

DDS- Planning & Zoning: Plan Review Application



Submission date: **8 February 2022, 1:02PM**
Receipt number: **611**
Related form version: **2**

Application Type

Check all that apply: **Site Plan Review**
Variance

Property Information

Property Address: **145 New Britain Avenue No coordinates found**
Zoning District: **MS-3**
Parcel ID: **207644021**
Property Owner: **K Brothers LLC**
Address of Property Owner: **2138 Silas Deane Highway, Rocky Hill, CT, 06067**
Email: **NadeemK@SamsFoodStores.com**

Applicant

Name of Applicant: **John Oliveto**
File Date: **02/08/2022**
Address: **120 Hebron Avenue, 2nd Floor, Glastonbury CT 06033**
No coordinates found
Phone: **860-494-4109**

Email:

joliveto@benesch.com

Primary Point of Contact

Name:	John Oliveto
Phone:	860-494-4109
Email	joliveto@benesch.com

Project Narrative

Please describe your application action(s) and provide as much detail as possible. Attach additional pages if necessary:

See attached narrative and project plans

Zoning Map Change Application

Proposed Zone:

Describe the existing use of land and buildings in the zone change area:

Reason for this request:

Zoning Appeal Application

Are you an aggrieved party?

Permit or Violation Number:

State your reason for appealing the decision of the administrator or enforcement officer:

Variance Application

Please state the particular hardship* or unnecessary difficulty that prompts this application and the site the section of the zoning regulations that you are seeking relief from:

Sections 4.17.2A & 6.7.3

Subdivision Application

Number of lots to be created:

Area of each lot in square feet:

Street frontage of each of the new lots in feet:

Lot Combination Application

Addresses of lots to be combined

Map/Block/Lot for each property to be combined:

Liquor Permit Application

Please upload a copy of your State of CT Liquor Permit below.

Sign Permit Application

1. Is this sign proposed outside of the building line?

Maximum extension from building line:

2. Is this sign proposed outside of the street line?

Maximum extension from the Street line

3. Is the sign luminated?

4. Engineer Name (if any):

Phone:

Address:

5. Minimum distance from lowest point to the sidewalk:

6. Maximum height of sign from lowest point of established grade:

7. Distance from the nearest outdoor sign:

8. Square feet of surface for one face of the sign:

9. Wording of the sign (include all words):

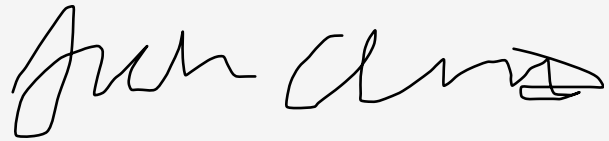
Description of work (upload additional files if necessary)

Upload any supporting materials below.

[70701.01_Variance Application Supporting Narrative_145 New Britain Ave.pdf](#)
[145 New Britain Ave_Site Plan Approval - Signed.pdf](#)

Signatures

Signature of Applicant



[Link to signature](#)

Printed Name of Applicant:

John Oliveto

Date:

02/08/2022

If you are not the property owner, you must attach a Letter of Authorization from the property owner to apply.

Letter of Authorization from Property Owner

[Letter of Authorization - Sam's Food to Benesch.pdf](#)

Date:

02/08/2022

February 4, 2022

To Whom it May Concern,

I, Nadeem Khalid, Director of Construction for Sam's Food Stores (K Brothers LLC), give authorization to Alfred Benesch & Company to apply on my behalf for the site modifications at 145 New Britain Avenue, Hartford, Connecticut and 675 Wethersfield Avenue, Hartford, Connecticut.

Respectfully Submitted,



Nadeem Khalid
Director of Construction
Sam's Food Stores



Alfred Benesch & Company
120 Hebron Avenue, 2nd Floor
Glastonbury, CT 06033
www.benesch.com
P 860-633-8341
F 860-633-1068

February 8, 2022

Zoning Board of Appeals (ZBA)
City of Hartford (City)
250 Constitution Plaza, 4th Floor
Hartford, CT 061093

RE: Application for Variance at 145 New Britain Avenue

Dear Board Members:

Alfred Benesch and Company (Benesch) has prepared this letter and its supporting documentation on behalf of the owner K Brothers LLC (Sam's Food Stores). These documents are prepared in support of the Applicant's application for two (2) variances to their proposed site plan and re-development of 145 New Britain Avenue.

Background: The existing property contains an active Ravi gas station which consists of a small building (*Sam's Food Stores*), underground fuel tanks, and two (2) fuel dispensers under a small canopy. The property is zoned Main Street 3 (MS-3). This application is for the re-development of the subject site consisting of a new and larger canopy over three (3) new fuel dispensers in the same general location as the existing canopy. A portion of the site is to remain as is including the existing convenience store building and underground fuel tanks. The redevelopment also includes various site upgrades including new pavement (in disturbed areas only), concrete sidewalk, an electric vehicle charging station, and landscape enhancements.

Non-compliance: The regulations were carefully evaluated, in coordination with the City Planning Department, to design the site to be as compliant with the regulations as possible. As you know, the regulations are form-based so the zoning criteria are based on proposed building type, rather than strictly on the location of the lot. To that end, the following briefly summarizes the way the regulations are being applied for the site:

- 145 New Britain Avenue: Apply MS-3 zoning criteria for a Storefront Building Type (Section 4.5).

The application of this zone for the site achieves near compliance with the zoning regulations. However, hardships exist that make achieving all aspect of the regulations impossible. The applicant seeks relief from the following two (2) regulations:

- 4.17.2A: Fuel Pumps & Canopies
 - This regulation stipulates that any fuel pumps and/or canopies shall be located in the rear or interior side yard per 4.20.4.F.
 - General Hardship: the location of the existing store building does not provide a rear or interior side yard adequate in size for the new canopy and fuel dispenser. The new canopy and dispensers will be located in the same general location as the existing canopy.
- 6.7.3: Street Trees
 - This regulation stipulates that one street tree shall be planted for every 40' of street frontage with a minimum of one street tree per frontage. Street trees shall be located between 2-10' from the street, measured perpendicular to the curb.

- General Hardship: the existing site contains very minimal green space or plantings and the site is very limited in space for tree plantings. The proposed site improves the site by decreasing impervious cover with the addition of small grassed islands along the property line. These islands will be planted with four (4) Turkish filbert deciduous trees and 41 inkberries (smaller shrubs) as they are still not large enough to support the required number of trees.

Respectfully Submitted,
Alfred Benesch & Company

John Oliveto, P.E.
Project Engineer

SAM'S FOOD STORES

CONVENIENCE STORE
145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT 06114

ISSUED FOR SITE PLAN APPROVAL

FEBRUARY 08, 2022

OWNER

Prepared For:



2138 Silas Deane Highway
Rocky Hill, CT 06067

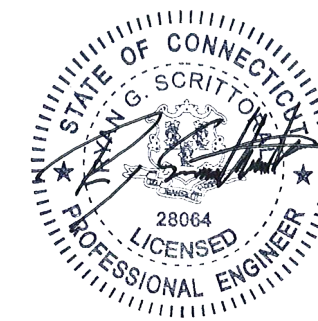
Director of Construction: Nadeem Khalid

CONSULTANTS

Prepared By:



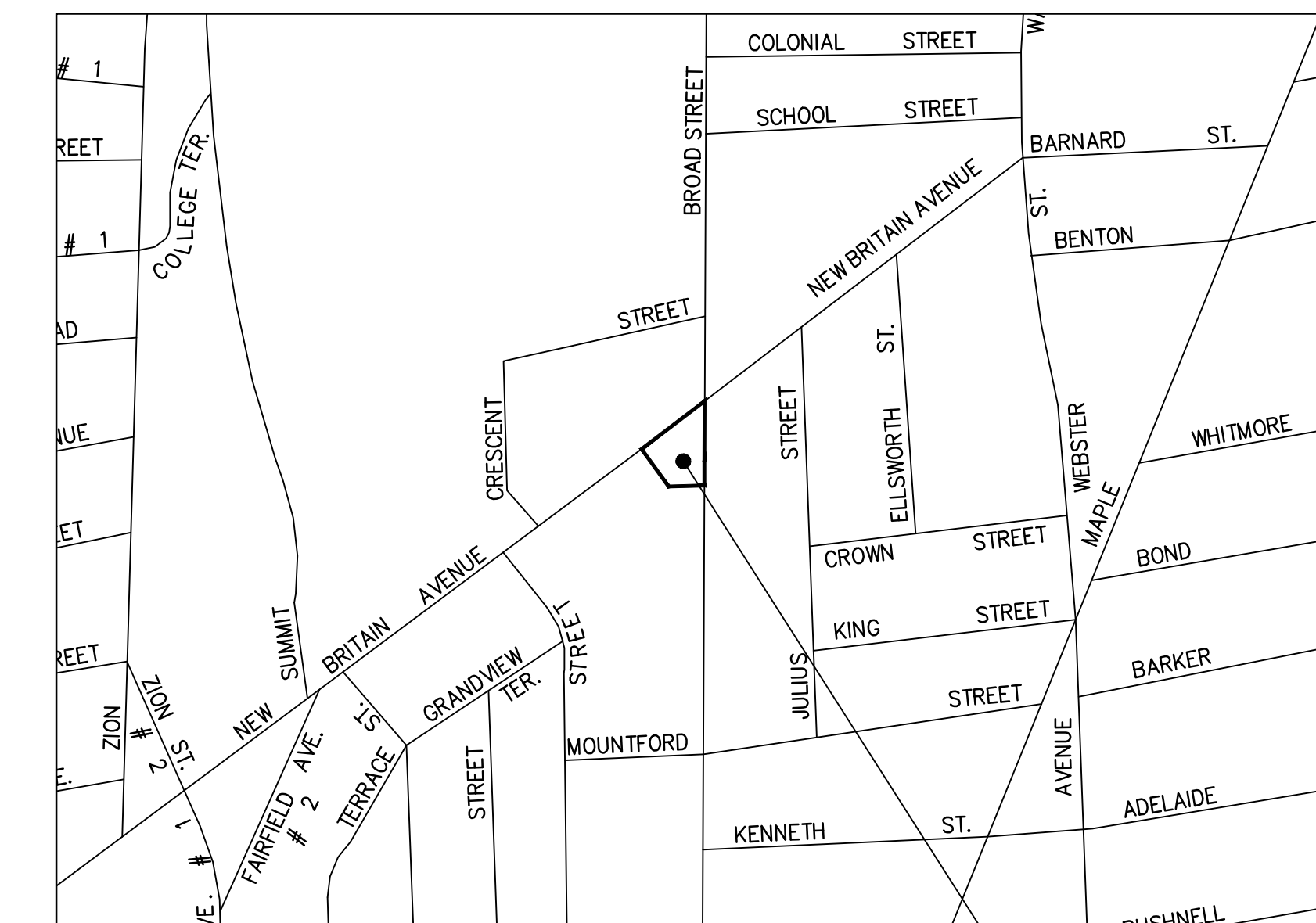
120 Hebron Avenue, Second Floor
Glastonbury, CT 06033
P 860-633-8341
F 860-633-1068
www.Benesch.com



LIST OF DRAWINGS

CS	COVER SHEET
	BOUNDARY SURVEY SHOWING EXISTING CONDITION, PROPERTY OF K BROTHERS LLC
C-0.0	SITE PREPARATION PLAN
C-1.0	SITE PLAN
C-2.0	SITE DETAILS
C-2.1	SITE DETAILS
C-3.0	PHOTOMETRIC PLAN
UT-1.0	PIPING PLAN

LOCATION MAP



APPROX. SCALE: 1" = 500'

PROJECT SITE

MAP REFERENCES:

- 1) "COMPILATION PLAN PROPOSED CONSOLIDATED PARCEL CAMPUS AND COMMUNITY SPORTS COMPLEX TRINITY COLLEGE BROAD STREET AND NEW BRITAIN AVENUE HARTFORD, CONNECTICUT SCALE: 1"=30' DATE SEPTEMBER 2005 MICHAEL WILMES L.S."
- 2) "PLAN OF LAND IN NEW BRITAIN AVE.-BROAD ST. HARTFORD, CONN. SURVEYED FOR MOBIL OIL CORPORATION SCALE: 1"=20' OCT. 1967 REV. 4-4-68 HAYDEN GRISWOLD."

REGULATIONS FOR MS-3 ZONE

ITEM	REQUIRED	EXISTING
MIN. FRONT LOT LINE COV.	85%	76.1%
FRONT BLD.-TO ZONE	WITHIN 15' OF B.L.	32.3'
COR. BLD.-TO ZONE	WITHIN 10' OF B.L.	32.3'
MIN. LOT WIDTH	40'	164'
MAX. BLDG. WIDTH	55'	57.4' *
MIN. BLDG. LN.-N.B. Ave	15'	47.3'
MIN. BLDG. LN.-Broad St.	15'	41.9'
MIN. SIDE YARD	0'	53.3'
MIN. REAR YARD	25'	20.9' *
MAX. BLDG. COVERAGE	50%	13.9%
MAX. IMPERV. COVERAGE	70%	85.8% *
ADD. SEMIPERV. COVERAGE	15%	0%
MAX. BLDG. HEIGHT	1.5 STY.	1 STY.
MIN. BLDG. HEIGHT	2.5 STY.	1 STY.

*Non-conforming but pre-existing condition.

Manhole
TF=115.07
INV=106.87

INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE ALL UTILITIES MARKED.

THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CANNOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS, WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

NOTES:

- 1) ELEVATIONS SHOWN ACCORDING TO NAVD88.

CERTIFICATION:

- 1) THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, AND THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE OCTOBER 26, 2018 PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. PURSUANT TO AND AS SET FORTH IN THESE STANDARDS. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A BOUNDARY SURVEY. PROPERTY LINES, AS THEY ARE DEPICTED HEREON, PRESENT PROFESSIONAL OPINIONS THAT PERTAIN TO A "DEPENDENT RESURVEY". THIS MAP PRESENTS THE RESULTS OF MEASUREMENTS WHICH WERE MADE UPON THE GROUND IN ACCORDANCE WITH THE ACCURACY STANDARDS OF A CLASS A-2 & T-2 SURVEY.
- 2) THIS MAP AND SURVEY WERE PREPARED FOR K BROTHERS LLC TO BE USED IN MATTERS THAT RELATE TO EXISTING CONDITIONS. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
- 3) NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

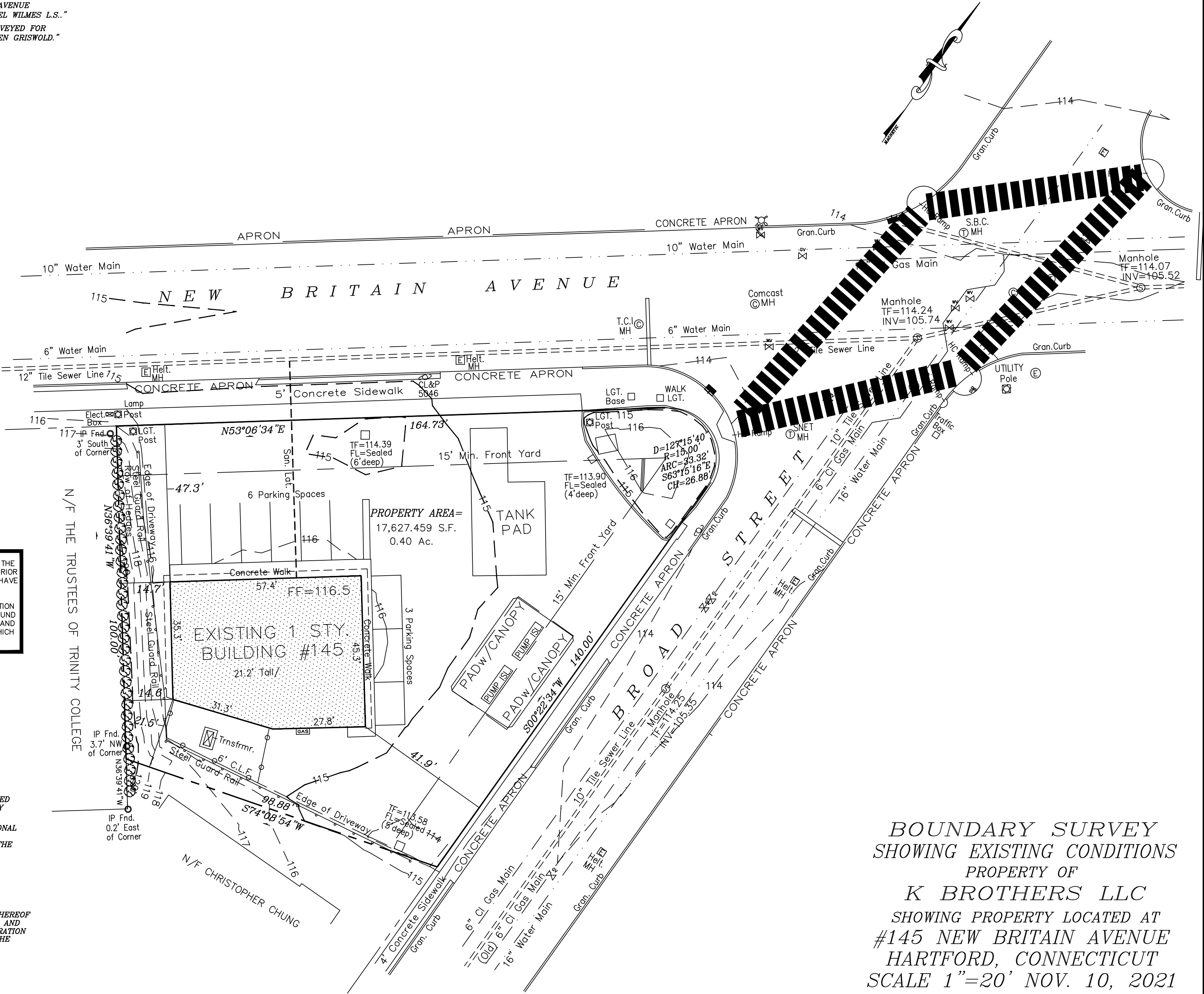
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Flynn
PETER D. FLYNN CT.L.L.S. #8792 DATE 11-10-21
KENNETH R. CYR CT.L.L.S. #70116

NOT VALID UNLESS ORIGINAL SIGNATURE, LIVE STAMP, & RAISED SEAL ARE AFFIXED.



FLYNN & CYR LAND SURVEYING LLC
1204 FARMINGTON AVE. PHONE 860-828-7886
BERLIN, CONNECTICUT 06037



**BOUNDARY SURVEY
SHOWING EXISTING CONDITIONS
PROPERTY OF
K BROTHERS LLC
SHOWING PROPERTY LOCATED AT
#145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT
SCALE 1"=20' NOV. 10, 2021**

