in work: \_\_\_\_\_

## F. COMPLETE IF APPLYING FOR A SIGN PERMIT

1. Is this sign proposed outside of the Building line? ☐ Yes ☐ No  
Maximum extension from the Building line: \_\_\_\_\_ ft. \_\_\_\_\_ in.

2. Is this sign proposed outside of the Street line? ☐ Yes ☐ No  
Maximum extension from the Street line: \_\_\_\_\_ ft. \_\_\_\_\_ in.

3. Is this sign illuminated? ☐ Yes ☐ No

4. Engineer Name(if any): \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_

5. Minimum distance from lowest point of sign to sidewalk: \_\_\_\_\_ ft. \_\_\_\_\_ in.

6. Maximum height of sign from lowest established grade: \_\_\_\_\_ ft. \_\_\_\_\_ in.

7. Distance from the nearest outdoor sign: \_\_\_\_\_ ft. \_\_\_\_\_ in.

8. Square feet of surface for one face of the sign: \_\_\_\_\_ ft. \_\_\_\_\_ in.

9. Wording on the sign(include all words): \_\_\_\_\_

Description of work (attach additional pages if necessary):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**NOTE:** Please submit copies of all drawings drawn to scale. Signed drawings should include the dimension of the sign. Elevation of building should include the location of proposed and existing signs. Site plans should include the location of proposed and existing signs and their distance from Building lines and Property lines.

## 5. SIGNATURE(S)

*By signing below, I certify that all work will be done in strict accordance with the LOCAL, STATE AND FEDERAL BUILDING CODES. Further, all work covered by this application has been authorized by the owner of this property.*

*I agree that no work shall commence until all determinations have been made and the proper permits have been obtained.*

Applicant Signature: 

Date: 01/08/2021

Printed Name of Applicant: Yimi F. Reyes

Property Owner Signature (REQUIRED): 

Date: 01/08/2021

Printed Name of Property Owner: Yimi F. Reyes

My name is Yimi F Reyes and I am delighted that you have chosen to examine my project.

My project consists of renovating and enhancing the house on 62 Clermont St, Hartford CT 06106. This home is a small home wich is 22' w X 24' long, and my primary goal is to enlarge the home by including the front into the living area.

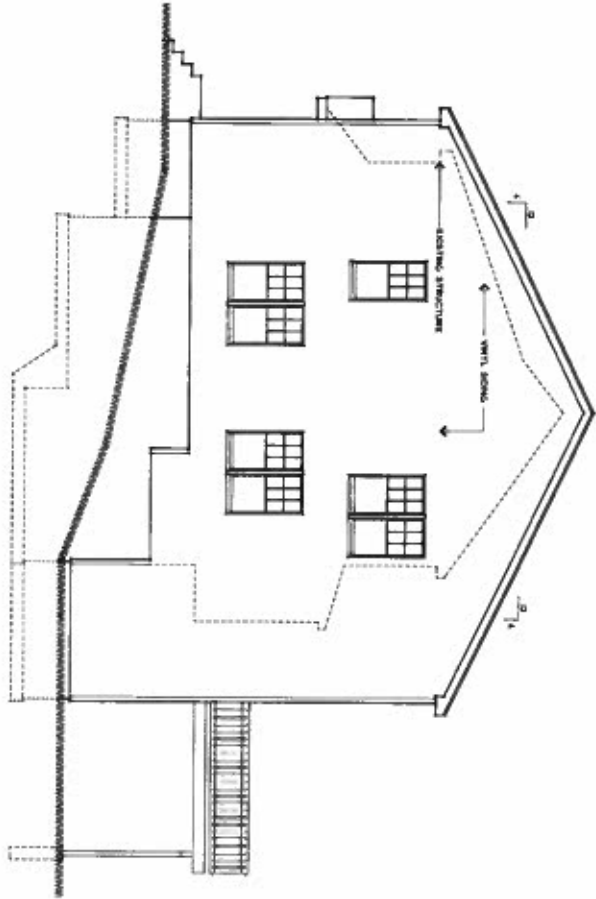
The front porch would become part of the living room, making it a larger room without disturbing the already existing frames and position of the house. In other words, including the front porch as part of the living space would not affect the frontage of the house nor the sidewalk. as I show in attached pictures.

