

PZ-HIST-23-000053

Menu Reports Help

File Date: 03/13/2023

Application Status: Plan Review

Assigned To: Alexander Castro

Description of Work: We are looking to demolish 224 Washington St. The building has been vacant for years and and has not held up well to the elements. We had 2 independent structural engineering review the structure and both say the building is not structurally sound. The City on 2/3/23 issued us a notice of unsafe structure

Application Detail: Detail

Application Type: Historic Preservation

Documents:	File Name	Document Group	Category	Description	Type	Document
	20230309080813054.pdf	PLNG_COA	Other		application/pdf	Upload
	20230309080803176.pdf	PLNG_COA	Other		application/pdf	Upload
	20230309080750207.pdf	PLNG_COA	Other		application/pdf	Upload
	20230309080813054.pdf	PLNG_COA	Site Photos	Engineering Report ...	application/pdf	Upload
	20230309080803176.pdf	PLNG_COA	Product Specs	Engineering Report ...	application/pdf	Upload
	20230309080750207.pdf	PLNG_COA	Statement	City of Hartford Un...	application/pdf	Upload
	20230310145235028.pdf	PLNG_COA	Owners Authoriz...	owner authorization...	application/pdf	Upload
	IMG_3187.jpg	PLNG_COA	Photos	exterior wall spalling	image/jpeg	Upload
	IMG_3186.jpg	PLNG_COA	Photos	brick window wall c...	image/jpeg	Upload
	IMG_3184.jpg	PLNG_COA	Photos	brick window wall c...	image/jpeg	Upload
	IMG_3183.jpg	PLNG_COA	Photos	brick window wall c...	image/jpeg	Upload
	IMG_3180.jpg	PLNG_COA	Photos	brick window wall c...	image/jpeg	Upload
	IMG_3179.jpg	PLNG_COA	Photos	interior courtyard ...	image/jpeg	Upload
	IMG_3178.jpg	PLNG_COA	Photos	interior courtyard ...	image/jpeg	Upload
	IMG_3176.jpg	PLNG_COA	Photos	rotted out floorboa...	image/jpeg	Upload
	IMG_3171.jpg	PLNG_COA	Photos	Collapsing floor bo...	image/jpeg	Upload
	IMG_3170.jpg	PLNG_COA	Photos	Collapsing floor bo...	image/jpeg	Upload
	IMG_3168.jpg	PLNG_COA	Photos	disintegrating exte...	image/jpeg	Upload
	IMG_3169.jpg	PLNG_COA	Photos	rotted beam, rotted...	image/jpeg	Upload
	IMG_3166.jpg	PLNG_COA	Photos	1st floor rotted floor	image/jpeg	Upload

Show all

Address: 224 WASHINGTON ST, HARTFORD, CT 06106

Owner Name: HARTFORD HOSPITAL

Owner Address: 80 SEYMOUR ST, HARTFORD, CT 06106 331

Application Name:

Parcel No: 226549140

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	M	Hartford Health...	Applicant	Mailing, 129 Patricia ...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #
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Job Value: \$0.00

Total Fee Assessed: \$250.00

Total Fee Invoiced: \$250.00

Balance: \$0.00

Custom Fields: PLNG_COA_CF

GIS Information

Zoning District	Zoning Overlay	FEMA Flood Zone	Land Use Per Assessor
MX-1	-	-	APARTMENT BUILDING OR COMPLEX

NRZ	Neighborhood	Local Historic District
FROG HOLLOW NRZ	SOUTH GREEN	-

Historic District	Historic Landmark/Site	State Historic District
-		-

Dispersion met?	Identify Dispersion	National Historic District
No	-	Jefferson Seymour

General Project Information

Is this application a result of a violation notice?	Zoning Enforcement Case ID #
No	NONE

Is this a contributing building or structure?
No

Is this proposed work visible from the street?

[Yes](#)

Historic Review Types

New Construction/Addition

[No](#)

Exterior Alteration

[No](#)

Demolition

[Yes](#)

Signage

[No](#)

Solar Panel

[No](#)

Other

-

Does this project include a demolition?

[Yes](#)

If a demolition request, what alternatives have you sought?

[After we demolish the building are plans short term are to grade and grass the area. Longer term plans will involve another structure being built on that site in the future.](#)

Exterior Alterations

Windows

Doors

Porches/Walkways

Siding

Roofs

Mechanical Appurtenances

Other

-

Describe the existing conditions and materials

[deteriorating brick](#)

Describe the proposed materials

[N/A](#)

Hardships and Reason for Hardships

Is this an owner-occupied principal residence?

[No](#)

Is this a non-owner occupied residential building containing six (6) or fewer dwelling units?

[No](#)

Is this a commercial and industrial building?

[No](#)

Is this a request for demolition where there is no feasible and prudent alternative to demolition?

[Yes](#)

Other Payment Required

Task	Assigned To	Status	Status Date	Action By
Notice of Decision				
Appeal Period				
Permit Issuance				
Permit Status				
Certificate of Plannin...				
Case Complete				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
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Application Comments:	View ID	Comment	Date
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Initiated by Product: ACA

Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments
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FUSS & O'NEILL

January 13, 2023

Mr. Stephen Alexandre, CFM, MFA, RPA
System Director of Real Estate Department
Hartford Healthcare
Real Estate Department
129 Patricia M. Genova Drive
Newington, CT 06111

RE: Structural Condition Assessment
224 Washington Street, Hartford, CT
Fuss & O'Neill Reference No. 20221213.A10

Dear Mr. Alexandre:

Fuss & O'Neill, Inc. (F&O) has completed a structural condition assessment of the existing 4-story mixed-use building located at 224 Washington Street in Hartford, CT. The timber framed building has an exterior brick masonry shell originally constructed around 1913 and is approximately 15,500 square feet plus a full below-grade basement. The purpose of this condition assessment was to observe the current state of deterioration of the structure as it has been unoccupied for several years and undergone significant fire damage. Hartford Healthcare is concerned that the property is a risk and safety hazard to the abutting landowners and pedestrians walking in the vicinity of the structure and, given its condition, it may not be feasible to repair/renovate/stabilize the existing building.

On January 4th, 2023, F&O met Hartford Healthcare and City of Hartford personnel on site to perform the structural condition assessment of the subject property. The building consists of a brick masonry façade with interior masonry load-bearing walls. Additional timber framing, floor and roof beams and joists support the interior portions of the mixed-use structure. The observable portions of the foundation appear to consist of cast-in-place concrete and stone masonry. Much of the exterior masonry walls that form the interior courtyard of the structure have failed or are in a state of failure and expose the interior portions of the building to the elements.

Access to the interior portions of the building were severely limited to sections of the 1st and 2nd levels of the structure. Due to the poor condition of the timber framing and concerns about safety, the 3rd and 4th levels of the building could not be directly observed. The accessible interior portions of the building are in poor condition with localized heavy damage to some structural members including floor decking, floor framing members, and interior stairways. There is evidence of moisture damage due to water infiltration throughout the structure, particularly on the upper stories. Charred and structurally compromised framing from previous fire damage was observed throughout the building, particularly around the interior stairway core. The roof structure could

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Corres.

Mr. Stephen Alexandre

January 13, 2023

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not be directly observed because of heavy damage and deterioration to the structure. There was evidence of previous stabilization with the presence of steel columns; however, it is believed that the steel columns are founded on a masonry pier that's condition is unknown with severely compromised framing surrounding the pier.

As is typical for most structures that are left unoccupied and unprotected after a significant fire event, much of the damage and deterioration can be attributed to prolonged and continued exposure to water infiltration from a previously failed roof and missing and/or broken windows, doors, and sections of exterior walls. There was also evidence of localized fire damage to much of the timber framing members on the upper levels.

Specific deficient and unsafe conditions that were observed during this condition assessment include but are not limited to the following:

- Portions of the 1st and 2nd floor framing suffered partial collapse and are inaccessible due to the damage and deterioration.
- The interior timber framed stairway is in poor condition as it approaches the 3rd level of the structure and could not be used to access the upper levels of the building. The damage is due to both fire and water infiltration.
- Virtually all of the building's interior finishes on the wall, floor, and ceiling surfaces have either been removed or are significantly damaged due to the fire and subsequent water infiltration. Much of the exposed timber framing has mold, mildew, or other evidence of water damage.
- Many of the building's windows are either missing or broken, providing additional pathways for water to infiltrate and damage the structure.
- Based on our limited observations we estimate that over 50% of the floor framing members for the building have experienced significant deterioration and are not safe to walk on. The remaining framing members are in fair condition; however, their prolonged exposure to water infiltration will cause them to continue to deteriorate at an accelerated pace.
- The exterior brick masonry bearing walls have multiple locations of significant deterioration, especially around window and door openings at the upper portions of the courtyard for the structure. The walls are unstable due to their deterioration and their condition is exacerbated by the deterioration of the timber framing that is no longer adequately bracing the walls at each floor level.

Based on these observations, F&O is of the opinion that the existing structure at 224 Washington Street is not safe for occupancy in its current state. In its current poor condition the building will continue to worsen and will present a significant threat to the abutting properties or nearby pedestrians.



FUSS & O'NEILL

Mr. Stephen Alexandre

January 13, 2023

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Repairing and/or stabilizing the building would include the complete replacement of all interior timber framing members for all 4 stories of the building and reconstruction of approximately 50% of its exterior masonry load-bearing walls. A restoration effort of this magnitude would pose significant logistical and safety challenges and be cost prohibitive when compared to demolishing the structure. Based on our observations and experience with other similarly deteriorated structures, we recommend that 224 Washington Street be demolished within the next 6 months to minimize risk to abutting properties and nearby pedestrians.