GRAPHIC SCALE



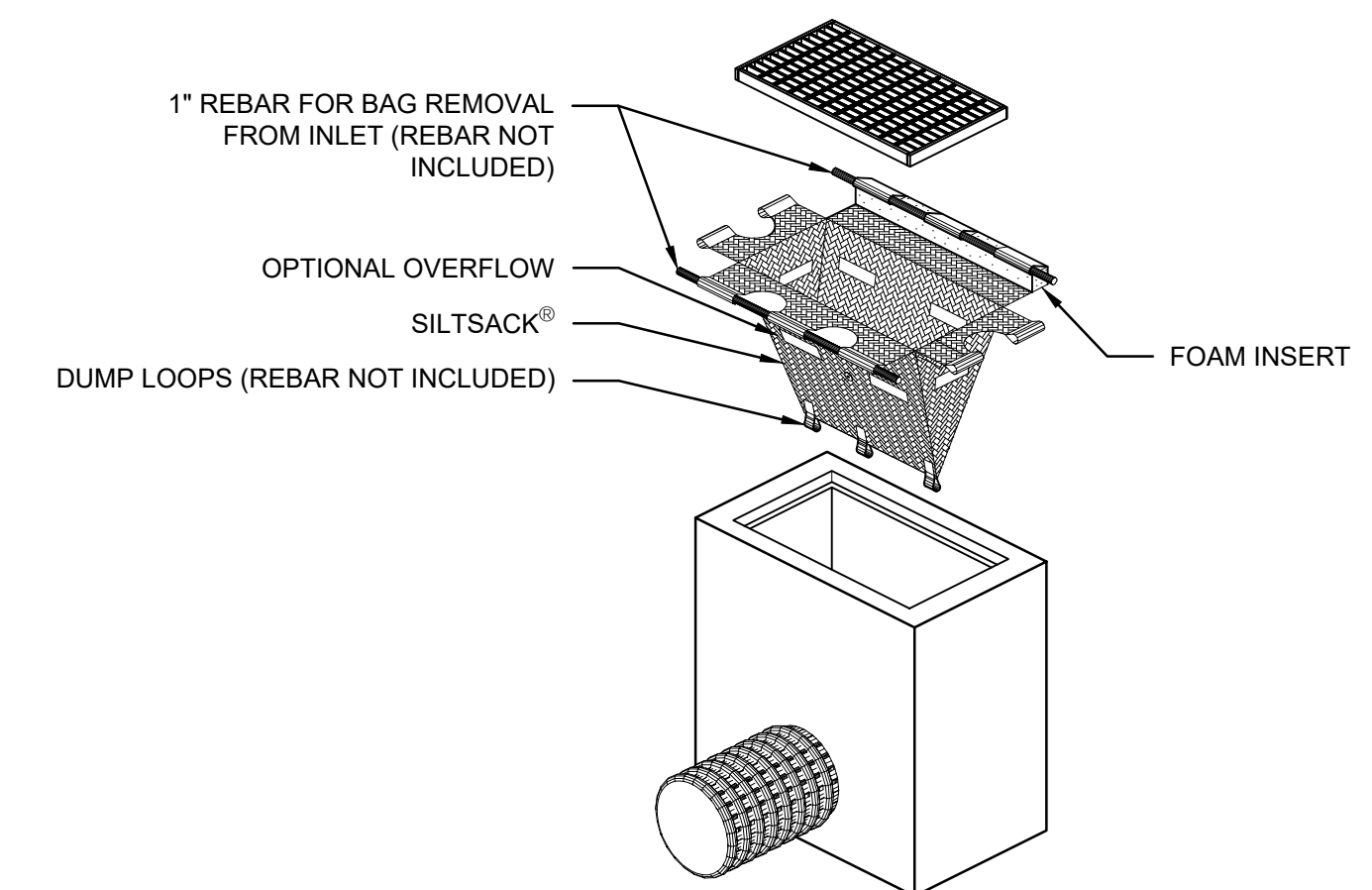
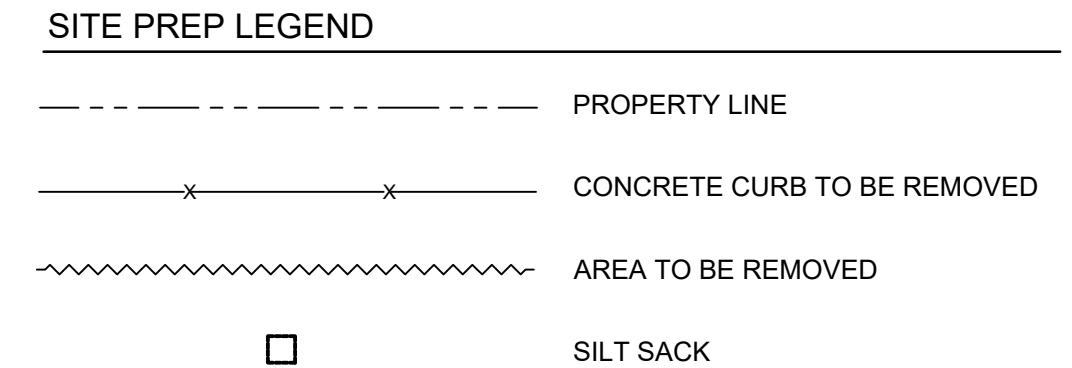
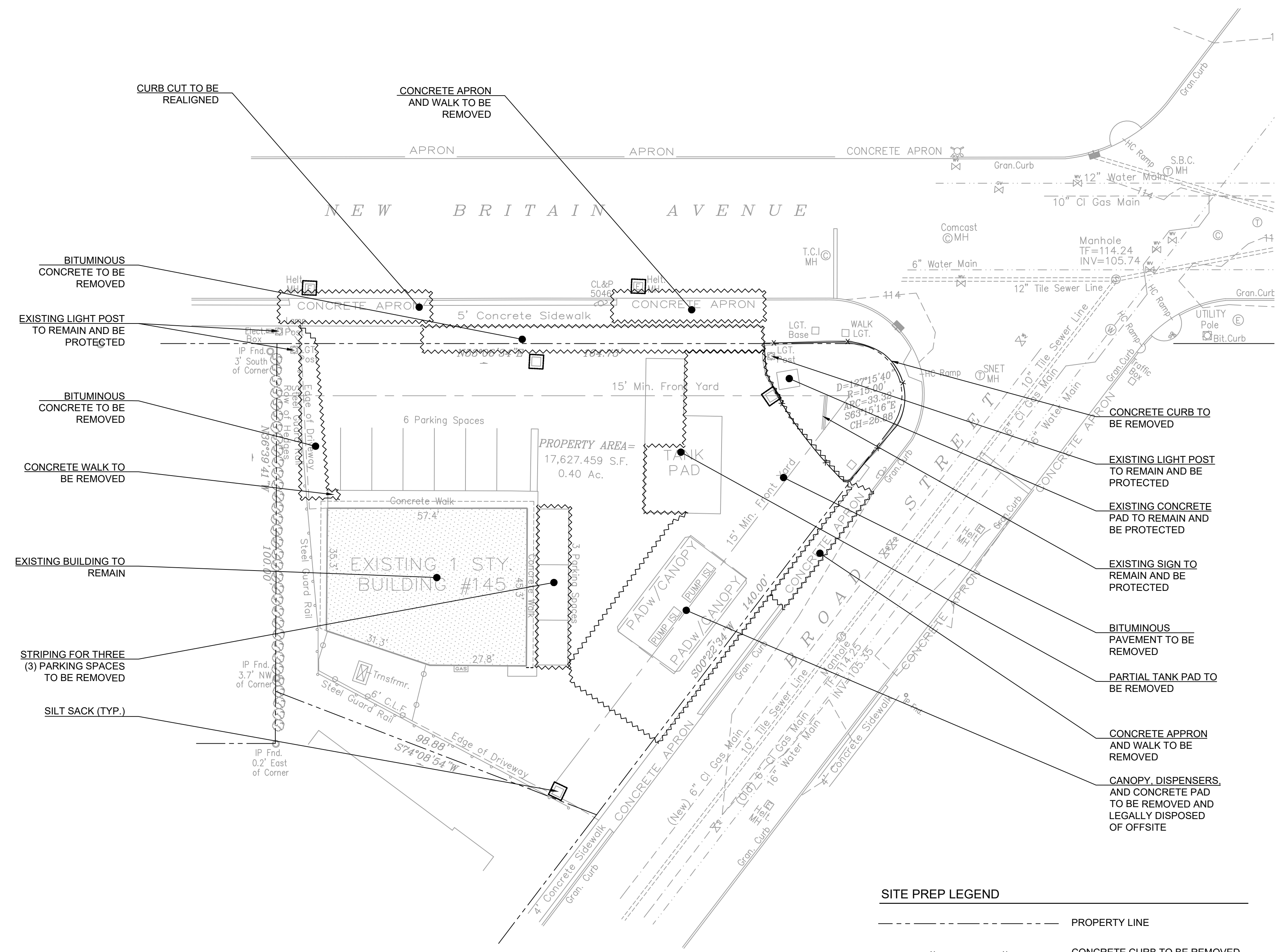
(IN FEET)
1 inch = 20 ft.

EROSION AND SEDIMENT CONTROL NOTES:

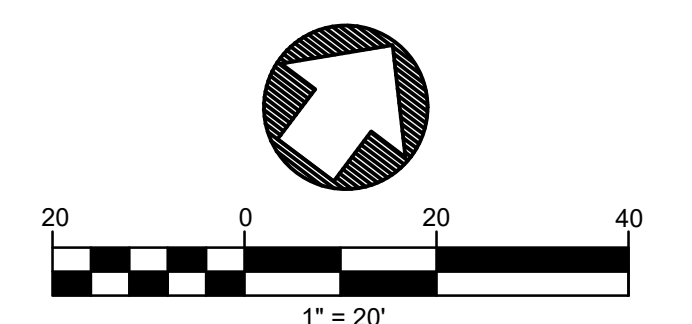
1. THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
2. THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
3. MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. EROSION CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.5 INCHES OF RAINFALL PER 24 HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.
4. IF PROBLEMS WITH THE EROSION CONTROL MEASURE ARE DISCOVERED DURING THE INSPECTIONS, THEY MUST BE FIXED. IF SIGNIFICANT REPAIR OR REPLACEMENT IS REQUIRED, IT SHALL BE CORRECTED AS SOON AS POSSIBLE.
5. ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL"
6. PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
7. NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
8. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
9. TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
10. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
11. SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.
12. CONCRETE WASHOUTS SHALL BE UTILIZED, AS NECESSARY, TO REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE. WHEN THE FACILITIES ARE NO LONGER REQUIRED, THE HARDENED CONCRETE, SLURRIES AND LIQUIDS SHALL BE REMOVED AND PROPERLY DISPOSED OF OFFSITE.

SITE PREPARATION NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF WORK. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
4. DURING DEMOLITION, PROTECT ALL ADJACENT CURBING, SIDEWALKS, RAMPS, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOIDED. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
5. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
6. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. PROVIDE PAVEMENT SAWCUT AT THE EDGE OF EACH PAVEMENT REMOVAL AREA TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12 INCHES FROM EDGE OF PAVEMENT REMOVAL.
9. UNLESS OTHERWISE INDICATED, ALL NON HARDSCAPE AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.



"SILT SACK" SEDIMENT CONTROL DEVICE, TERRAFIX GEOSYNTHETICS INC. TORONTO, ONTARIO, CA WWW.TERRAFIXGEO.COM
SILT SACK (SS)
 SCALE: NONE



PLAN REFERENCE

BOUNDARY SURVEY FROM PLAN ENTITLED: "BOUNDARY SURVEY SHOWING EXISTING CONDITIONS PROPERTY OF K BROTHERS LLC SHOWING PROPERTY LOCATED AT #145 NEW BRITAIN AVENUE, HARTFORD, CONNECTICUT", SCALE: 1"=20', DATED: NOV. 10, 1021, BY: FLYNN & CYR LAND SURVEYING LLC, BERLIN, CT

Engineer:

 Alfred Benesch & Company
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 860-633-8341

Applicant:

 2138 Silas Deane Highway
 Rocky Hill, CT 06067
 Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT

DATE:	REVISION:



PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 02.08.2022
 DRAWN BY: JJD
 CHECKED BY: JJD

SITE PREPARATION PLAN

DRAWING NO.:
C-0.0

Applicant:



2138 Silas Deane Highway
 Rocky Hill, CT 06067

Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 818 AND THE CITY OF HARTFORD SPECIFICATIONS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL-BEFORE-YOU-DIG AT 800-922-4455 FOR MARK OUT OF ALL UNDERGROUND UTILITIES.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
7. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
8. ALL PROPOSED CURBING ADJACENT STREET SHALL BE GRANITE. ALL PROPOSED CURBING ON-SITE SHALL BE MONOLITHIC CONCRETE WHERE IT ABUTS CONCRETE SIDEWALK AND BITUMINOUS IN ALL OTHER LOCATIONS.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
12. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
13. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH ENGINEER TO APPROVE LAYOUT OF JOINT PATTERNS.
14. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.

SITE PLAN LEGEND

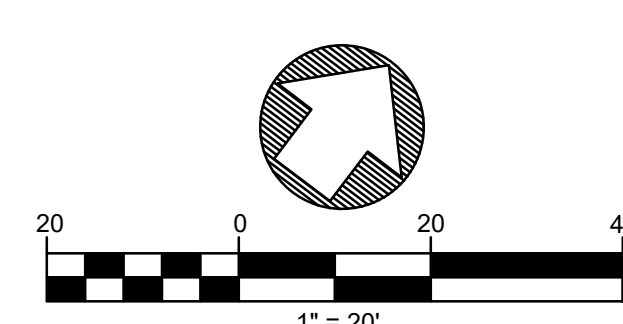
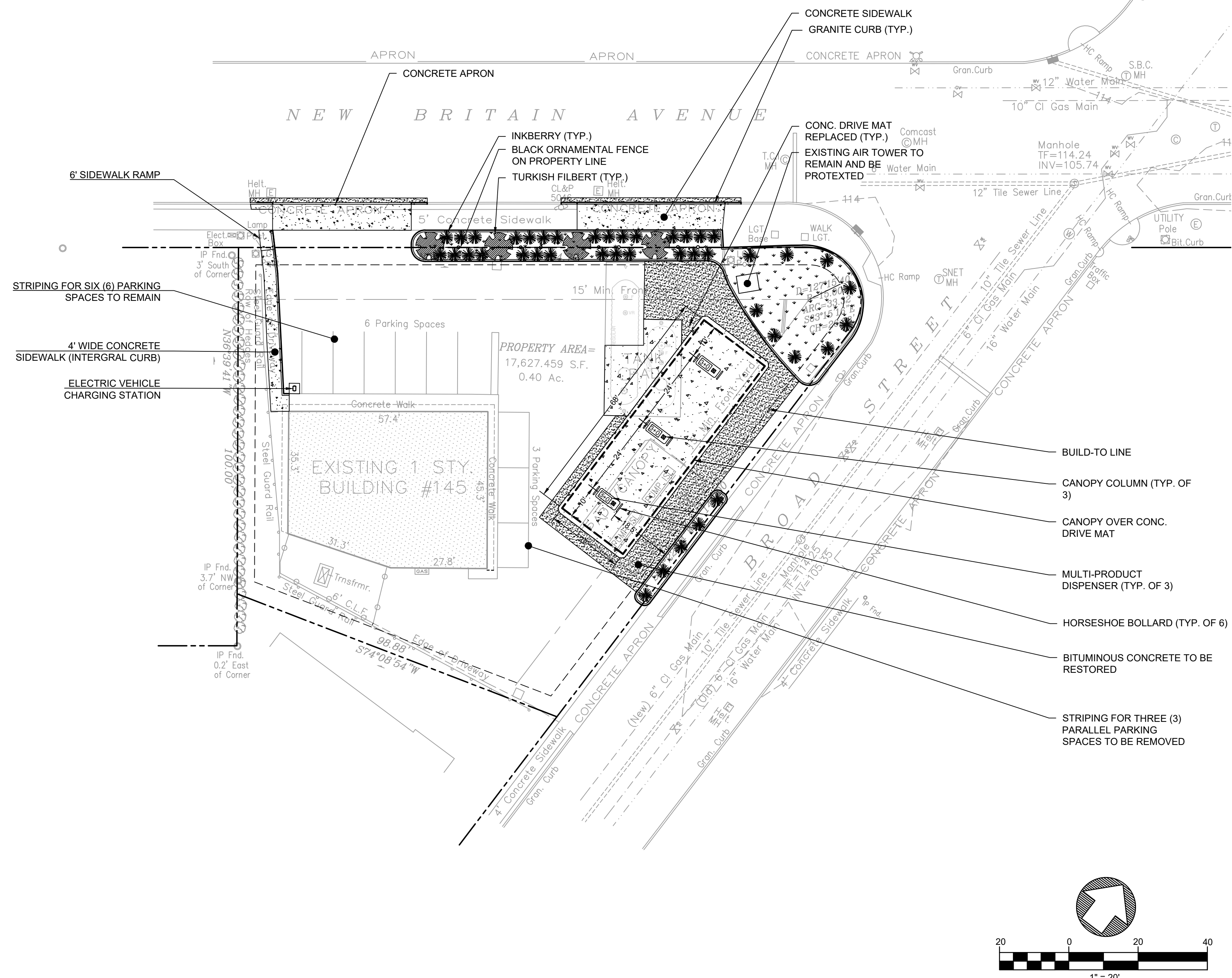
- PROPERTY LINES
- FRONT BUILDING LINE, OR SIDE OR REAR SETBACK LINE
- CURBING
- 4' HIGH BLACK ORNAMENTAL FENCE
- CONCRETE SIDEWALK
- BITUMINOUS CONCRETE
- LOAM AND SEED
- PROPOSED INKBERRY (ILEX GLABRA 'DENSEA'), 3' HEIGHT CONTAINER GROWN, UNIFORM / WELL DEVELOPED
- PROPOSED TURKISH FILBERT (CORYLUS COLURNA)

GENERAL BUILDING ZONING TABLE

ZONE: MAIN STREET (MS-3) BUILDING TYPE			
BUILDING TYPE: STOREFRONT (SECTION 4.5)			
ITEM	ZONING REGULATION	EXISTING	PROPOSED
FRONT LOT LINE COVERAGE	80%	0% (NON-CONFORMING)	UNCHANGED
OCCUPATION OF CORNER	REQUIRED	NON-CONFORMING	UNCHANGED
FRONT BUILD-TO ZONE	WITHIN 5' OF BUILDING LINE	47.4 FT	UNCHANGED
CORNER BUILD-TO ZONE	WITHIN 5' OF BUILDING LINE	105.0 FT	UNCHANGED
MINIMUM SIDE SETBACK	0 FT	14.7 FT	UNCHANGED
MINIMUM REAR SETBACK	5 FT	22.9 FT	UNCHANGED
MINIMUM LOT WIDTH	60 FT	100 FT	UNCHANGED
MAXIMUM BUILDING WIDTH	NO LIMITATION	45.1 FT	UNCHANGED
MAXIMUM BUILDING COVERAGE	80%	17.8% (INCLUDES CANOPY)	22.6% (INCLUDES CANOPY)
MAXIMUM IMPERVIOUS AREA	80%	85.5%	UNCHANGED
MINIMUM BUILDING HEIGHT	1 STORY	1 STORY	1 STORY
MAXIMUM BUILDING HEIGHT	4 STORIES	1 STORY	1 STORY
PERMITTED PARKING & LOADING	REAR & LIMITED SIDE YARD	FRONT & SIDE YARD	FRONT YARD
QUANTITY OF TREES REQUIRED	15% OF SQUARE FOOTAGE OF LOT	NONE	4 TREES
STREET TREES	1 TREE / 40 FT OF STREET FRONTAGE = 9 STREET TREES REQUIRED	NONE	4 STREET TREES

ZONING WAIVER REQUEST TABLE

ZONE: MAIN STREET (MS-3) BUILDING TYPE		
ARTICLE	REGULATION	PROPOSED CONDITION
4.17.2A	FUEL PUMPS & CANOPIES SHALL BE LOCATED IN THE REAR OR INTERIOR SIDE YARD	LARGER CANOPY TO BE LOCATED IN THE SAME LOCATION OF THE EXISTING NON-CONFORMING CANOPY
6.7.3	STREET TREES, 9 REQUIRED	4 STREET TREES, 41 SHRUBS



PLAN REFERENCE

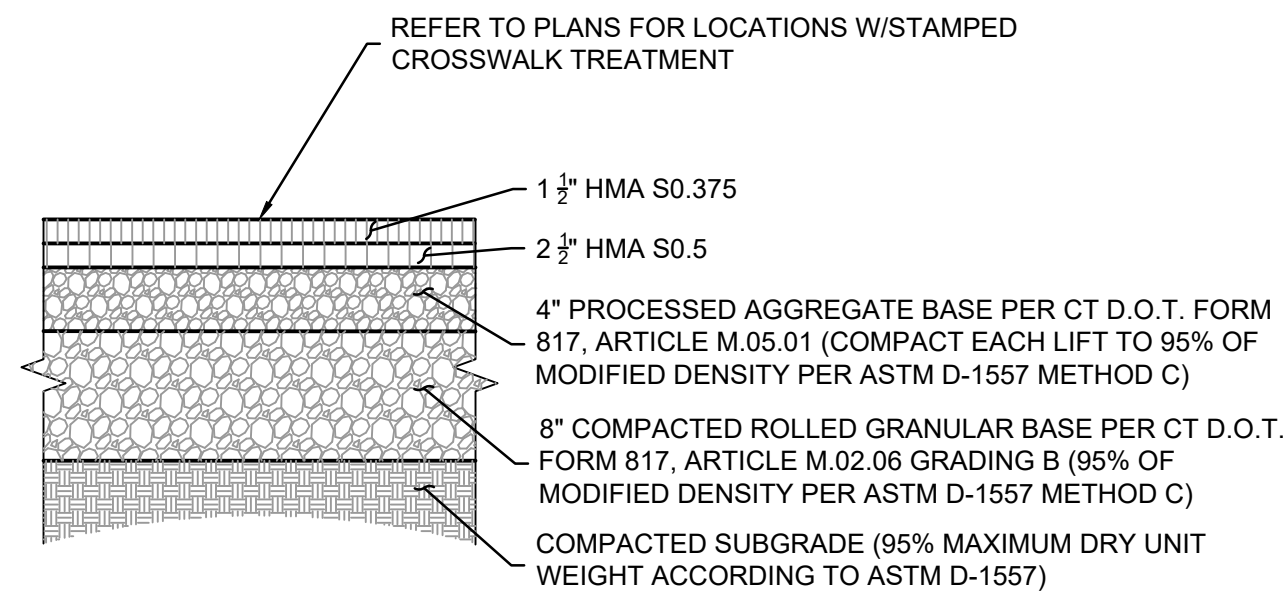
BOUNDARY SURVEY FROM PLAN ENTITLED: "BOUNDARY SURVEY SHOWING EXISTING CONDITIONS PROPERTY OF K BROTHERS LLC SHOWING PROPERTY LOCATED AT #145 NEW BRITAIN AVENUE, HARTFORD, CONNECTICUT", SCALE: 1"=20', DATED: NOV. 10, 1021. BY: FLYNN & CYR LAND SURVEYING LLC, BERLIN, CT

DATE:	REVISION:

