

# SAM'S FOOD STORES

## CONVENIENCE STORE

### 850 MAPLE AVENUE

### HARTFORD, CONNECTICUT 06114

# ISSUED FOR SITE PLAN APPROVAL

JANUARY 12, 2021

## OWNER

Prepared For:

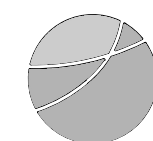


2138 Silas Deane Highway  
Rocky Hill, CT 06067

Director of Construction: Nadeem Khalid

## CONSULTANTS

Prepared By:



**benesch**

120 Hebron Avenue, Second Floor  
Glastonbury, CT 06033  
P 860-633-8341  
F 860-633-1068  
www.Benesch.com



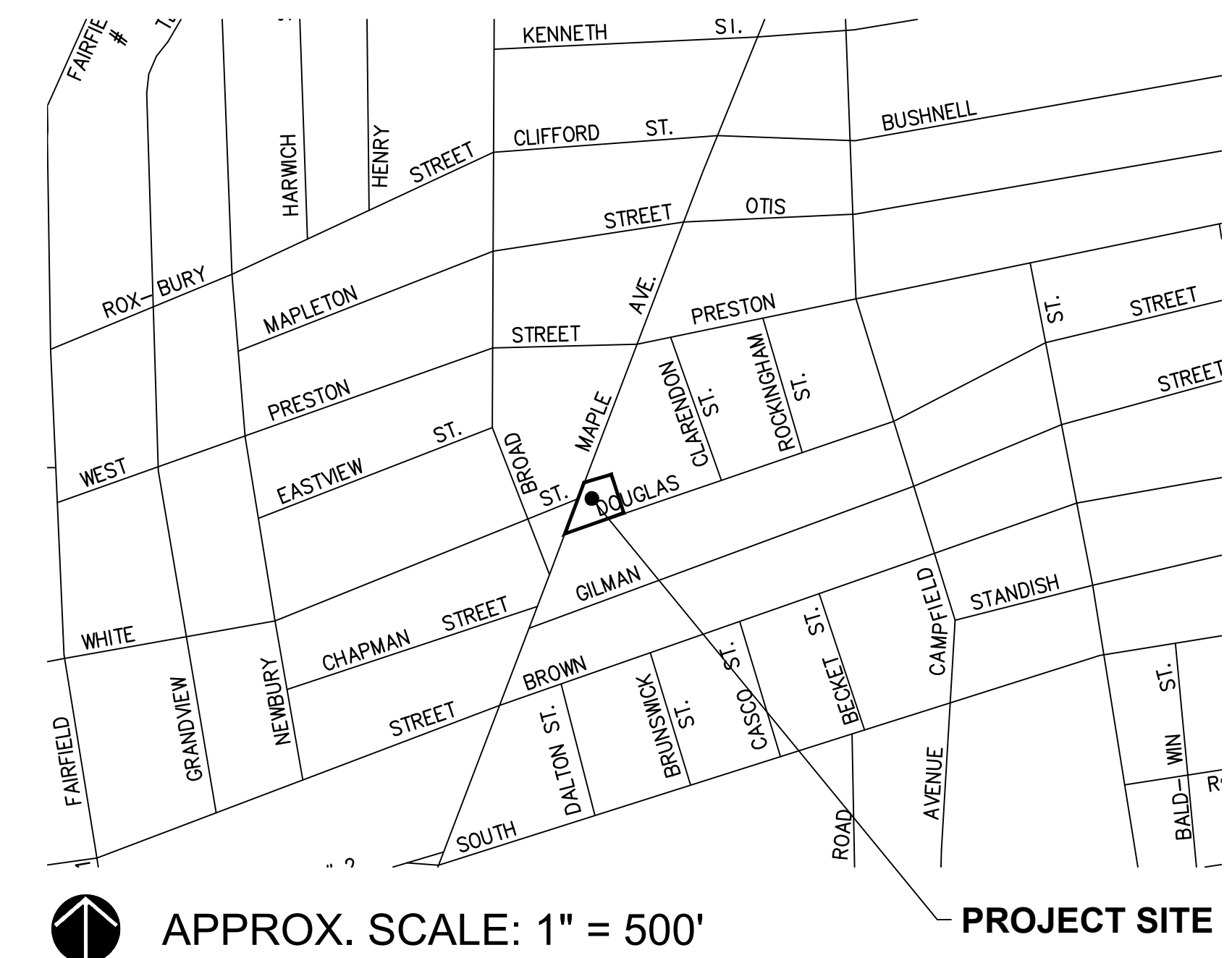
**CROSSKEY  
ARCHITECTS**

750 Main Street, Suite 150  
Hartford, CT 06103  
P 860-724-3000  
F 860-724-3013  
www.Crosskey.com

## LIST OF DRAWINGS

CS	COVER SHEET
-	IMPROVEMENT LOCATION MAP, PROPERTY OF K BROTHERS LLC
C-0.0	SITE PREPARATION PLAN
C-1.0	SITE PLAN
C-1.1	LIGHTING PLAN
C-2.0	SITE DETAILS
C-2.1	SITE DETAILS
C-2.2	SITE DETAILS
A-1	ARCHITECTURAL PLAN, ELEVATIONS & PERSPECTIVE

## LOCATION MAP



APPROX. SCALE: 1" = 500'

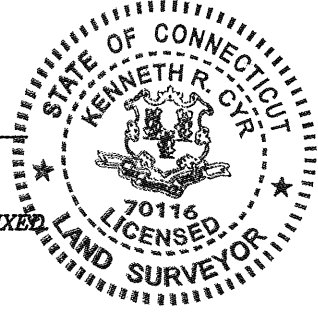
PROJECT SITE

# CERTIFICATION:

- 1) THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, AND THE RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE SEPTEMBER 26, 1996 PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. PURSUANT TO AND AS SET FORTH THESE STANDARDS. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A IMPROVEMENT LOCATION SURVEY.
- 2) THIS MAP AND SURVEY WERE PREPARED FOR K BROTHERS LLC TO BE USED IN MATTERS THAT RELATE TO EXISTING CONDITIONS. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
- 3) NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREBON.

*Peter D. Flynn*  
 PETER D. FLYNN C.T.L.S. #8792  
 KENNETH R. CYR C.T.L.S. #70116  
 DATE 10-13-2020  
 NOT VALID UNLESS ORIGINAL SIGNATURE, LIVE STAMP, & RAISED SEAL ARE AFFIXED  
 FLYNN & CYR LAND SURVEYING, LLC  
 1204 FARMINGTON AVE. 06037-7886  
 BERLIN, CONNECTICUT 06037



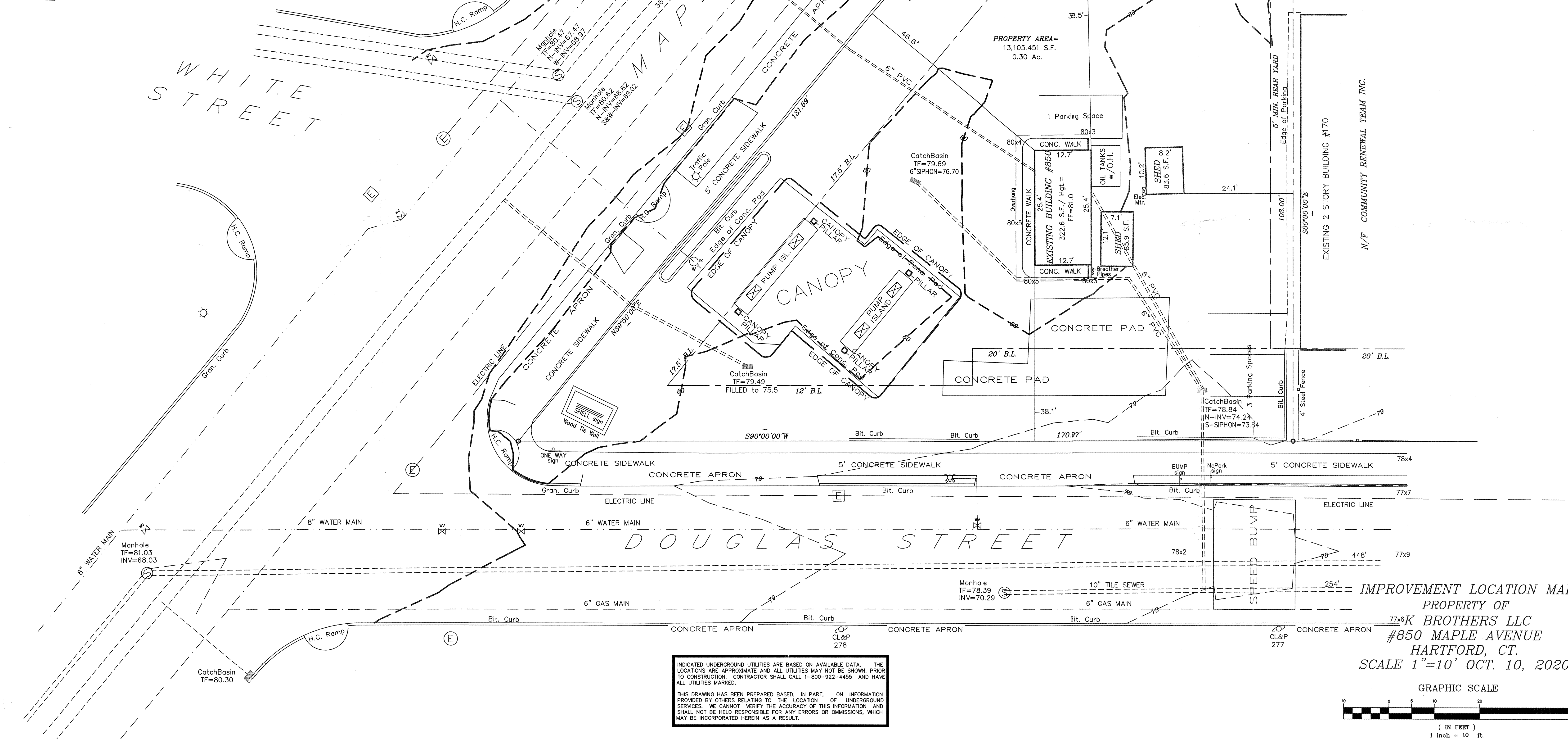
## MAP REFERENCES:

- 1) "REVISED MAP OF MAPLEWOOD PARK HARTFORD, CONN. PROPERTY OF JAMES R. RYAN. SCALE 1"=40'. JAN. 1926. A.B. ANDERSON C.E." MAP #70, HARTFORD CITY CLERKS OFFICE.
- 2) "PREPARED FOR CIRCLE K CORPORATION #3640. SCALE 1"=10'. AUG. 8, 1988. ALFORD ASSOCIATES." MAP #1783, HARTFORD CITY CLERKS OFFICE.
- 3) "SECTION OF PARKWAY HEIGHTS, HARTFORD, CONN. SHOWING LOTS FOR SALE BY HENRY D. WHITNEY. SCALE 1 INCH=100 FEET. JUNE 1915. SPENCER AND WASHBURN INC. ENGR'S."

## NOTES:

- 1) ELEVATIONS SHOWN ON NAVD83.

REGULATIONS FOR MS-2 ZONE		
ITEM	REQUIRED	EXISTING
MIN. FRONT LOT LINE COV.	85%	95.4% *
FRONT BLD.-TO ZONE	WITHIN 5' OF B.L.	29.0'
COR. BLD.-TO ZONE	WITHIN 5' OF B.L.	26.1'
MIN. LOT WIDTH	50'	131'
MAX. BLDG. WIDTH	90'	25.4'
MIN. FRONT YARD	AS SHOWN	46.6'
MIN. SIDE YARD	0'	38.5'
MIN. REAR YARD	5'	24.1'
MAX. BLDG. COVERAGE	70%	3.8%
MAX. IMPERV COVERAGE	75%	99%
ADD. SEMIPERV COVERAGE	25%	N/A
MAX. BLDG. HEIGHT	4 STY.	1 STY.
MIN. BLDG. HEIGHT	2 STY.	1 STY.



IMPROVEMENT LOCATION MAP  
 PROPERTY OF  
 K BROTHERS LLC  
 #850 MAPLE AVENUE  
 HARTFORD, CT.  
 SCALE 1"=10' OCT. 10, 2020

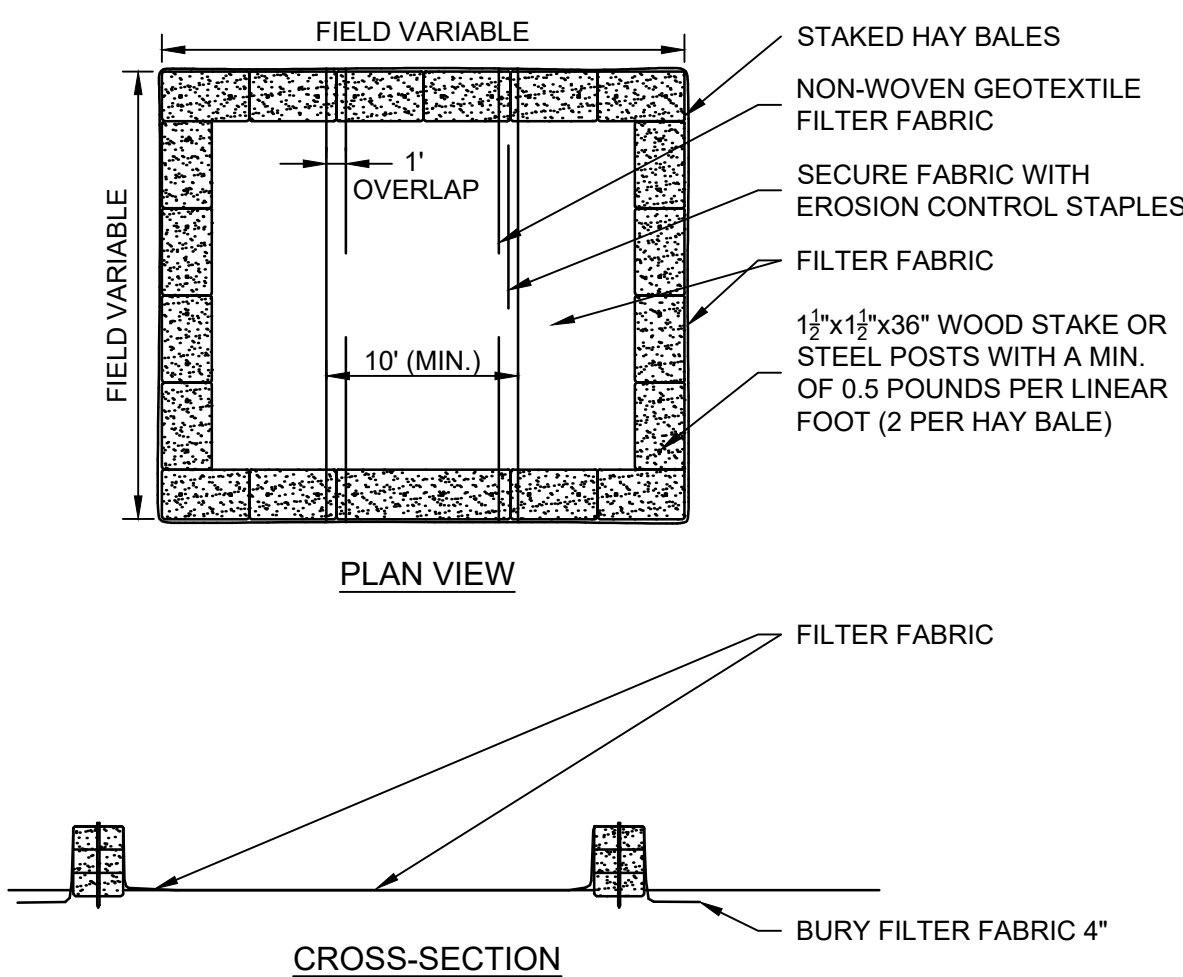
GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 10 ft.

EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
2. THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
3. MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. EROSION CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.5 INCHES OF RAINFALL PER 24 HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.
4. IF PROBLEMS WITH THE EROSION CONTROL MEASURE ARE DISCOVERED DURING THE INSPECTIONS, THEY MUST BE FIXED. IF SIGNIFICANT REPAIR OR REPLACEMENT IS REQUIRED, IT SHALL BE CORRECTED AS SOON AS POSSIBLE.
5. ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL"
6. STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THE FORMATION OF THE PILE. SIDE SLOPES SHALL BE NO STEEPER THAN 3:1. ALL STOCKPILES SHALL BE PROTECTED FROM STORMWATER RUN-ON USING A TEMPORARY PERIMETER SEDIMENT BARRIER (BERMS, DIKES, FIBER ROLLS, SILT FENCE, GRAVEL BAGS, STRAW BALES, ETC.), WHICH SHALL BE PLACED APPROXIMATELY 6 FEET FROM THE TOE OF THE SLOPE..
7. PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
8. NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
9. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
11. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
12. SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.
13. CONCRETE WASHOUTS SHALL BE UTILIZED, AS NECESSARY, TO REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE. WHEN THE FACILITIES ARE NO LONGER REQUIRED, THE HARDENED CONCRETE, SLURRIES AND LIQUIDS SHALL BE REMOVED AND PROPERLY DISPOSED OF OFFSITE.

SITE PREPARATION NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF WORK. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
4. DURING DEMOLITION, PROTECT ALL ADJACENT CURBING, SIDEWALKS, RAMPS, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOIDED. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
5. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
6. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. PRIOR TO THE TERMINATION, ABANDONMENT, OR REMOVAL OF ANY UTILITY, VERIFY THAT APPLICABLE NOTIFICATIONS HAVE BEEN MADE TO THE UTILITY OWNER/OPERATOR AND THAT THE UTILITY HAS BEEN PROPERLY TERMINATED, CAPPED, OR PLUGGED AS REQUIRED.
9. PROVIDE PAVEMENT SAWCUT AT THE EDGE OF EACH PAVEMENT REMOVAL AREA TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12 INCHES FROM EDGE OF PAVEMENT REMOVAL.
10. UNLESS OTHERWISE INDICATED, ALL NON HARDSCAPE AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.



NOTES:

1. CONSTRUCT WASHOUT AREA LARGE ENOUGH TO ENSURE MATERIALS WILL BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
2. WASHOUT AREA SHALL BE LARGE ENOUGH TO RETAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT OPERATION.
3. WEEKLY INSPECTIONS OF WASHOUT AREAS SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE WASHOUT AREA.

TEMPORARY CONCRETE WASHOUT AREA (CWA)

N.T.S.

SILT SACK (SS)

SCALE: NONE

SITE PREP LEGEND

----- PROPERTY LINE

----- FILTER SOCK

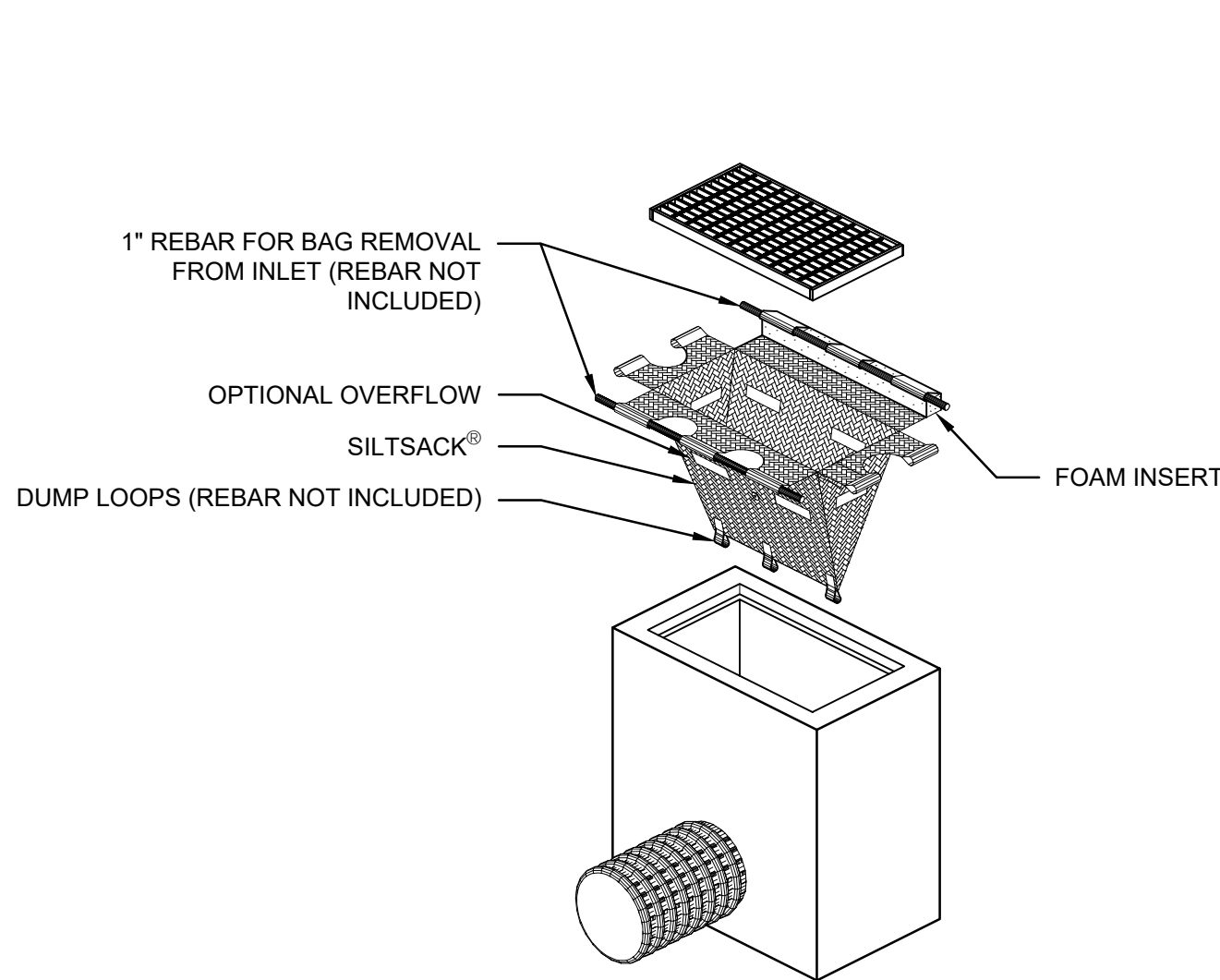
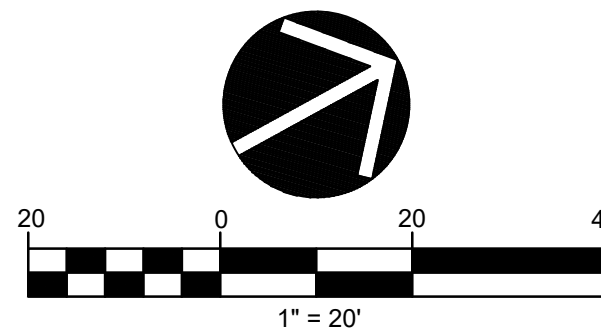
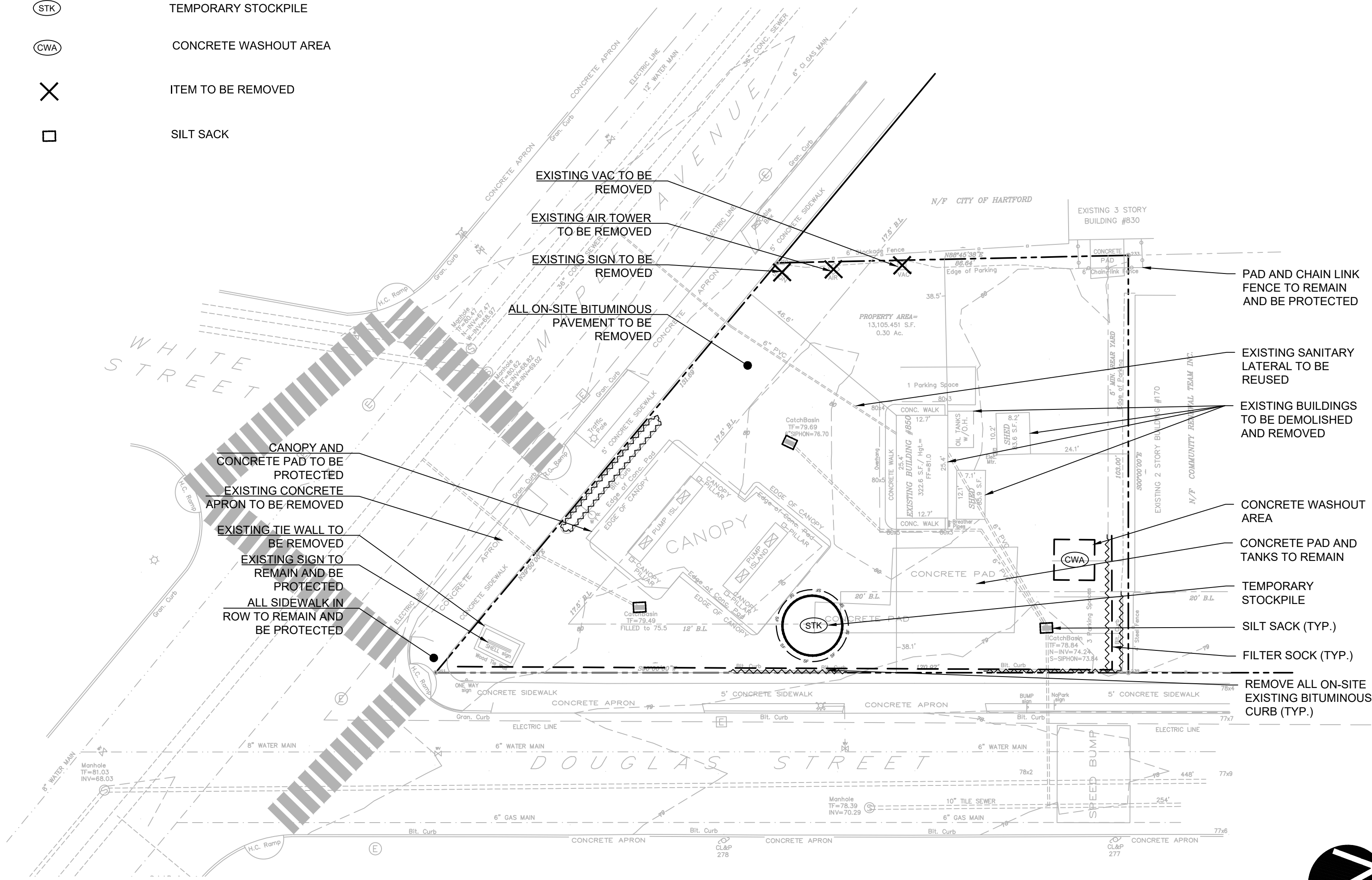
----- LIMIT OF DISTURBANCE

(STK) TEMPORARY STOCKPILE

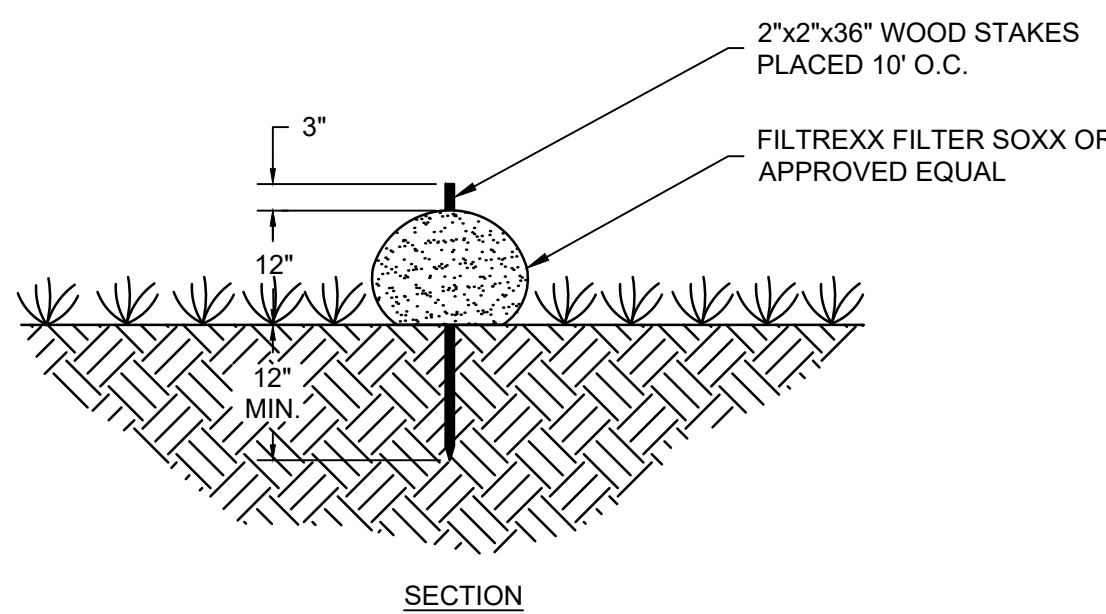
(CWA) CONCRETE WASHOUT AREA

X ITEM TO BE REMOVED

□ SILT SACK

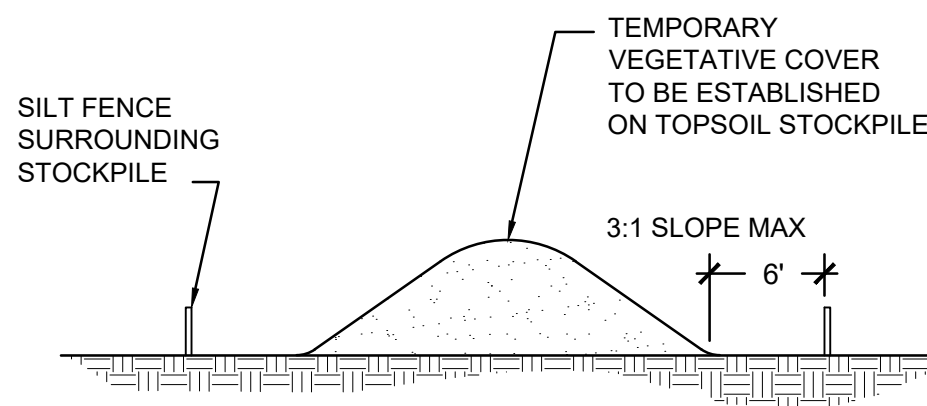


'SILTSACK' SEDIMENT CONTROL DEVICE, TERRAFIX GEOSYNTHETICS INC. TORONTO, ONTARIO, CA WWW.TERRAFIXGEO.COM



12" FILTER SOCK

SCALE: NONE



TEMPORARY STOCKPILE (STK)

SCALE: NONE

Engineer:



Alfred Benesch & Company  
120 Hebron Avenue  
Glastonbury, Connecticut 06033  
860-633-8341

Applicant:



2138 Silas Deane Highway  
Rocky Hill, CT 06067

Director of Construction: Nadeem Khalid

**SAM'S FOOD STORES**  
850 MAPLE AVENUE  
HARTFORD, CONNECTICUT

DATE: REVISION:




PROJECT NO.: 70674.00  
SCALE: AS SHOWN  
DATE: 01.12.2021

DRAWN BY: JCO  
CHECKED BY: NGW

**SITE  
PREPARATION  
PLAN**

DRAWING NO.:

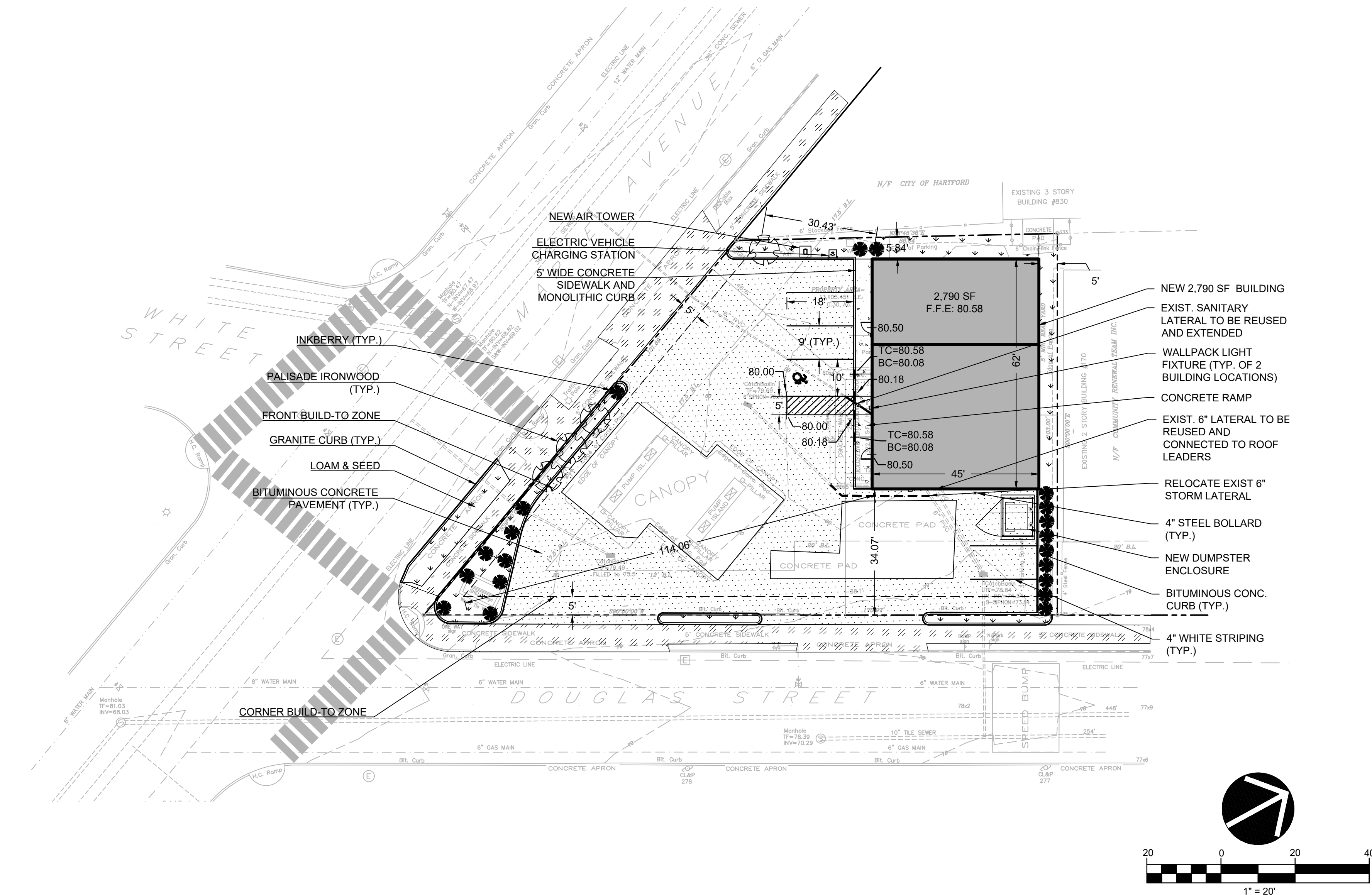
**C-0.0**

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 818 AND THE CITY OF HARTFORD SPECIFICATIONS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL-BEFORE-YOU-DIG AT 800-922-4455 FOR MARK OUT OF ALL UNDERGROUND UTILITIES.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
7. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
8. ALL PROPOSED CURBING ADJACENT STREET SHALL BE GRANITE. ALL PROPOSED CURBING ON-SITE SHALL BE MONOLITHIC CONCRETE WHERE IT ABUTS CONCRETE SIDEWALK AND BITUMINOUS IN ALL OTHER LOCATIONS.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
12. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
13. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH ENGINEER TO APPROVE LAYOUT OF JOINT PATTERNS.
14. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.
15. ALL EXISTING UTILITY LATERALS ARE TO BE REUSED AND CONNECTED TO THE NEW BUILDING.
16. HANDICAPPED PARKING SPACES SHALL NOT EXCEED 1:50 (2%) SLOPE IN ANY DIRECTION.
17. ALL LANDINGS SHALL NOT EXCEED 1:50 (2%) SLOPE IN ANY DIRECTION.
18. PRIOR TO ANY CONSTRUCTION ACTIVITIES, ALL UTILITY LATERALS TO BE REUSED (INCLUDING STORM AND SEWER) SHALL BE TV INSPECTED TO ENSURE ADEQUATE REUSE.

SITE PLAN LEGEND

	PROPERTY LINES
	FRONT BUILDING LINE, OR SIDE OR REAR SETBACK LINE
	CURBING
	6" PVC STORM LATERAL
	BITUMINOUS CONCRETE PAVEMENT
	NEW CONCRETE SIDEWALK
	EXISTING CONCRETE SIDEWALK TO REMAIN
	LOAM AND SEED
	AIR TOWER
	PROPOSED SPOT GRADE
	PROPOSED INKBERRY (ILEX GLABRA 'DENSE'), 3" HEIGHT CONTAINER GROWN, UNIFORM / WELL DEVELOPED
	PROPOSED PALISADE IRONWOOD (CARPINUS CAROLINIANA 'PALISADE'), 2" CALIBER, B&B OR CONT., SINGLE-STEM
	WALLPACK LIGHT FIXTURE



GENERAL BUILDING ZONING TABLE

ZONE: MAIN STREET (MS-2) BUILDING TYPE			
BUILDING TYPE: STOREFRONT (SECTION 4.5)			
ITEM	ZONING REGULATION	EXISTING	PROPOSED
FRONT LOT LINE COVERAGE	85%	0%	EXEMPT (4.17.2B)
OCCUPATION OF CORNER	REQUIRED	NON-CONFORMING	VARIANCE REQUESTED
FRONT BUILD-TO ZONE	WITHIN 5' OF BUILDING LINE	29 FT	VARIANCE REQUESTED
CORNER BUILD-TO ZONE	WITHIN 5' OF BUILDING LINE	26.1 FT	VARIANCE REQUESTED
MINIMUM SIDE SETBACK	0 FT	38.5 FT	5.84 FT
MINIMUM REAR SETBACK	5 FT	24.1	5 FT
MINIMUM LOT WIDTH	50 FT	131 FT	101 FT
MAXIMUM BUILDING WIDTH	90 FT	25.4 FT	62 FT
MAXIMUM BUILDING COVERAGE	70%	14.9% (INCLUDES CANOPY)	32.7% (INCLUDES CANOPY)
MAXIMUM IMPERVIOUS AREA	75%	99%	96.7%
MINIMUM BUILDING HEIGHT	2 STORIES	1 STORY - EXEMPT (4.17.2B)	EXEMPT (4.17.2B)
MAXIMUM BUILDING HEIGHT	4 STORIES	1 STORY	1 STORY
PERMITTED PARKING & LOADING	REAR & LIMITED SIDE YARD	REAR YARD	VARIANCE REQUESTED
QUANTITY OF TREES REQUIRED	15% OF SQUARE FOOTAGE OF LOT	10.7% OF LOT COVERED*	16.5% OF LOT COVERED*
STREET TREES	1 TREE / 40 FT OF STREET FRONTAGE	NO STREET TREES	VARIANCE REQUESTED
MINIMUM TRANSPARENCY	75%	-	75.8%

\* EXISTING GAS CANOPY = 1,411 SF / TOTAL LOT = 13,105 SF. CANOPY PROVIDES 10.7% COVERAGE  
ASSUME ALL INKBERRIES CAST A CANOPY 3' IN RADIUS:  $\pi(3\text{ FT})^2$  20 INKBERRIES = 565 SF / 13,105 SF = 4.3%.  
ASSUME ALL IRONWOODS CAST A CANOPY 4' IN RADIUS:  $\pi(4\text{ FT})^2$  4 IRONWOODS = 200 SF / 13,105 SF = 1.5%  
TOTAL COVERAGE = 10.7% + 4.3% + 1.5% = 16.5%

ZONING WAIVER REQUEST TABLE

ZONE: MAIN STREET (MS-2)		
ARTICLE	REGULATION	PROPOSED CONDITION
4.5.2A3	OCCUPATION OF CORNER	DOES NOT OCCUPY CORNER
4.5.2A4	FRONT BUILD-TO ZONE	26.35 FT FROM FRONT BUILD-TO ZONE
4.5.2A5	CORNER BUILD-TO ZONE	114 FT FROM CORNER BUILD-TO ZONE
4.5.2A10	PERMITTED PARKING & LOADING LOCATIONS	FRONT YARD PARKING LOCATIONS
6.7.3*	STREET TREES	NO STREET TREES, 20 INKBERRY SHRUBS

\* SITE IS INCAPABLE OF SUPPORTING 1 STREET TREE / 40 FEET

Engineer:



Alfred Benesch & Company  
120 Hebron Avenue  
Glastonbury, Connecticut 06033  
860-633-8341

Applicant:



2138 Silas Deane Highway  
Rocky Hill, CT 06067

Director of Construction: Nadeem Khalid

SAM'S FOOD STORES  
850 MAPLE AVENUE  
HARTFORD, CONNECTICUT

DATE: REVISION:




PROJECT NO.: 70674.00  
SCALE: AS SHOWN  
DATE: 01.12.2021

DRAWN BY: JCO  
CHECKED BY: NGW

SITE PLAN

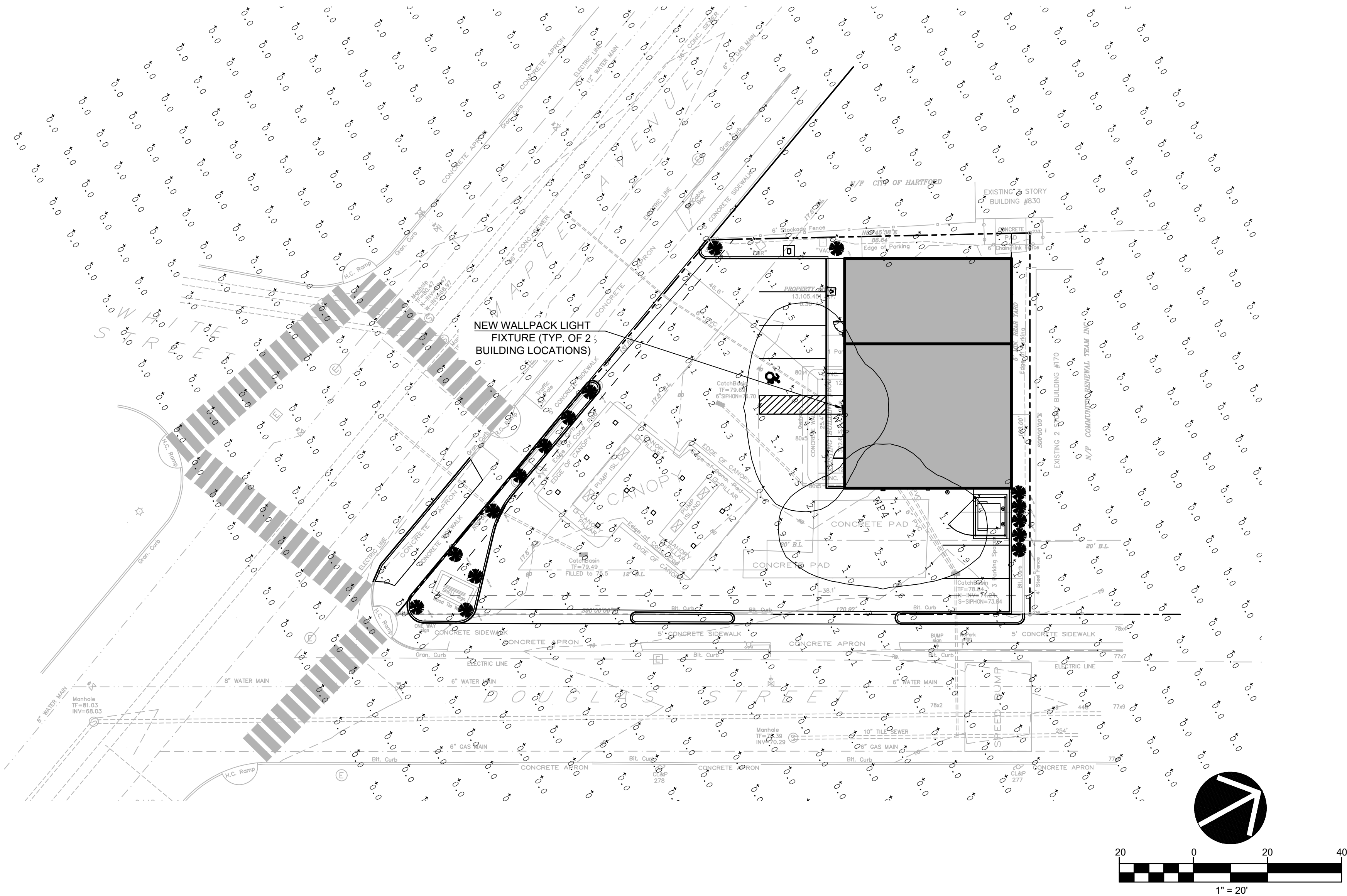
DRAWING NO.:

C-1.0

JOB NAME: 850 MAPLE STREET - HARTFORD, CT  
APEX LIGHTING SOLUTIONS  
WORKPLANE/CALC PLANE: AT FINISH GRADE  
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE  
APPS: LED  
SALES: SP

Luminaire Schedule						
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating
2	WP4	SINGLE	4483	47.9	0.850	B1-U0-G1
STONCO LFW16-50-NW-G3-4-UNV-FINISH / WALL MOUNTED @ 10FT AFG TO BOF						

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	0	0.07	7.9	0.0	N.A.	N.A.
PARKING LOT		0.64	7.1	0.0	N.A.	N.A.



Engineer:  
**benesch**  
Alfred Benesch & Company  
120 Hebron Avenue  
Glastonbury, Connecticut 06033  
860-633-8341

Applicant:  
**Sam's FOOD STORES**  
**Sam's CLUB** **Sam's World** **Ravi**  
2138 Silas Deane Highway  
Rocky Hill, CT 06067  
Director of Construction: Nadeem Khalid