Please contact us with any questions or concerns regarding the results of our structural condition assessment and our recommendations for the property.

Sincerely,

Jason J. LeDoux, P.E.

Associate

Enclosures: Photos



Photo 1: Typical Condition of Interior Framing



Photo 2: Partially Collapsed Floor Framing



Photo 3: Severe Damage due to Prolonged Water Infiltration



Photo 4: Significantly Compromised Floor Framing



Photo 5: Steel Shoring Post Near Interior Stairs



Photo 6: Failing Exterior Masonry Walls at Courtyard



LUKE BRONIN
MAYOR

CITY OF HARTFORD

DEPARTMENT OF DEVELOPMENT SERVICES

Division of Licenses and Inspections
260 Constitution Plaza
Hartford, Connecticut 06103-1822

Telephone: (860) 757- 9200
Fax: (860) 722-6333
www.hartford.gov



I. CHARLES MATHEWS
DIRECTOR OF DEVELOPMENT
SERVICES

February 3, 2023

Case BT-URGENT-2023-004435

TO: HARTFORD HOSPITAL

Via electronic mail: Steven Alexandre Steven.Alexandre@hhchealth.org
Keith Grant Keith.Grant@hhchealth.org Thomas Vaccarelli Thomas.Vaccarelli@hhchealth.org

Via Certified Mail:

Bimal Patel, President
Hartford Hospital
80 Seymour Street
Hartford, CT 06102

Re: 224 Washington St. Hartford, CT

STATE BUILDING CODE §116 NOTICE OF UNSAFE STRUCTURE

Dear: Mr. Patel

On 1/4/2023, an inspection was conducted of the premises located at **224 Washington St. Hartford, CT** for the purposes of determining compliance with the State Building Code as amended and the applicable referenced standards, adopted pursuant to the Connecticut General Statutes §29-252. The Code and said standards are available for your inspection at this office. The inspection revealed that the structure is unsafe pursuant to State Building Code §116 due to the following conditions: **Severe water infiltration has caused critical failures to a large portion of the brick façade and inner supporting brick masonry walls. Wide spread collapsing of the brick façade and inner supporting brick masonry walls was observed. The interior framing comprised of wood has also suffered critical failures due to the failed supporting masonry and water infiltration. Most of the interior structure has begun to collapse and is not safe to enter. The structure as a whole is extremely unstable. Per my own observation and the structural condition analysis done by the engineering firm of Fuss & O'Neill dated January 13, 2023 (report attached) it is imperative that this structure is made safe.**

PURSUANT TO STATE BUILDING CODE §116, YOU ARE HEREBY ORDERED TO TAKE THE PROPER CORRECTIVE ACTION TO REMOVE OR REMEDY ALL LISTED VIOLATIONS AS FOLLOWS: A BUILDING PERMIT APPLICATION TO DEMOLISH OR MAKE SAFE THE STRUCTURE TO BE TO BE FILED WITHIN THIRTY (30) DAYS FROM THE DAY THAT THIS NOTICE IS RECEIVED, WITH COMPLETION OF THE REMEDIATION TO BE MADE WITHIN 60 DAYS AFTER APPROVAL FROM THE CITY'S BUILDING DEPARTMENT AND HISTORIC COMMISSION. Construction documents in accordance with §107 for work to be done shall be submitted to this office prior to the commencement of any construction. This review of all construction documents would avoid unnecessary expense that could result from non-complying changes. Please note that the correction of certain violations may require proper permits and approval from the Building Official and other local agencies prior to any construction.

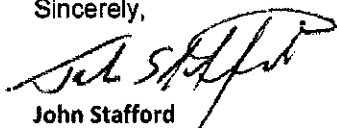
You are hereby notified that you have the right to appeal this order pursuant to Connecticut General Statutes §29-266(b) to the municipal board of appeals or Connecticut General Statute §29-266(c) in the absence of a municipal board of appeals. Variations or exemptions from the State Building Code may be granted by the State Building Inspector where strict compliance with the code would entail practical difficulty or unnecessary hardship, or is otherwise adjudged unwarranted pursuant to Connecticut General Statutes §29-254(b), provided that the intent of the law shall be observed and public welfare and safety be assured. Any application for a variation or exemption or equivalent or alternate compliance shall be filed with the local Building Official.

This is the only order you will receive. You must immediately notify me as to whether you accept or reject the terms of this order. A copy of this order is provided to you to sign and return to me with your response.

Be advised that the Building Official is authorized to prosecute any violation of this order by requesting that legal counsel of the jurisdiction, or the Office of the State's Attorney, institute the appropriate proceeding at law. Per Connecticut General Statutes §29-254a and §29-394, and State Building Code §114.3, any person who is convicted in a court of law of violating any provision of the State Building Code or for failure to comply with the written order of a building inspector for the provision of additional exit facilities in a building, the repair or alteration of a building or the removal of a building or any portion thereof shall be fined not less than two hundred not more than one thousand dollars or imprisoned not more than six months or both.

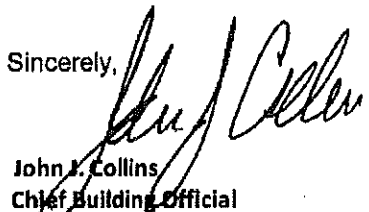
This Office hopes to gain your cooperation and looks forward to working with you in the interest of building and life safety for a timely resolution of this serious matter. If you have any questions, please feel free to contact this office at 860-757-9259.

Sincerely,



John Stafford
Assistant Building Official
Division of Licenses and Inspections
City of Hartford
260 Constitution Plaza 1st Floor
Hartford, CT 06103
STAFJ001@hartford.gov
(860) 757- 9259 (office)

Sincerely,



John J. Collins
Chief Building Official
Division of Licenses and Inspections
City of Hartford
260 Constitution Plaza 1st Floor
Hartford, CT 06103
john.collins@hartford.gov
860-757-9236 (office)

Accepted: _____
Signature of owner

Rejected: _____
Signature of owner

Date: _____



MICHAEL PLICKYS, P.E.
JOHN BROCHU, P.E.
DOUGLAS CAMP, P.E.

MACCHI ENGINEERS, LLC

Diversified Structural and Civil Engineering Services

November 11, 2022

Mr. Steven Alexandre, CFM, FMA, RPA
System Director of Real Estate Department
Hartford Healthcare
Real Estate Dept.
129 Patricia M. Genova Drive
Newington, CT 06111

Re: Building Inspections
216 & 224 Washington Street
Hartford, CT

Dear Steven,

Pursuant to your request, Macchi Engineers have completed our visual inspections of the above referenced properties. The purpose of our inspections was to determine the general overall structural condition of the buildings and provide opinions on whether the buildings can be safely occupied or repurposed. Our inspections were limited to visual assessments of exposed structural elements only, therefore no finishes were removed. Finally, the following assessments were excluded from our scope of work:

1. Environmental or Material Testing.
2. Evaluations of the existing HVAC, Electrical, or Plumbing Systems.

The two buildings are located at the corner of Jefferson and Washington Streets in Hartford, CT. See Photo 1.

Existing Conditions:

224 Washington Street

224 Washington Street is a 5-story structure constructed of timber framed floors and interior and exterior brick bearing walls. See Photos 2 & 3. The building has a gross area of approximately 15,500 sf and according to town records was constructed in 1913. The building contains a full below grade basement.

In general our inspections indicate that the building is in poor overall structural condition. We observed the following conditions:

1. Significant deterioration and partially collapsed floor framing due to long term moisture infiltration and failure of exterior masonry bearing walls. See Photos 4 thru 8.

Tel. 860 / 549-6190

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Mr. Steven Alexandre, CFM, FMA, RPA
System Director of Real Estate Department
Hartford Healthcare

November 11, 2022

2. Failed brick and partially collapsed masonry walls along the northern and eastern exteriors. See Photos 9 thru 12.
3. Loose bricks and/or partial collapse at window header courses. Bricks were found along the ground at the north side of the building from a failed 4th floor window. See Photo 13.
4. Isolated visible fire damage. See Photo 14.

Our inspection of the interior of the building was limited due the current condition of the floor framing and corresponding life safety concerns. However, based on the extent of the observed damage, it is our professional opinion that the building cannot be not be safely occupied at this time unless temporary measures are undertaken to stabilize the structure. Making the building safe to occupy will require the installation of extensive and expensive temporary shoring along portions of the interior and exterior of the building. Although the complete extent of required permanent repairs is unknown at this time, the remedial work required will be extensive and costly. Therefore, it is our opinion that consideration should be given to razing the building in its entirety.

216 Washington Street

216 Washington Street is a 4-story structure constructed of timber framed floors and interior and exterior brick bearing walls. See Photos 15 & 16. The building has a gross area of approximately 12,800 sf and according to town records was constructed in 1915. The building contains a full below grade basement.

At the time of our inspection, the existing interior of the building was found to primarily finished. In general, our inspection of exposed structural elements indicates that the building's exterior and interior envelope is in satisfactory overall structural condition. We did not observe any signs of significant structural distress in the exposed framing or bearing walls and the structure appears to be stable. There is evidence of previous moisture infiltration issues within the building and some deterioration of the mortar joints and brick at the rear of the building. See Photos 17 thru 21. Structurally it is our opinion that the building could be repurposed, however, some structural repairs should be anticipated. To determine the full extent of required repairs, interior finishes would need to be removed. Finally, moisture infiltration can have a significant impact the longevity of the structure, therefore we recommend that every effort be made to ensure that the building is made water tight until permanent remedial work is completed.