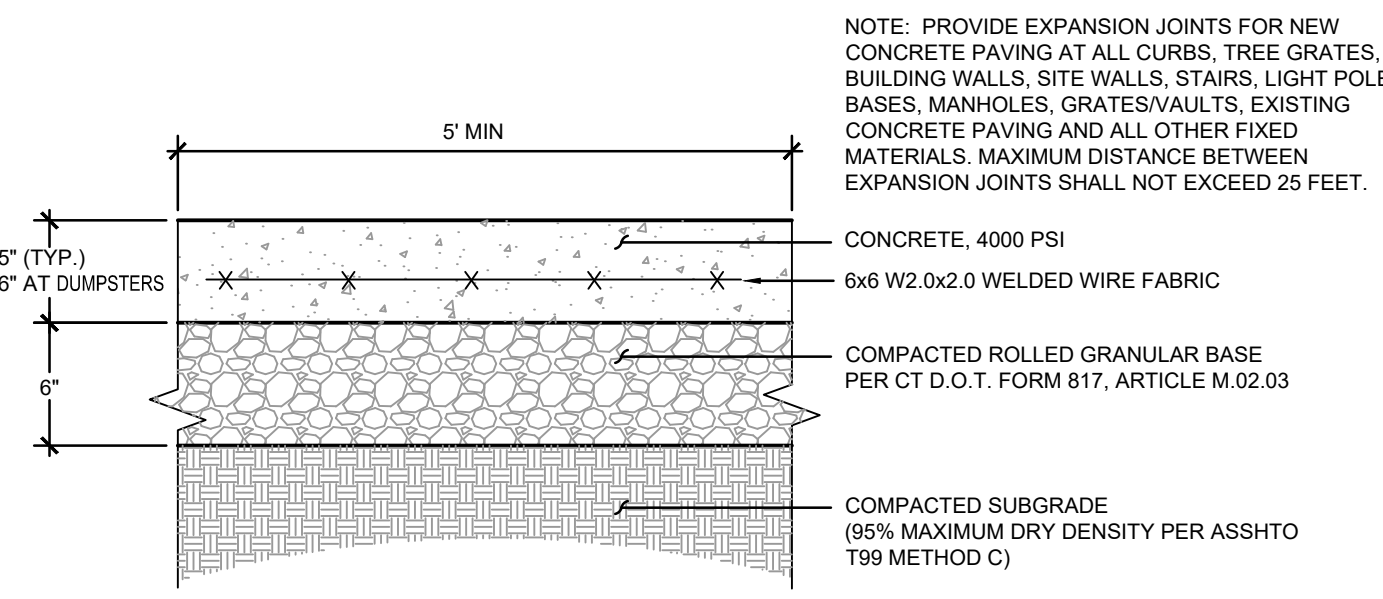
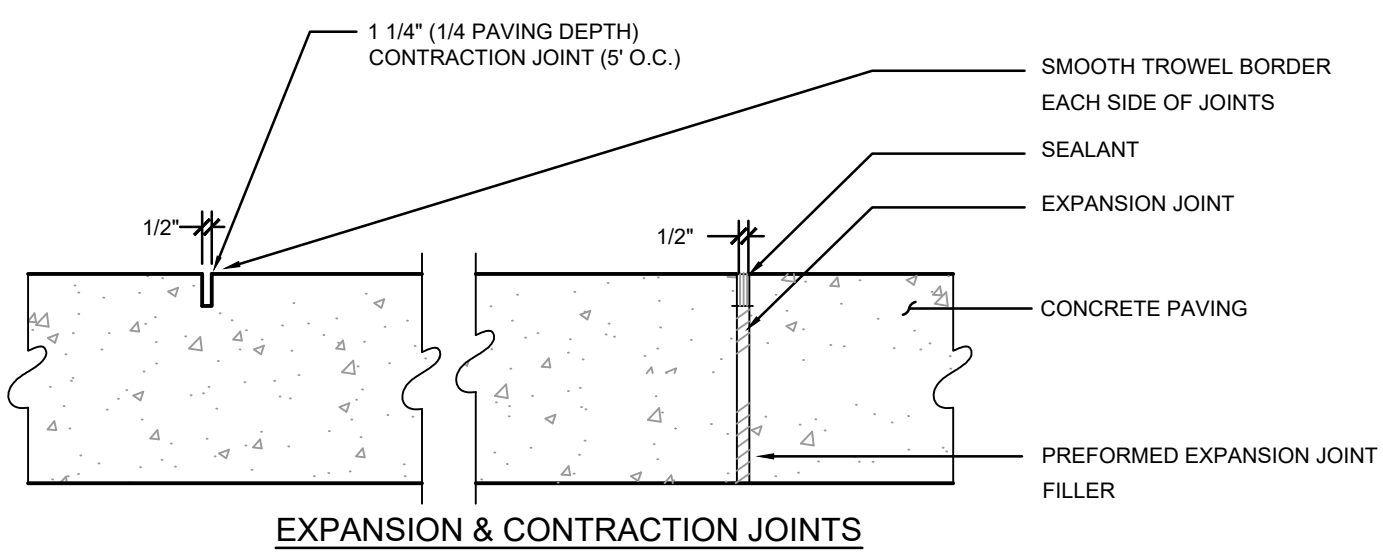


PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 02.08.2022
 DRAWN BY: JJD
 CHECKED BY: JJD

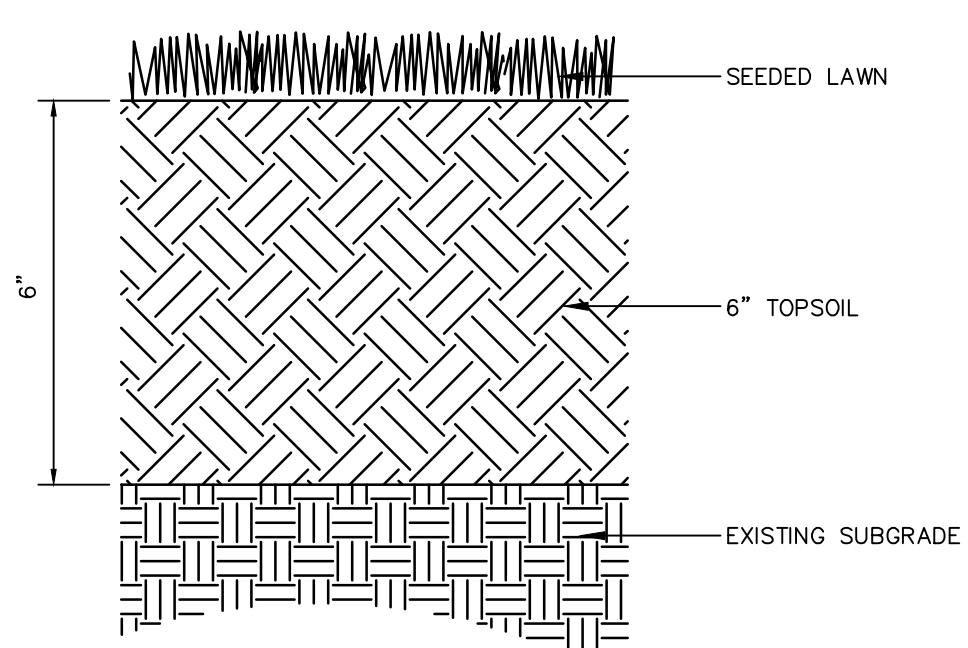
SITE PLAN



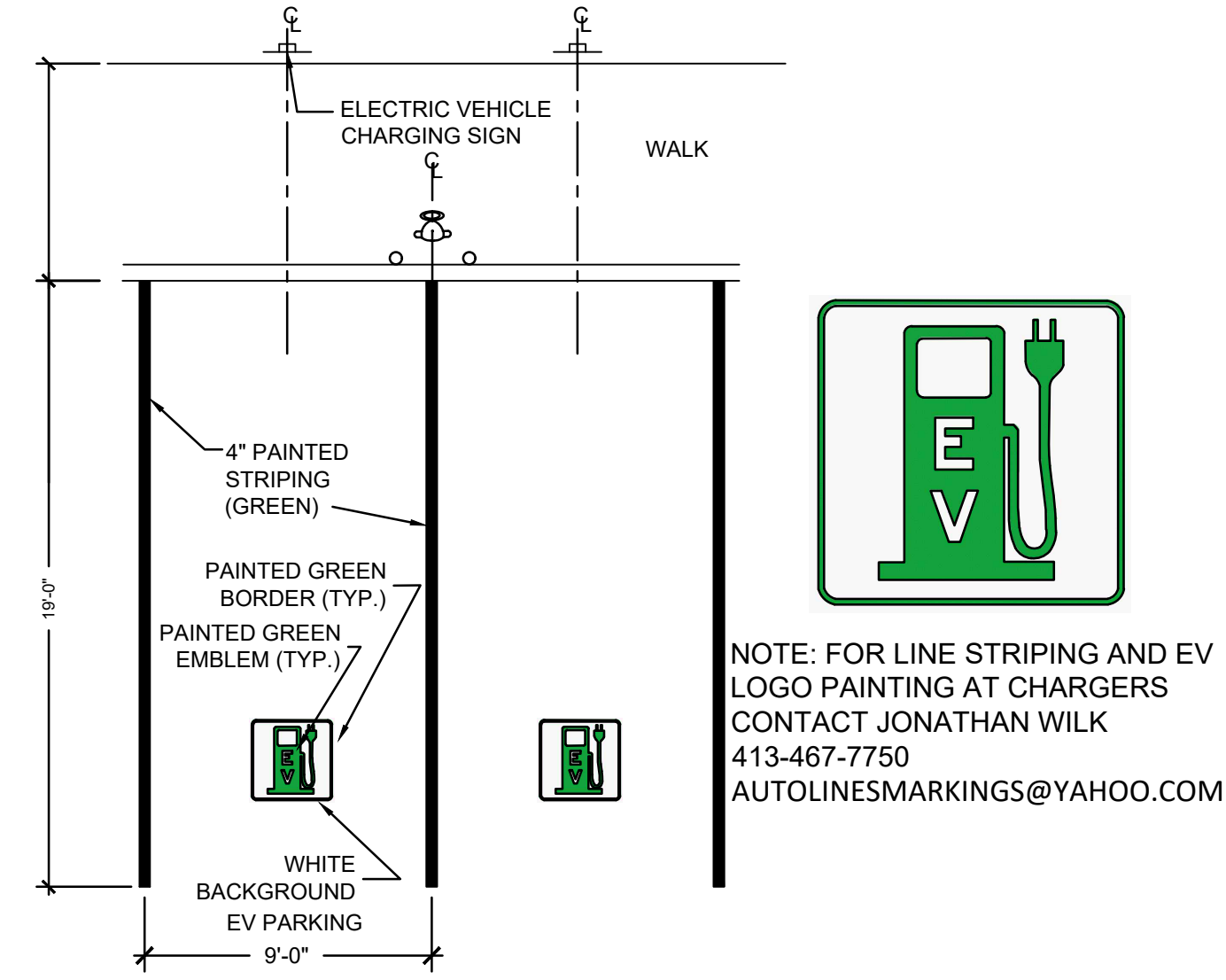
BITUMINOUS CONCRETE PAVEMENT
SCALE: NONE



CONCRETE WALK
SCALE: NONE

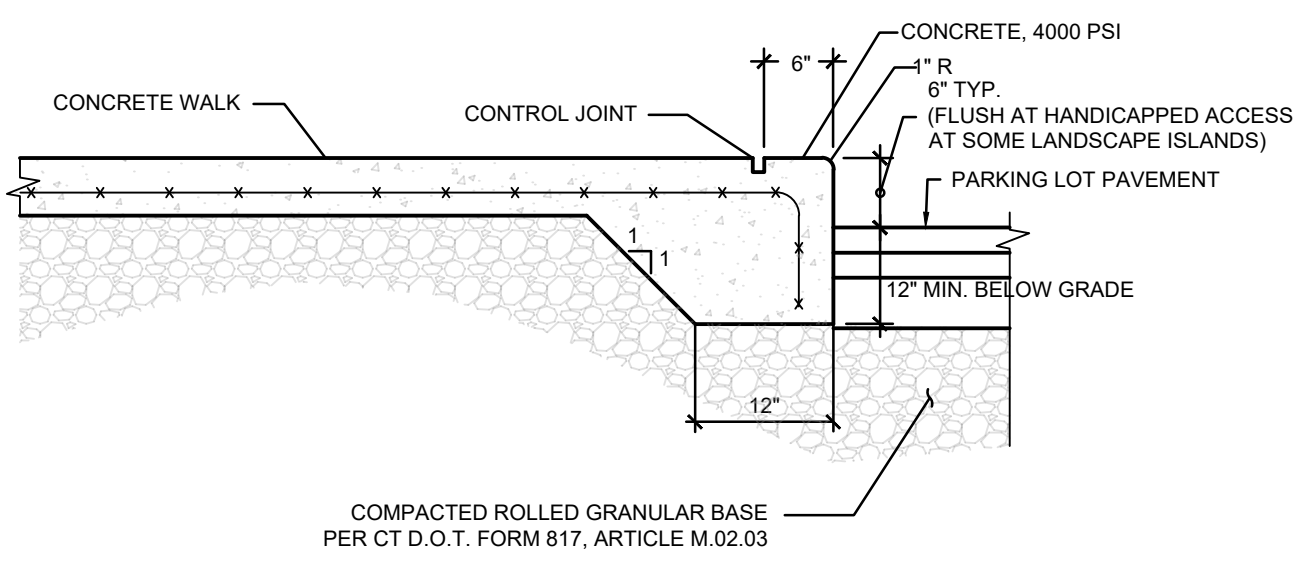


LAWN
SCALE: NONE

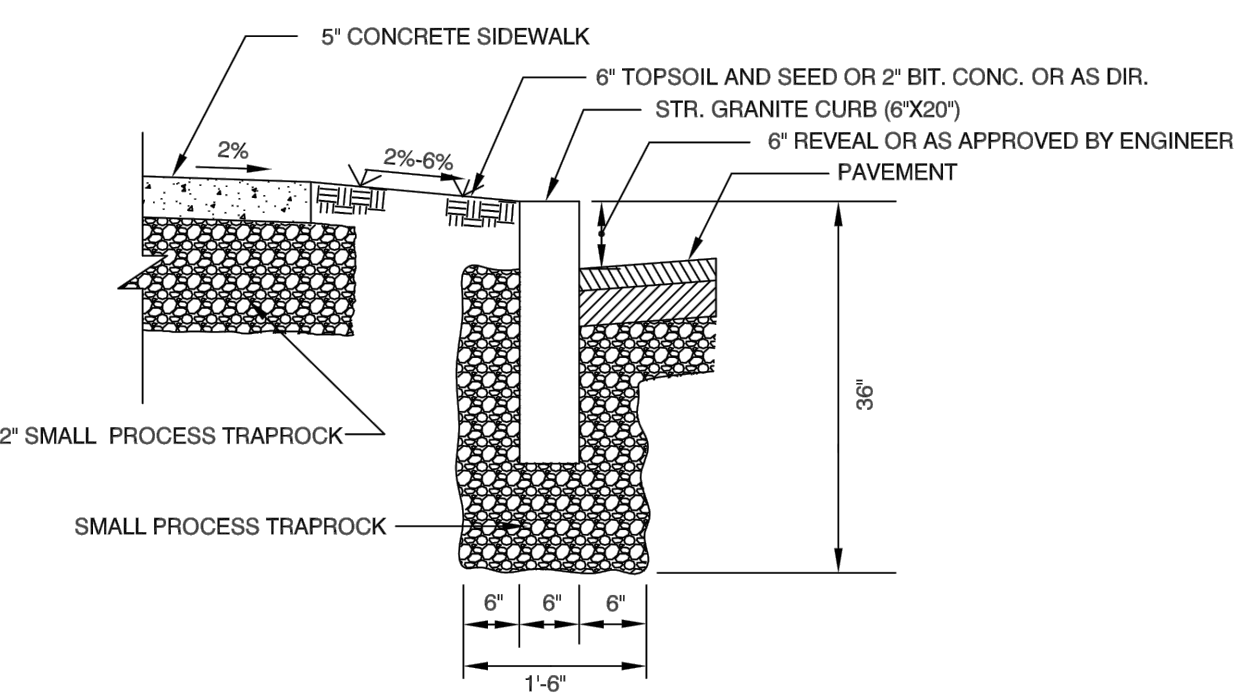


NOTE: FOR LINE STRIPING AND EV LOGO PAINTING AT CHARGERS CONTACT JONATHAN WILK 413-467-7750 AUTOLINESMARKINGS@YAHOO.COM

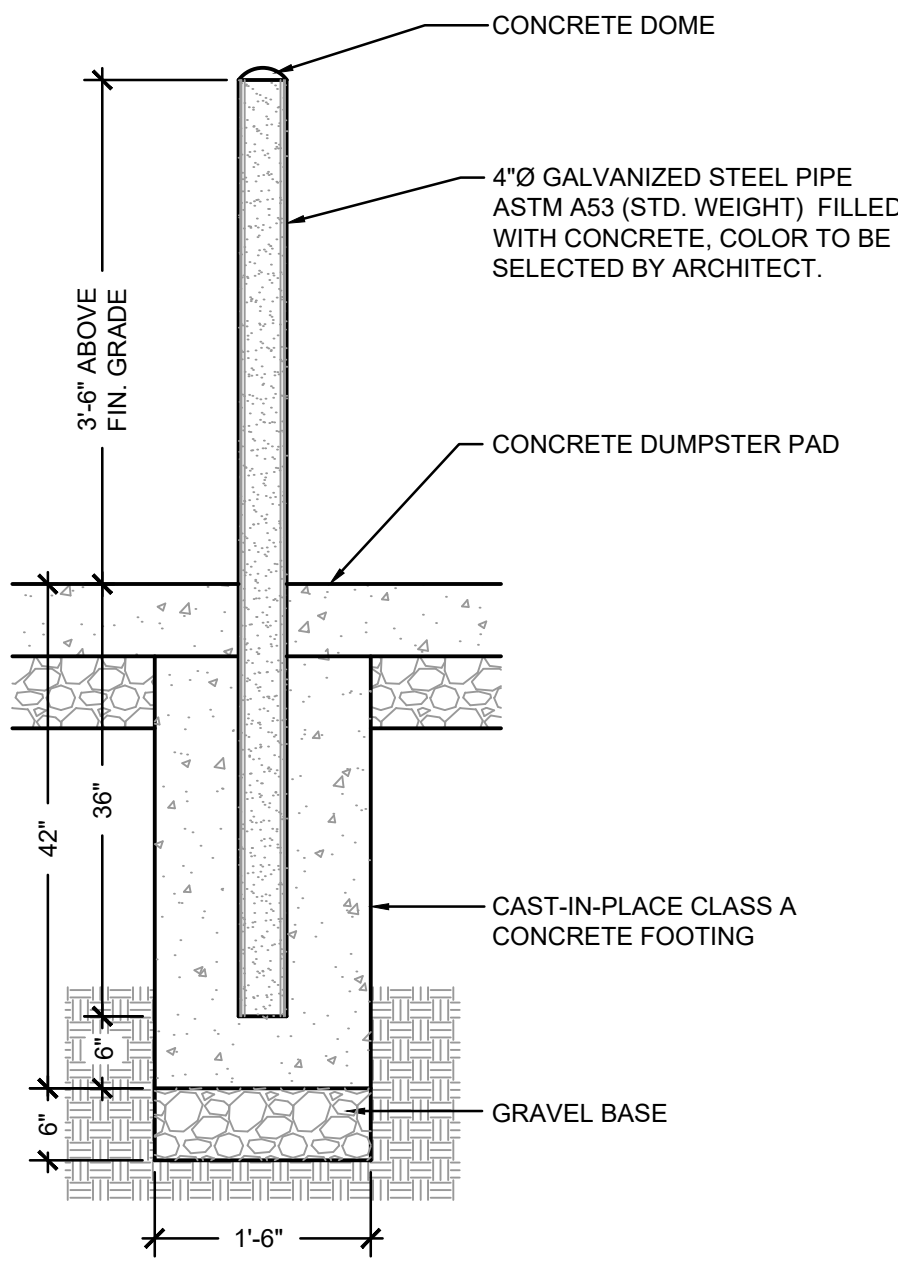
ELECTRIC VEHICLE CHARGING PARKING
SCALE: NONE



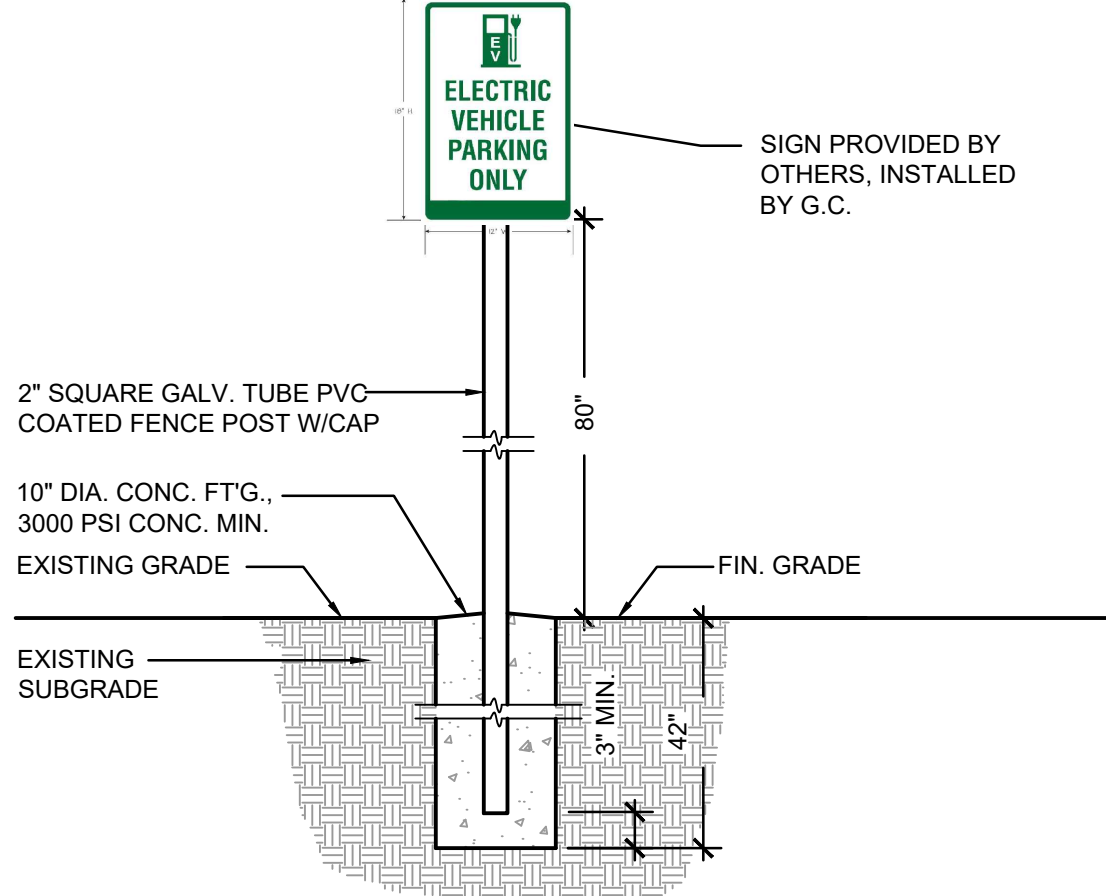
INTEGRAL CONCRETE CURB AT WALK
SCALE: NONE