**SAM'S FOOD STORES**  
**850 MAPLE AVENUE**  
**HARTFORD, CONNECTICUT**

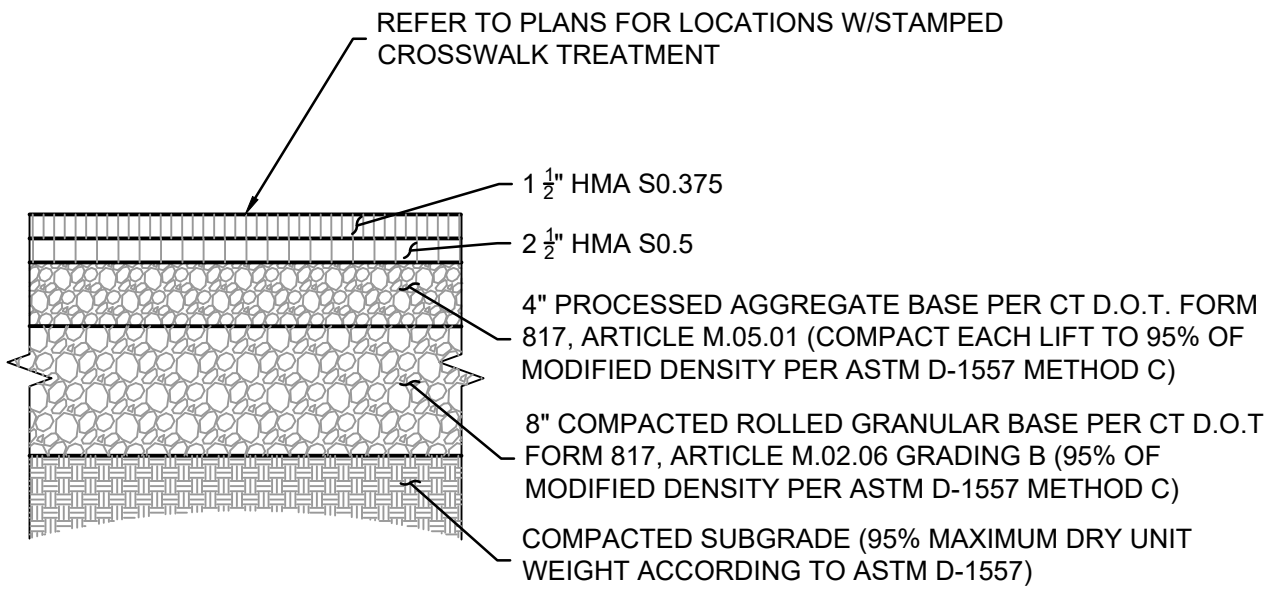
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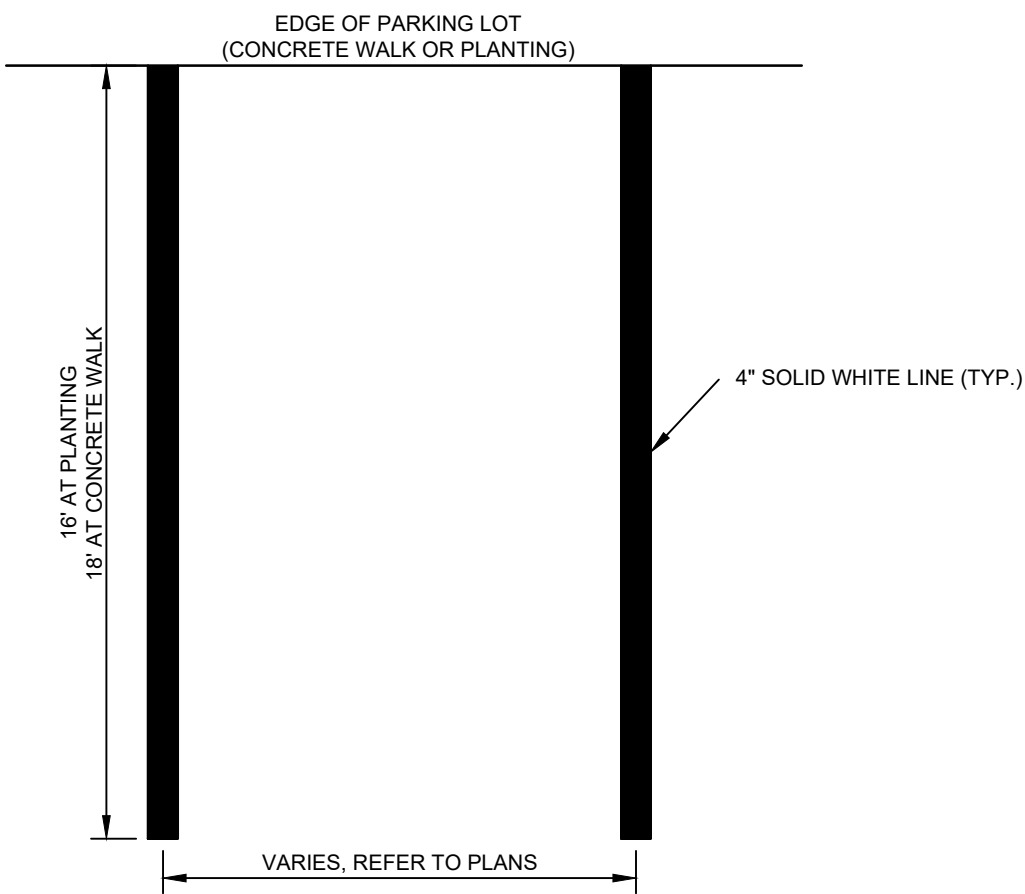
**LIGHTING PLAN**

DRAWING NO.:  
**C-1.1**



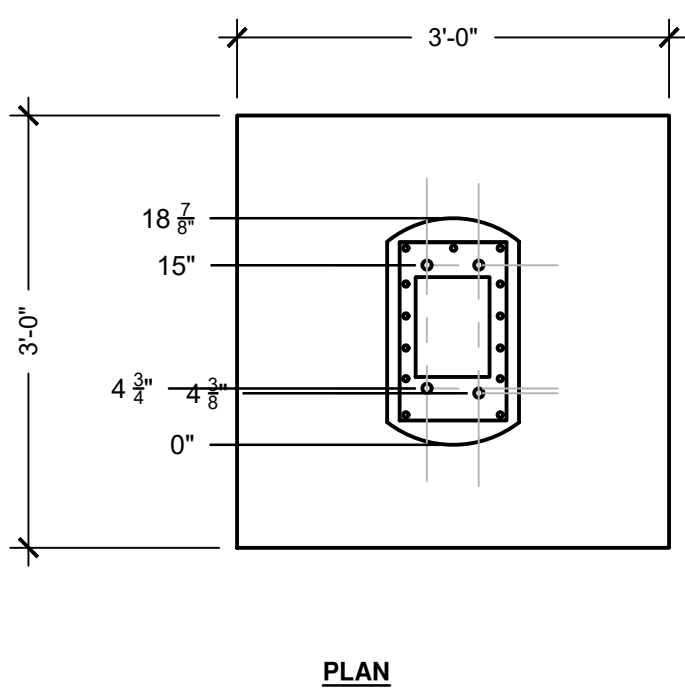
BITUMINOUS CONCRETE PAVEMENT

SCALE: NONE



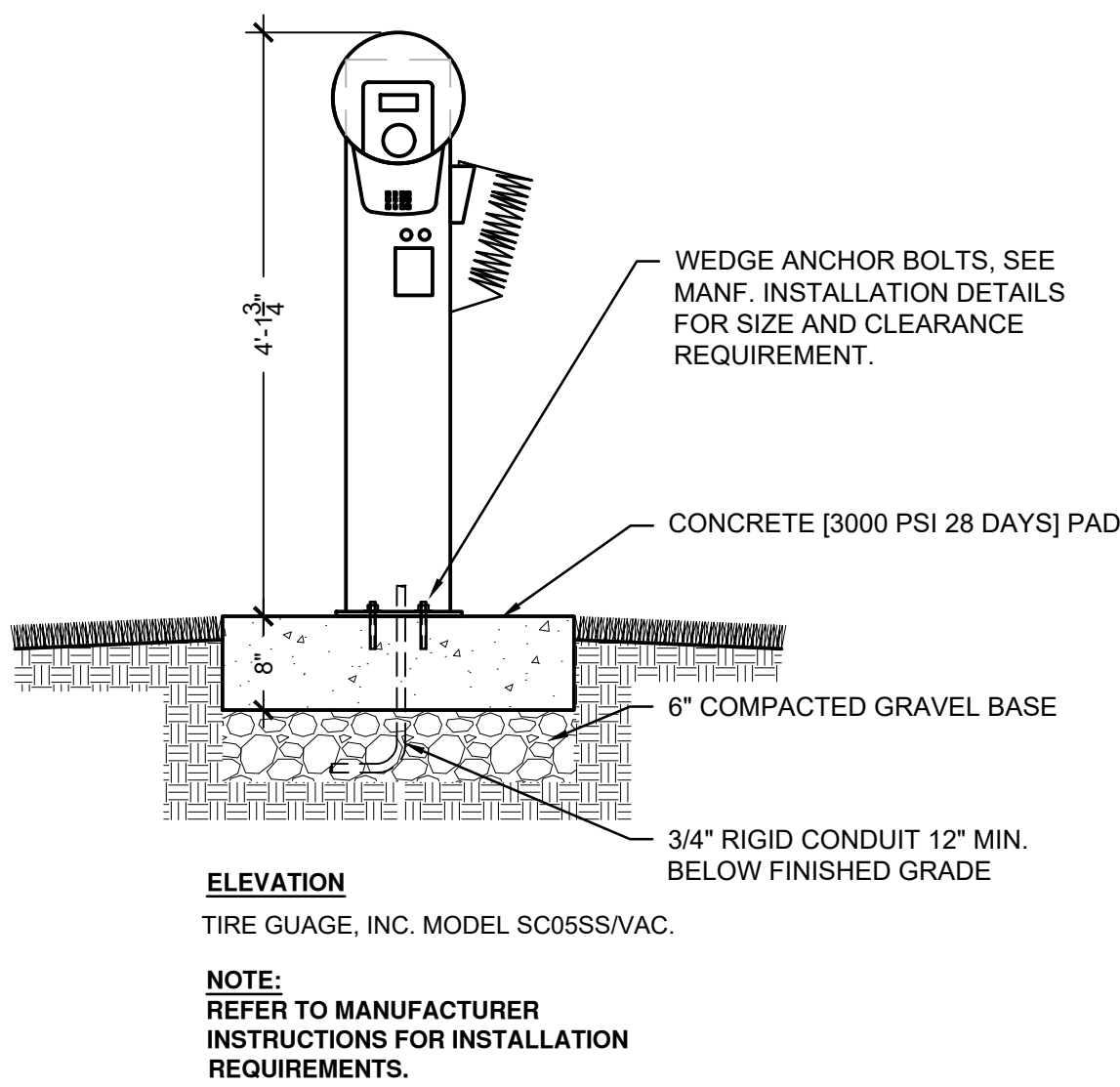
STANDARD PAINTED PARKING MARKINGS

SCALE: NONE



AIR TOWER

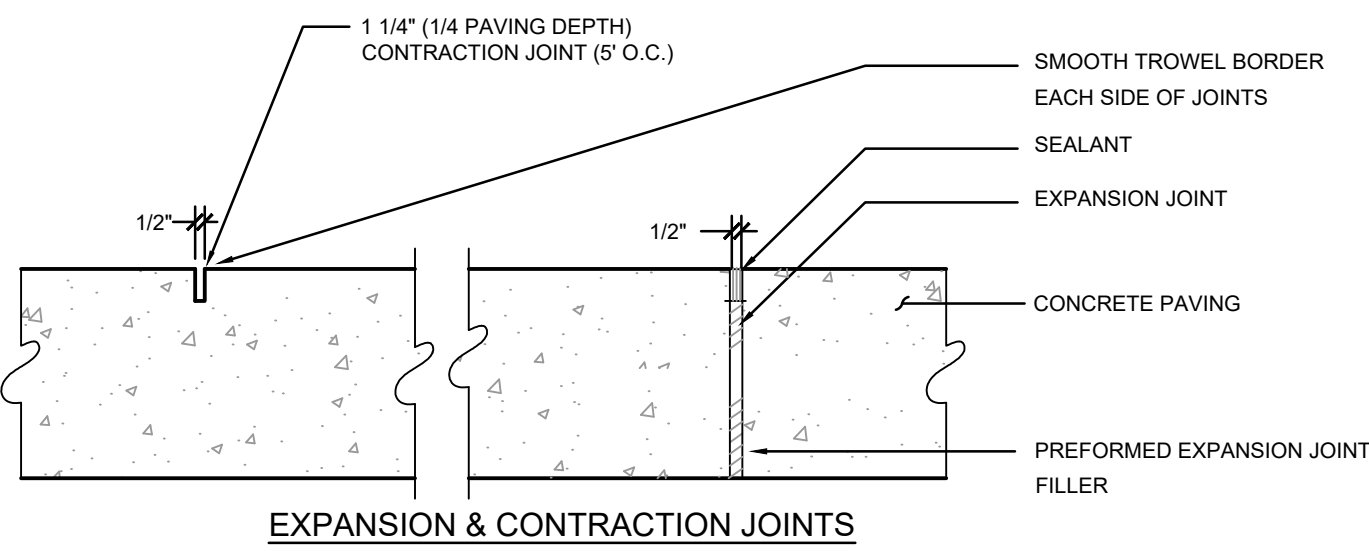
SCALE: NONE



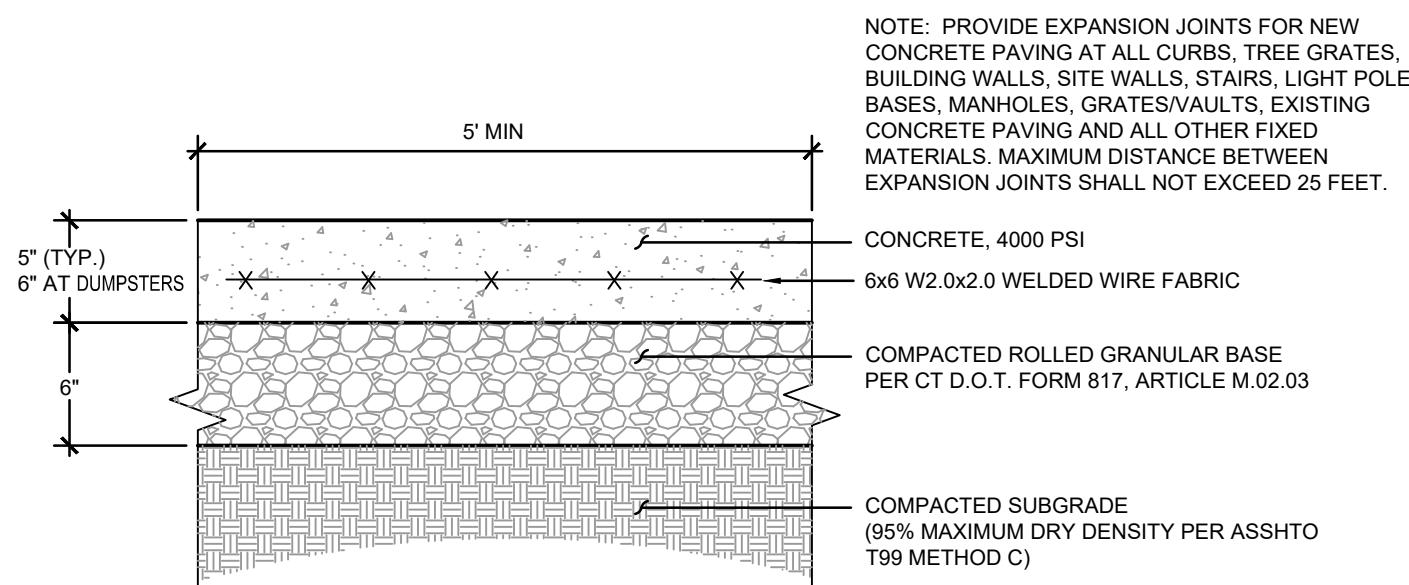
ELEVATION

TIRE GUAGE, INC. MODEL SC05SS/VAC.

NOTE: REFER TO MANUFACTURER INSTRUCTIONS FOR INSTALLATION REQUIREMENTS.