The opinions indicated in this report are based on training, experience and information obtained during our visual inspections of exposed areas only. We reserve the right to amend these findings should additional information become available.

November 11, 2022

Mr. Steven Alexandre, CFM, FMA, RPA
System Director of Real Estate Department
Hartford Healthcare

If you have any questions or require any additional information, please call.

Sincerely,
MACCHI ENGINEERS, LLC

A handwritten signature in black ink, appearing to read "Mike Plickys".

MICHAEL R. PLICKYS, P.E.
Principal in Charge

Encl.
Jobsact/washington street/final report.doc



PHOTO 1: - Aerial View Looking East.

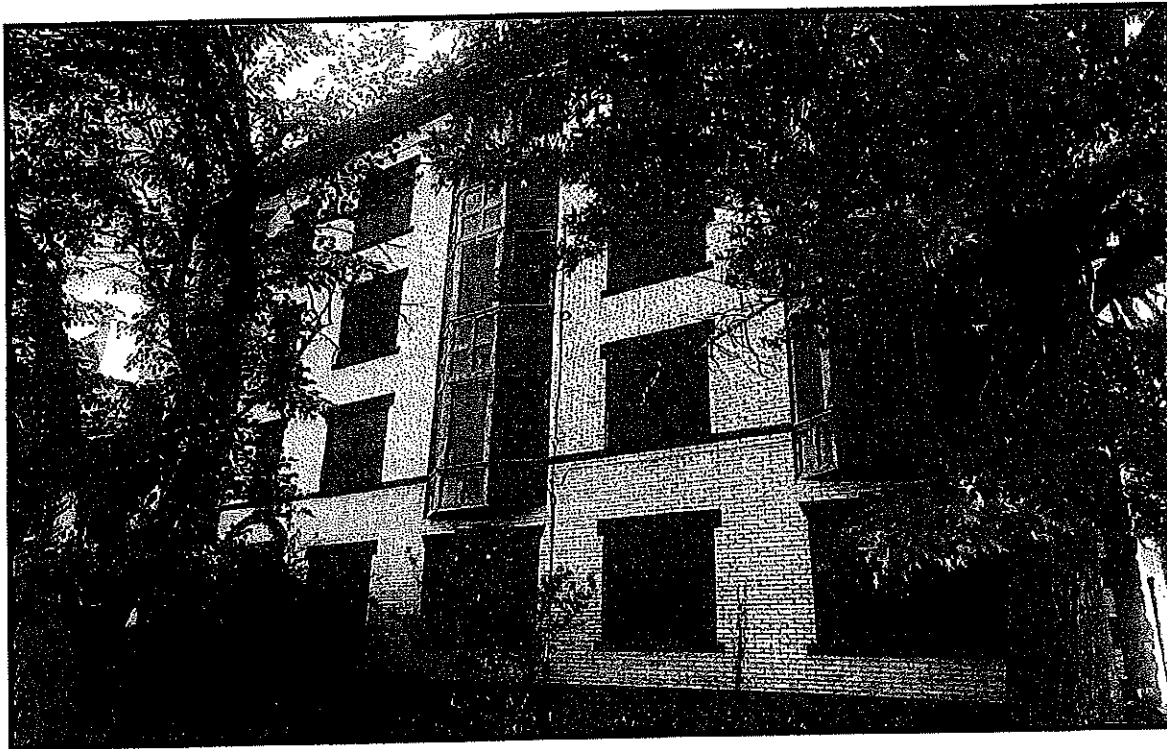


PHOTO 2: - 224 Washington Street West Elevation.

216 & 224 Washington Street
Hartford, CT

November 11, 2022

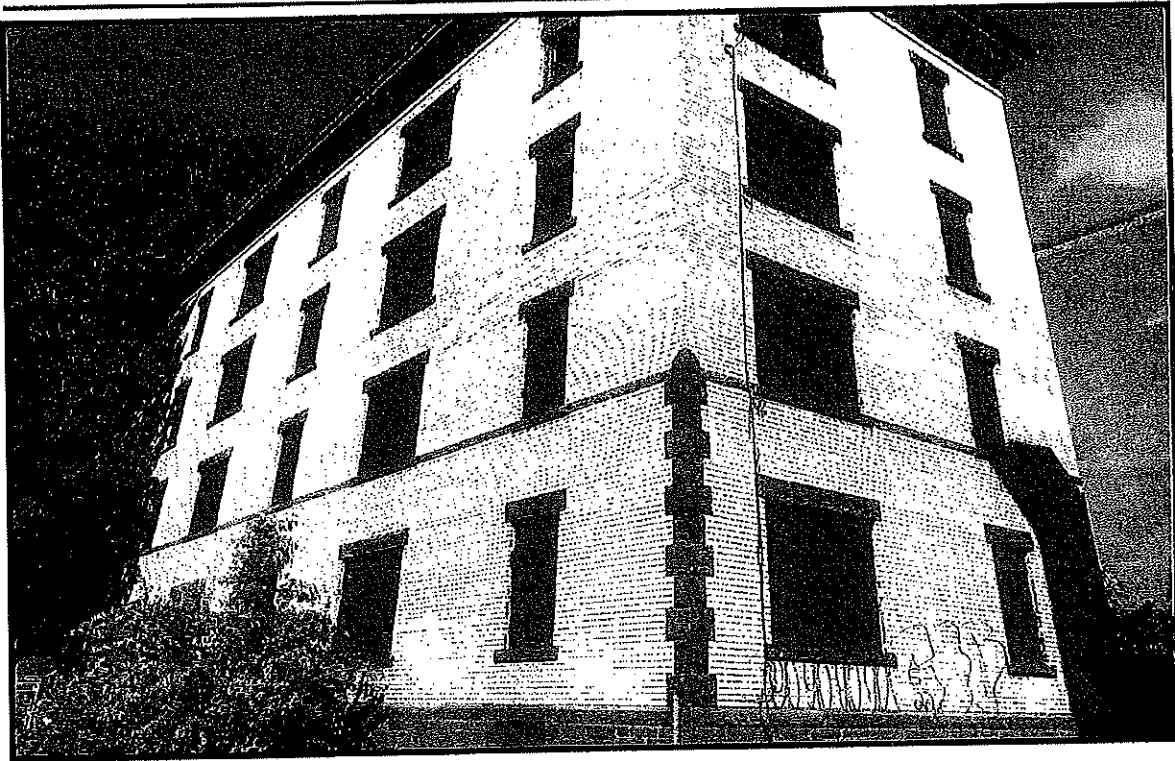


PHOTO 3: - 224 Washington Street South Elevation.



PHOTO 4: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.



PHOTO 5: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.

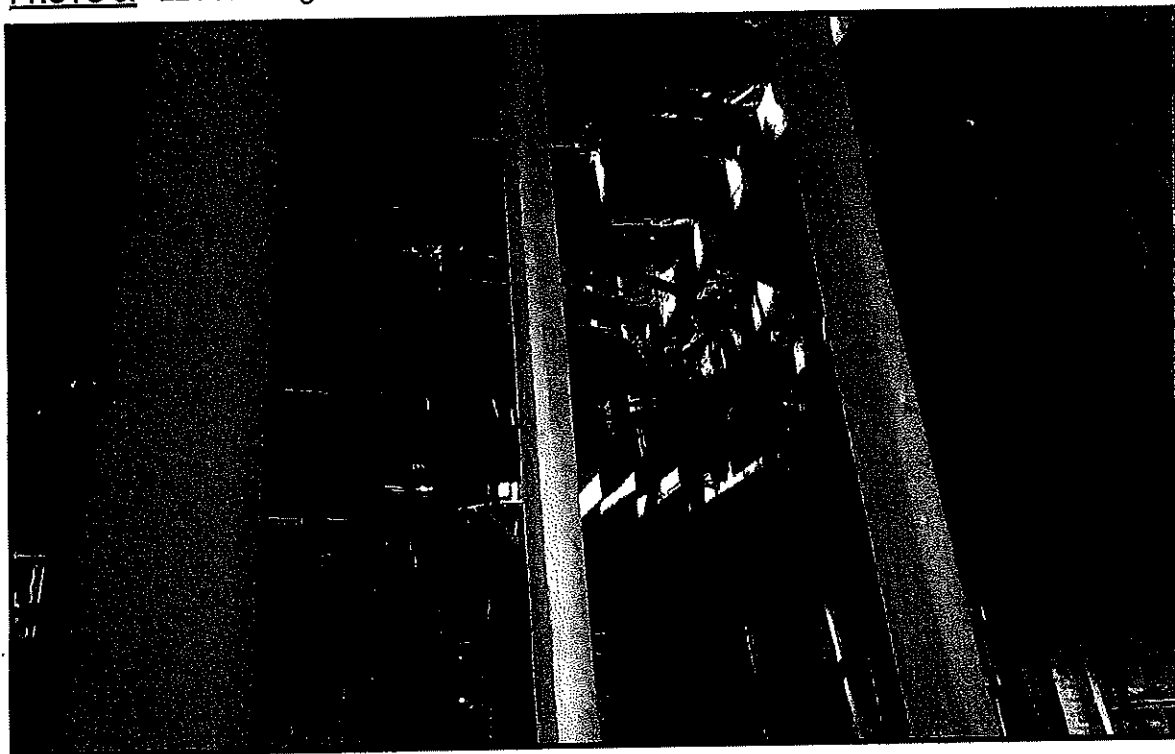


PHOTO 6: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.