STRAIGHT GRANITE CURB SECTION
SCALE: NONE (PER CITY OF HARTFORD STANDARD DETAILS)

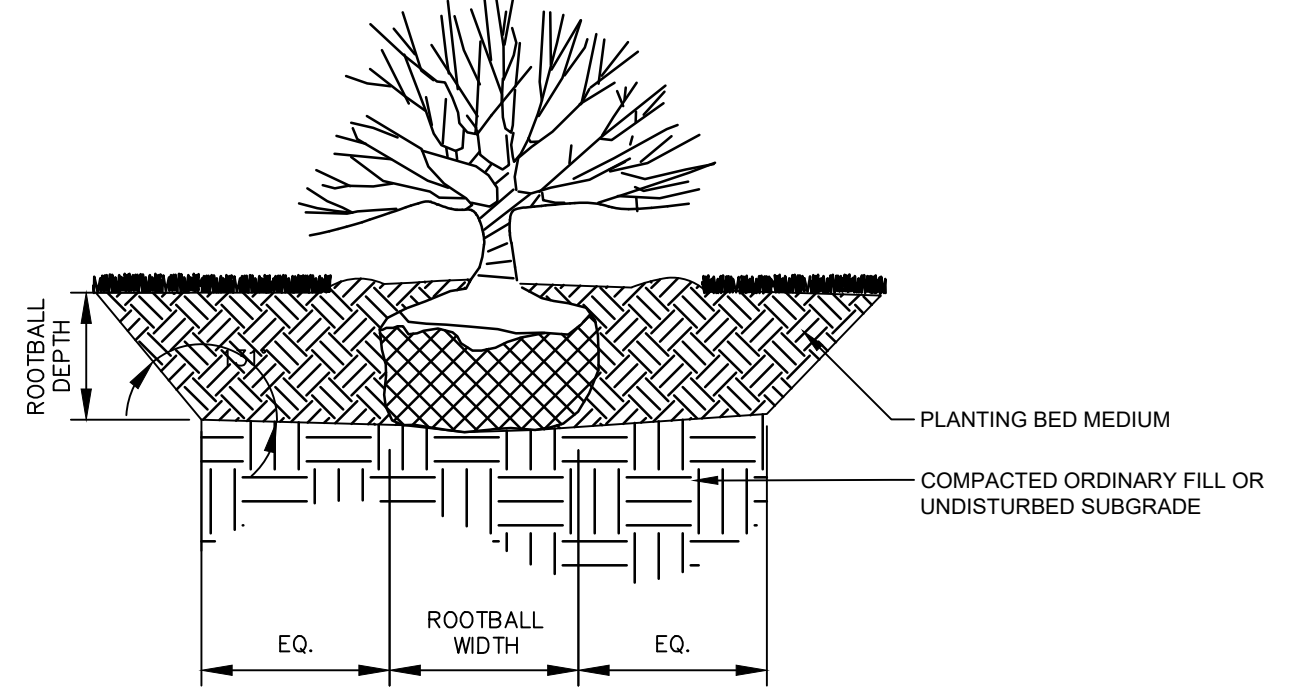


HORSESHOE BOLLARD
SCALE: NONE

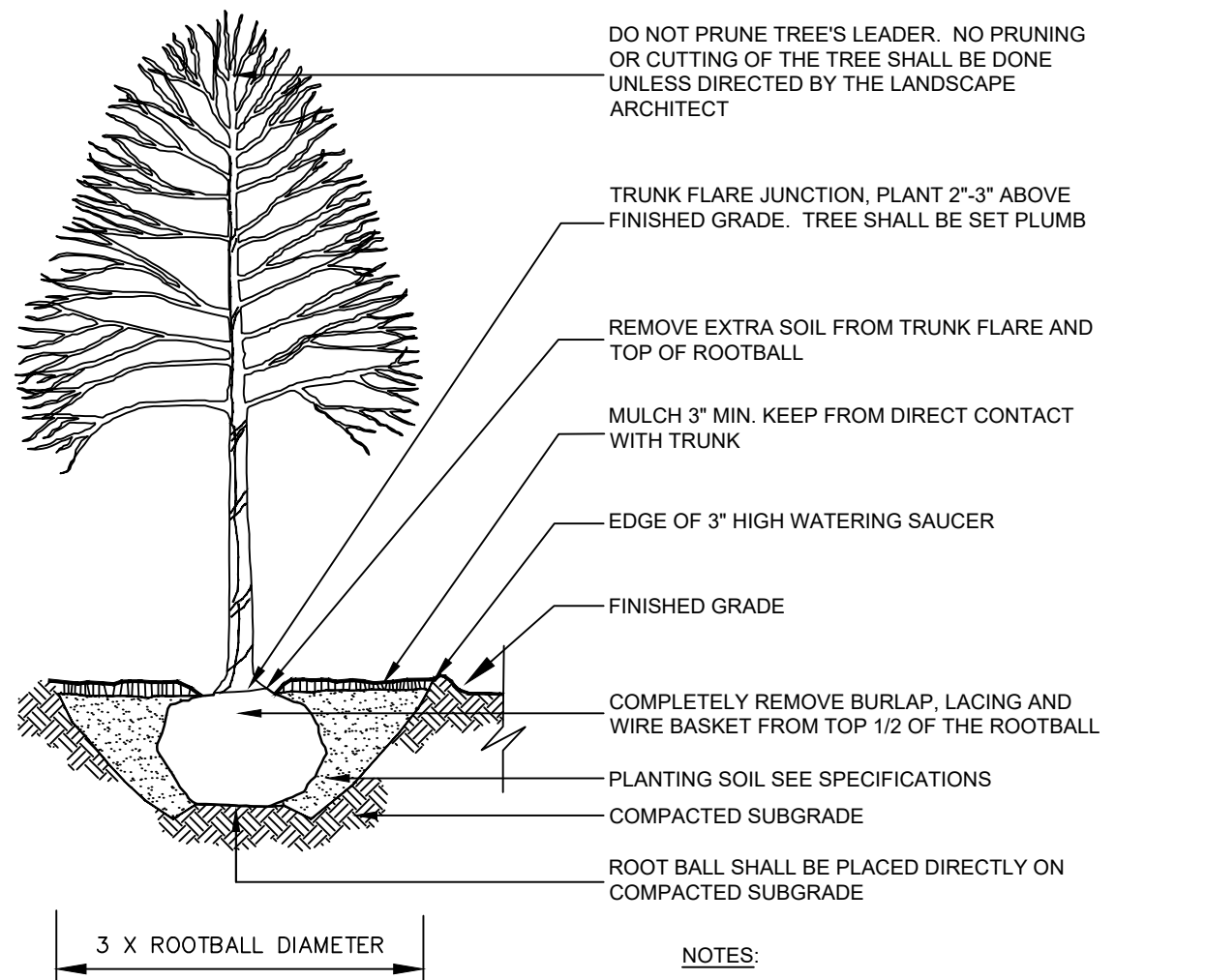


ELECTRIC VEHICLE CHARGING STATION
SCALE: NONE

- NOTES:
1. LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE.
 2. EXCAVATE TO REQUIRED DEPTH AND DO NOT EXCAVATE BELOW ROOT BALL DEPTH.
 3. SET SHRUBS PLUMB WITH ROOT FLARE 1" ABOVE FINISHED GRADE. BACKFILL WITH PLANTING MIX.
 4. FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.
 5. RAISE AND REPLANT ANY SHRUBS THAT SETTLE AFTER PLANTING & WATERING.
 6. REMOVE 1/3 BURLAP PRIOR TO BACKFILL. SYNTHETIC BURLAP UNACCEPTABLE.
 7. 2" DEPTH MULCH (KEEP MULCH 1" AWAY FROM SHRUB BASE) 3" HIGH EARTH WATERING SAUCER 1'-0" BEYOND ROOT BALL PLANTING MIXTURE.
 8. FOR CONTAINERIZED PLANTS: REMOVE CONTAINER PRIOR TO PLANTING. SCARIFY ROOT BALL BELOW EDGE 1/2" DEEP IN FOUR LOCATIONS.



SHRUB PLANTING TYP.
SCALE: NONE



DECIDUOUS TREE PLANTING
SCALE: NONE

- NOTES:
1. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 2. SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.
 3. DO NOT STAKE OR WRAP TREE UNLESS NOTED OTHERWISE.

Engineer:

Alfred Benesch & Company
120 Hebron Avenue, 2nd Floor
Glastonbury, Connecticut 06033
860-633-8341

Applicant:

2138 Silas Deane Highway
Rocky Hill, CT 06067

Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT

DATE:	REVISION:

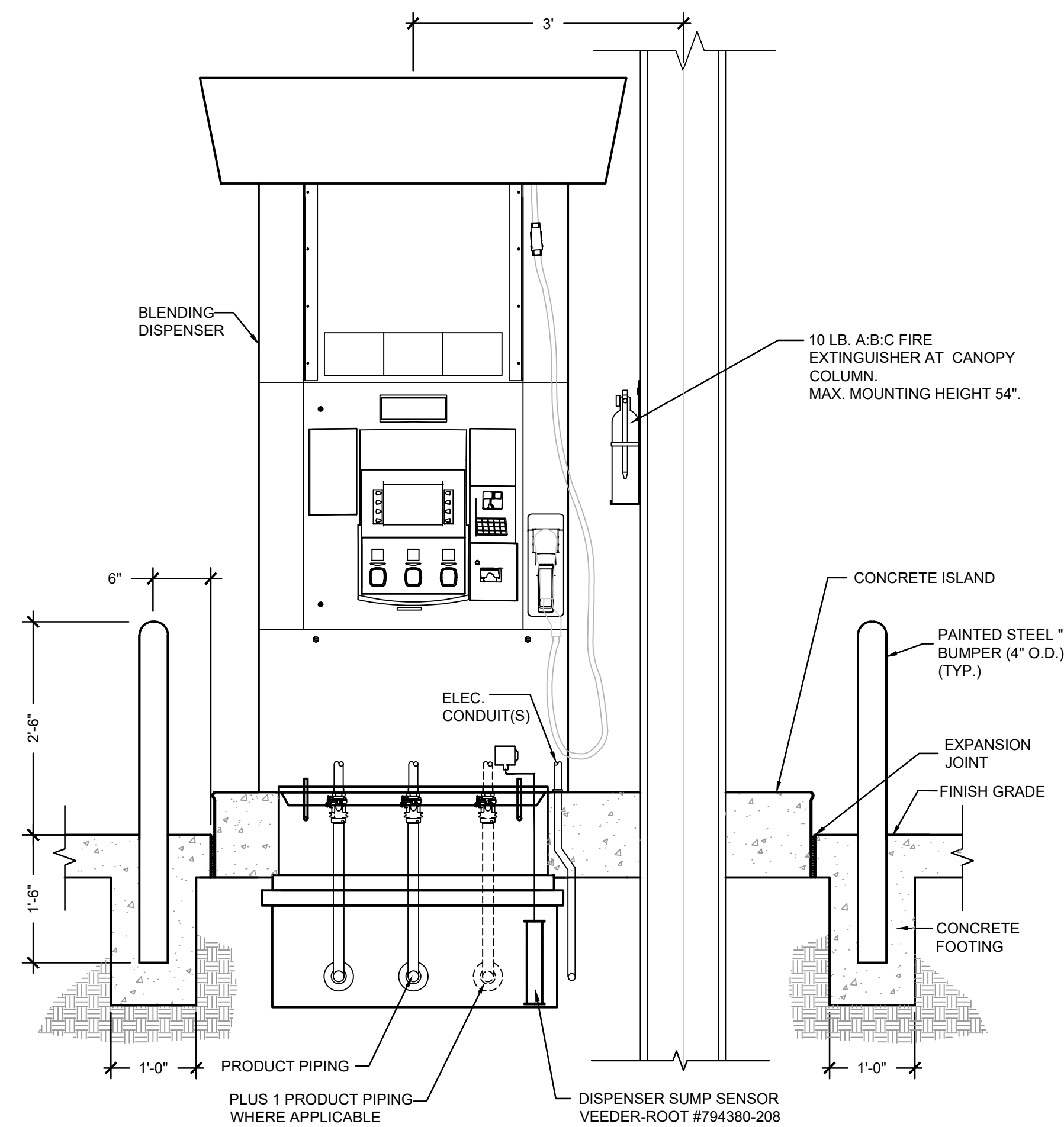


PROJECT NO.: 70701.01
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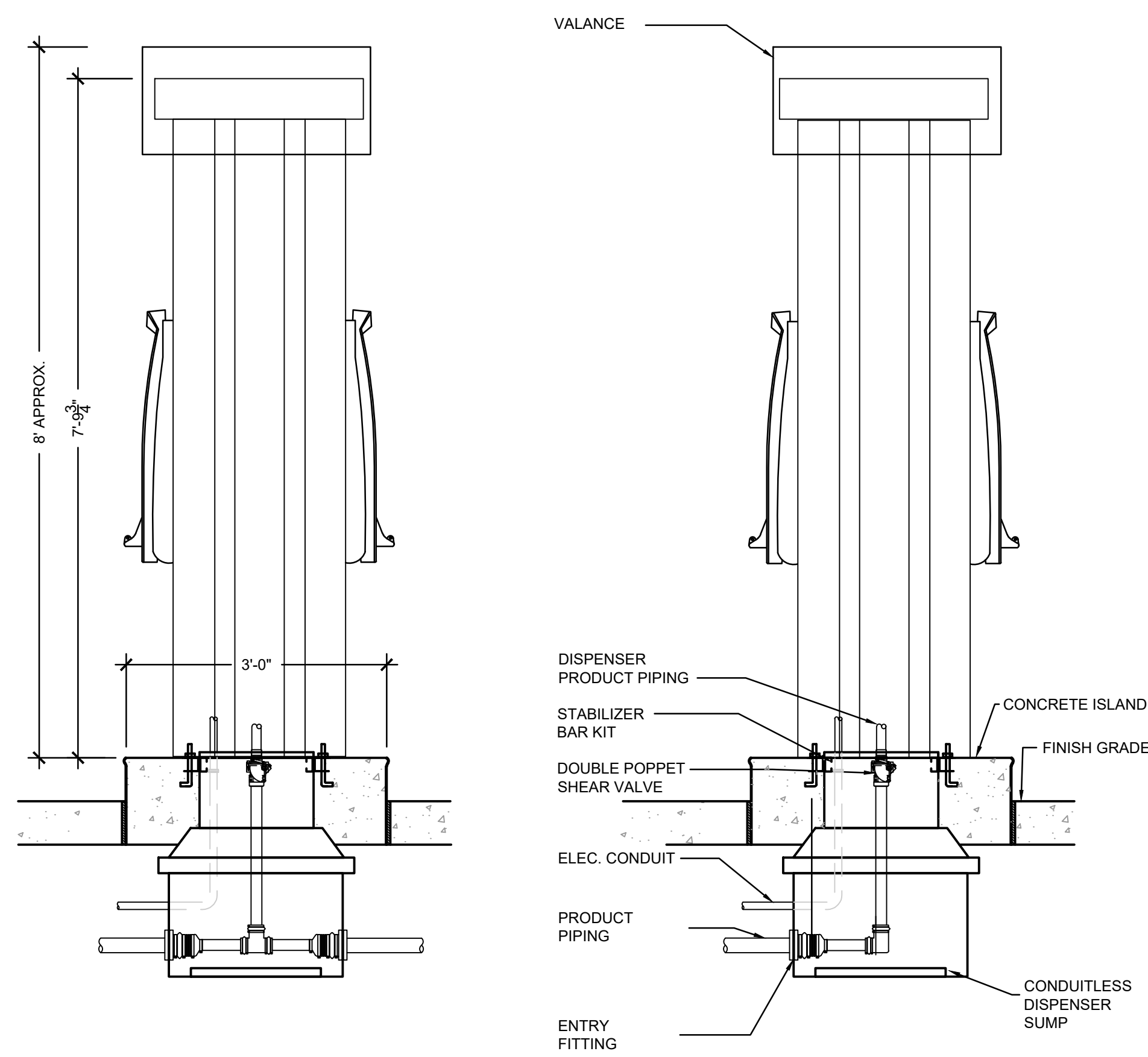
DRAWN BY: JUD
CHECKED BY: JUD

SITE DETAILS

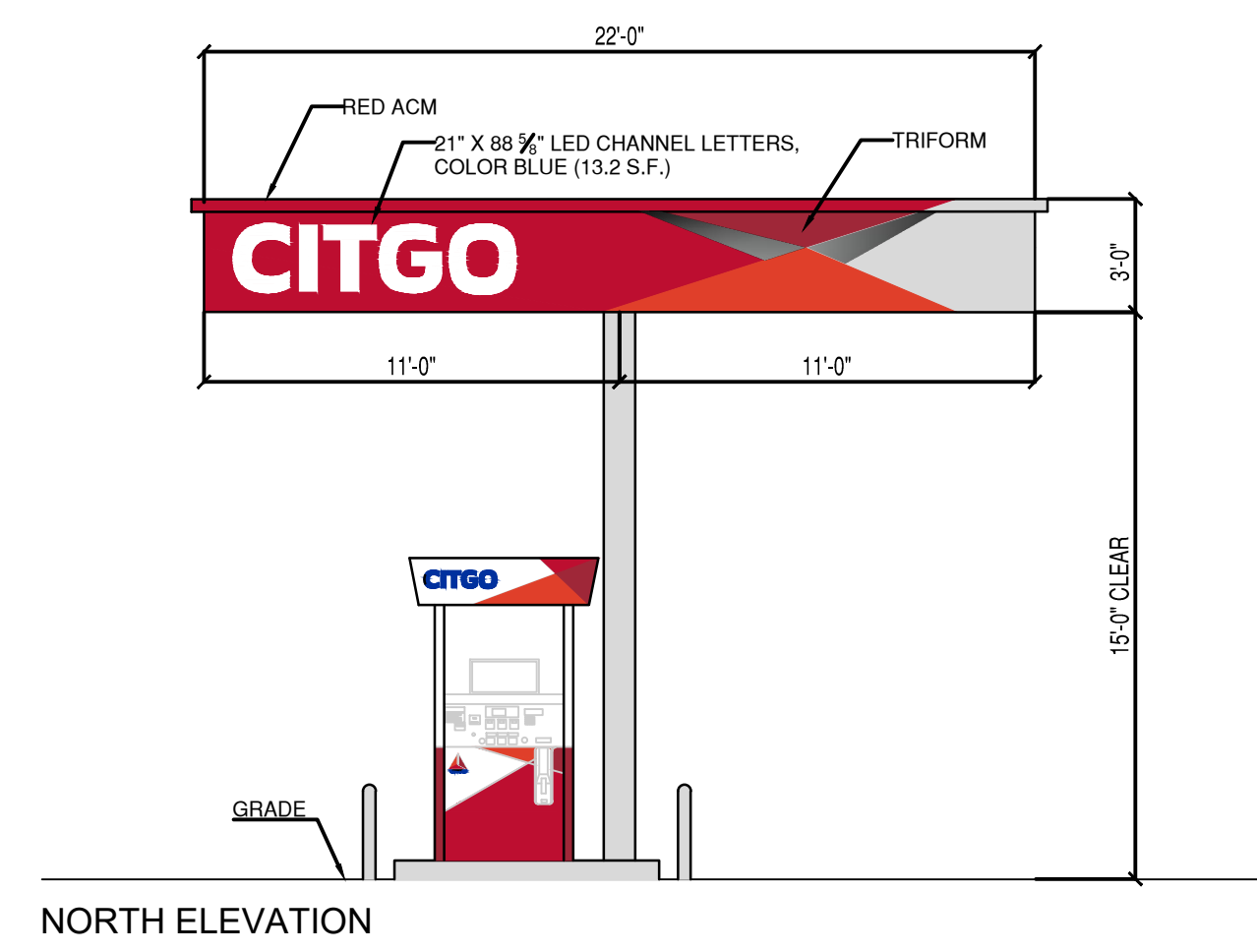
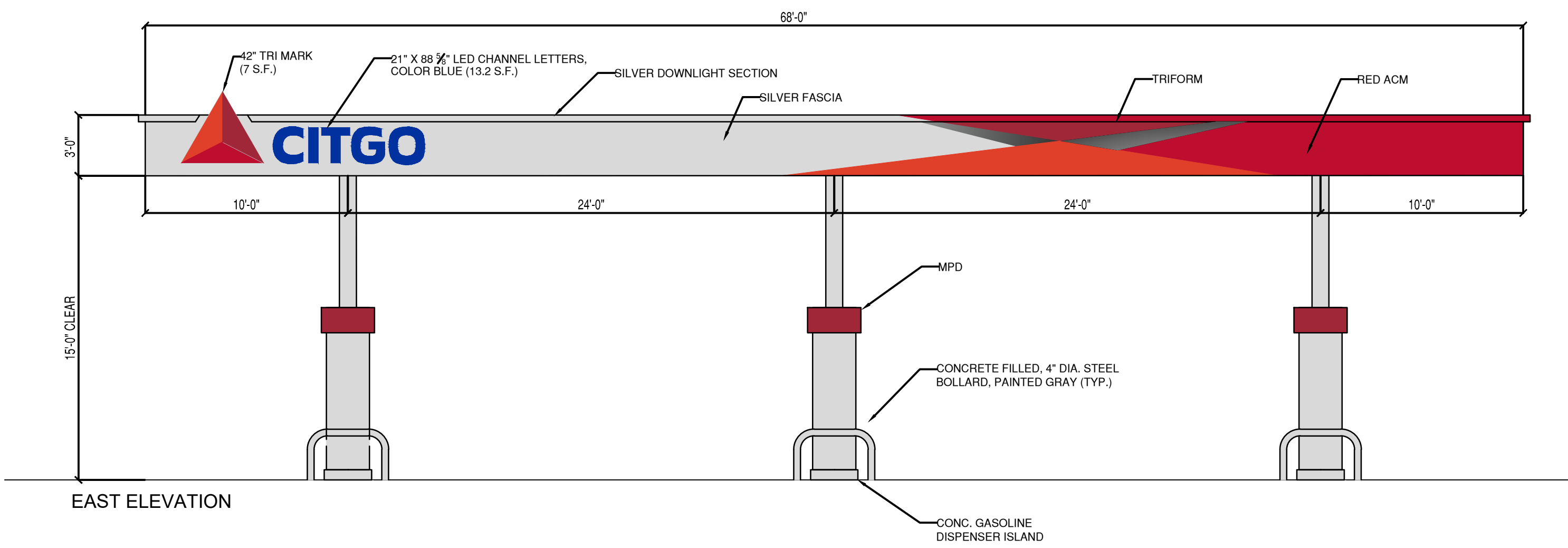
DRAWING NO.:
C-2.0



1 DISPENSER ISLAND
SCALE 3/4" = 1'-0"



2 DISPENSER ISLAND
SCALE 3/4" = 1'-0"



3 CITGO CANOPY
SCALE: 1/4" = 1'-0"

Engineer:

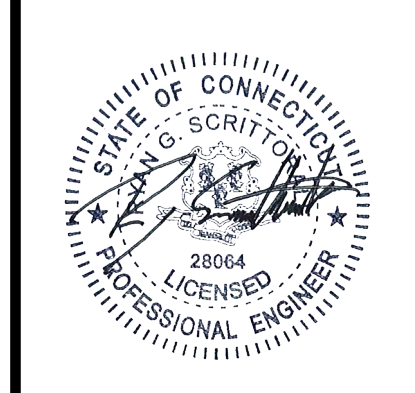
 Alfred Benesch & Company
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 860-633-8341

Applicant:

 2138 Silas Deane Highway
 Rocky Hill, CT 06067
 Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
 145 NEW BRITAIN AVENUE
 HARTFORD, CONNECTICUT

DATE:	REVISION:

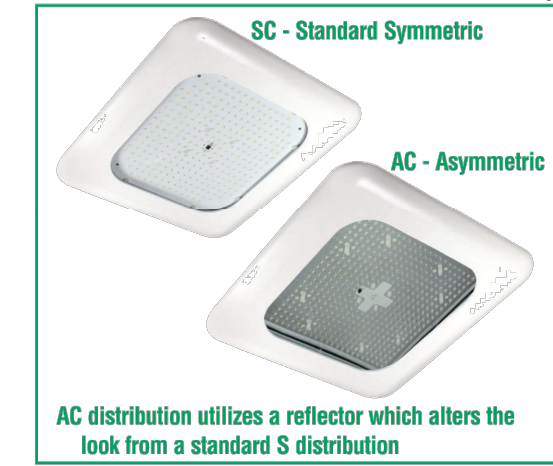


PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 02.08.2022
 DRAWN BY: JJD
 CHECKED BY: JJD

**SITE
 DETAILS**

DRAWING NO.:
C-2.1

LED CANOPY LIGHT - LEGACY™ (CRUS)



AC distribution utilizes a reflector which alters the look from a standard S distribution

DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

Consult Factory

Class 1, Division 2 - Available on LW and SS

T5 Temperature Classification - The surface temperature of this product will not rise above 100°C, within a 40°C ambient.