This project would not only enhance the property but would also enhance Clermont St, and in turn, the city of Hartford.

I hope you consider my request and I would be delighted to contribute to the aesthetics of the property and of our city.

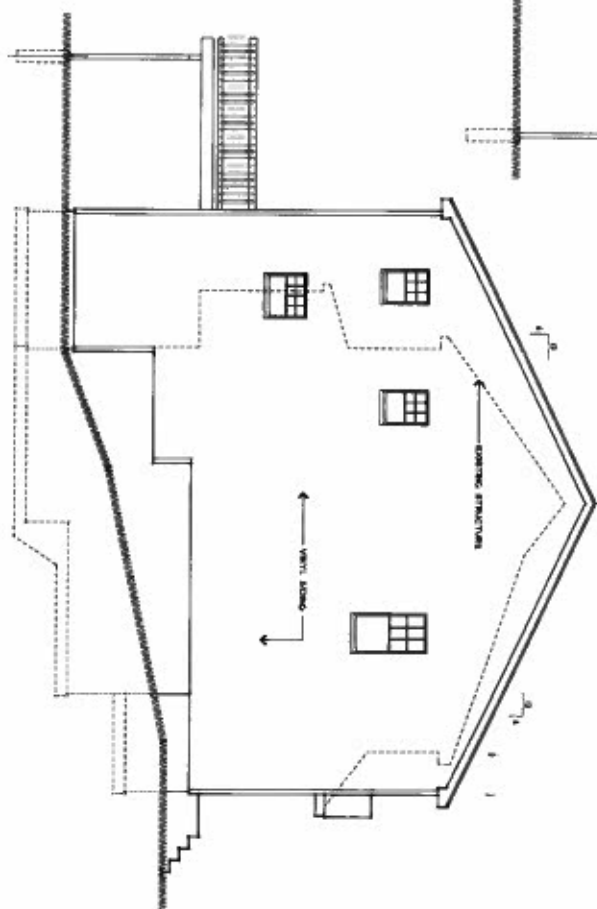
Thanks

Yimi F. Reyes  
860 709 5920



**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

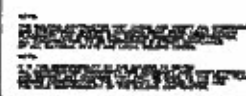


**LEFT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

**YOUNG DESIGNS  
UNLIMITED LLC**  
RESIDENTIAL DESIGN / SPACE DESIGN

100 WEST 10TH  
MIDLAND, CONNECTICUT 06457-0001  
TEL: 860.708.2404



RIGHT / LEFT  
ELEVATIONS

DATE: AUGUST 20, 2010  
SCALE: AS NOTED  
DRAWN BY: B. YOUNG  
CHECKED BY: B. YOUNG  
REVISIONS: NONE

Proposed Renovation  
at  
62 Clermont Street  
Hartford, Conn.

Sheet No. 1  
Sheet No. 2  
Sheet No. 3  
Sheet No. 4  
Sheet No. 5  
Sheet No. 6  
Sheet No. 7  
Sheet No. 8  
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Sheet No. 10  
Sheet No. 11  
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Sheet No. 100





CARGO AND WEIGHT	SIZES		SPECIAL CARE INSTRUCTIONS	SUBJECT TO DAMAGE FROM		SPECIAL HANDLING	DHS NO.	DHS NO.	DHS NO.	DHS NO.
	TYPE	THICKNESS		STRETCHING	TEAR					
30 yds	200		B	SILVERLINE	40 CORDS		YES	YES	NO	NO
					POSSIBLE TO HEAVY		YES	YES	NO	NO