PHOTO 7: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.

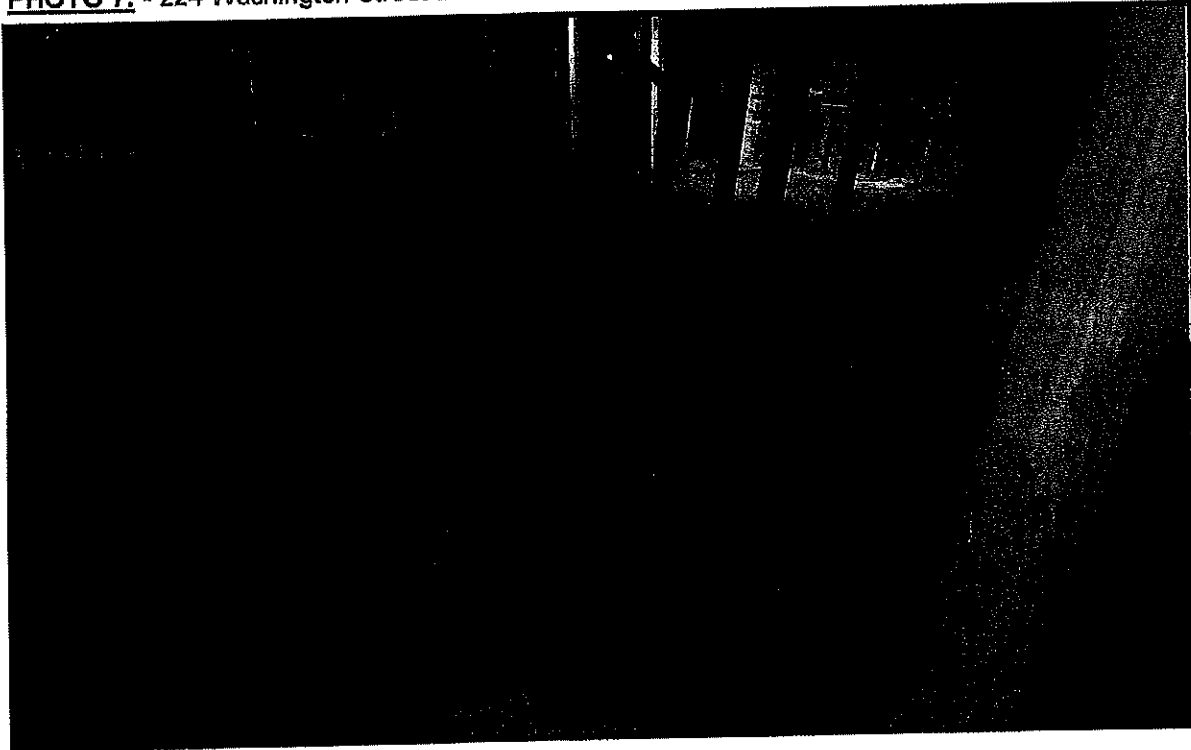


PHOTO 8: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.

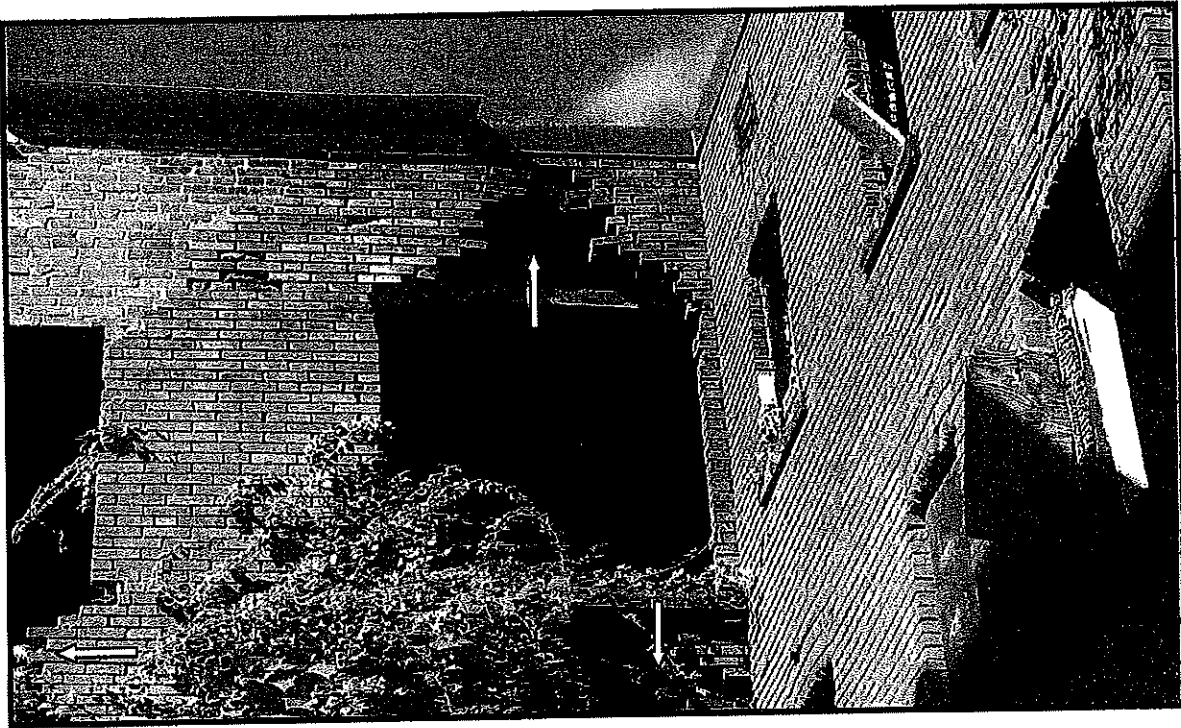


PHOTO 9: - 224 Washington Street East Wall Masonry Failure at Window Head and Sill.

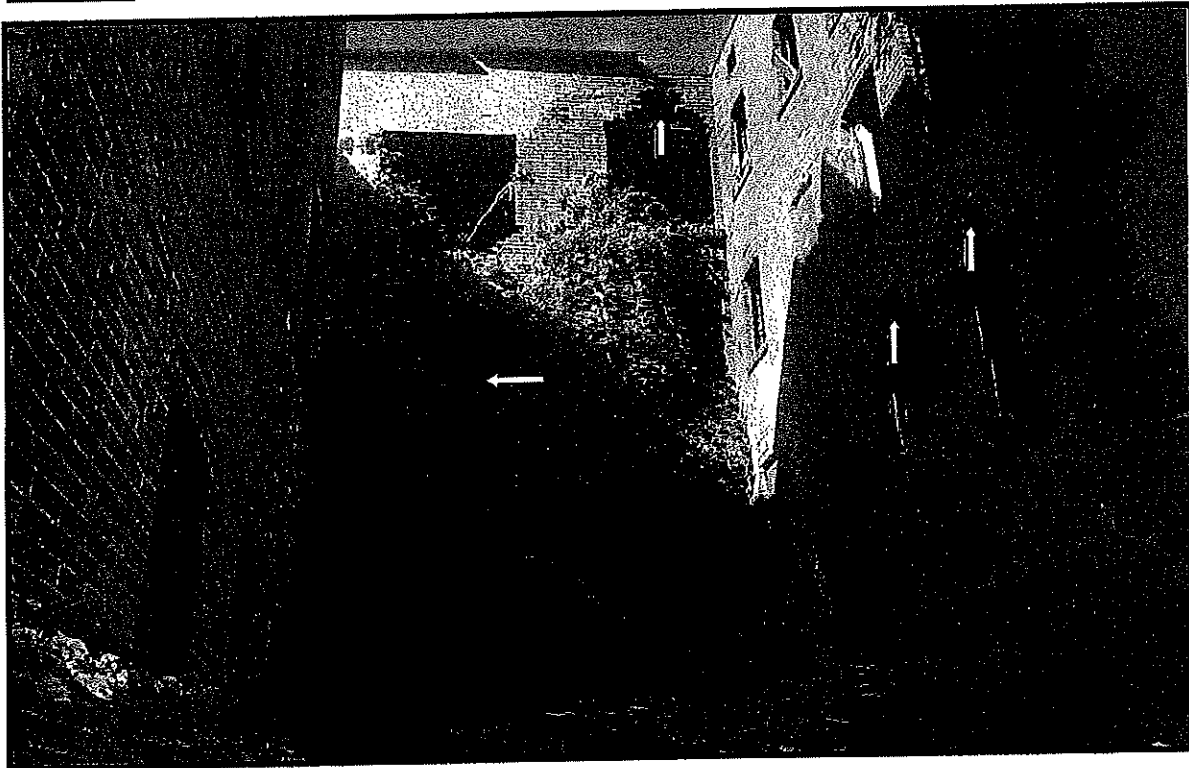


PHOTO 10: - 224 Washington Street East Elevation Masonry Wall Partial Collapse.