Gas Groups A, B, C, and D - Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

US & Int'l. patents pending.

HOUSING - Low profile, durable die-cast, aluminum construction, providing a reliable weather-tight seal.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of Very Low Wattage (VLW), Low Wattage (LW), Super Saver (SS), High Output (HO) or Very High Output (VHO).

OPTICS / DISTRIBUTION - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 7/8" profile die-cast housing, with a flat glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

HAZARDOUS LOCATION - Designed for lighter than air fuel applications. Product is suitable for Class 1 Division 2 only when properly installed per LSI installation instructions (consult factory).

DRIVER - State-of-the-art driver technology superior energy efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.

DRIVER HOUSING - Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and contributes to attaining the lowest operating temperatures available. Seals to optical housing via one-piece molded silicone gasket.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. Drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

INSTALLATION - One person installation. No additional sealant required. Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit. Retro panels are available for existing Encores (see back page) as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

LISTING - UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



LED CANOPY LIGHT - LEGACY™ (CRUS)

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRUS SC LED HO 50 UE WHT**

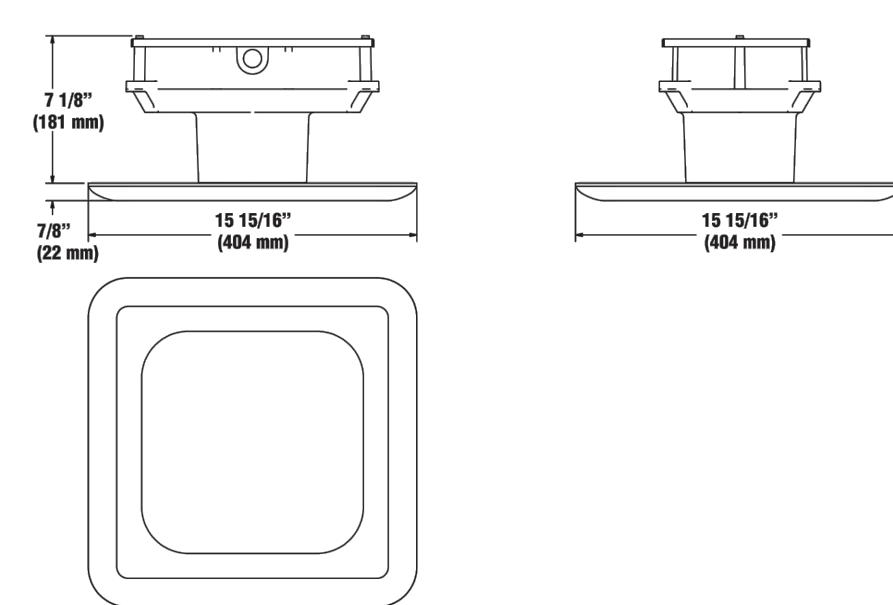
Profile	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRUS	SC - Standard Symmetric AC - Asymmetric	LED	VLW - Very Low Watt LW - Low Watt SS - Super Saver HO - High Output VHO - Very High Output	50 - 5000K	UE - Universal Voltage (120-277V) 347 - 480V	WHT - White BRZ - Bronze BLK - Black	HL - Hazardous location available on LW and SS

FOOTNOTES:
1- AC distribution utilizes a reflector which alters the look from a standard S distribution.

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

Description	Order Number	Description	Order Number
Retrofit Panels - EC / ECTA / SCF in CRU for 16" Deck Panel	520946	Kit - Hole Plugs and Silicone (enough for 25 retrofits)	130049
Retrofit Panels - ECTA / SCF in CRU for 12" Deck Panel	530281	1- Consists of (25) 7/8" hole plugs and (1) 10.3 oz tube of RTV	
Retrofit 2x2 Cover Panel Blank (no holes)	357282		
Retrofit RIG Cover Panel Blank (no holes)	354702		

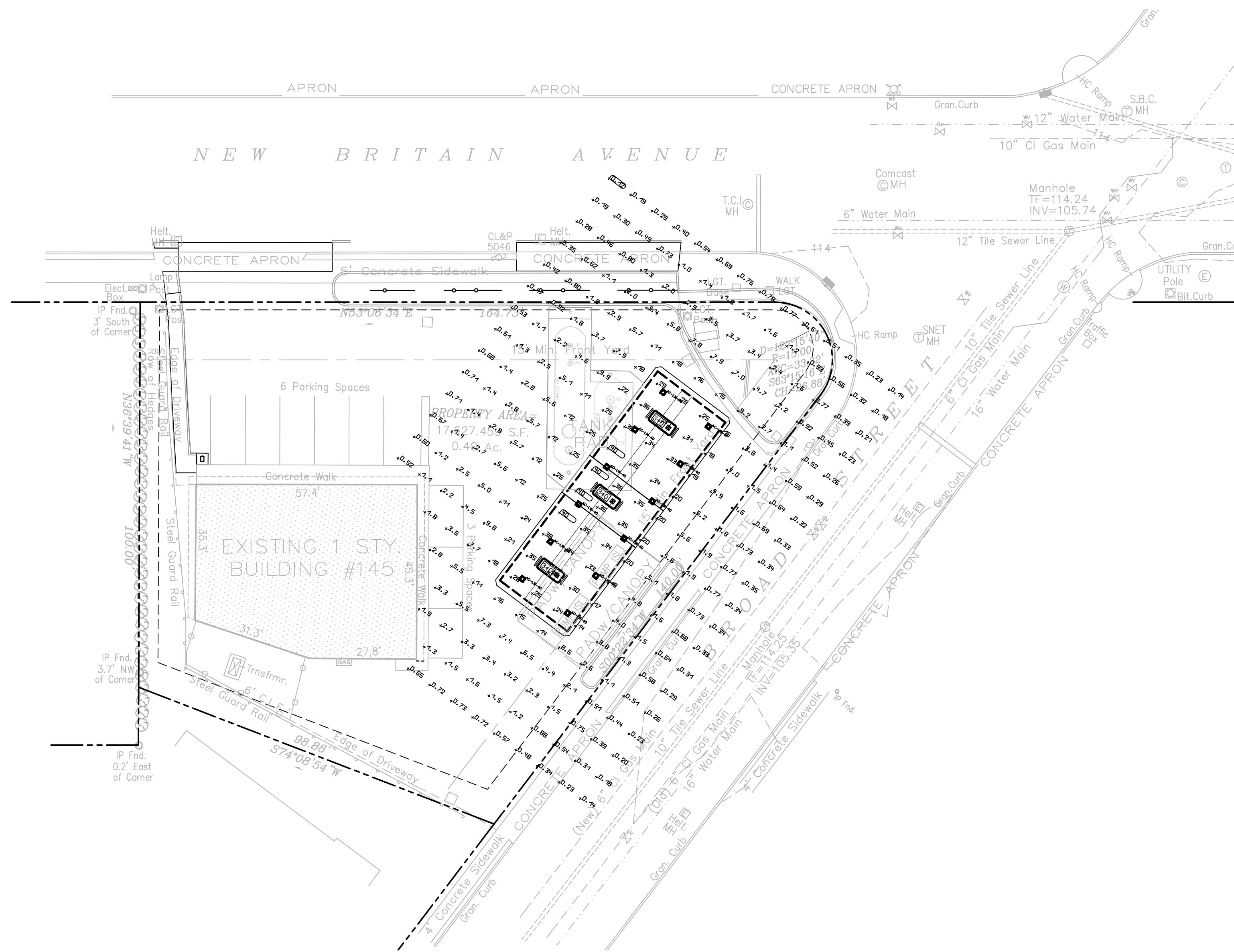
DIMENSIONS



Cool White	Lumens	Watts		LPW	
		SC	AC	SC	AC
VLW - Very Low Watt	9055	7632	61	148	125
LW - Low Watt	10525	8884	74	142	120
SS - Super Saver	13674	11595	98	140	118
HO - High Output	18633	15145	132	141	115
VHO - Very High Output	22418	17262	159	141	109

CANOPY LIGHTING

NOT TO SCALE

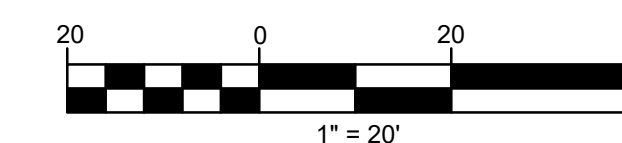
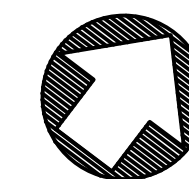


PHOTOMETRIC PLAN

SCALE 1" = 20'

LUMINAIRE LIST								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
AC-LW-40	LSI INDUSTRIES, INC.	CANOPY LUMINAIRE	CRUS-AC-LED-LW-40	1x	9379 lm	0.90	74 W	12

CALCULATION RESULTS						
#	Name	Parameter	Min	Max	Average	Mean/Min
1	Calculation surface 1	Perpendicular Illuminance	0.12 fc	39.8 fc	7.18 fc	61.83
						342.6



PLAN REFERENCE

BOUNDARY SURVEY FROM PLAN ENTITLED: "BOUNDARY SURVEY SHOWING EXISTING CONDITIONS PROPERTY OF K BROTHERS LLC SHOWING PROPERTY LOCATED AT #145 NEW BRITAIN AVENUE, HARTFORD, CONNECTICUT", SCALE: 1"=20', DATED: NOV. 10, 1021. BY: FLYNN & CYR LAND SURVEYING LLC, BERLIN, CT

Engineer:

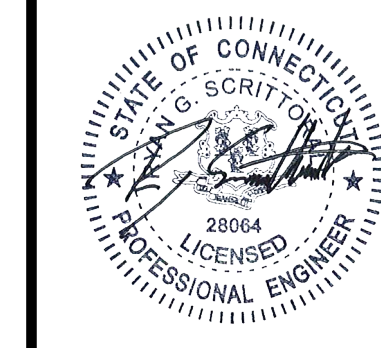
 Alfred Benesch & Company
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 860-633-8341

Applicant:

 2138 Silas Deane Highway
 Rocky Hill, CT 06067
 Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
 145 NEW BRITAIN AVENUE
 HARTFORD, CONNECTICUT

DATE:	REVISION:



PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 02.08.2022
 DRAWN BY: LAW
 CHECKED BY: JCO

PHOTOMETRIC PLAN

DRAWING NO.:
C-3.0

INSTALLATION NOTES

- INSTALLATION MUST ADHERE TO:
 - CT DEEP "REGULATIONS OF CONNECTICUT STATE AGENCIES, UNDERGROUND STORAGE TANK REGULATIONS, SECTIONS 22a-449(d)-1, AND SECTIONS 22a-449(d) 101-113"
 - NFPA 30 "FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE"
 - NFPA 30A "CODE FOR MOTOR FUEL DISPENSING FACILITIES AND REPAIR GARAGES"
 - NFPA 10 "STANDARD FOR PORTABLE FIRE EXTINGUISHERS"
 - CONNECTICUT STATE BUILDING CODE
 - FEDERAL UST REGULATIONS, SEE 40 CFR, PARTS 280 & 281 AS REVISED 10/2015
 - NFPA 70 2017 EDITION
 - PETROLEUM EQUIPMENT INSTITUTE GUIDELINES "RECOMMENDED PRACTICES FOR INSTALLATION OF UNDERGROUND LIQUID STORAGE SYSTEMS"
 - APPLICABLE LOCAL CODES
 - MANUFACTURER'S RECOMMENDATIONS
- CONTRACTOR MUST COMPLETE ALL MANUFACTURER'S CHECK SHEETS AND PROVIDE COPIES TO OWNER AT COMPLETION OF WORK
- CONTRACTOR MUST USE PERSONNEL CERTIFIED BY ALL EQUIPMENT SUPPLIERS AS QUALIFIED TO PERFORM THE REQUIRED SCOPE OF WORK
- POST CONSTRUCTION FACILITY TESTING BY AN INDEPENDENT TESTING FIRM APPROVED BY OWNER TO INCLUDE:
 - PRECISION TESTING OF NEW PRODUCT LINES
 - PRESSURE DECAY TESTING OF SYSTEM
 - ALL RESULTS TO BE DOCUMENTED AND DOCUMENTS PROVIDED TO OWNER AND, AS REQUIRED, TO REGULATORY AUTHORITIES.

PROJECT NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO REPLACE THE EXISTING CANOPY AND DISPENSERS.

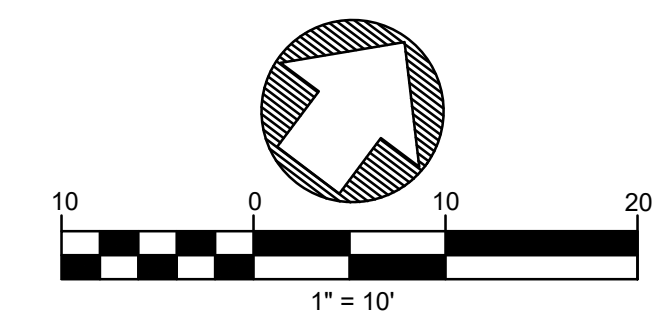
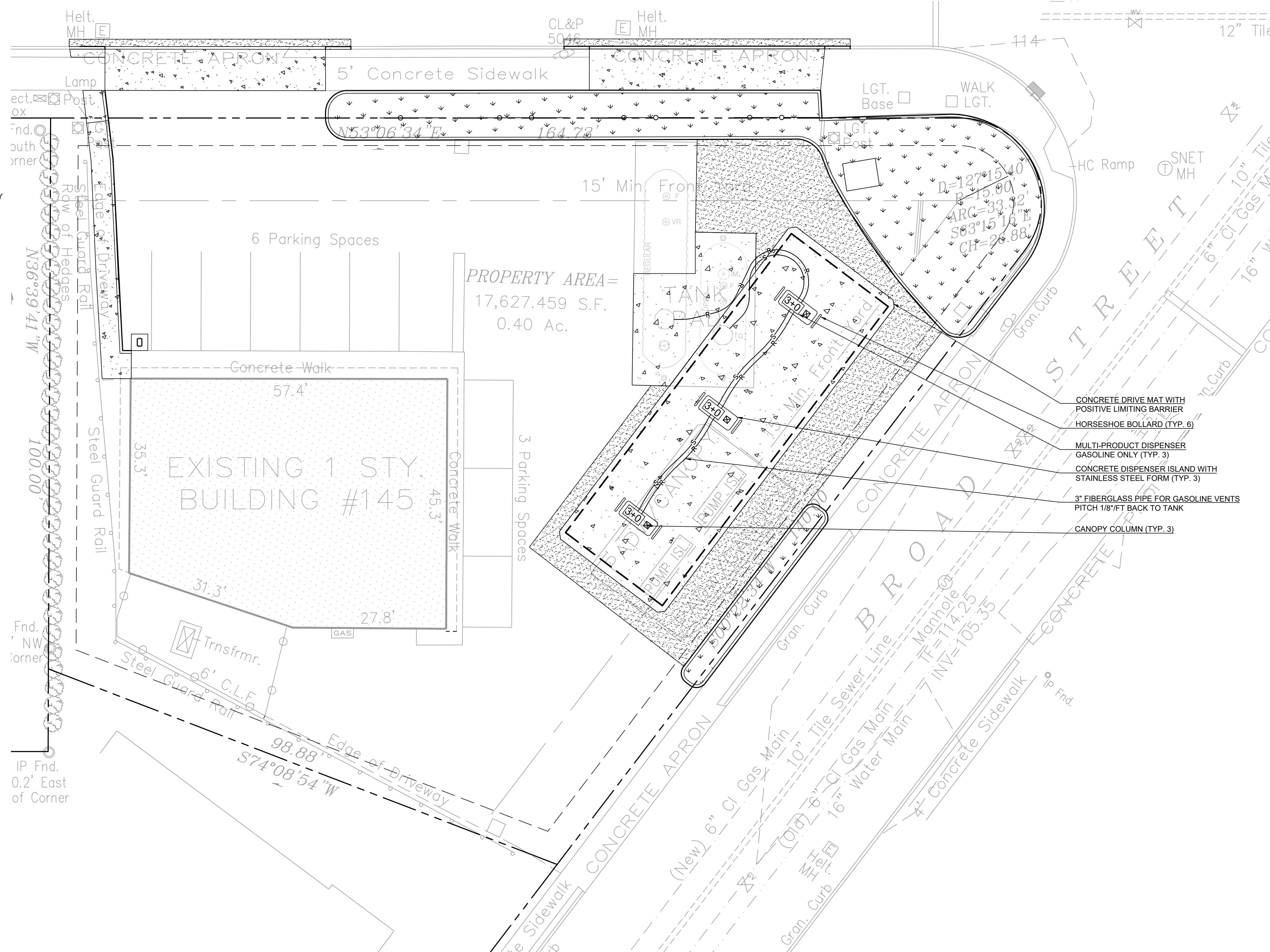
THE PROJECT CONSISTS OF THE FOLLOWING:

- REMOVAL OF EXISTING FUEL DISPENSERS.
- REMOVAL OF ALL ASSOCIATED CONCRETE ISLANDS AND CONCRETE DRIVE MAT.
- REMOVAL OF EXISTING CONCRETE MAT OVER TANKS.
- REMOVAL OF EXISTING UNDERGROUND FUEL PRODUCT PIPING.
- INSTALLATION OF NEW, DOUBLE WALL FLEXIBLE PRODUCT PIPING FROM TANK SUMPS TO DISPENSER SUMPS.
- INSTALLATION OF FLEXIBLE SINGLE WALL PIPING FOR PRODUCT LINES.
- INSTALLATION OF ELECTRICAL CONDUITS TO DISPENSERS AS NEEDED AND ADDITIONAL CONDUITS FOR MONITORING SYSTEM IN TANK FIELD IF REQUIRED.
- INSTALLATION OF NEW FUEL DISPENSERS ON NEW CONCRETE ISLANDS AS SHOWN ON PLANS.
- REPLACEMENT OF EXISTING ASPHALT AND CONCRETE PAVING, AT EXISTING GRADES, AS REQUIRED TO EFFECT ABOVE.
- PROVIDE NEW PAVEMENT MARKINGS AS SHOWN ON PLANS.

NO CHANGES TO EXISTING STORM DRAINAGE, UNDERGROUND STORAGE TANKS, AND/OR VENT PIPING ARE PROPOSED AS PART OF THIS PROJECT.