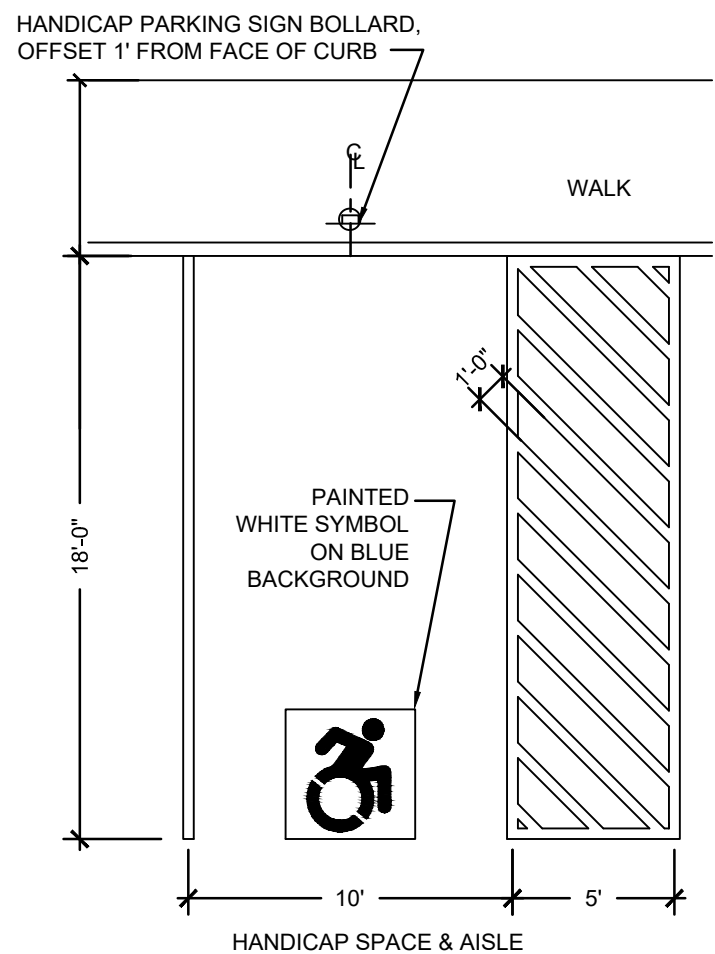


EXPANSION & CONTRACTION JOINTS



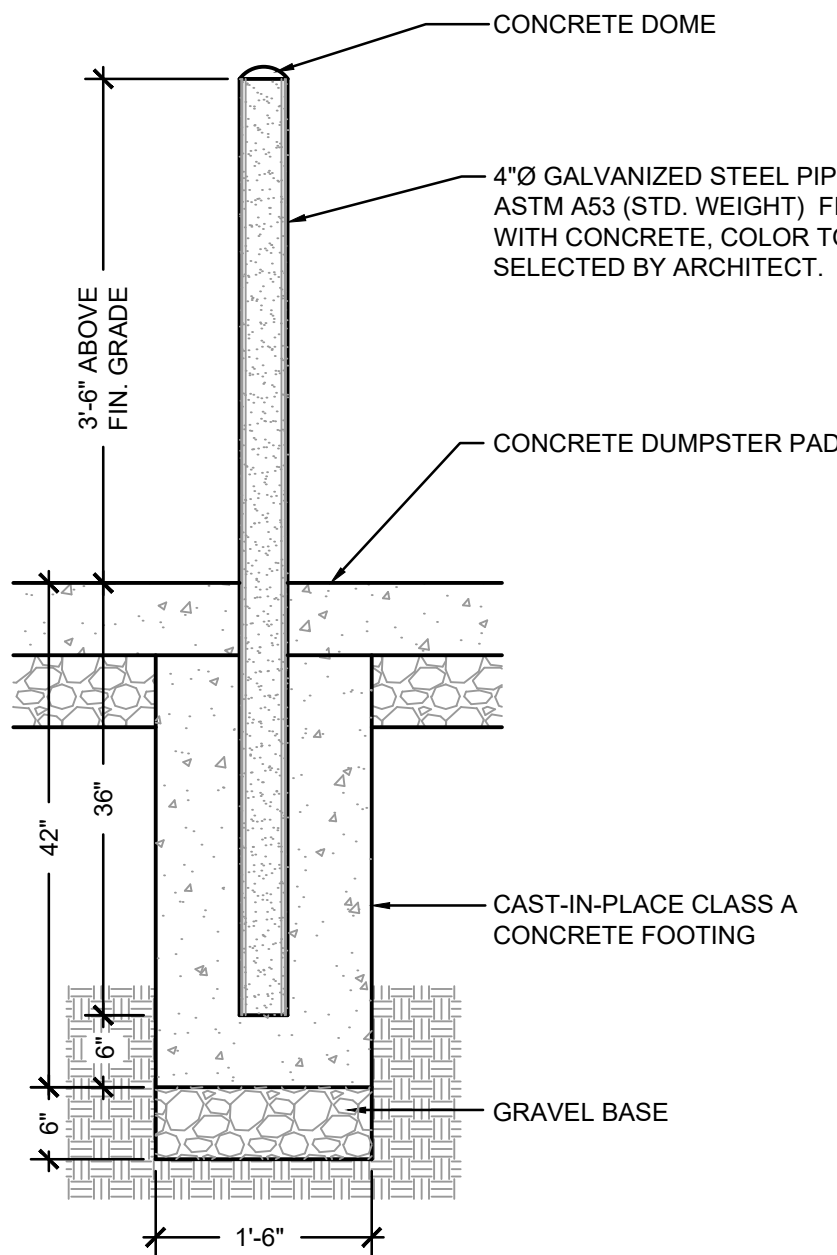
CONCRETE WALK

SCALE: NONE



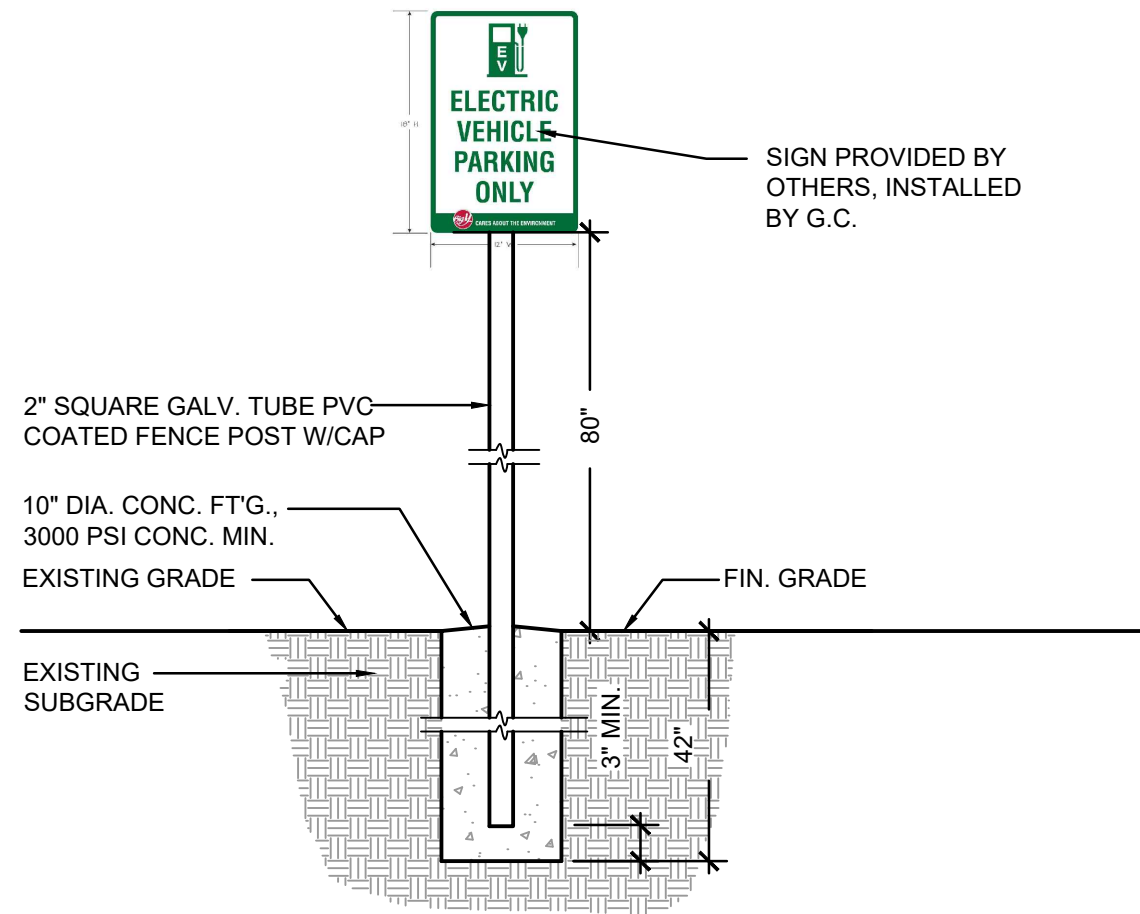
HANDICAP PARKING STALL LAYOUT

SCALE: NONE



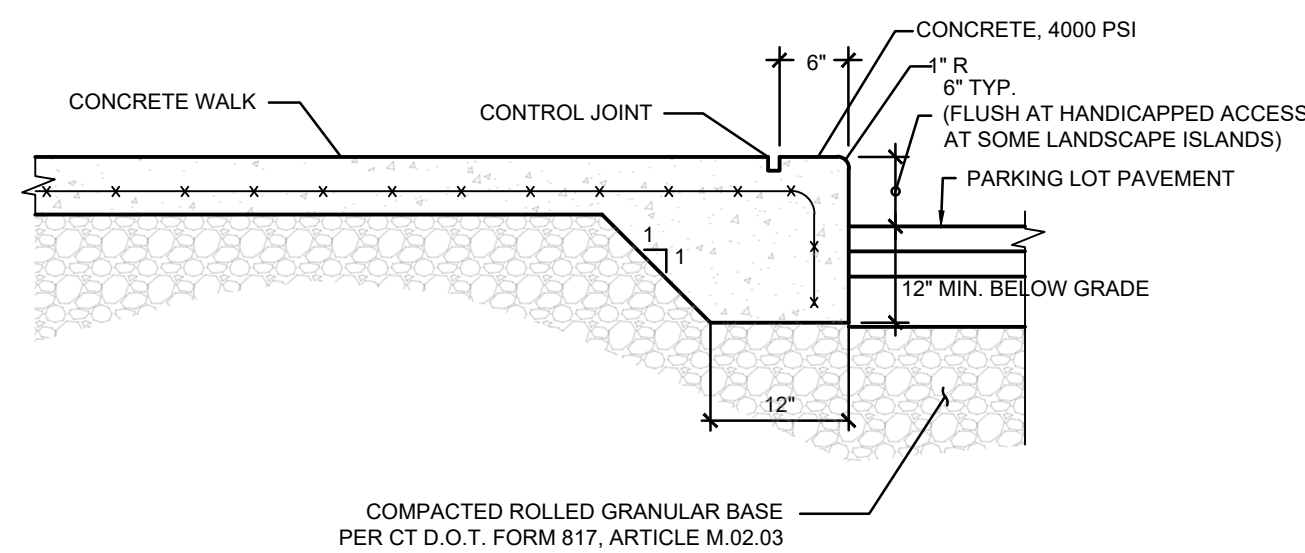
4" STEEL BOLLARD

SCALE: NONE



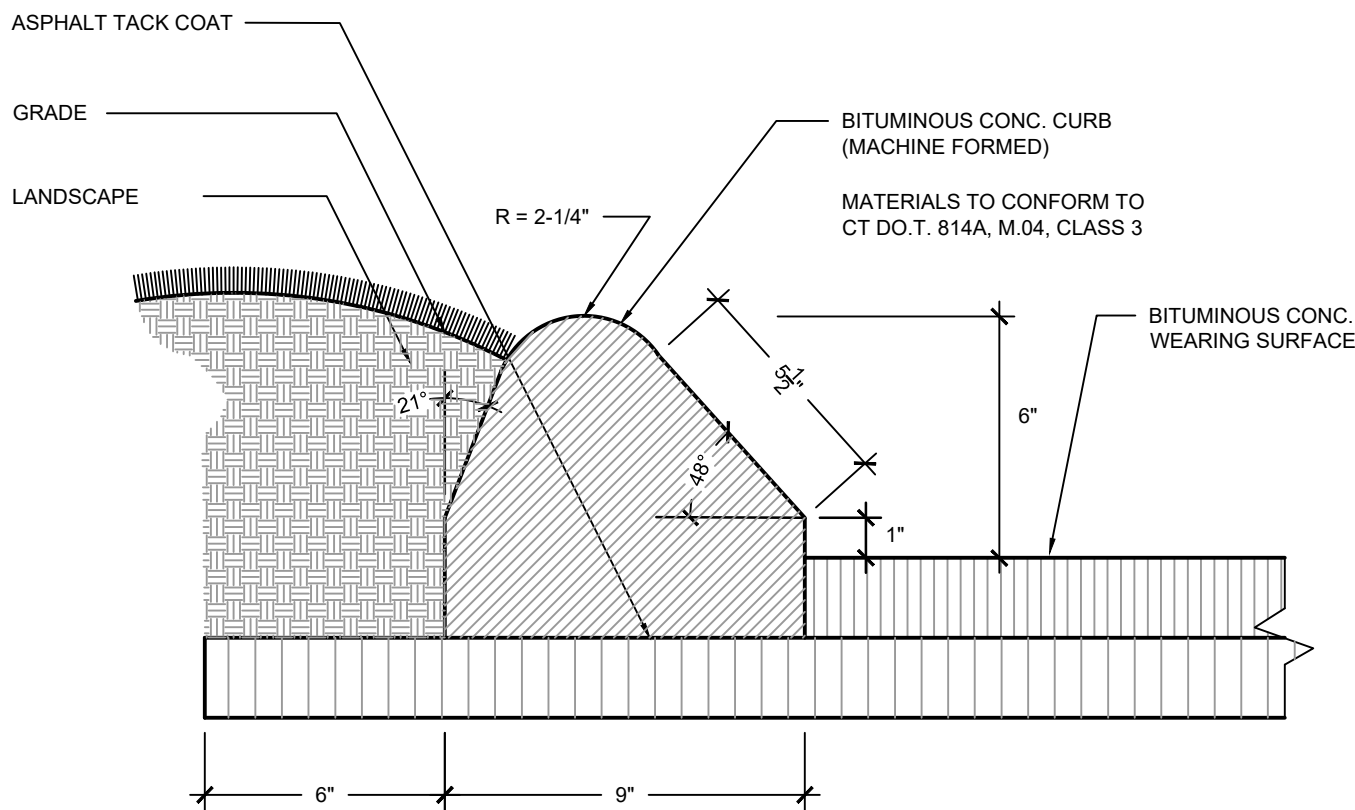
ELECTRIC VEHICLE CHARGING STATION

SCALE: NONE



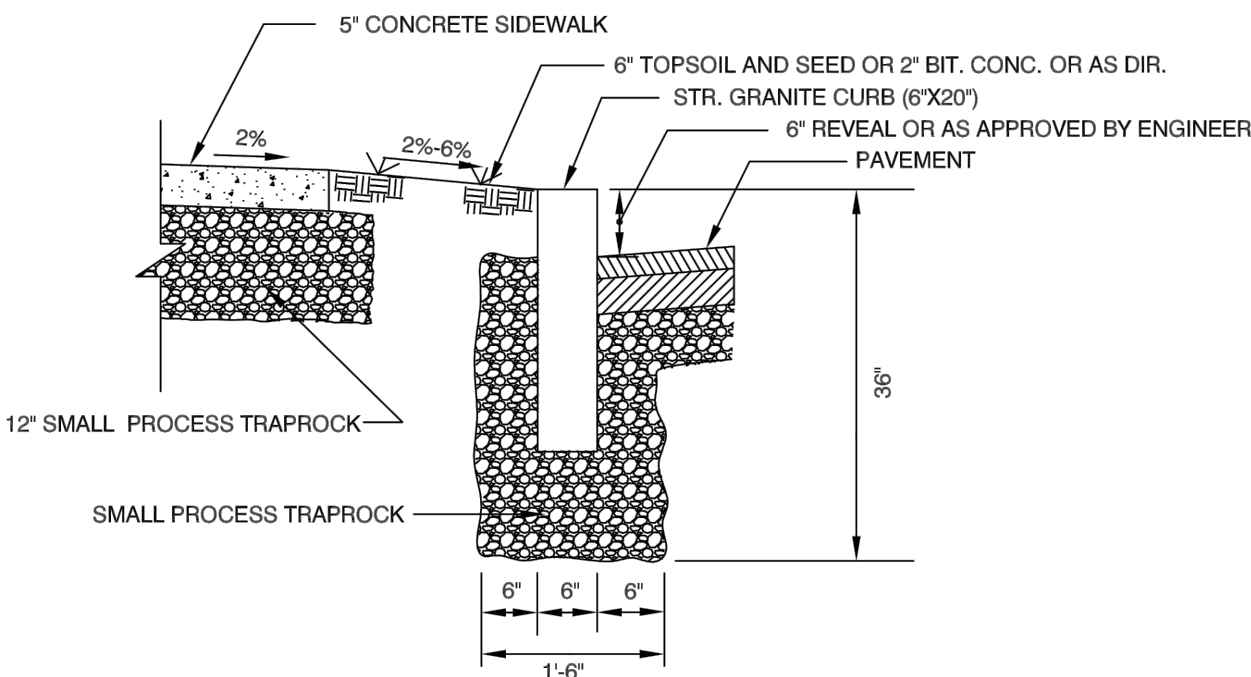
INTEGRAL CONCRETE CURB AT WALK

SCALE: NONE



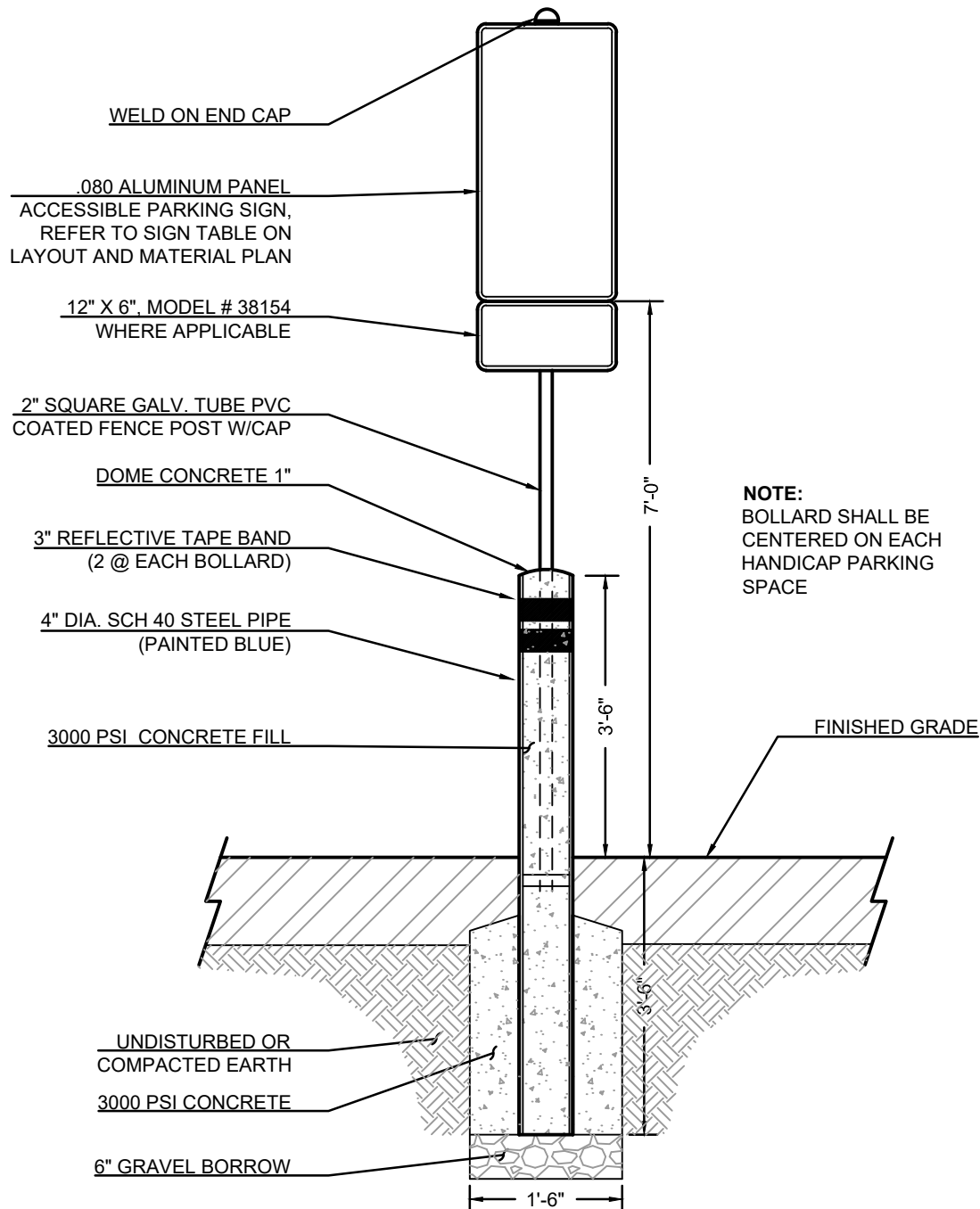
BITUMINOUS CONCRETE LIP CURB AT LANDSCAPE

SCALE: NONE