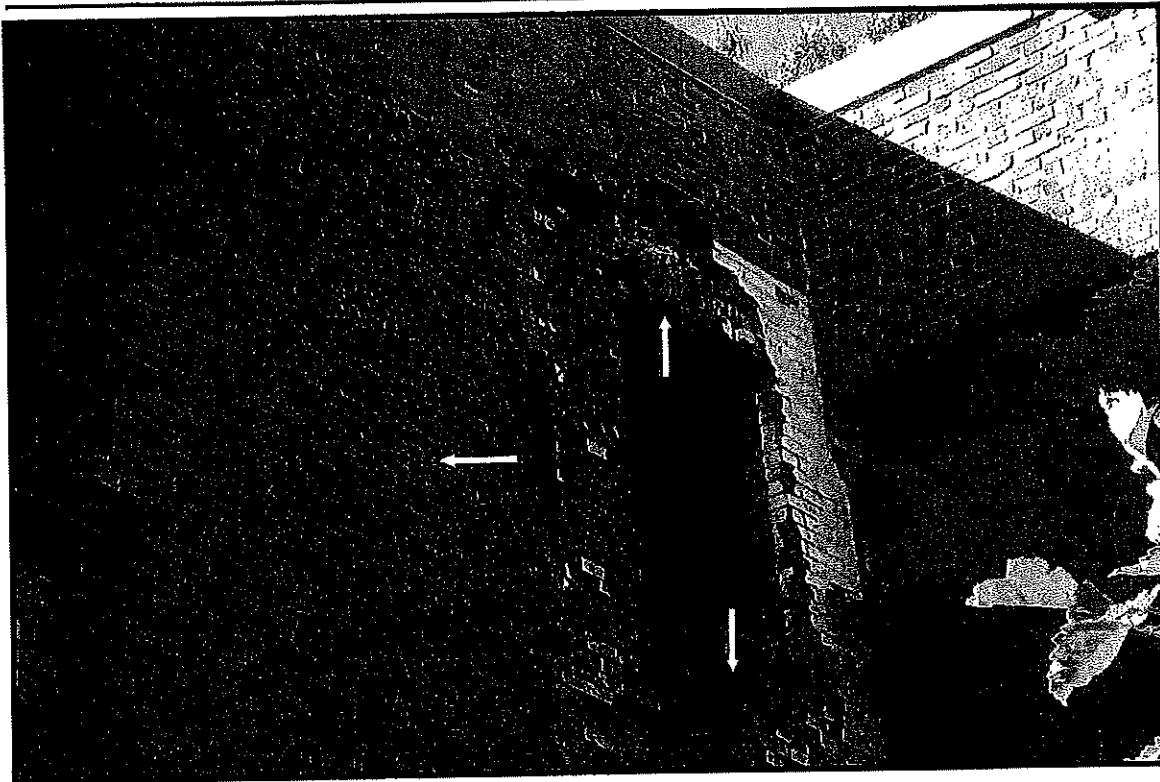


PHOTO 11: - 224 Washington Street East Wall Masonry Deterioration and Wall Failures.

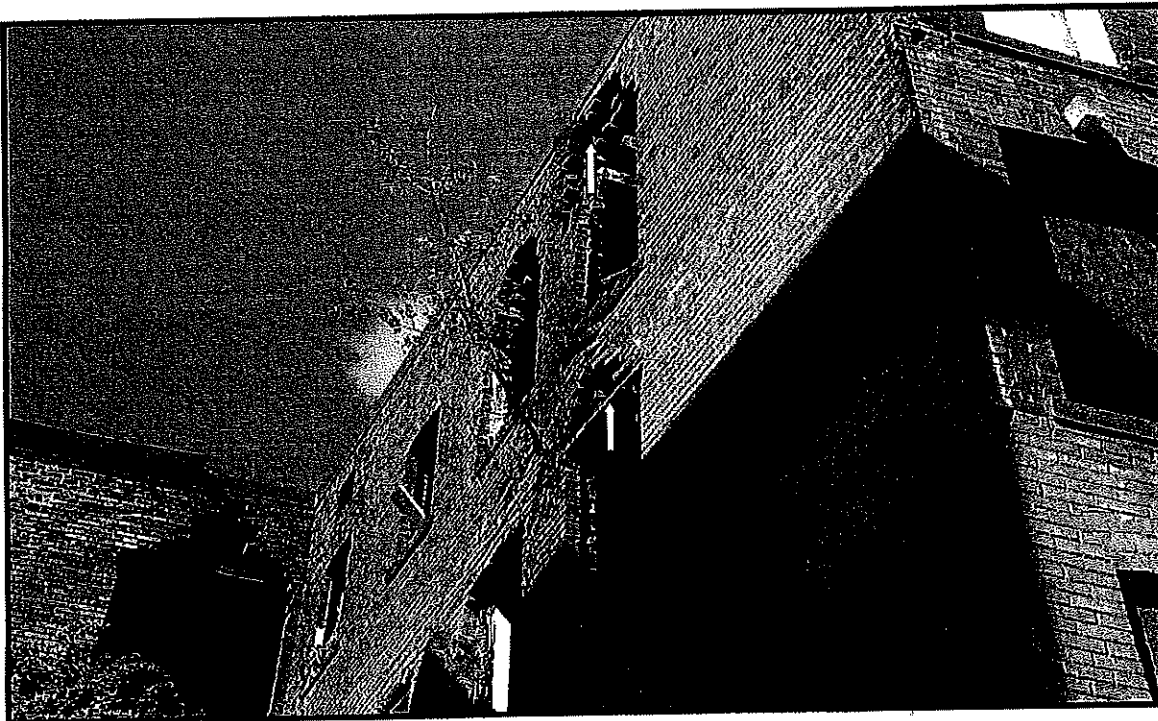


PHOTO 12: - 224 Washington Street East Wall Masonry Deterioration and Wall Failures.



PHOTO 13: - 224 Washington Street North Wall Bricks From Failed Window Head Above.

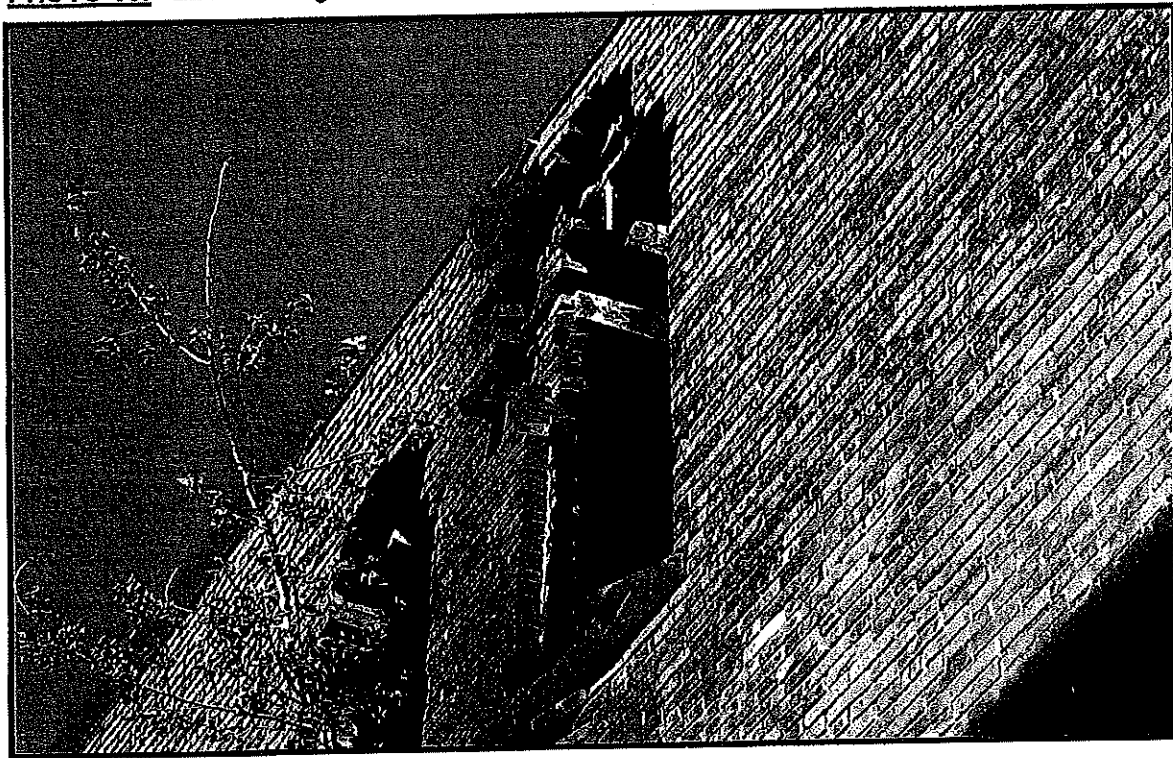


PHOTO 14: - 224 Washington Street East Wall Fire Damage. Note Unsupported Roof Framing.