LEGEND

- CANOPY COLUMN
- REGULAR PIPING
- SUPER PIPING
- SUBMERSIBLE PUMP
- INTERSTITIAL MONITOR
- VENT EXTRACTOR
- FILL LOCATION
- TANK GAUGING LOCATION
- MONITORING WELL
- MULTI PRODUCT DISPENSER



PLAN REFERENCE

BOUNDARY SURVEY FROM PLAN ENTITLED: "BOUNDARY SURVEY SHOWING EXISTING CONDITIONS PROPERTY OF K BROTHERS LLC SHOWING PROPERTY LOCATED AT #145 NEW BRITAIN AVENUE, HARTFORD, CONNECTICUT", SCALE: 1"=20', DATED: NOV. 10, 1021, BY: FLYNN & CYR LAND SURVEYING LLC, BERLIN, CT

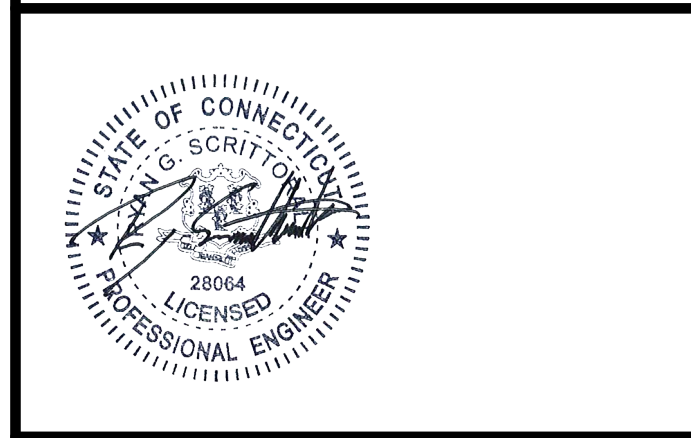
Engineer:
benesch
 Alfred Benesch & Company
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 860-633-8341

Applicant:
Sam's FOOD STORES

 2138 Silas Deane Highway
 Rocky Hill, CT 06067
 Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
 145 NEW BRITAIN AVENUE
 HARTFORD, CONNECTICUT

DATE:	REVISION:



PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 02.08.2022
 DRAWN BY: JUD
 CHECKED BY: JUD

PIPING PLAN

DRAWING NO.:
UT-1.0

SAM'S FOOD STORES

CONVENIENCE STORE
145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT 06114

ISSUED FOR SITE PLAN APPROVAL

APRIL 22, 2022

OWNER

Prepared For:



2138 Silas Deane Highway
Rocky Hill, CT 06067

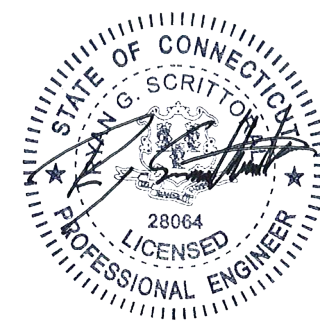
Director of Construction: Nadeem Khalid

CONSULTANTS

Prepared By:



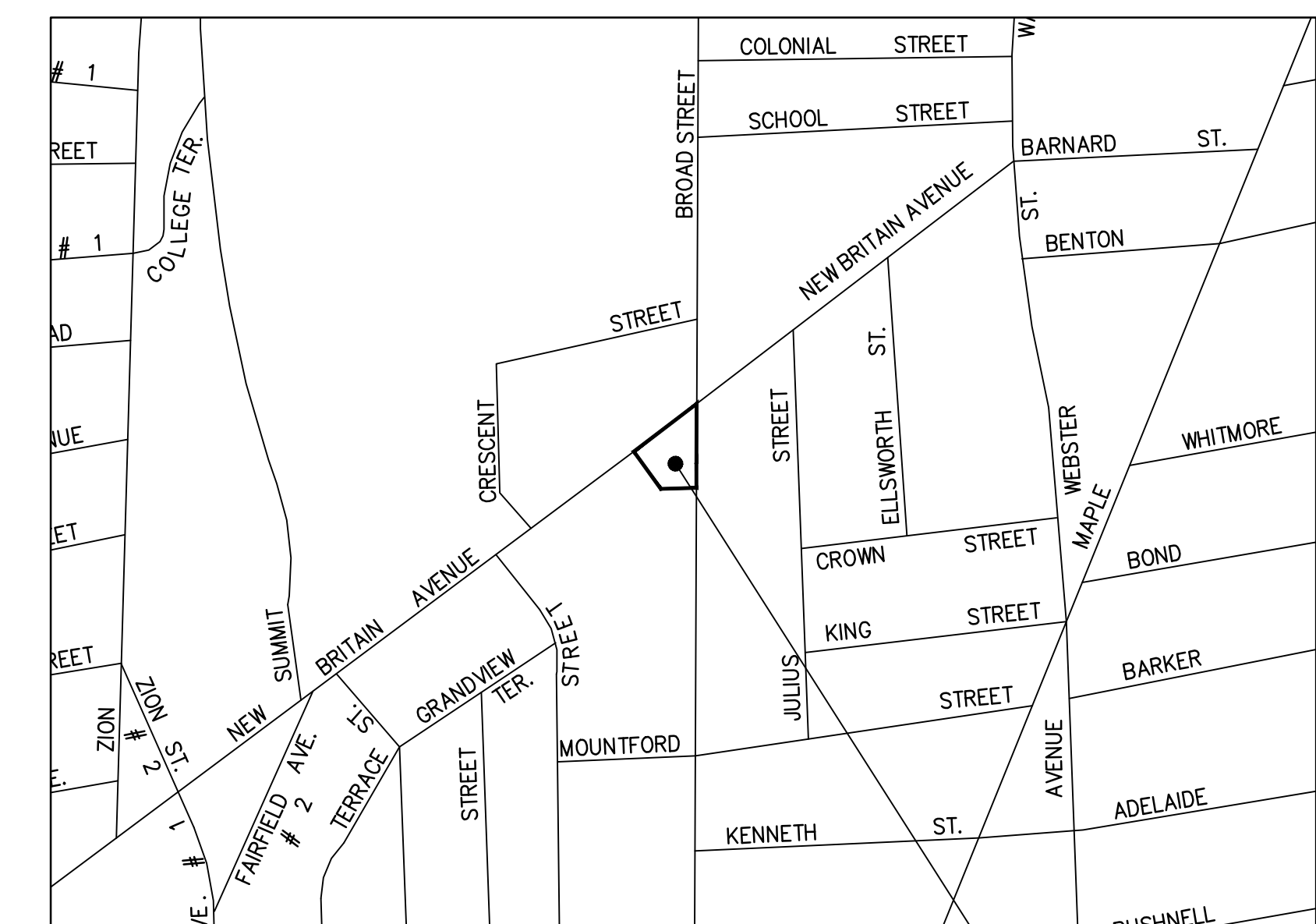
120 Hebron Avenue, Second Floor
Glastonbury, CT 06033
P 860-633-8341
F 860-633-1068
www.Benesch.com



LIST OF DRAWINGS

CS	COVER SHEET
	BOUNDARY SURVEY SHOWING EXISTING CONDITION, PROPERTY OF K BROTHERS LLC
C-0.0	SITE PREPARATION PLAN
C-1.0	SITE PLAN
C-2.0	SITE DETAILS
C-2.1	SITE DETAILS
C-3.0	PHOTOMETRIC PLAN
UT-1.0	PIPING PLAN

LOCATION MAP



APPROX. SCALE: 1" = 500'

PROJECT SITE

MAP REFERENCES:

- 1) "COMPILATION PLAN PROPOSED CONSOLIDATED PARCEL CAMPUS AND COMMUNITY SPORTS COMPLEX TRINITY COLLEGE BROAD STREET AND NEW BRITAIN AVENUE HARTFORD, CONNECTICUT SCALE: 1"=30' DATE SEPTEMBER 2005 MICHAEL WILMES L.S."
- 2) "PLAN OF LAND IN NEW BRITAIN AVE.-BROAD ST. HARTFORD, CONN. SURVEYED FOR MOBIL OIL CORPORATION SCALE: 1"=20' OCT. 1967 REV. 4-4-68 HAYDEN GRISWOLD."

REGULATIONS FOR MS-3 ZONE

ITEM	REQUIRED	EXISTING
MIN. FRONT LOT LINE COV.	85%	76.1%
FRONT BLD.-TO ZONE	WITHIN 15' OF B.L.	32.3'
COR. BLD.-TO ZONE	WITHIN 10' OF B.L.	32.3'
MIN. LOT WIDTH	40'	164'
MAX. BLDG. WIDTH	55'	57.4' *
MIN. BLDG. LN.-N.B. Ave	15'	47.3'
MIN. BLDG. LN.-Broad St.	15'	41.9'
MIN. SIDE YARD	0'	53.3'
MIN. REAR YARD	25'	20.9' *
MAX. BLDG COVERAGE	50%	13.9%
MAX. IMPERV COVERAGE	70%	85.8% *
ADD. SEMIPERV COVERAGE	15%	0%
MAX. BLDG. HEIGHT	1.5 STY.	1 STY.
MIN. BLDG. HEIGHT	2.5 STY.	1 STY.

*Non-conforming but pre-existing condition.

Manhole
TF=115.07
INV=106.87

INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE ALL UTILITIES MARKED.

THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CANNOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS, WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

NOTES:

- 1) ELEVATIONS SHOWN ACCORDING TO NAVD88.

CERTIFICATION:

- 1) THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, AND THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE OCTOBER 26, 2018 PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. PURSUANT TO AND AS SET FORTH THESE STANDARDS: THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A BOUNDARY SURVEY. PROPERTY LINES, AS THEY ARE DEPICTED HEREON, PRESENT PROFESSIONAL OPINIONS THAT PERTAIN TO A "DEPENDENT RESURVEY". THIS MAP PRESENTS THE RESULTS OF MEASUREMENTS WHICH WERE MADE UPON THE GROUND IN ACCORDANCE WITH THE ACCURACY STANDARDS OF A CLASS A-2 & T-2 SURVEY.
- 2) THIS MAP AND SURVEY WERE PREPARED FOR K BROTHERS LLC TO BE USED IN MATTERS THAT RELATE TO EXISTING CONDITIONS. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
- 3) NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

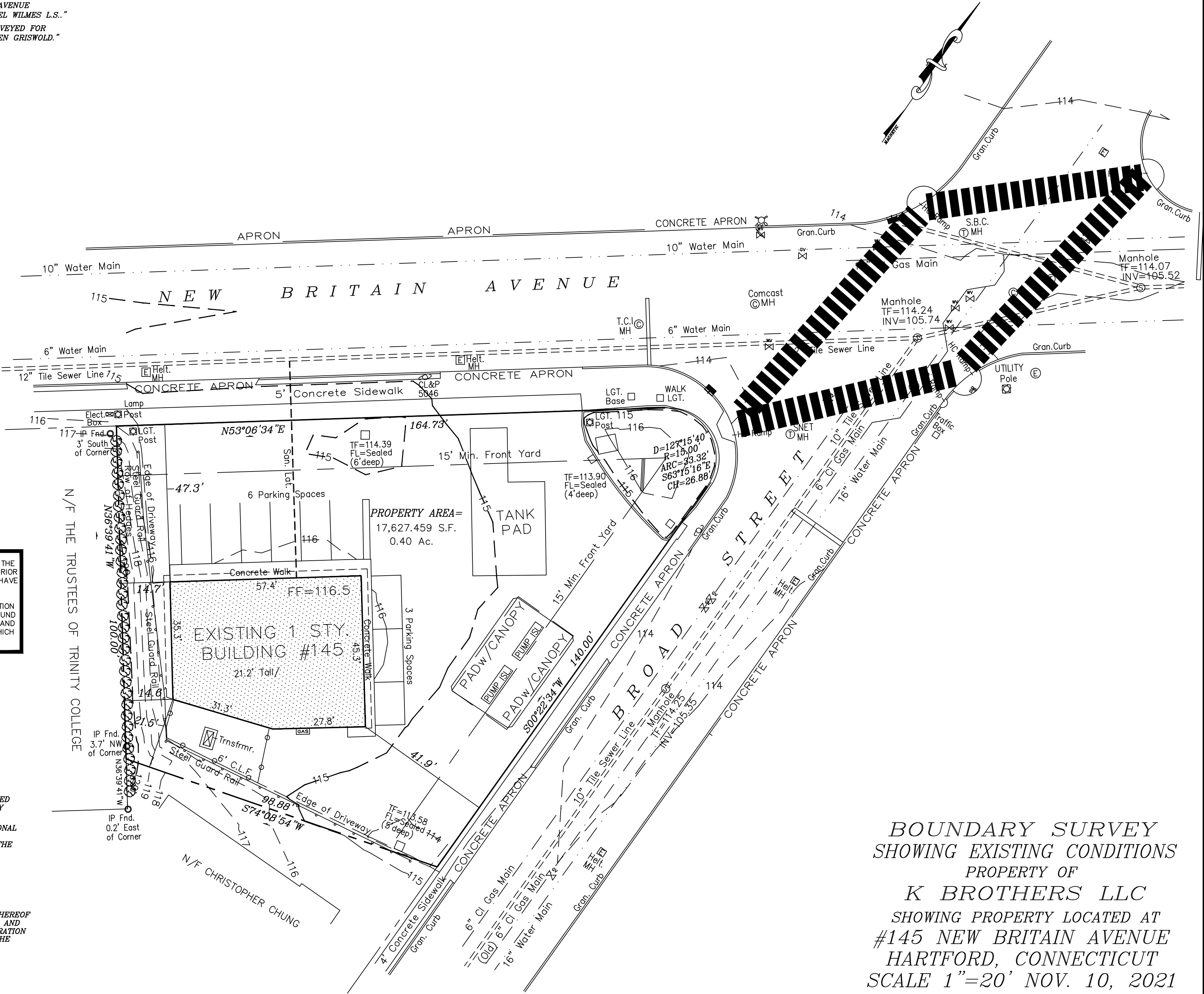
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Flynn
PETER D. FLYNN CT.L.L.S. #8792 DATE 11-10-21
KENNETH R. CYR CT.L.L.S. #70116

NOT VALID UNLESS ORIGINAL SIGNATURE, LIVE STAMP, & RAISED SEAL ARE AFFIXED.



FLYNN & CYR LAND SURVEYING LLC
1204 FARMINGTON AVE. PHONE 860-828-7886
BERLIN, CONNECTICUT 06037



**BOUNDARY SURVEY
SHOWING EXISTING CONDITIONS
PROPERTY OF
K BROTHERS LLC
SHOWING PROPERTY LOCATED AT
#145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT
SCALE 1"=20' NOV. 10, 2021**

GRAPHIC SCALE



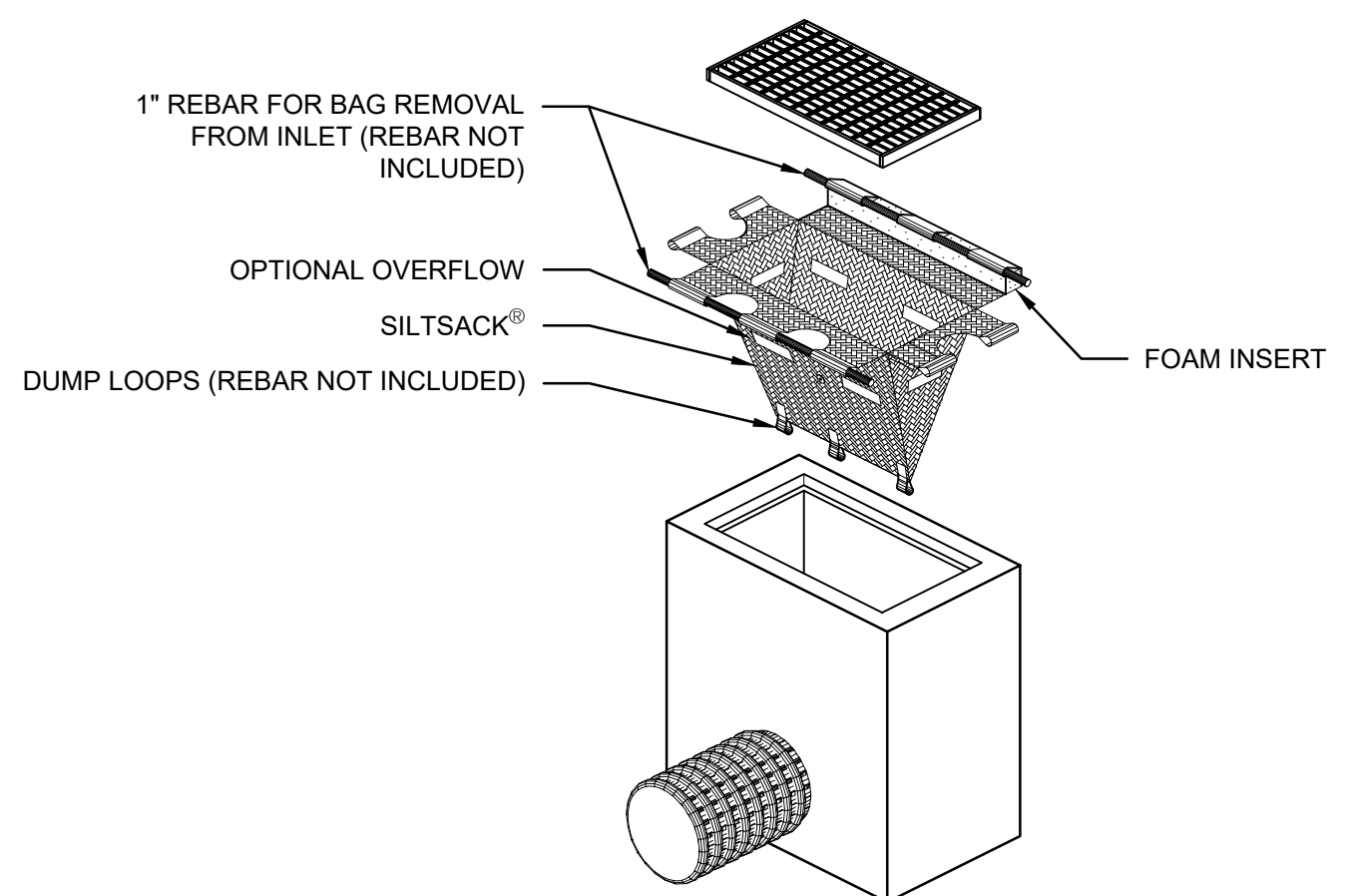
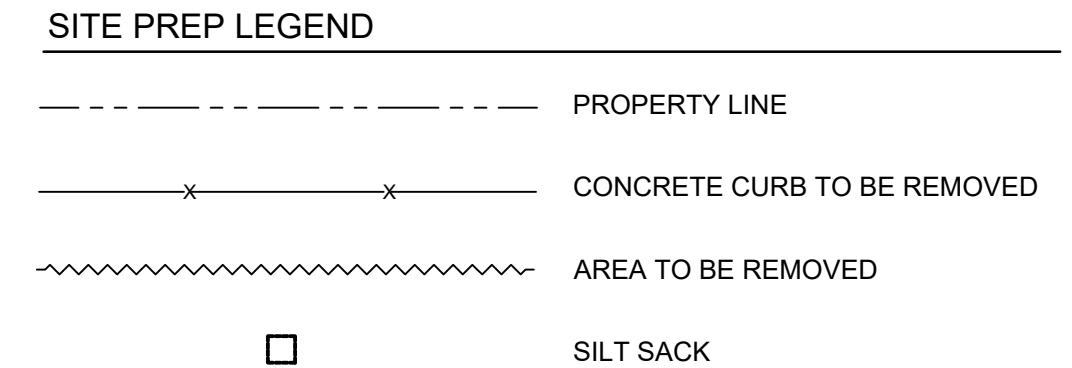
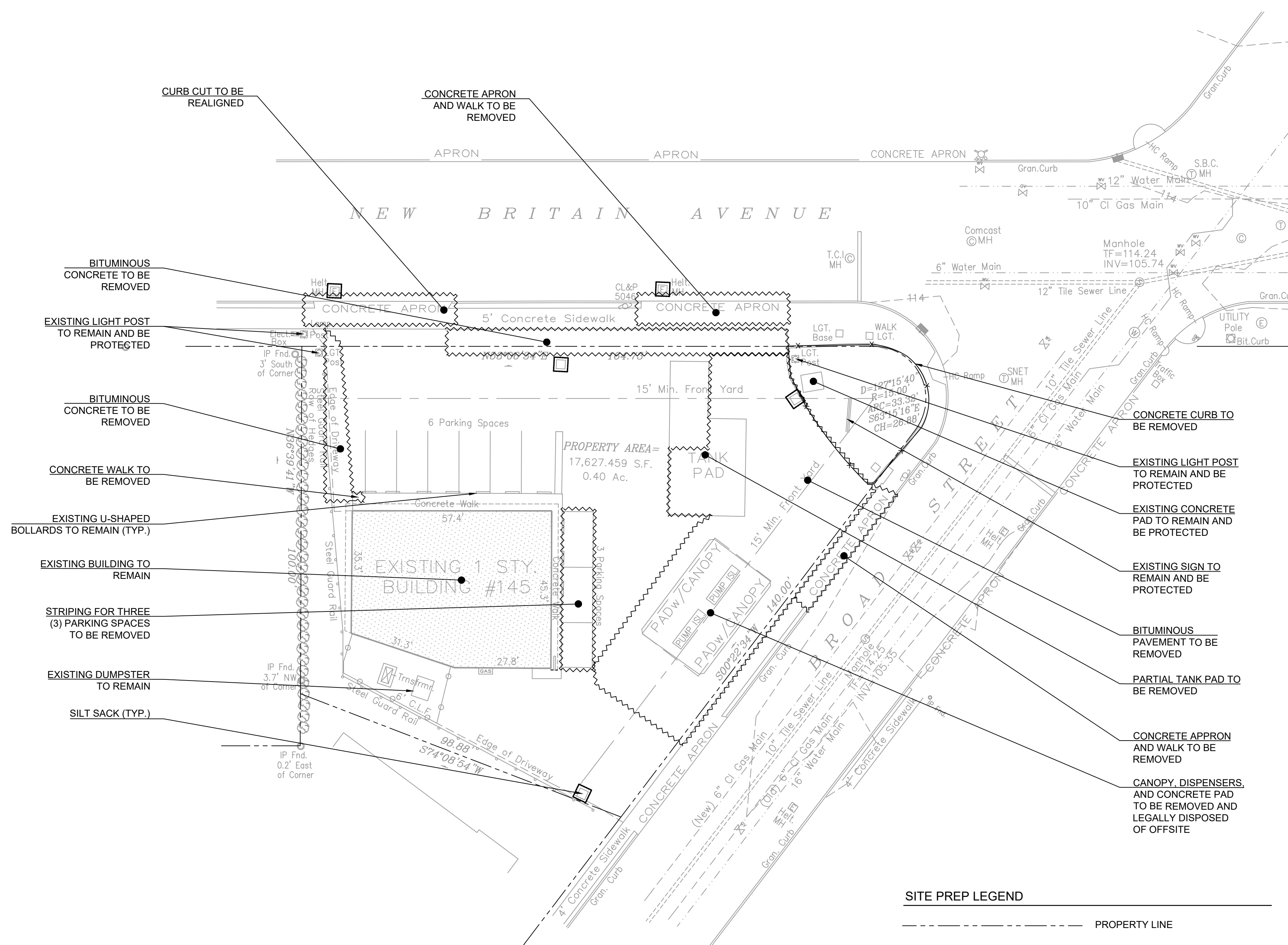
(IN FEET)
1 inch = 20 ft.