STRAIGHT GRANITE CURB SECTION

SCALE: NONE (PER CITY OF HARTFORD STANDARD DETAILS)



BOLLARD MOUNTED SIGNAGE POST

SCALE: NONE

Engineer:

**benesch**

Alfred Benesch & Company  
120 Hebron Avenue  
Glastonbury, Connecticut 06033  
860-633-8341

Applicant:

**Sam's FOOD STORES**

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2138 Silas Deane Highway  
Rocky Hill, CT 06067

Director of Construction: Nadeem Khalid

**SAM'S FOOD STORES**  
850 MAPLE AVENUE  
HARTFORD, CONNECTICUT

DATE:	REVISION:

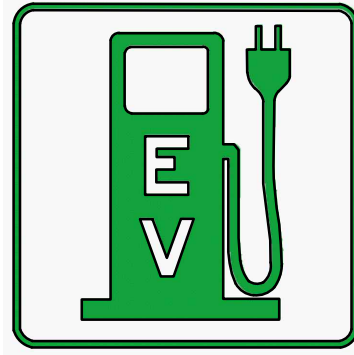
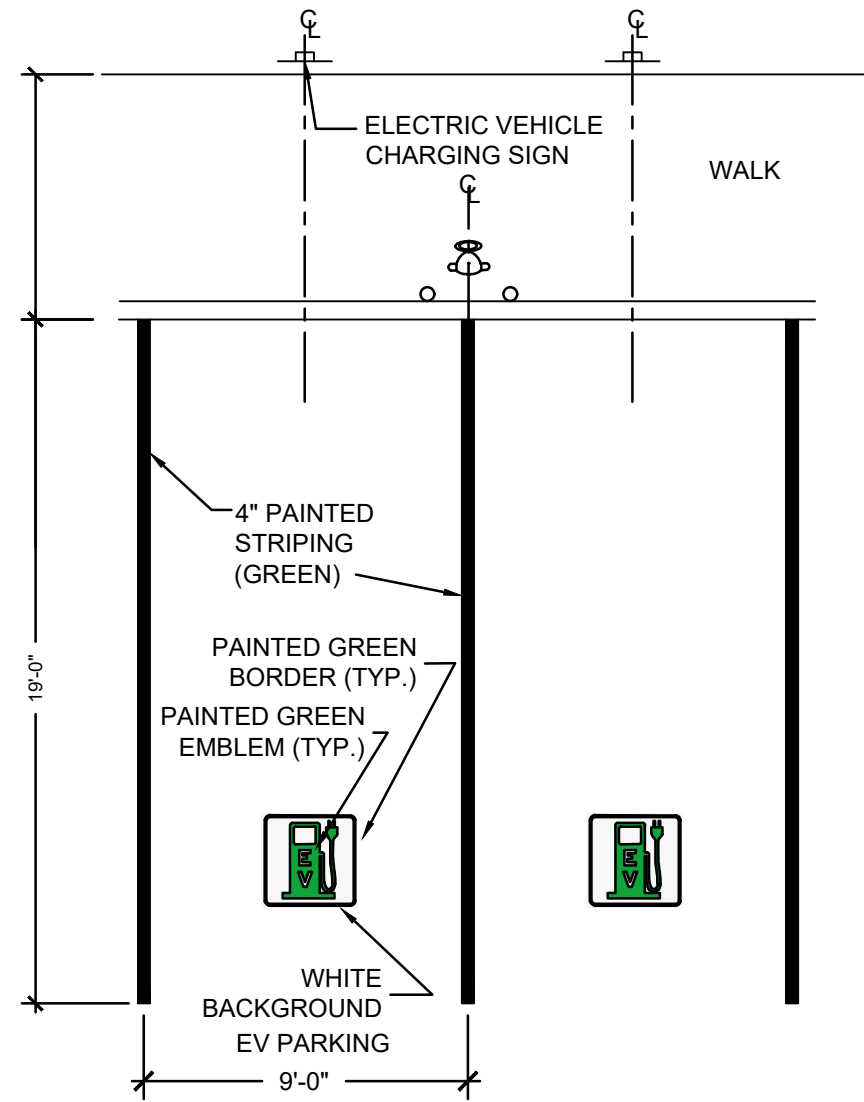