**YOUNG DESIGNS  
UNLIMITED LLC**  
**RESIDENTIAL DESIGN / SPACE DESIGN**

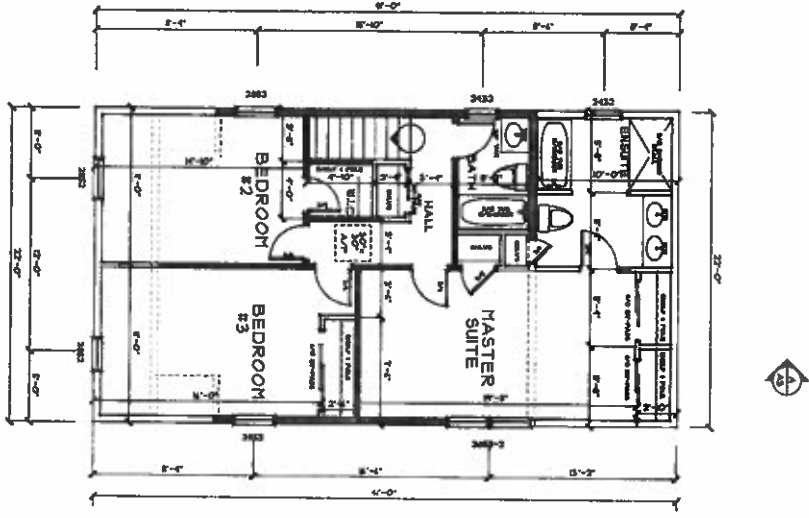
P.O. BOX 41  
MONTLAND, CONNECTICUT 06314-0041  
CELL: (860) 408-2504

**FRONT & REAR ELEVATIONS**

DATE, AUGUST 30, 2004  
SCAL: AB NOTED  
BEAK 5".  
A. YOUNG  
DATA 48", 802  
REVSYS, DATA

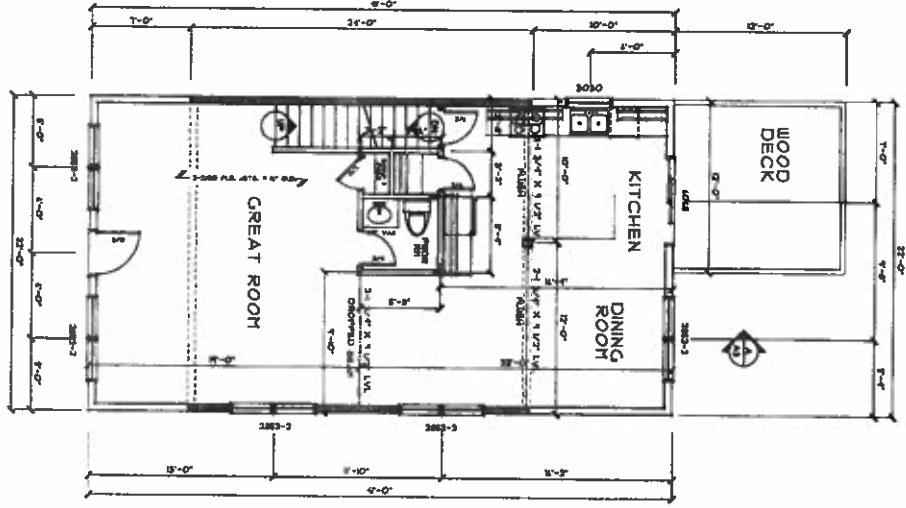
Proposed Renovation  
at  
62 Clermont Street  
Hartford, Conn.

SHEET NO.



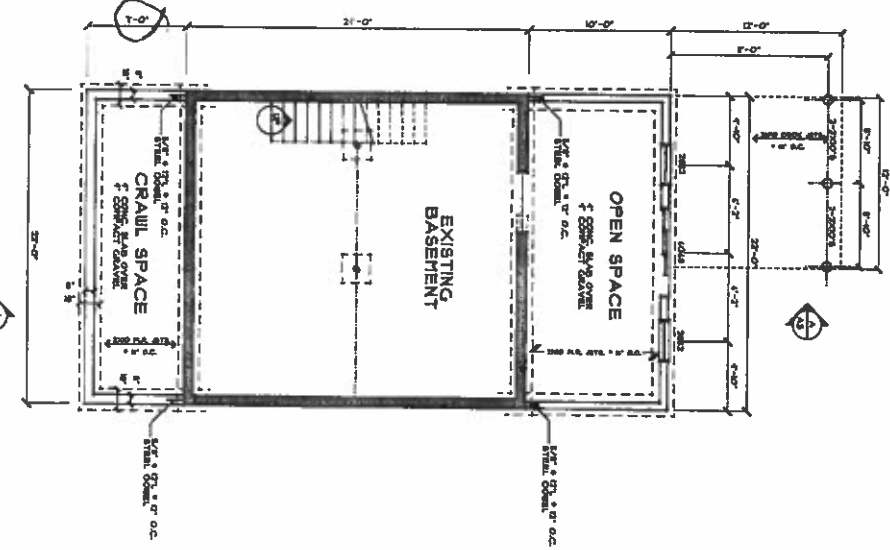
SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"



FOUNDATION PLAN

SCALE 1/8" = 1'-0"

EXISTING WALL  
REMOVED WALL

5-SHEET NO.  
A3

Proposed Renovation  
at  
62 Clermont Street  
Hartford, Conn.