EROSION AND SEDIMENT CONTROL NOTES:

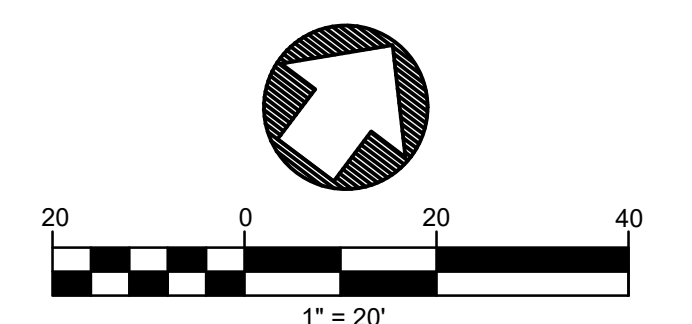
1. THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
2. THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
3. MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. EROSION CONTROL MEASURES MUST BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.5 INCHES OF RAINFALL PER 24 HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF.
4. IF PROBLEMS WITH THE EROSION CONTROL MEASURE ARE DISCOVERED DURING THE INSPECTIONS, THEY MUST BE FIXED. IF SIGNIFICANT REPAIR OR REPLACEMENT IS REQUIRED, IT SHALL BE CORRECTED AS SOON AS POSSIBLE.
5. ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL"
6. PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
7. NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
8. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
9. TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
10. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
11. SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.
12. CONCRETE WASHOUTS SHALL BE UTILIZED, AS NECESSARY, TO REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONCRETE WASTE. WHEN THE FACILITIES ARE NO LONGER REQUIRED, THE HARDENED CONCRETE, SLURRIES AND LIQUIDS SHALL BE REMOVED AND PROPERLY DISPOSED OFFSITE.

SITE PREPARATION NOTES:

1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
3. PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF WORK. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
4. DURING DEMOLITION, PROTECT ALL ADJACENT CURBING, SIDEWALKS, RAMPS, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOIDED. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
5. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
6. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
7. IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. PROVIDE PAVEMENT SAWCUT AT THE EDGE OF EACH PAVEMENT REMOVAL AREA TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12 INCHES FROM EDGE OF PAVEMENT REMOVAL.
9. UNLESS OTHERWISE INDICATED, ALL NON HARDSCAPE AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.



"SILT SACK" SEDIMENT CONTROL DEVICE, TERRAFIX GEOSYNTHETICS INC. TORONTO, ONTARIO, CA WWW.TERRAFIXGEO.COM
SILT SACK (SS)
 SCALE: NONE





PLAN REFERENCE

BOUNDARY SURVEY FROM PLAN ENTITLED: "BOUNDARY SURVEY SHOWING EXISTING CONDITIONS PROPERTY OF K BROTHERS LLC SHOWING PROPERTY LOCATED AT #145 NEW BRITAIN AVENUE, HARTFORD, CONNECTICUT", SCALE: 1"=20', DATED: NOV. 10,1021, BY: FLYNN & CYR LAND SURVEYING LLC, BERLIN, CT

Engineer:

 Alfred Benesch & Company
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 860-633-8341

Applicant:


 2138 Silas Deane Highway
 Rocky Hill, CT 06067
 Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT

DATE:	REVISION:



PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 04-22-2022
 DRAWN BY: JJD
 CHECKED BY: JJD

SITE PREPARATION PLAN

DRAWING NO.:
C-0.0



SAM'S FOOD STORES
145 NEW BRITAIN AVENUE
HARTFORD, CONNECTICUT

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 818 AND THE CITY OF HARTFORD SPECIFICATIONS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL-BEFORE-YOU-DIG AT 800-922-4455 FOR MARK OUT OF ALL UNDERGROUND UTILITIES.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
7. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
8. ALL PROPOSED CURBING ADJACENT STREET SHALL BE GRANITE. ALL PROPOSED CURBING ON-SITE SHALL BE MONOLITHIC CONCRETE WHERE IT ABUTS CONCRETE SIDEWALK AND BITUMINOUS IN ALL OTHER LOCATIONS.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
12. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
13. EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH ENGINEER TO APPROVE LAYOUT OF JOINT PATTERNS.
14. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.
15. DRIVEWAYS INTERSECTING WITH A SIDEWALK SHALL BE DESIGNED TO FAVOR THE SIDEWALK, INCLUDING ENSURING THAT THE SIDEWALK IS LEVEL OVER THE DRIVEWAY AND THAT THE SIDEWALK IS NOT LOWERED TO MATCH THE DRIVEWAY HEIGHT.

SITE PLAN LEGEND

- PROPERTY LINES
- FRONT BUILDING LINE, OR SIDE OR REAR SETBACK LINE
- CURBING
- 4' HIGH BLACK ORNAMENTAL FENCE
- CONCRETE SIDEWALK
- BITUMINOUS CONCRETE
- LOAM AND SEED
- PROPOSED INKBERRY (ILEX GLABRA 'DENSEA'), 3' HEIGHT CONTAINER GROWN, UNIFORM / WELL DEVELOPED
- PROPOSED TURKISH FILBERT (CORYLUS COLUMNA)

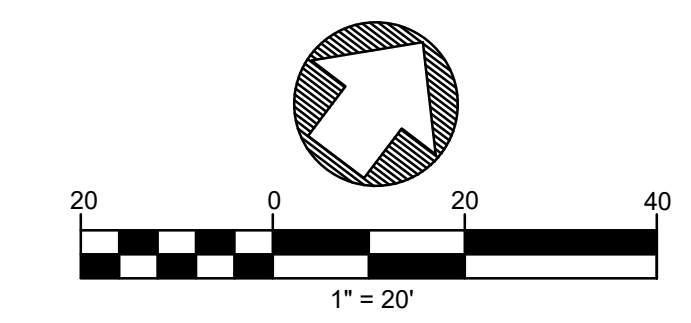
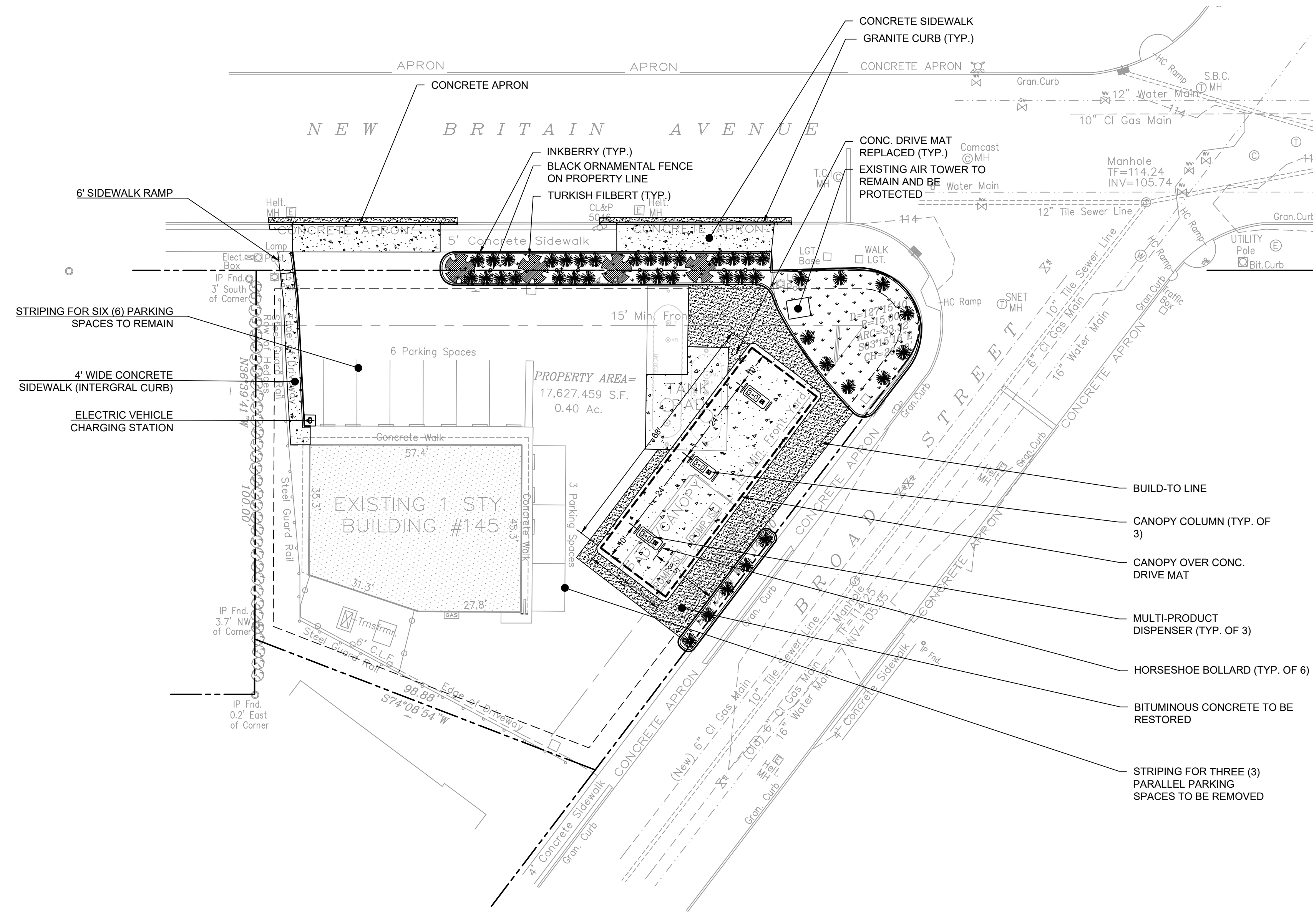
GENERAL BUILDING ZONING TABLE

ZONE: MAIN STREET (MS-3) BUILDING TYPE			
BUILDING TYPE: STOREFRONT (SECTION 4.5)			
ITEM	ZONING REGULATION	EXISTING	PROPOSED
FRONT LOT LINE COVERAGE	80%	0% (NON-CONFORMING)	UNCHANGED
OCCUPATION OF CORNER	REQUIRED	NON-CONFORMING	UNCHANGED
FRONT BUILD-TO ZONE	WITHIN 5' OF BUILDING LINE	47.4 FT	UNCHANGED
CORNER BUILD-TO ZONE	WITHIN 5' OF BUILDING LINE	105.0 FT	UNCHANGED
MINIMUM SIDE SETBACK	0 FT	14.7 FT	UNCHANGED
MINIMUM REAR SETBACK	5 FT	22.9 FT	UNCHANGED
MINIMUM LOT WIDTH	60 FT	100 FT	UNCHANGED
MAXIMUM BUILDING WIDTH	NO LIMITATION	45.1 FT	UNCHANGED
MAXIMUM BUILDING COVERAGE	80%	17.8% (INCLUDES CANOPY)	22.6% (INCLUDES CANOPY)
MAXIMUM IMPERVIOUS AREA	70%	85.5%	82.7%
MINIMUM BUILDING HEIGHT	1 STORY	1 STORY	1 STORY
MAXIMUM BUILDING HEIGHT	4 STORIES	1 STORY	1 STORY
PERMITTED PARKING & LOADING	REAR & LIMITED SIDE YARD	FRONT & SIDE YARD	FRONT YARD
QUANTITY OF TREES REQUIRED	15% OF SQUARE FOOTAGE OF LOT	10% OF LOT COVERED	15% OF LOT COVERED**
STREET TREES	1 TREE / 40 FT OF STREET FRONTAGE = 2 STREET TREES REQUIRED *	NONE	4 STREET TREES

** ONLY WHERE SIDEWALK IS BEING RENOVATED (80 ± FEET)
 * EXISTING GAS CANOPY = 1,496 SF / TOTAL LOT = 17,647.6 SF. CANOPY PROVIDES 8.5% COVERAGE
 EXISTING BUILDING CANOPY = 274 SF / 17,647.6 SF = 1.5%
 ASSUME ALL INKBERRIES CAST A CANOPY 3' IN RADIUS: $\pi(3 \text{ FT})^2 \times 27 \text{ INKBERRIES} = 763.41 \text{ SF} / 17,647.6 \text{ SF} = 4.3\%$
 ASSUME ALL TURKISH FILBERTS CAST A CANOPY 4' IN RADIUS, BUT HALF OF CANOPY ARE ON PROPERTY:
 $(\pi(4 \text{ FT})^2 \times 4 \text{ TURKISH FILBERTS} = 100.5 \text{ SF} / 17,647.6 \text{ SF} = 0.7\%$
 TOTAL COVERAGE = 8.5% + 1.5% + 4.3% + 0.7% = 15.0%

ZONING WAIVER REQUEST TABLE

ZONE: MAIN STREET (MS-3) BUILDING TYPE		
ARTICLE	REGULATION	PROPOSED CONDITION
4.17.2A	FUEL PUMPS & CANOPIES SHALL BE LOCATED IN THE REAR OR INTERIOR SIDE YARD	LARGER CANOPY TO BE LOCATED IN THE SAME LOCATION OF THE EXISTING NON-CONFORMING CANOPY



PLAN REFERENCE

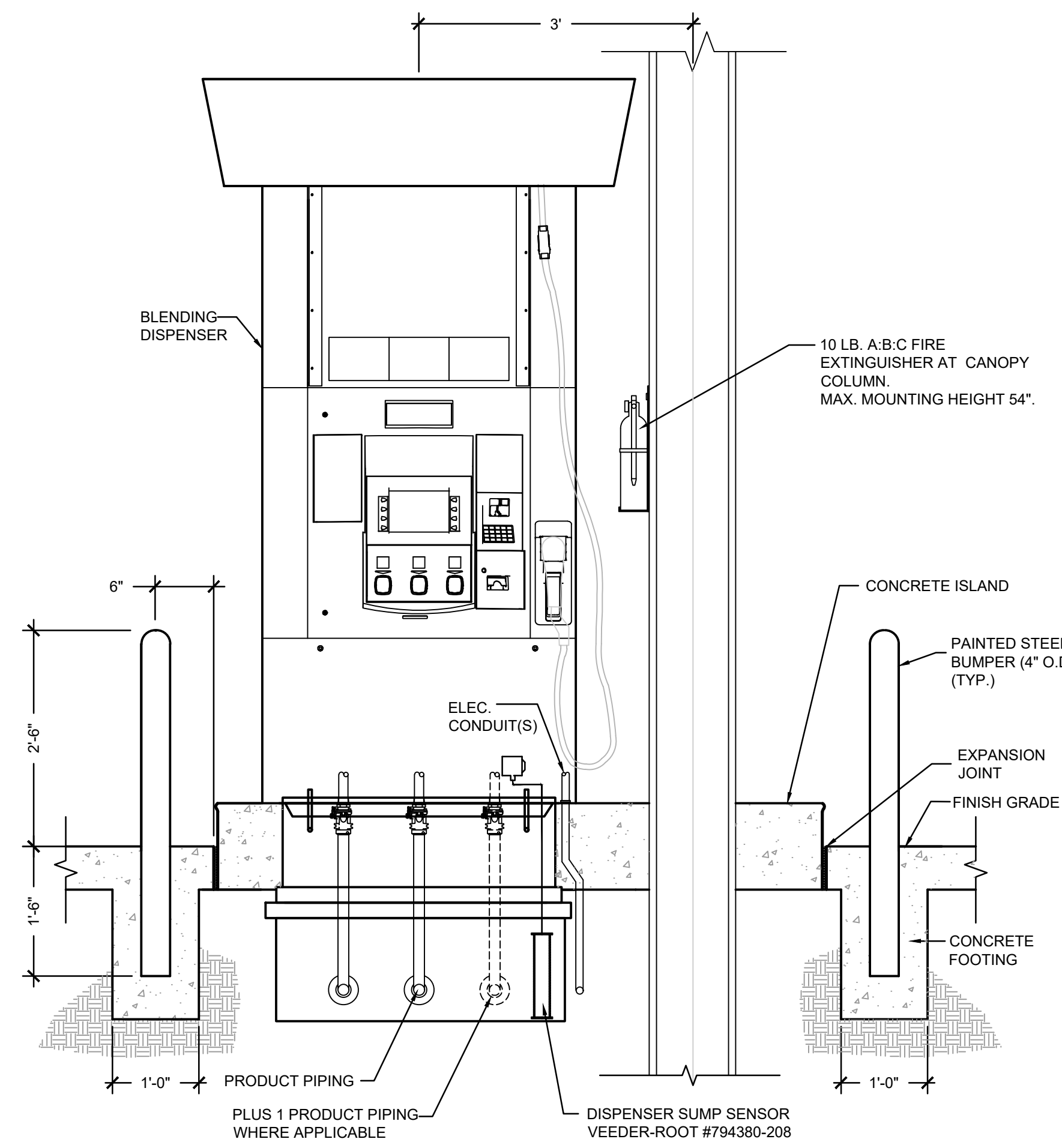
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DATE:	REVISION:

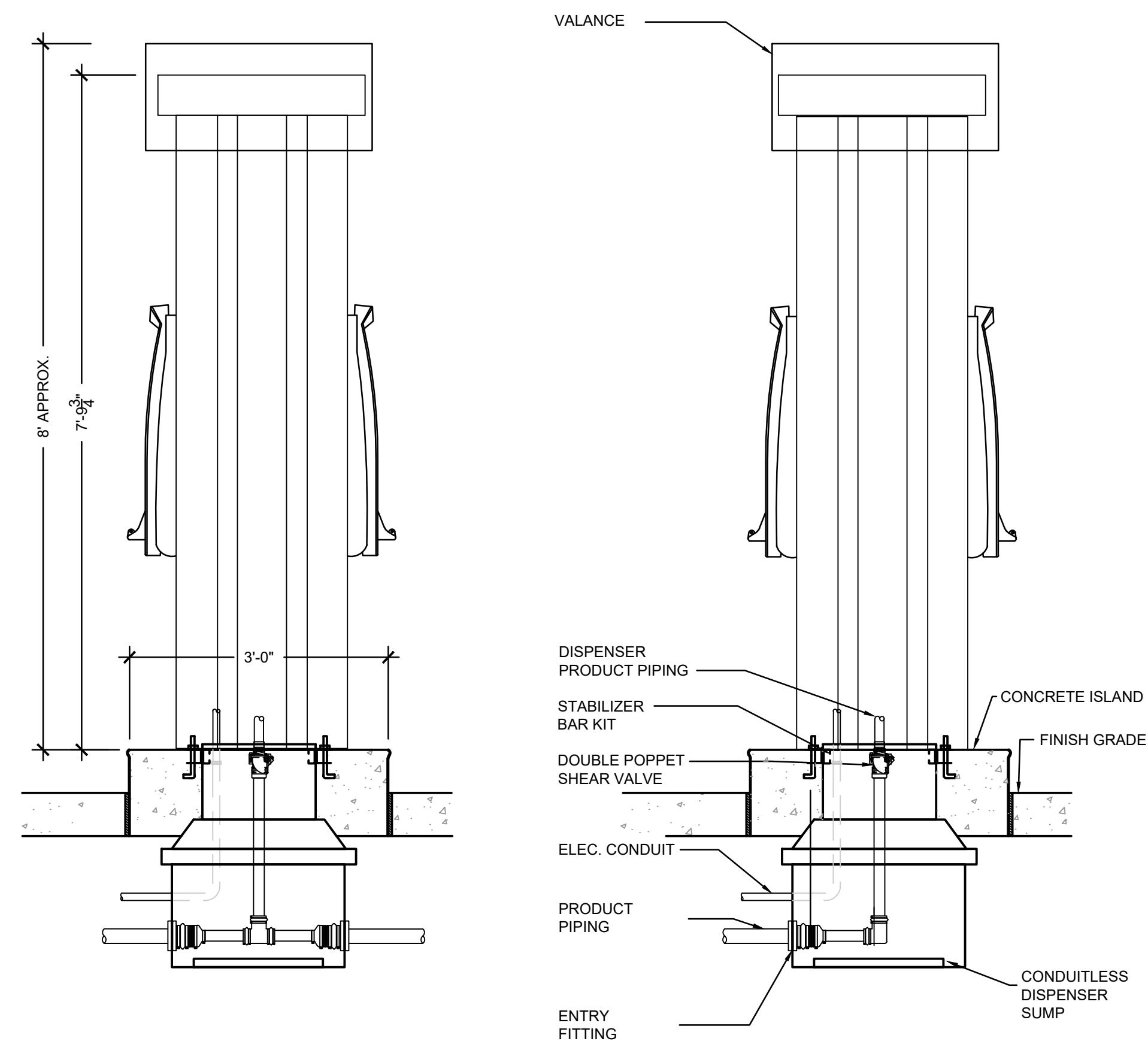


PROJECT NO.: 70701.01
 SCALE: AS SHOWN
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 CHECKED BY: JJD