PROJECT NO.: 70674.00  
SCALE: AS SHOWN  
DATE: 01.12.2021

DRAWN BY: JCO  
CHECKED BY: WGW

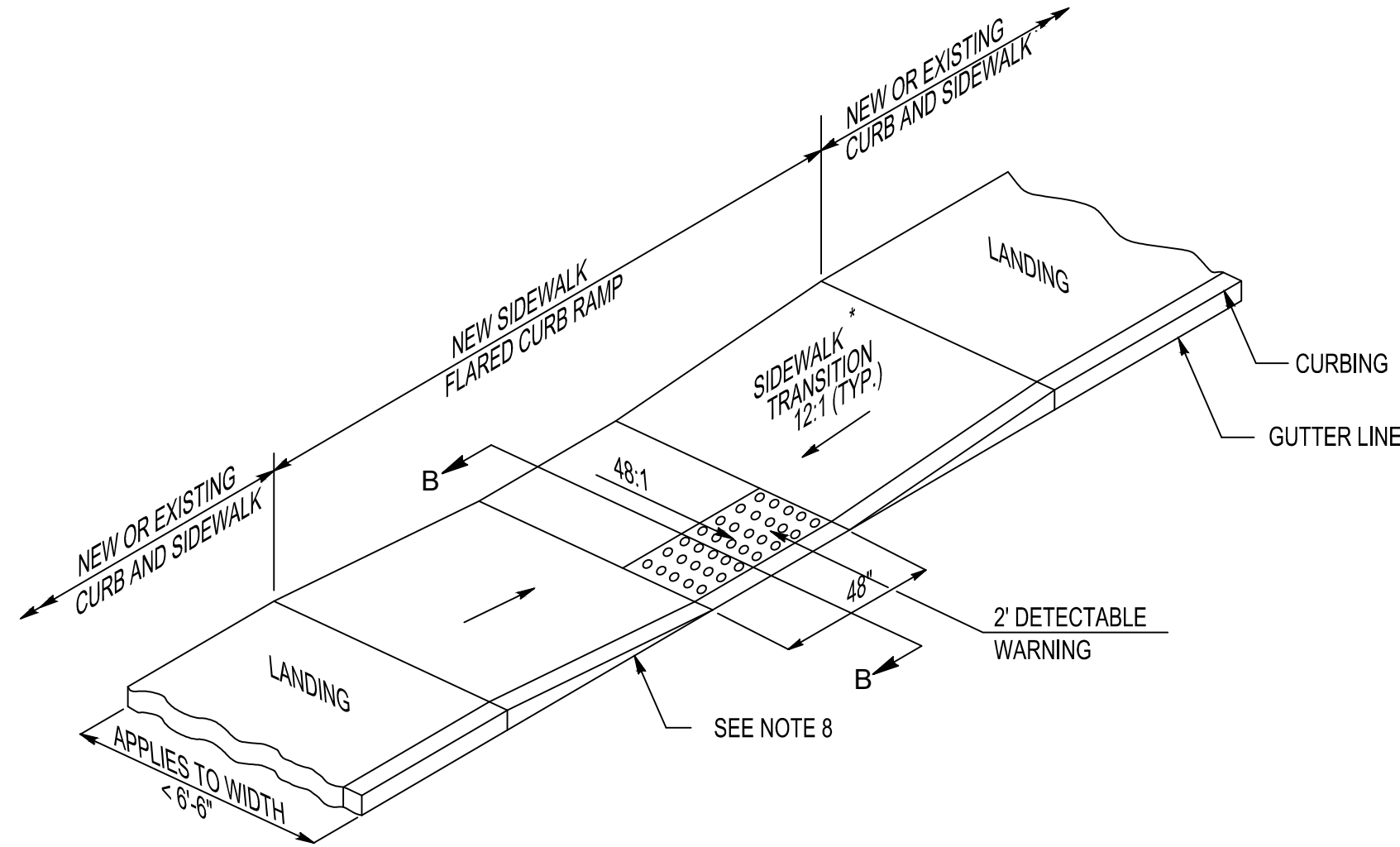
**SITE  
DETAILS**

DRAWING NO.:  
**C-2.0**

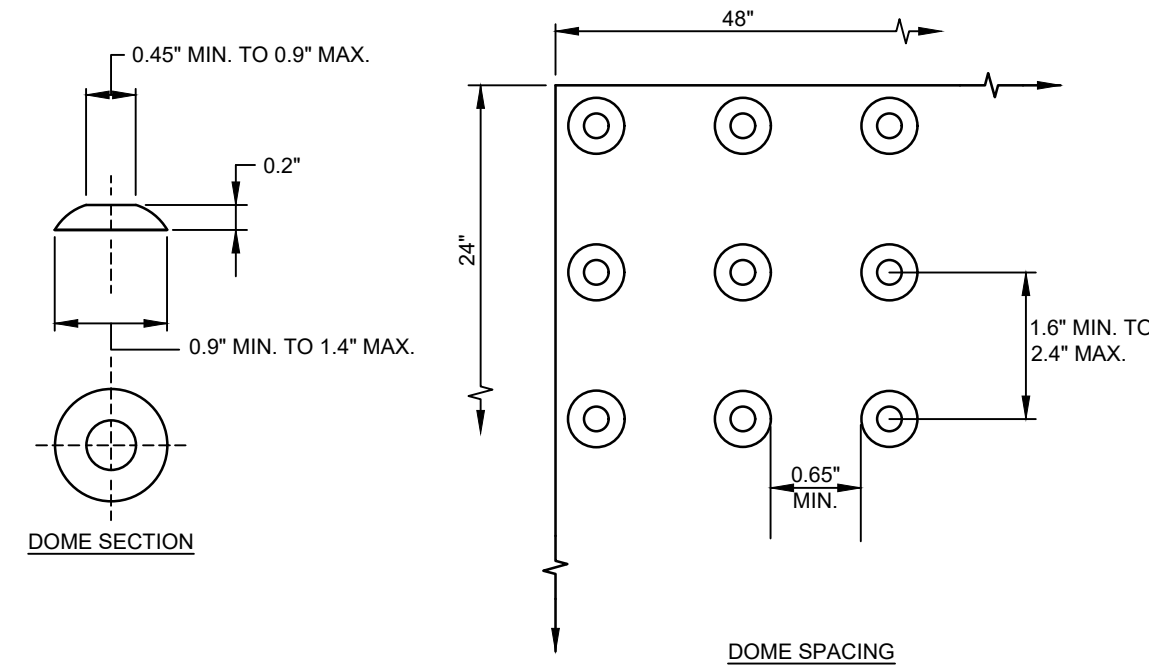


NOTE: FOR LINE STRIPING AND EV LOGO PAINTING AT CHARGERS CONTACT JONATHAN WILK 413-467-7750 AUTOLINESMARKINGS@YAHOO.COM

ELECTRIC VEHICLE STATION PARKING  
SCALE: NONE

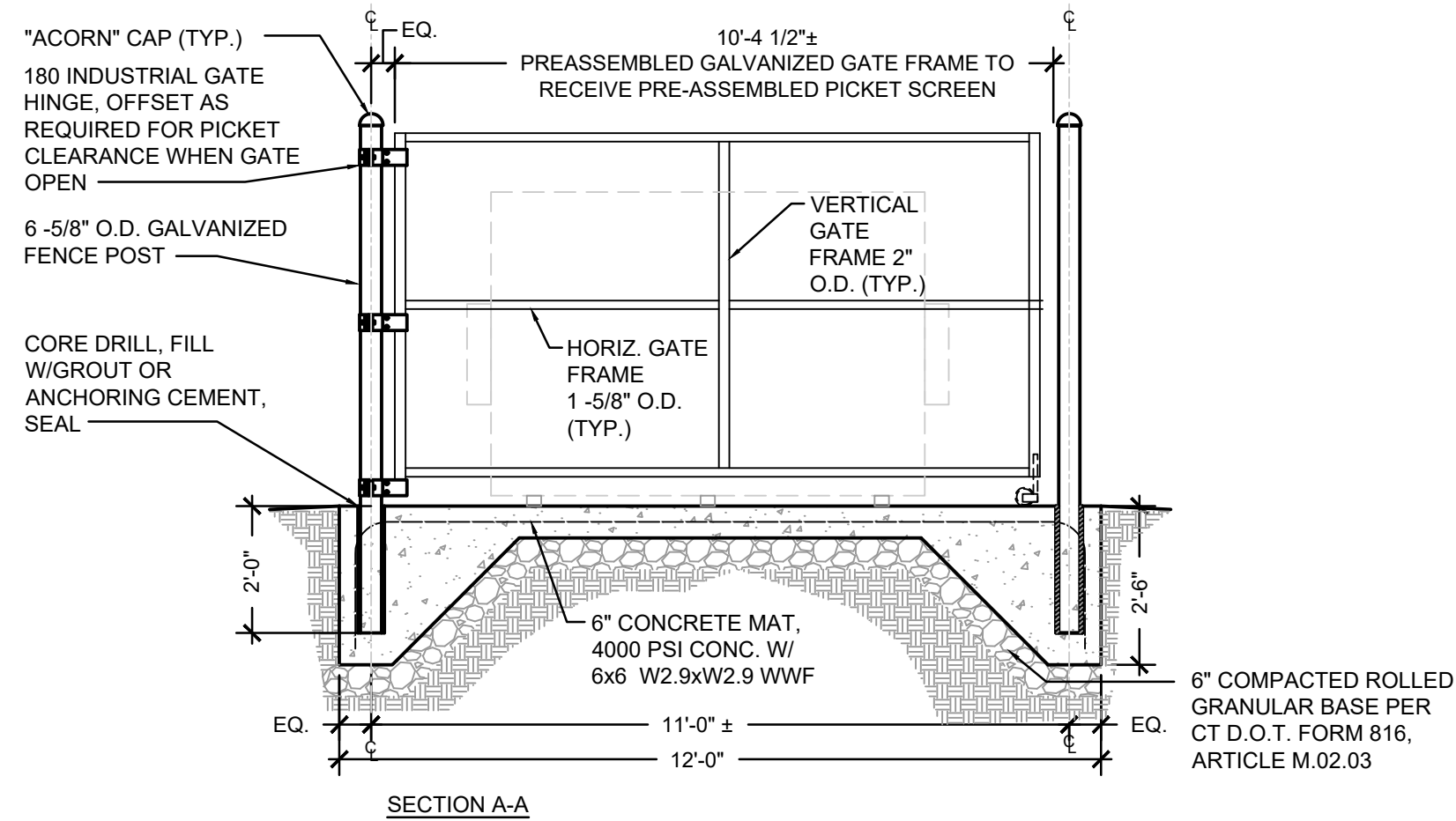


PARALLEL SIDEWALK RAMP (CONNDOT TYPE 1)  
SCALE: NONE

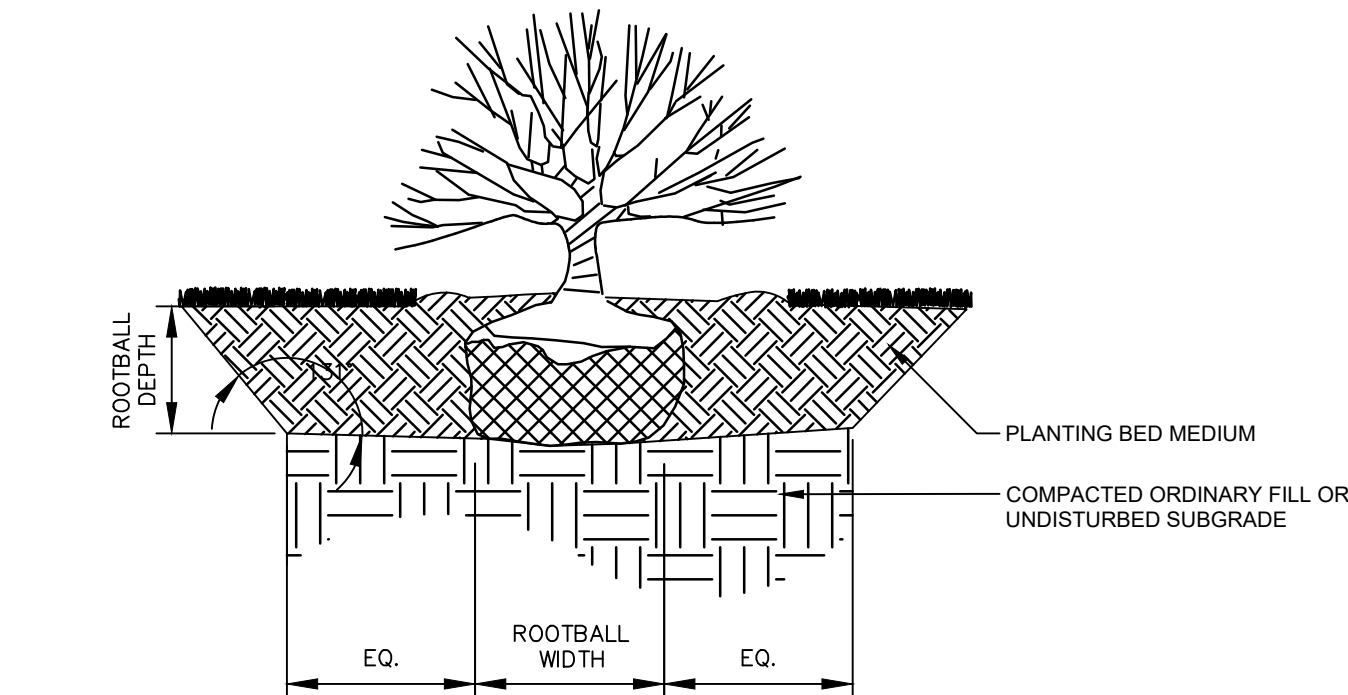
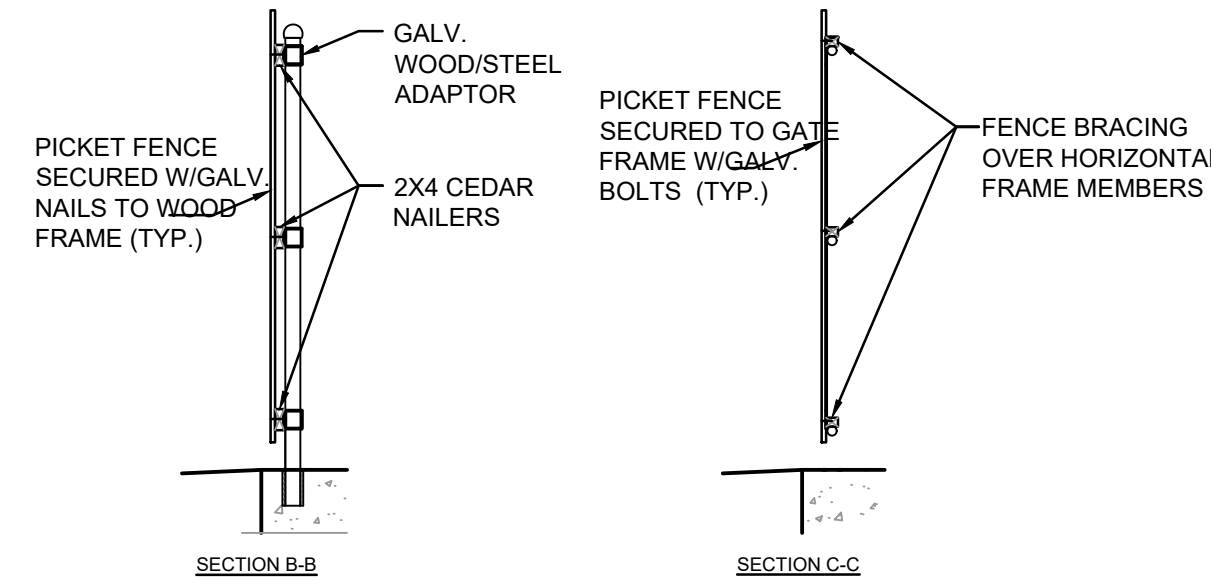
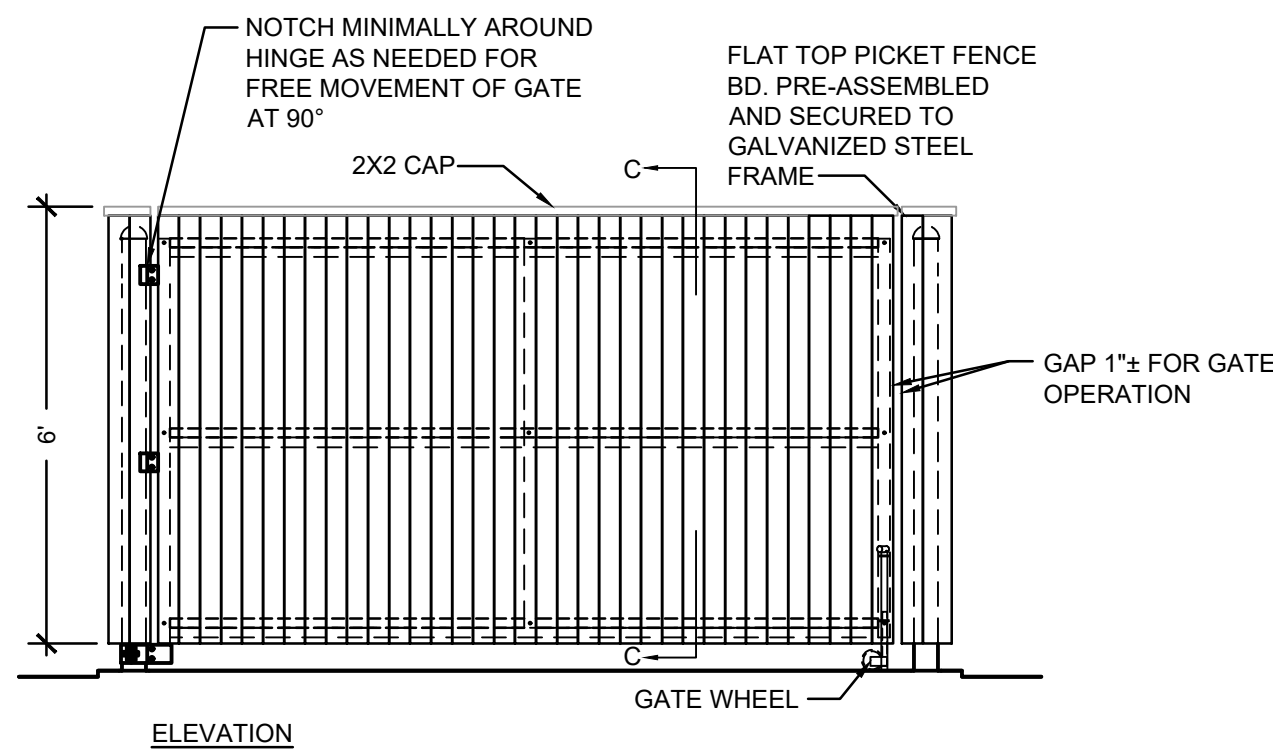
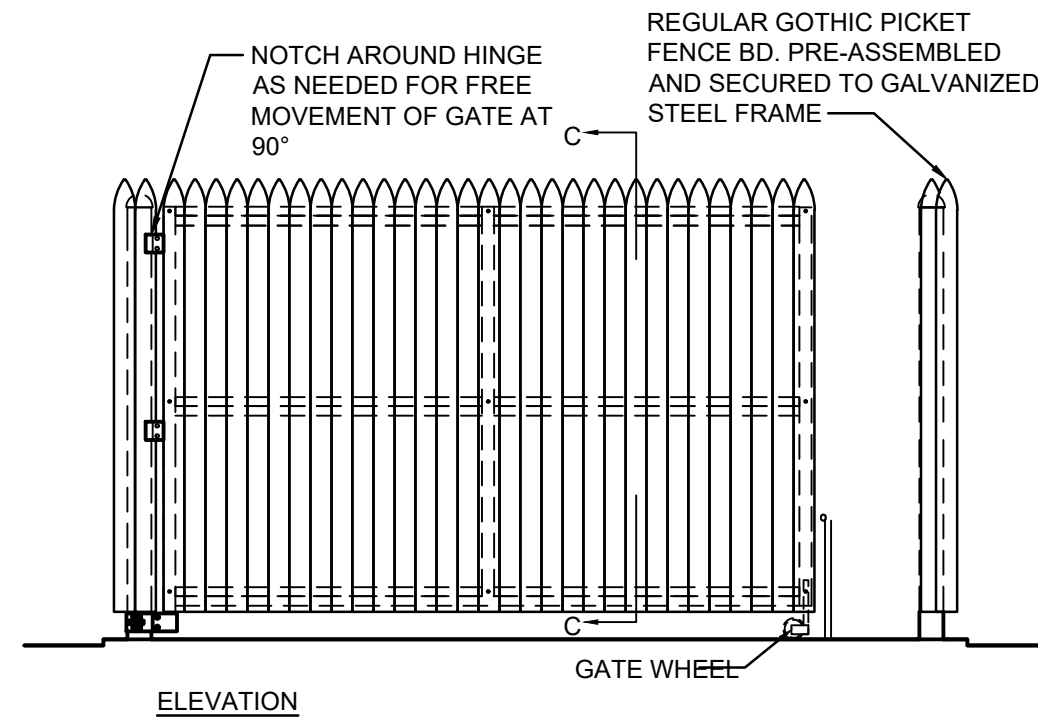


DETECTABLE WARNING  
SCALE: NONE  
HC-108-CT

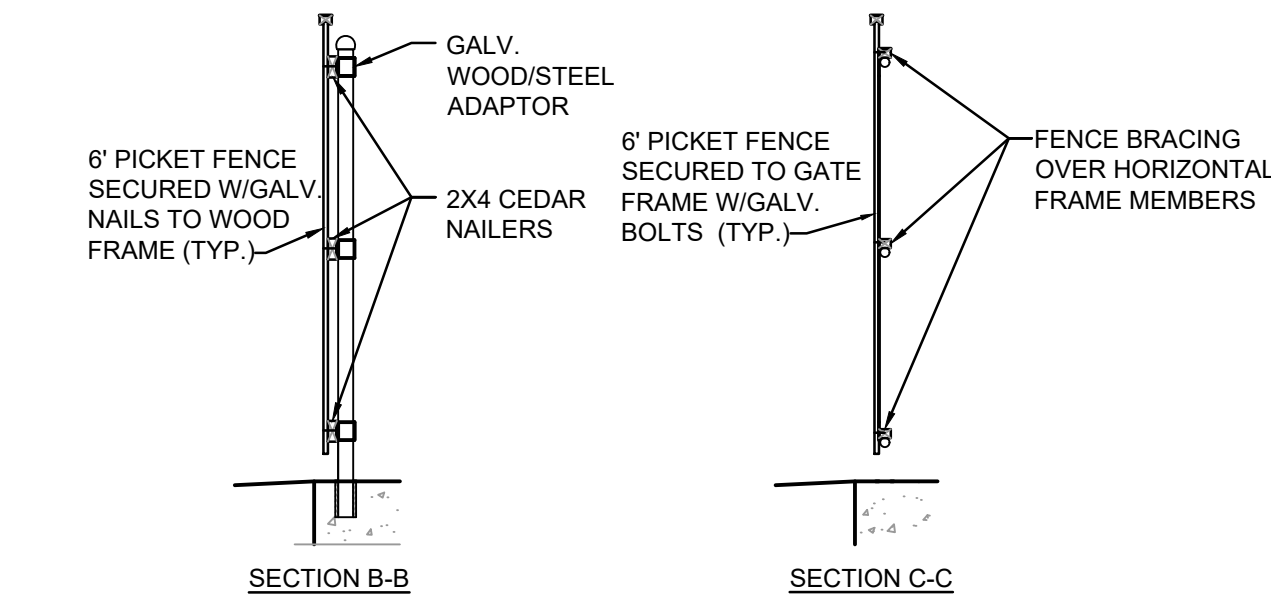
- NOTES:
1. LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE.
  2. EXCAVATE TO REQUIRED DEPTH AND DO NOT EXCAVATE BELOW ROOT BALL DEPTH.
  3. SET SHRUBS PLUMB WITH ROOT FLARE 1" ABOVE FINISHED GRADE, BACKFILL WITH PLANTING MIX.
  4. FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.
  5. RAISE AND REPLANT ANY SHRUBS THAT SETTLE AFTER PLANTING & WATERING.
  6. REMOVE 1/3 BURLAP PRIOR TO BACKFILL. SYNTHETIC BURLAP UNACCEPTABLE.
  7. 2" DEPTH MULCH (KEEP MULCH 1" AWAY FROM SHRUB BASE) 3" HIGH EARTH WATERING SAUCER 1'-0" BEYOND ROOT BALL PLANTING MIXTURE.
  8. FOR CONTAINERIZED PLANTS: REMOVE CONTAINER PRIOR TO PLANTING, SCARIFY ROOT BALL BELOW EDGE 1/2" DEEP IN FOUR LOCATIONS.