DATE: JANUARY 20, 2020  
SCALE: AS SHOWN  
DRAWN BY: J. A. YOUNG  
CHECKED BY: J. A. YOUNG  
DESIGNED BY: J. A. YOUNG

FOUNDATION, FIRST  
SECOND FLOOR

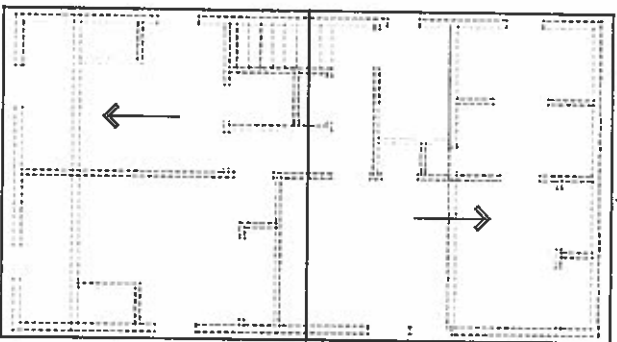


YOUNG DESIGNS  
UNLIMITED LLC  
RESIDENTIAL DESIGN / SPACE DESIGN  
P.O. BOX 11  
SCOTLAND, CONNECTICUT 06087-0011  
CELL: 860.463.3801



All construction shall comply with the 2015 International Residential Code

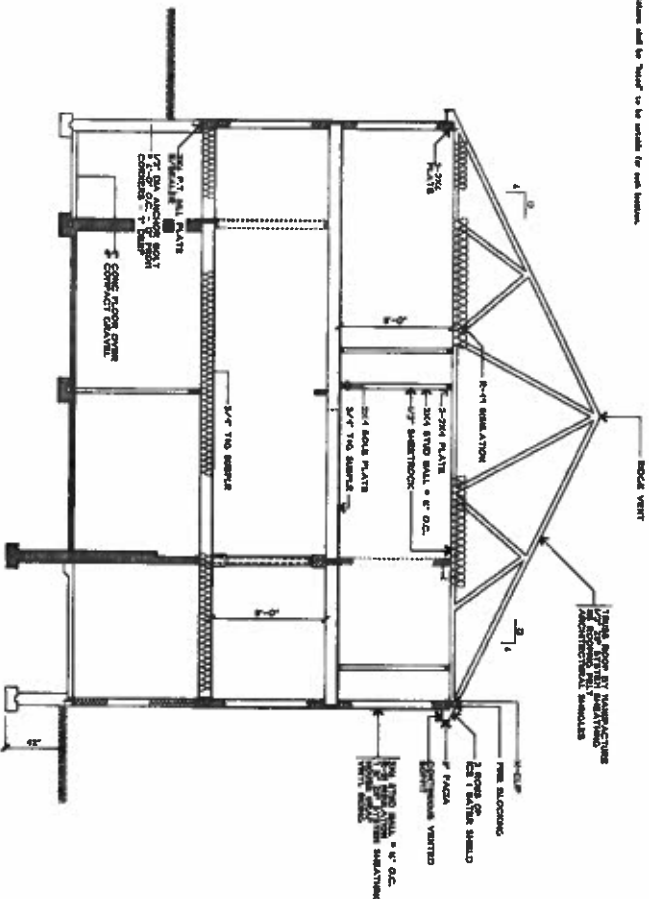
- 



WCAALB, V47 = 1-0

**2015 International Residential Code**  
 with the 2018 Connecticut State Building Code  
 All construction shall comply with the 2015 International Residential Code  
 All construction shall comply with the 2018 Connecticut State Building Code

20. Papers listed in this & the following will be "open" to be written for each location.



SCALE, 1/4" = 1'-0"

- [illegible]