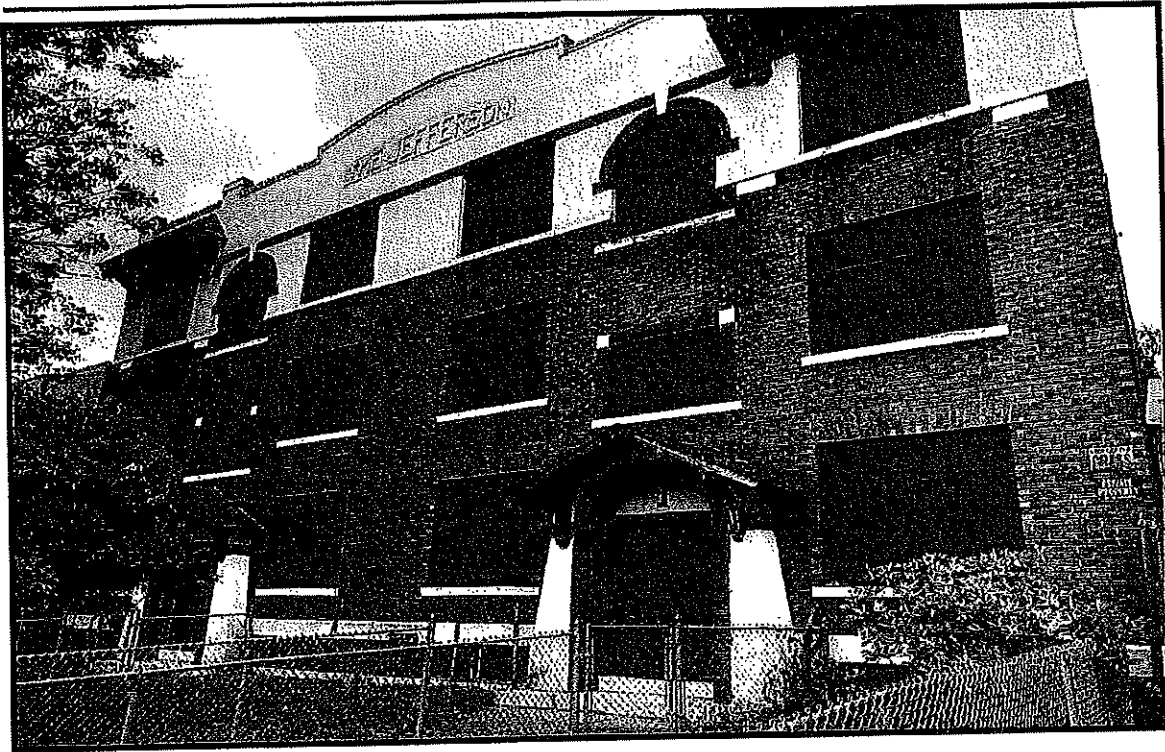


PHOTO 15: - 216 Washington Street West Elevation.

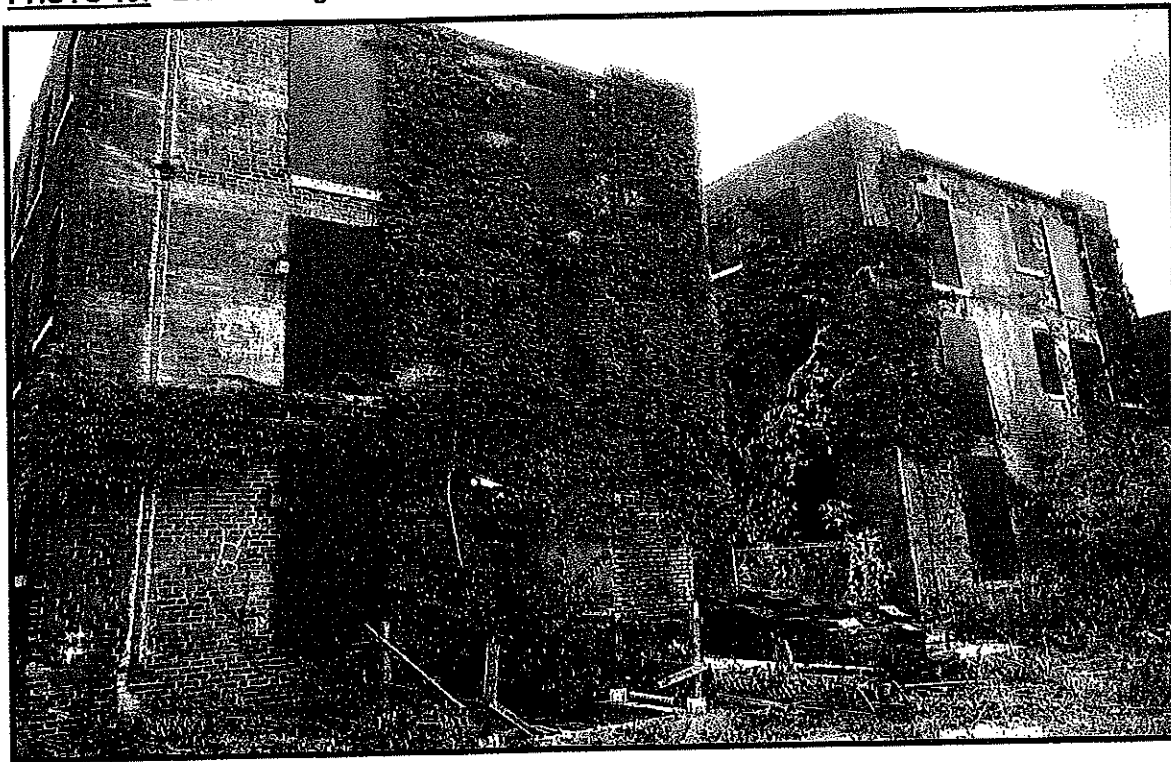


PHOTO 16: - 216 Washington Street East Elevation.

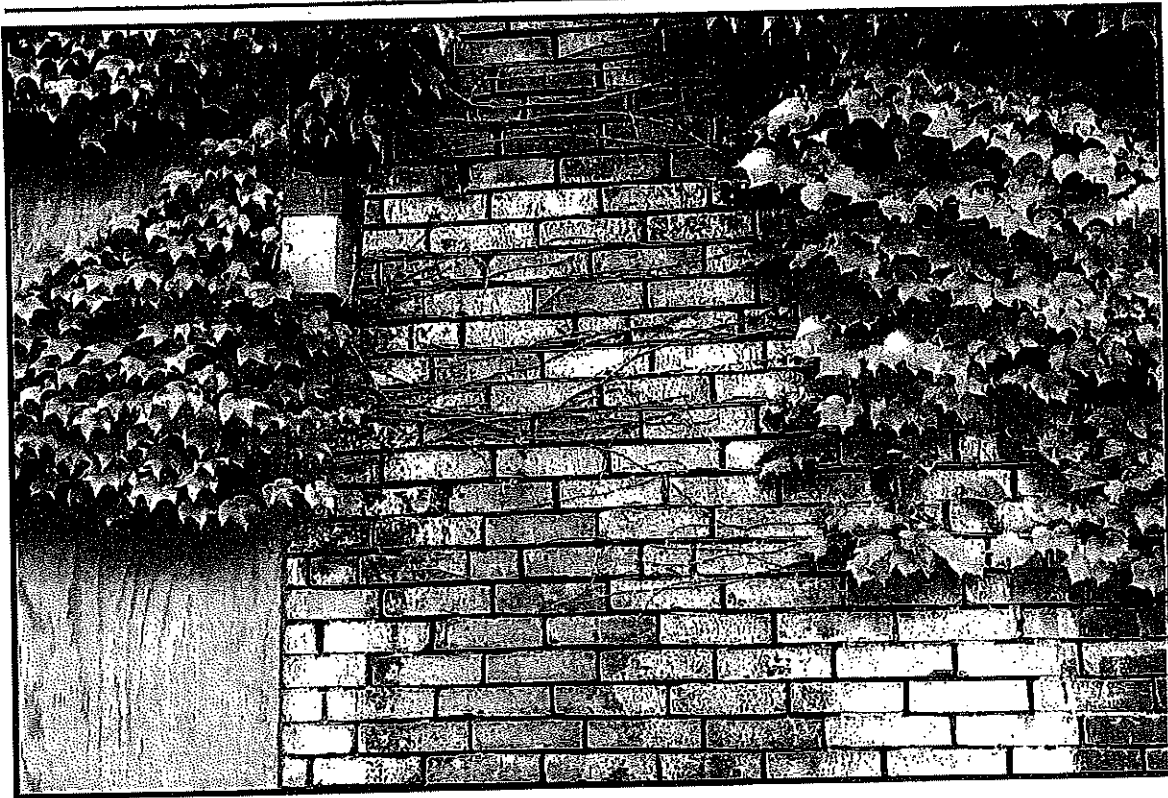


PHOTO 17: - 216 Washington Street East Elevation Deteriorated Mortar Joints.