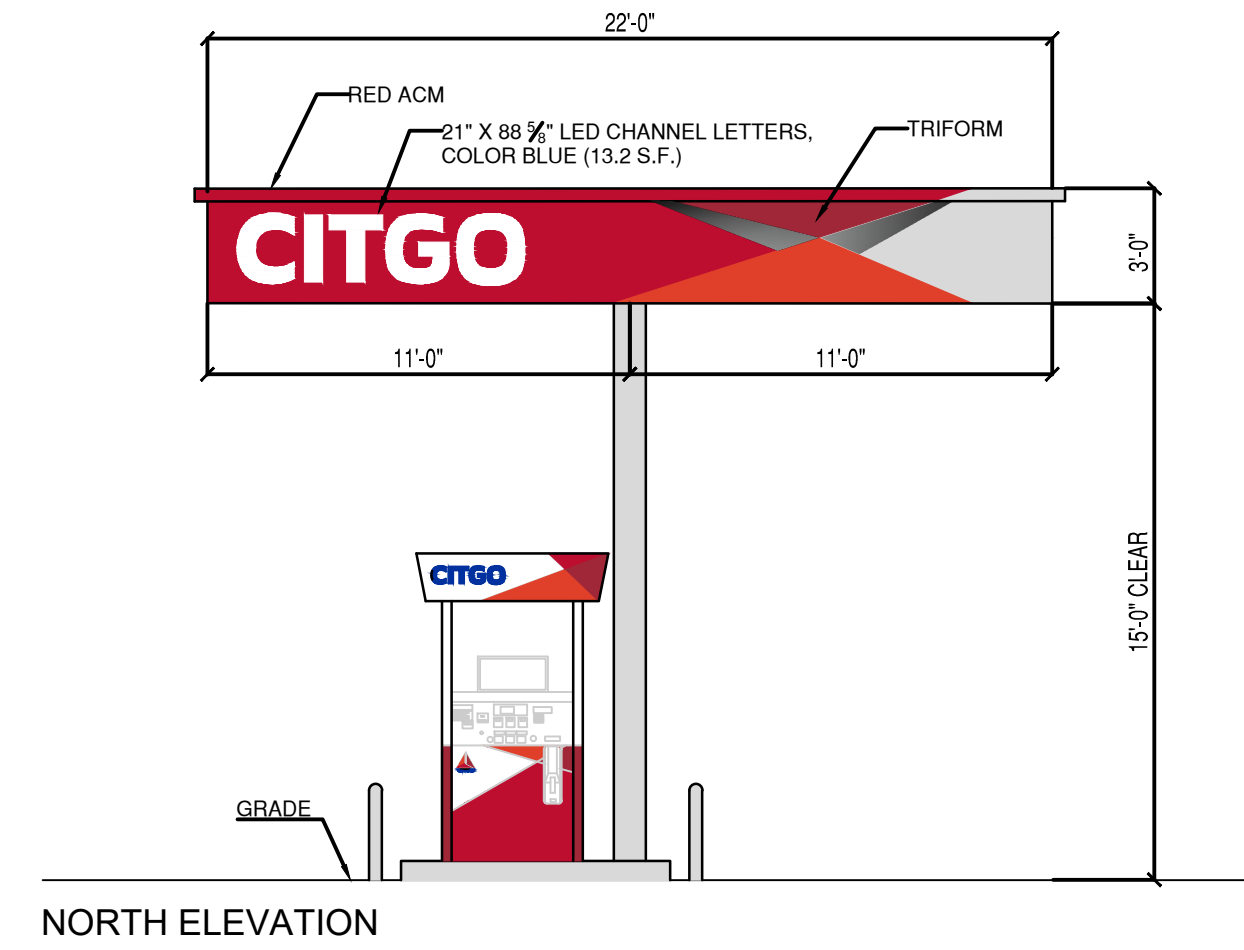
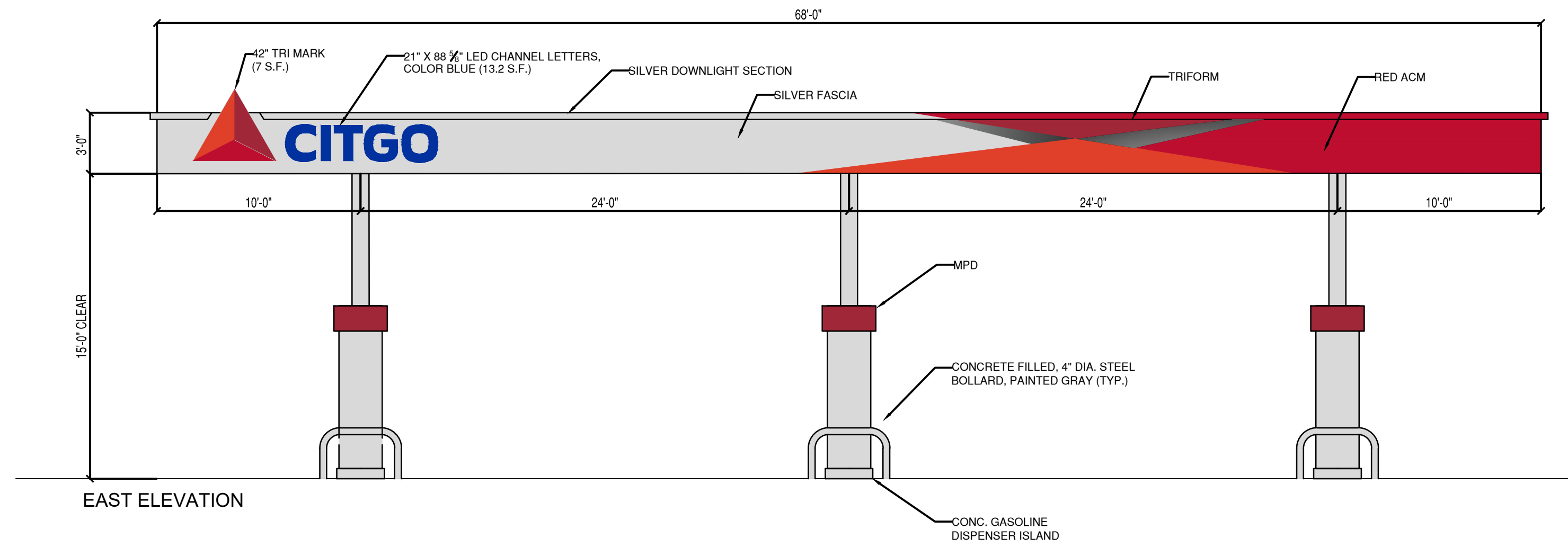
SITE PLAN



1 DISPENSER ISLAND
SCALE 3/4" = 1'-0"



2 DISPENSER ISLAND
SCALE 3/4" = 1'-0"



3 CITGO CANOPY
SCALE: 1/4" = 1'-0"

Engineer:

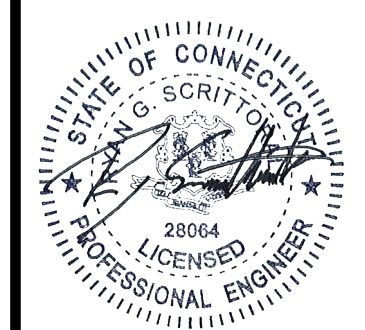
 Alfred Benesch & Company
 120 Hebron Avenue, 2nd Floor
 Glastonbury, Connecticut 06033
 860-633-8341

Applicant:

 2138 Silas Deane Highway
 Rocky Hill, CT 06067
 Director of Construction: Nadeem Khalid

SAM'S FOOD STORES
 145 NEW BRITAIN AVENUE
 HARTFORD, CONNECTICUT

DATE:	REVISION:



PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 04-22-2022
 DRAWN BY: JLD
 CHECKED BY: JLD

**SITE
 DETAILS**

DRAWING NO.:
C-2.1

INSTALLATION NOTES

- INSTALLATION MUST ADHERE TO:
 - CT DEEP "REGULATIONS OF CONNECTICUT STATE AGENCIES, UNDERGROUND STORAGE TANK REGULATIONS, SECTIONS 22a-449(d)-1, AND SECTIONS 22a-449(d) 101-113"
 - NFPA 30 "FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE"
 - NFPA 30A "CODE FOR MOTOR FUEL DISPENSING FACILITIES AND REPAIR GARAGES"
 - NFPA 10 "STANDARD FOR PORTABLE FIRE EXTINGUISHERS"
 - CONNECTICUT STATE BUILDING CODE
 - FEDERAL UST REGULATIONS, SEE 40 CFR, PARTS 280 & 281 AS REVISED 10/2015
 - NFPA 70 2017 EDITION
 - PETROLEUM EQUIPMENT INSTITUTE GUIDELINES "RECOMMENDED PRACTICES FOR INSTALLATION OF UNDERGROUND LIQUID STORAGE SYSTEMS"
 - APPLICABLE LOCAL CODES
 - MANUFACTURER'S RECOMMENDATIONS
- CONTRACTOR MUST COMPLETE ALL MANUFACTURER'S CHECK SHEETS AND PROVIDE COPIES TO OWNER AT COMPLETION OF WORK
- CONTRACTOR MUST USE PERSONNEL CERTIFIED BY ALL EQUIPMENT SUPPLIERS AS QUALIFIED TO PERFORM THE REQUIRED SCOPE OF WORK
- POST CONSTRUCTION FACILITY TESTING BY AN INDEPENDENT TESTING FIRM APPROVED BY OWNER TO INCLUDE:
 - PRECISION TESTING OF NEW PRODUCT LINES
 - PRESSURE DECAY TESTING OF SYSTEM
 - ALL RESULTS TO BE DOCUMENTED AND DOCUMENTS PROVIDED TO OWNER AND, AS REQUIRED, TO REGULATORY AUTHORITIES.

PROJECT NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO REPLACE THE EXISTING CANOPY AND DISPENSERS.

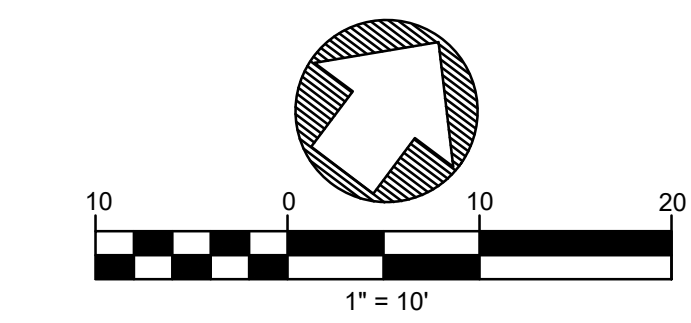
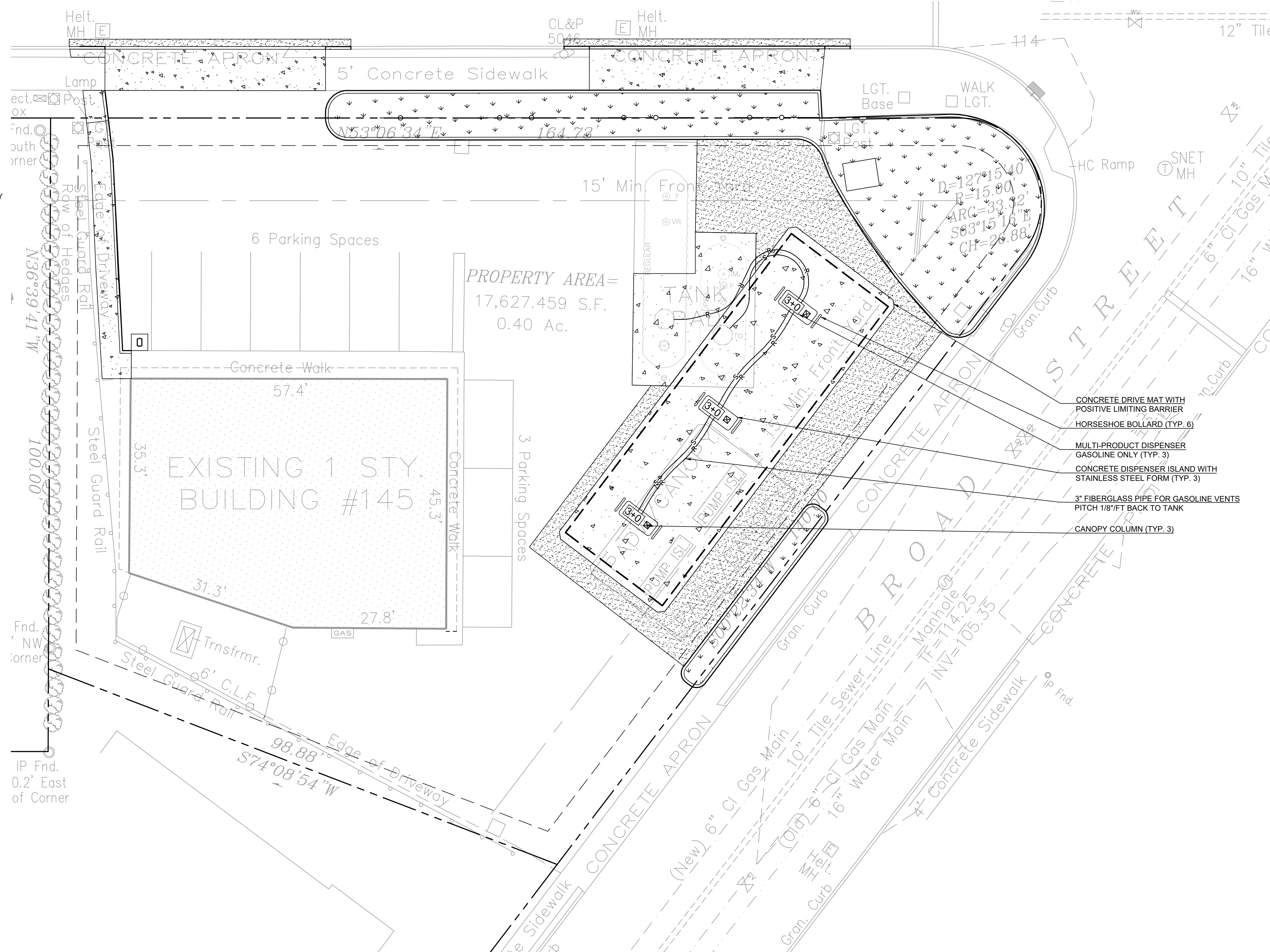
THE PROJECT CONSISTS OF THE FOLLOWING:

- REMOVAL OF EXISTING FUEL DISPENSERS.
- REMOVAL OF ALL ASSOCIATED CONCRETE ISLANDS AND CONCRETE DRIVE MAT.
- REMOVAL OF EXISTING CONCRETE MAT OVER TANKS.
- REMOVAL OF EXISTING UNDERGROUND FUEL PRODUCT PIPING.
- INSTALLATION OF NEW, DOUBLE WALL FLEXIBLE PRODUCT PIPING FROM TANK SUMPS TO DISPENSER SUMPS.
- INSTALLATION OF FLEXIBLE SINGLE WALL PIPING FOR PRODUCT LINES.
- INSTALLATION OF ELECTRICAL CONDUITS TO DISPENSERS AS NEEDED AND ADDITIONAL CONDUITS FOR MONITORING SYSTEM IN TANK FIELD IF REQUIRED.
- INSTALLATION OF NEW FUEL DISPENSERS ON NEW CONCRETE ISLANDS AS SHOWN ON PLANS.
- REPLACEMENT OF EXISTING ASPHALT AND CONCRETE PAVING, AT EXISTING GRADES, AS REQUIRED TO EFFECT ABOVE.
- PROVIDE NEW PAVEMENT MARKINGS AS SHOWN ON PLANS.

NO CHANGES TO EXISTING STORM DRAINAGE, UNDERGROUND STORAGE TANKS, AND/OR VENT PIPING ARE PROPOSED AS PART OF THIS PROJECT.

LEGEND

- CANOPY COLUMN
- REGULAR PIPING
- SUPER PIPING
- SUBMERSIBLE PUMP
- INTERSTITIAL MONITOR
- VENT EXTRACTOR
- FILL LOCATION
- TANK GAUGING LOCATION
- MONITORING WELL
- MULTI PRODUCT DISPENSER



PLAN REFERENCE

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SAM'S FOOD STORES
 145 NEW BRITAIN AVENUE
 HARTFORD, CONNECTICUT

DATE:	REVISION:



PROJECT NO.: 70701.01
 SCALE: AS SHOWN
 DATE: 04-22-2022
 DRAWN BY: JLD
 CHECKED BY: JLD

PIPING PLAN

DRAWING NO.:
UT-1.0

April 22, 2022

Paul Ashworth
Senior Planner
City of Hartford – Department of Development Services
Planning and Zoning Division
206 Constitution Plaza, 1st Floor
Hartford, CT 06103

RE: **145 New Britain Avenue - Variance Request**

Paul,

Below is our response to comments from your email on April 13, 2022. The individual comments from the email are reproduced below. Our response immediately follows each of the items and is reproduced in italics font for the 145 New Britain Avenue project.

1. Sec.6.10.1 – Minimum 10% of the parking area must be covered by tree canopy.

Benesch Response: 15% of the lot will be shaded via either the gas canopy, trees, and/or shrubs. Please note that is impractical for this site to be shaded purely with trees as the existing site is mostly impervious. The site improvements we are proposing will increase the amount of green space and landscaped islands.

2. Figure 6.4-A – Please confirm that the proposed tree plan will shade 15% of the total square footage of the lot (MS-3).

Benesch Response: see response to comment 1 above.

3. Please confirm how ISR will be reduced to meet the maximum for this building type in the MS-3 district, per sec.4.7.2 maximum ISR is 70%.

Benesch Response: The impervious ratio for the site under existing conditions is 85.5%. With larger green space and landscaped islands, the impervious ratio is being decreased to 82.7% under proposed conditions. Please note that this is an improvement to bring a non-conformity closer to conformity and it is impractical for us to meet a maximum of 70%.

4. Sec.6.7 – Please confirm that wherever the sidewalk is being renovated, that street trees shall be planted consistent with this section (1 tree per 40'). (John, we discussed this already. It amounts to probably 2 street trees)

Benesch Response: There is about 80 linear feet of sidewalk being renovated as part of this project which indicates a total of 2 street trees required. We are providing a total of 4 street trees along New Britain Avenue. Please note that we have removed our request for a zoning variance for street trees as part of this project.

5. Sec.6.8 – Provide a frontage buffer (see sec.6.8 for details) along each street frontage adjacent to parking, fuel pumps or fuel canopies.

Benesch Response: A frontage landscape buffer has been provided along both streets to the maximum extent practical.

6. Sec.6.9 – Provide a Side Buffer (see sec.6.9 for detail) along side property lines between drive aisle or parking and the adjacent lot.

Benesch Response: A side landscape buffer has been provided along both streets to the maximum extent practical.

7. At least one level 2 charging station is required for fueling stations. Please show the charging station on the plans with the required protective bollards or curbing consistent with the design requirements of Sec.4.20.7.B.

Benesch Response: An electric vehicle charging station has been provided on site

8. Sec.4.17.2 – Confirm that the maximum width of any driveway or drive aisle is 22' or less and that any remaining areas are landscaped.

Benesch Response: We are proposing to close one driveway apron on New Britain Avenue. Please note the other driveway aprons are existing to remain and require more than 22' to accommodate a tanker truck to provide fuel deliveries.

9. Please provide a raised pedestrian walkway from the public sidewalk to the primary entrance of the building on at least one frontage. Please consider providing this on both frontages.

Benesch Response: a pedestrian sidewalk access has been provided from the public sidewalk to the primary building entrance.

10. Confirm the dumpster enclosure meets the requirements of Sec.6.12. Dumpster enclosure per Sec.6.12 shall be 6' or the height of the use to be screened; border three sides, or four if visible from the public Right-of-Way; consist of an opaque fence/wall made of wood, metal or masonry.

Benesch Response: the existing dumpster behind the building is enclosed and to remain. The enclosure consists of an opaque fence and is not visible from the public right-of-way.

11. Sec.7.5.3.J – Please note driveways intersecting with a sidewalk shall be designed to favor the sidewalk, including ensuring that the sidewalk is level over the driveway and that the sidewalk is not lowered to match the driveway height.

Benesch Response: General Note #15 has been added to Sheet C-1.0 which indicates that the sidewalk is favored.

12. 7.3.1.J – Illumination – Provide a lighting plan consistent with Sec.7.3.1.J that shows illumination of the parking lot and pedestrian areas (photometric plan). Please confirm light fixtures will be fully shielded and focused on the relevant area with maximum light spillage and design consistent with Sec.6.15.2

Benesch Response: The site lighting plan is provided on Sheet C-3.0.

13. 7.3.1.B – Wheel stops or bumper guards are required in any parking space adjacent to a pedestrian pathway in order to limit vehicle overhang that reduces sidewalk width.

Benesch Response: There are existing u-shaped bollards in front of the sidewalk which prevent the vehicle overhang onto the sidewalk.

14. Please provide a soil erosion & sedimentation control plan.

Benesch Response: Soil erosion and sediment controls are noted on C-0.0 Site Preparation Plan.

15. Please provide a stormwater plan and narrative confirming that the plan will meet the minimum requirements for stormwater systems per sec.6.14.2. Specifically, that the peak runoff discharge rates from 2, 10, 25 and 100-year storms will not exceed the corresponding pre-development discharge rates. This is required unless exemption can be confirmed per Sec.6.14.2.C.(4).

Benesch Response: A Stormwater Memorandum has been included as part of this revision.

16. At a minimum, please notate on the plan that all grading will be designed such that stormwater is directed toward the interior of the lot or to the street and not onto adjacent properties. Gutters or curbing should be provided as necessary to direct runoff towards the interior of the property and the existing stormwater system or the street. DPW may require a topographic survey confirming this condition.

Benesch Response: See response to comment 15 above.

Sincerely,

John Oliveto, PE
Alfred Benesch & Co.