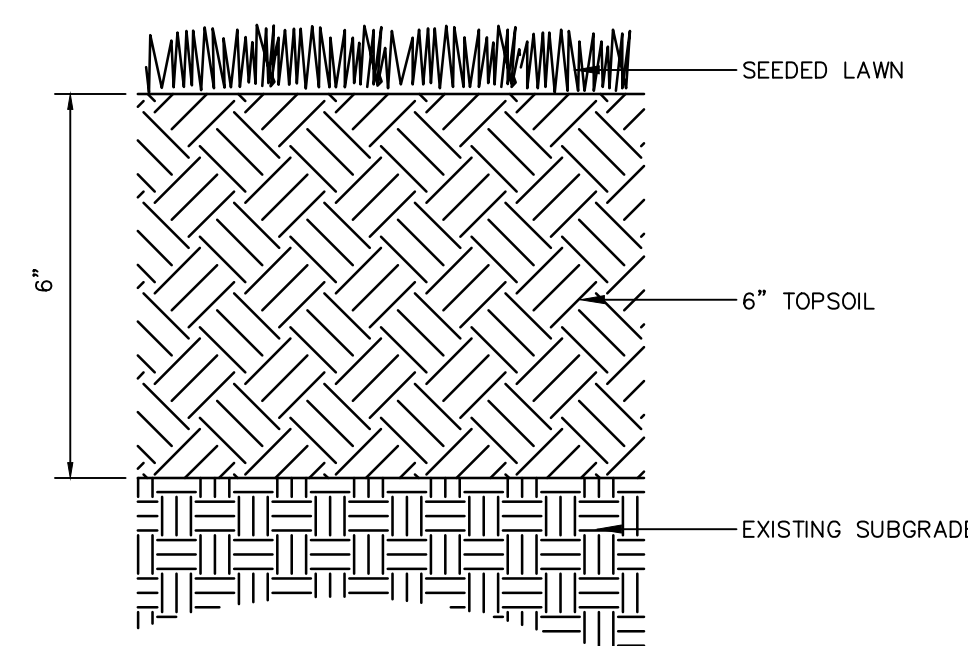
DUMPSTER ENCLOSURE  
SCALE: NONE



SHRUB PLANTING TYP.  
SCALE: NONE



LAWN  
SCALE: NONE



Engineer:  
**benesch**  
Alfred Benesch & Company  
120 Hebron Avenue  
Glastonbury, Connecticut 06033  
860-633-8341

Applicant:  
**Sam's FOOD STORES**  
2138 Silas Deane Highway  
Rocky Hill, CT 06067  
Director of Construction: Nadeem Khalid

**SAM'S FOOD STORES**  
850 MAPLE AVENUE  
HARTFORD, CONNECTICUT

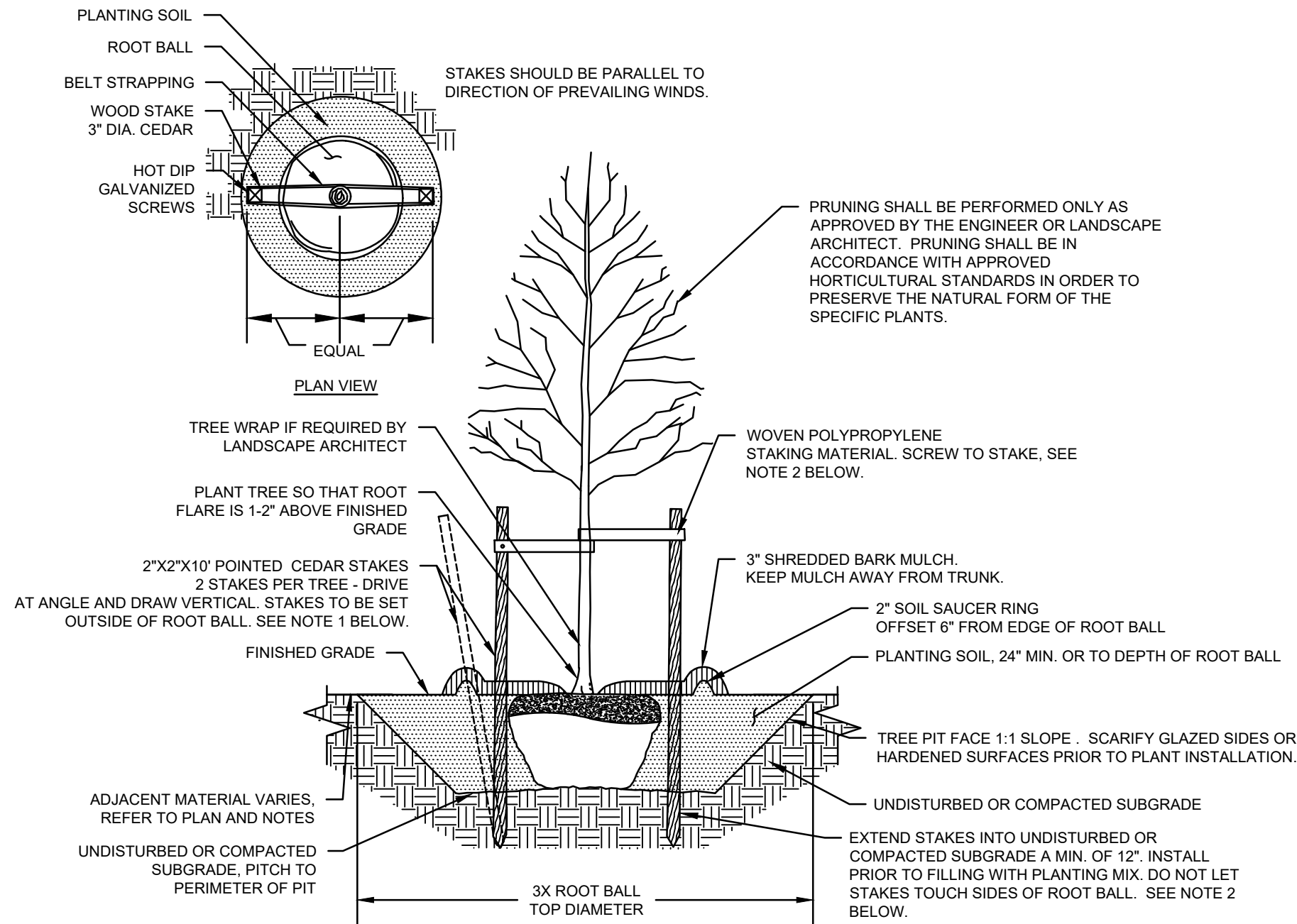
DATE:	REVISION:



PROJECT NO.: 70674.00  
SCALE: AS SHOWN  
DATE: 01.12.2021  
DRAWN BY: JCO  
CHECKED BY: WGW

**SITE  
DETAILS**

DRAWING NO.:  
**C-2.1**



- NOTES:
1. STAKING FOR TREES ON SLOPES SHALLOWER THAN 4:1 AND LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTORS DISCRETION.
  2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ARBORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
  3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL. SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

DECIDUOUS TREE PLANTING

SCALE: NONE

Engineer:

**benesch**

Alfred Benesch & Company  
120 Hebron Avenue  
Glastonbury, Connecticut 06033  
860-633-8341

Applicant:

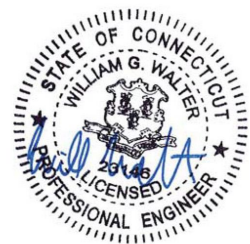
  


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Director of Construction: Nadeem Khalid

**SAM'S FOOD STORES**  
**850 MAPLE AVENUE**  
**HARTFORD, CONNECTICUT**

DATE:	REVISION:

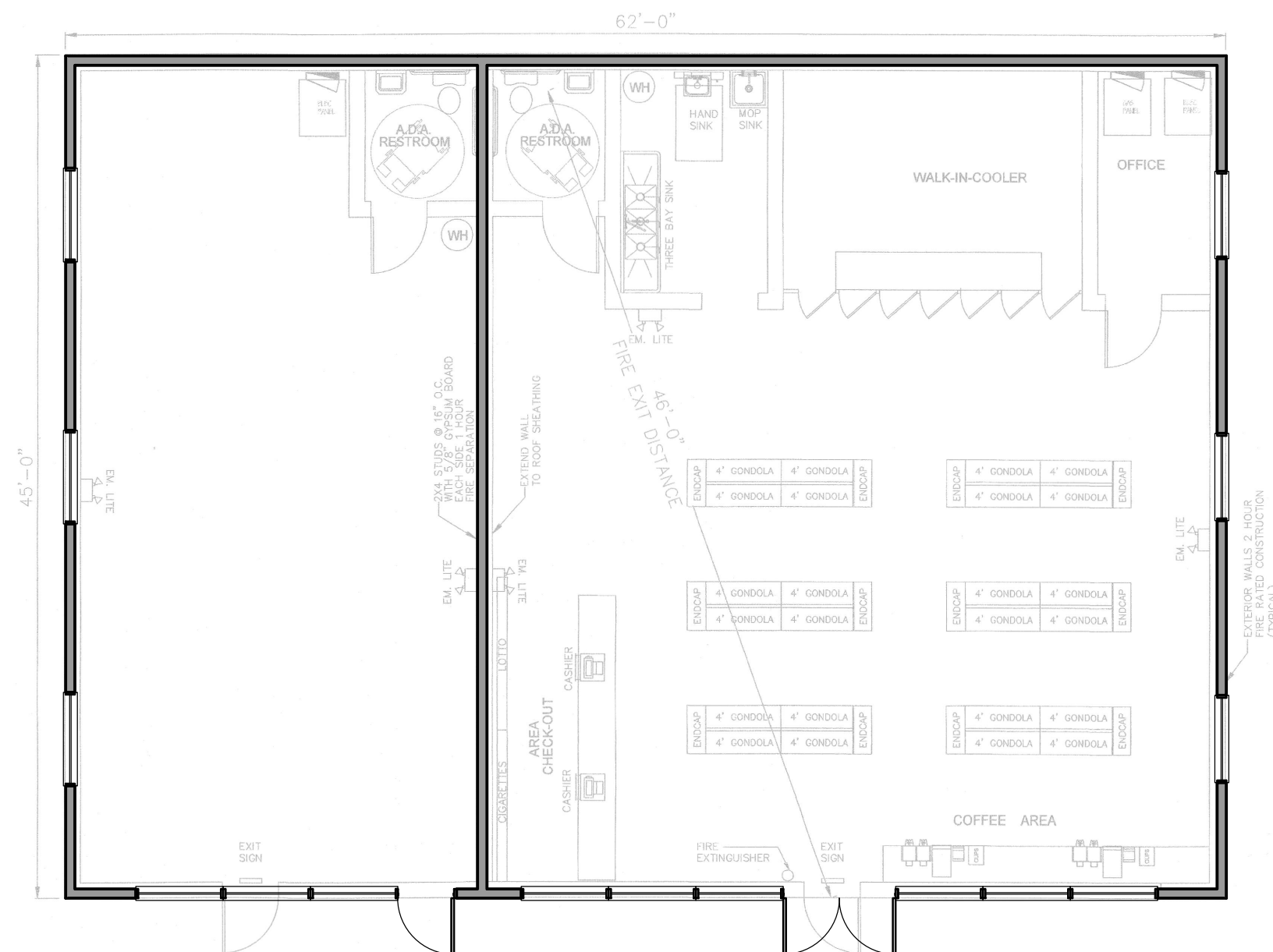


PROJECT NO.: 70674.00  
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DATE: 01.12.2021

DRAWN BY: JCO  
CHECKED BY: WGW

**SITE  
DETAILS**

DRAWING NO.:  
**C-2.2**



1 FLOOR PLAN  
SCALE: 1/8"=1'-0"

Rectangular area = 312 SF

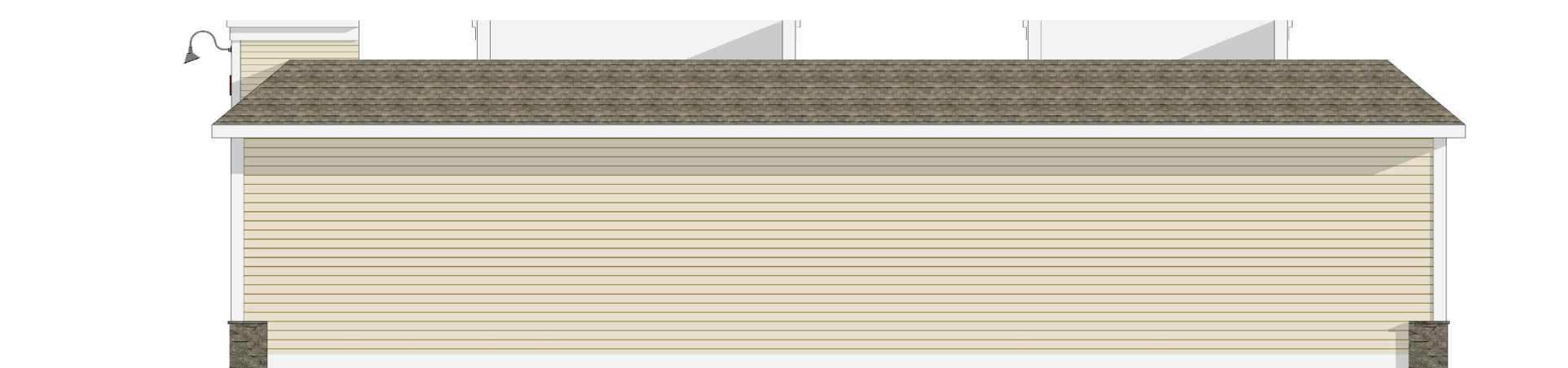


6 TRANSPARENCY CALCULATION  
SCALE: 1/8"=1'-0"

Total transparency area = 282 SF  
Transparency Calculation:  
282 SF / 312 SF = 75.8%  
Meets MIN 75% requirement



5 FRONT ELEVATION (MAPLE AVE)  
SCALE: 1/8"=1'-0"



4 BACK ELEVATION (EAST)  
SCALE: 1/8"=1'-0"



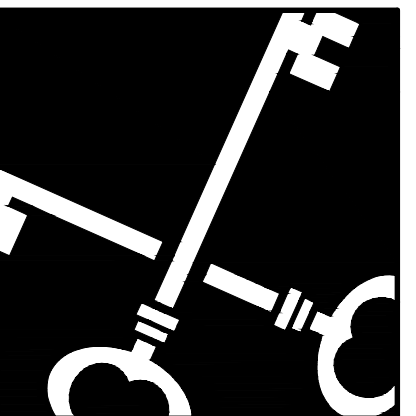
3 PERSPECTIVE  
SCALE: NTS



2 SIDE ELEVATION (DOUGLAS ST)  
SCALE: 1/8"=1'-0"

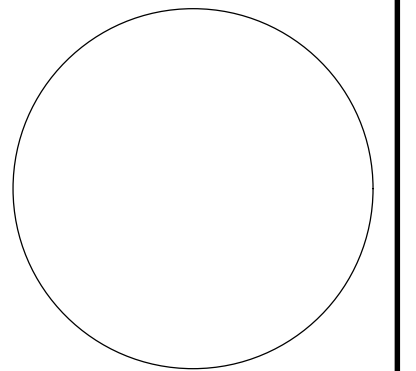


1 SIDE ELEVATION (NORTH)  
SCALE: 1/8"=1'-0"



Crosskey  
Architects  
LLC

Architecture Preservation Interiors  
750 Main Street, Hartford, CT 06103  
T: (860)724-3000 F: (860)724-3013



850 Maple Ave  
Hartford, CT  
CCO, LLC | Sam's Food Stores  
2138 Silas Deane Hwy, Rocky Hill, CT

Drawn:	SM
Date:	JAN 12, 2021
Revisions	

Architectural  
Plan, Elevations  
& Perspective

A-1

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