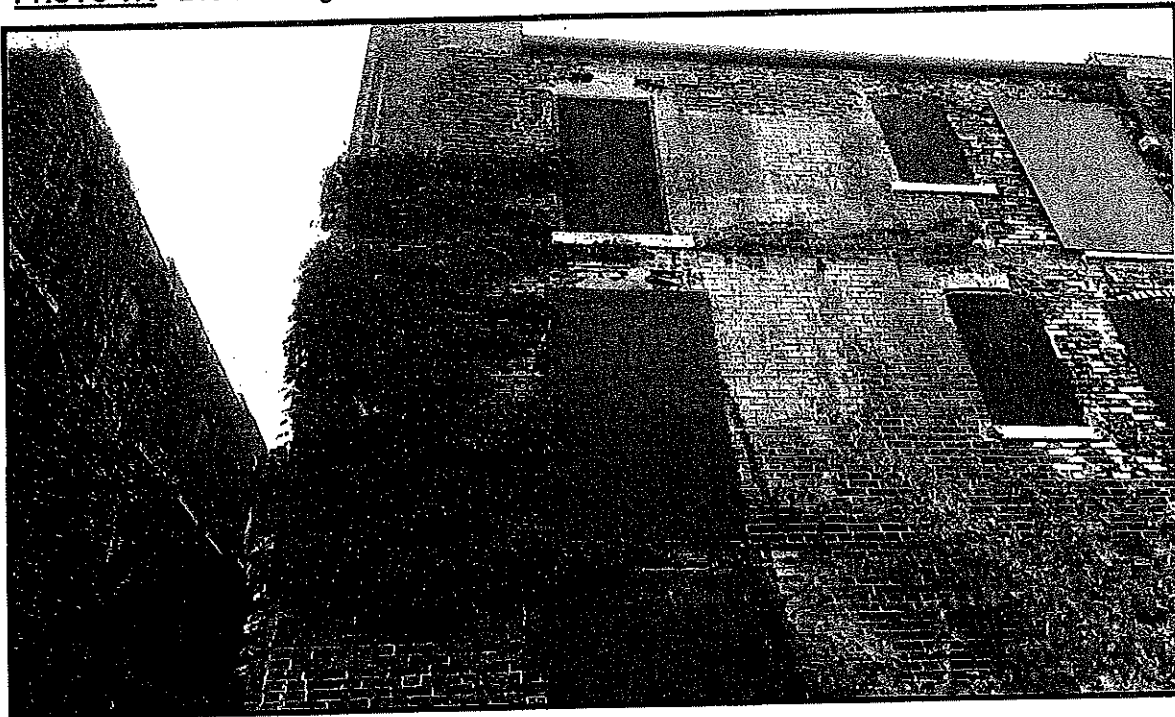


PHOTO 18: - 216 Washington Street East Elevation Deteriorated Mortar Joints.

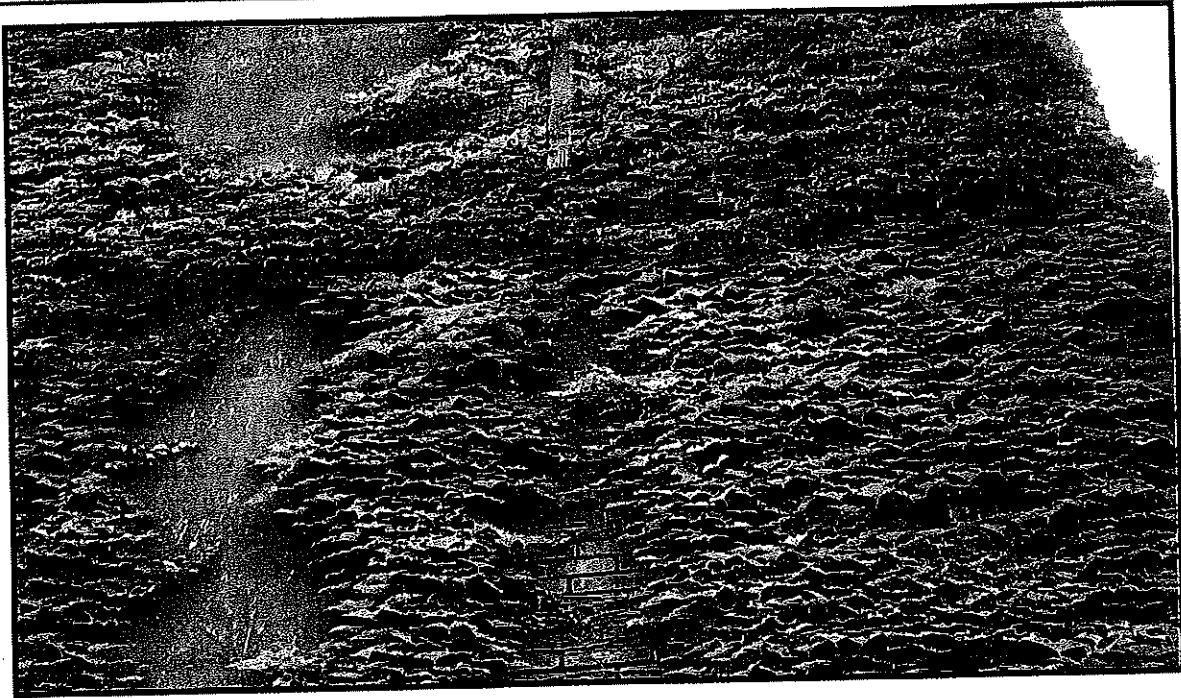


PHOTO 19: - 216 Washington Street East Elevation Deteriorated Mortar Joints.

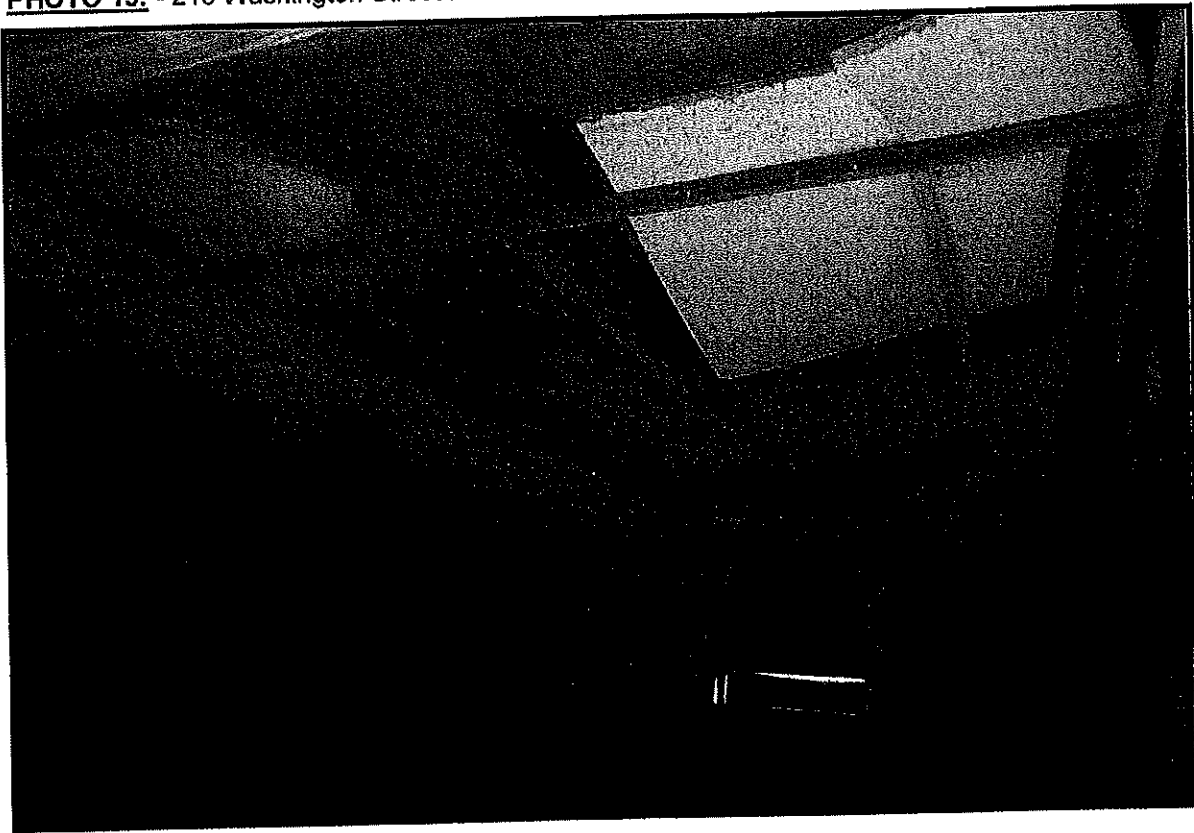


PHOTO 20: - 216 Washington Street Interior Ceiling Damage.

216 & 224 Washington Street
Hartford, CT

November 11, 2022

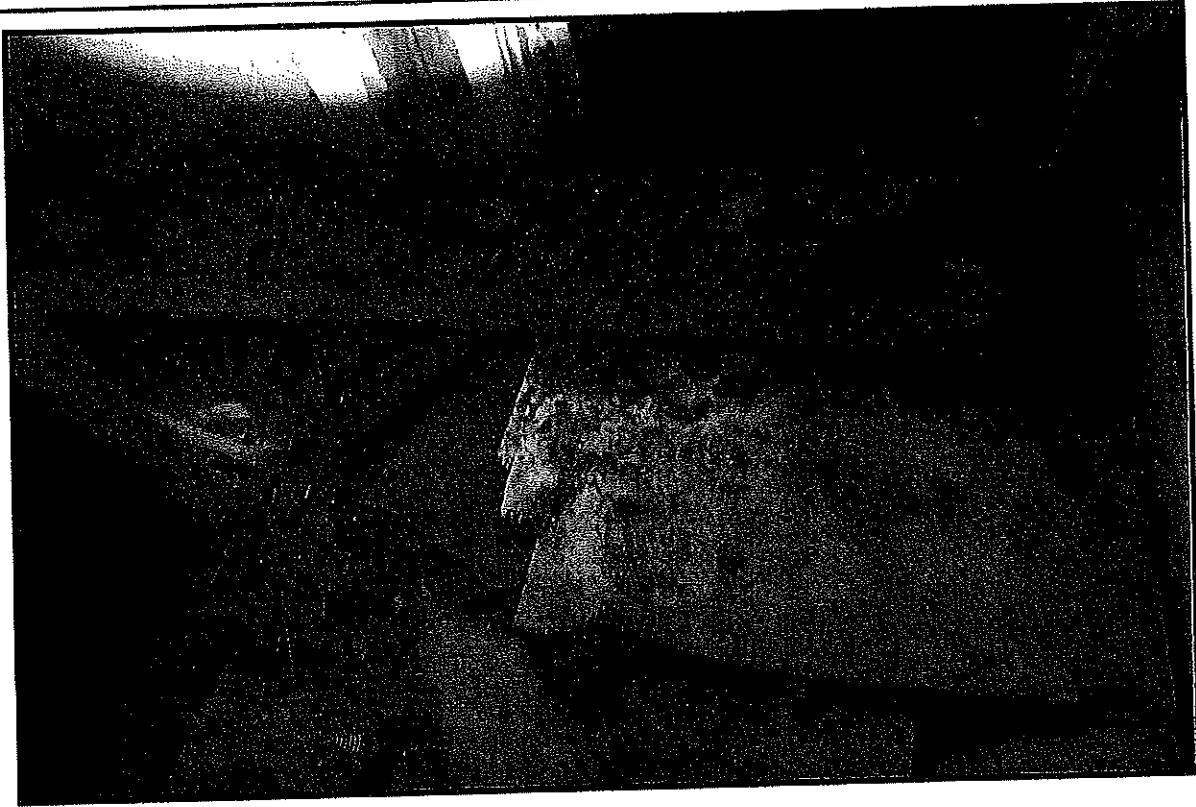


PHOTO 20: - 216 Washington Street Interior Failed Ceiling Damage.



FUSS & O'NEILL

January 13, 2023

Mr. Stephen Alexandre, CFM, MFA, RPA
System Director of Real Estate Department
Hartford Healthcare
Real Estate Department
129 Patricia M. Genova Drive
Newington, CT 06111

RE: Structural Condition Assessment
224 Washington Street, Hartford, CT
Fuss & O'Neill Reference No. 20221213.A10

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Mr. Stephen Alexandre

January 13, 2023

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not be directly observed because of heavy damage and deterioration to the structure. There was evidence of previous stabilization with the presence of steel columns; however, it is believed that the steel columns are founded on a masonry pier that's condition is unknown with severely compromised framing surrounding the pier.

As is typical for most structures that are left unoccupied and unprotected after a significant fire event, much of the damage and deterioration can be attributed to prolonged and continued exposure to water infiltration from a previously failed roof and missing and/or broken windows, doors, and sections of exterior walls. There was also evidence of localized fire damage to much of the timber framing members on the upper levels.

Specific deficient and unsafe conditions that were observed during this condition assessment include but are not limited to the following:

- Portions of the 1st and 2nd floor framing suffered partial collapse and are inaccessible due to the damage and deterioration.
- The interior timber framed stairway is in poor condition as it approaches the 3rd level of the structure and could not be used to access the upper levels of the building. The damage is due to both fire and water infiltration.
- Virtually all of the building's interior finishes on the wall, floor, and ceiling surfaces have either been removed or are significantly damaged due to the fire and subsequent water infiltration. Much of the exposed timber framing has mold, mildew, or other evidence of water damage.
- Many of the building's windows are either missing or broken, providing additional pathways for water to infiltrate and damage the structure.
- Based on our limited observations we estimate that over 50% of the floor framing members for the building have experienced significant deterioration and are not safe to walk on. The remaining framing members are in fair condition; however, their prolonged exposure to water infiltration will cause them to continue to deteriorate at an accelerated pace.
- The exterior brick masonry bearing walls have multiple locations of significant deterioration, especially around window and door openings at the upper portions of the courtyard for the structure. The walls are unstable due to their deterioration and their condition is exacerbated by the deterioration of the timber framing that is no longer adequately bracing the walls at each floor level.

Based on these observations, F&O is of the opinion that the existing structure at 224 Washington Street is not safe for occupancy in its current state. In its current poor condition the building will continue to worsen and will present a significant threat to the abutting properties or nearby pedestrians.



FUSS & O'NEILL

Mr. Stephen Alexandre

January 13, 2023

Page 3

Repairing and/or stabilizing the building would include the complete replacement of all interior timber framing members for all 4 stories of the building and reconstruction of approximately 50% of its exterior masonry load-bearing walls. A restoration effort of this magnitude would pose significant logistical and safety challenges and be cost prohibitive when compared to demolishing the structure. Based on our observations and experience with other similarly deteriorated structures, we recommend that 224 Washington Street be demolished within the next 6 months to minimize risk to abutting properties and nearby pedestrians.

Please contact us with any questions or concerns regarding the results of our structural condition assessment and our recommendations for the property.

Sincerely,

Jason J. LeDoux, P.E.
Associate

Enclosures: Photos



Photo 1: Typical Condition of Interior Framing



Photo 2: Partially Collapsed Floor Framing



Photo 3: Severe Damage due to Prolonged Water Infiltration



Photo 4: Significantly Compromised Floor Framing



Photo 5: Steel Shoring Post Near Interior Stairs



Photo 6: Failing Exterior Masonry Walls at Courtyard



MICHAEL PLICKYS, P.E.
JOHN BROCHU, P.E.
DOUGLAS CAMP, P.E.

MACCHI ENGINEERS, LLC

Diversified Structural and Civil Engineering Services

November 11, 2022

Mr. Steven Alexandre, CFM, FMA, RPA
System Director of Real Estate Department
Hartford Healthcare
Real Estate Dept.
129 Patricia M. Genova Drive
Newington, CT 06111

Re: Building Inspections
216 & 224 Washington Street
Hartford, CT

Dear Steven,

Pursuant to your request, Macchi Engineers have completed our visual inspections of the above referenced properties. The purpose of our inspections was to determine the general overall structural condition of the buildings and provide opinions on whether the buildings can be safely occupied or repurposed. Our inspections were limited to visual assessments of exposed structural elements only, therefore no finishes were removed. Finally, the following assessments were excluded from our scope of work:

1. Environmental or Material Testing.
2. Evaluations of the existing HVAC, Electrical, or Plumbing Systems.

The two buildings are located at the corner of Jefferson and Washington Streets in Hartford, CT. See Photo 1.

Existing Conditions:

224 Washington Street

224 Washington Street is a 5-story structure constructed of timber framed floors and interior and exterior brick bearing walls. See Photos 2 & 3. The building has a gross area of approximately 15,500 sf and according to town records was constructed in 1913. The building contains a full below grade basement.

In general our inspections indicate that the building is in poor overall structural condition. We observed the following conditions:

1. Significant deterioration and partially collapsed floor framing due to long term moisture infiltration and failure of exterior masonry bearing walls. See Photos 4 thru 8.

Tel. 860 / 549-6190

44 Gillett Street, Hartford, CT 06105-2694
An Equal Opportunity Employer

Fax. 860 / 524-5088

Mr. Steven Alexandre, CFM, FMA, RPA
System Director of Real Estate Department
Hartford Healthcare

November 11, 2022

2. Failed brick and partially collapsed masonry walls along the northern and eastern exteriors. See Photos 9 thru 12.
3. Loose bricks and/or partial collapse at window header courses. Bricks were found along the ground at the north side of the building from a failed 4th floor window. See Photo 13.
4. Isolated visible fire damage. See Photo 14.

Our inspection of the interior of the building was limited due the current condition of the floor framing and corresponding life safety concerns. However, based on the extent of the observed damage, it is our professional opinion that the building cannot be not be safely occupied at this time unless temporary measures are undertaken to stabilize the structure. Making the building safe to occupy will require the installation of extensive and expensive temporary shoring along portions of the interior and exterior of the building. Although the complete extent of required permanent repairs is unknown at this time, the remedial work required will be extensive and costly. Therefore, it is our opinion that consideration should be given to razing the building in its entirety.

216 Washington Street

216 Washington Street is a 4-story structure constructed of timber framed floors and interior and exterior brick bearing walls. See Photos 15 & 16. The building has a gross area of approximately 12,800 sf and according to town records was constructed in 1915. The building contains a full below grade basement.

At the time of our inspection, the existing interior of the building was found to primarily finished. In general, our inspection of exposed structural elements indicates that the building's exterior and interior envelope is in satisfactory overall structural condition. We did not observe any signs of significant structural distress in the exposed framing or bearing walls and the structure appears to be stable. There is evidence of previous moisture infiltration issues within the building and some deterioration of the mortar joints and brick at the rear of the building. See Photos 17 thru 21. Structurally it is our opinion that the building could be repurposed, however, some structural repairs should be anticipated. To determine the full extent of required repairs, interior finishes would need to be removed. Finally, moisture infiltration can have a significant impact the longevity of the structure, therefore we recommend that every effort be made to ensure that the building is made water tight until permanent remedial work is completed.

The opinions indicated in this report are based on training, experience and information obtained during our visual inspections of exposed areas only. We reserve the right to amend these findings should additional information become available.

November 11, 2022

Mr. Steven Alexandre, CFM, FMA, RPA
System Director of Real Estate Department
Hartford Healthcare

If you have any questions or require any additional information, please call.

Sincerely,
MACCHI ENGINEERS, LLC

A handwritten signature in black ink, appearing to read "Mike Plickys".

MICHAEL R. PLICKYS, P.E.
Principal in Charge

Encl.
Jobsact/washington street/final report.doc



PHOTO 1: - Aerial View Looking East.

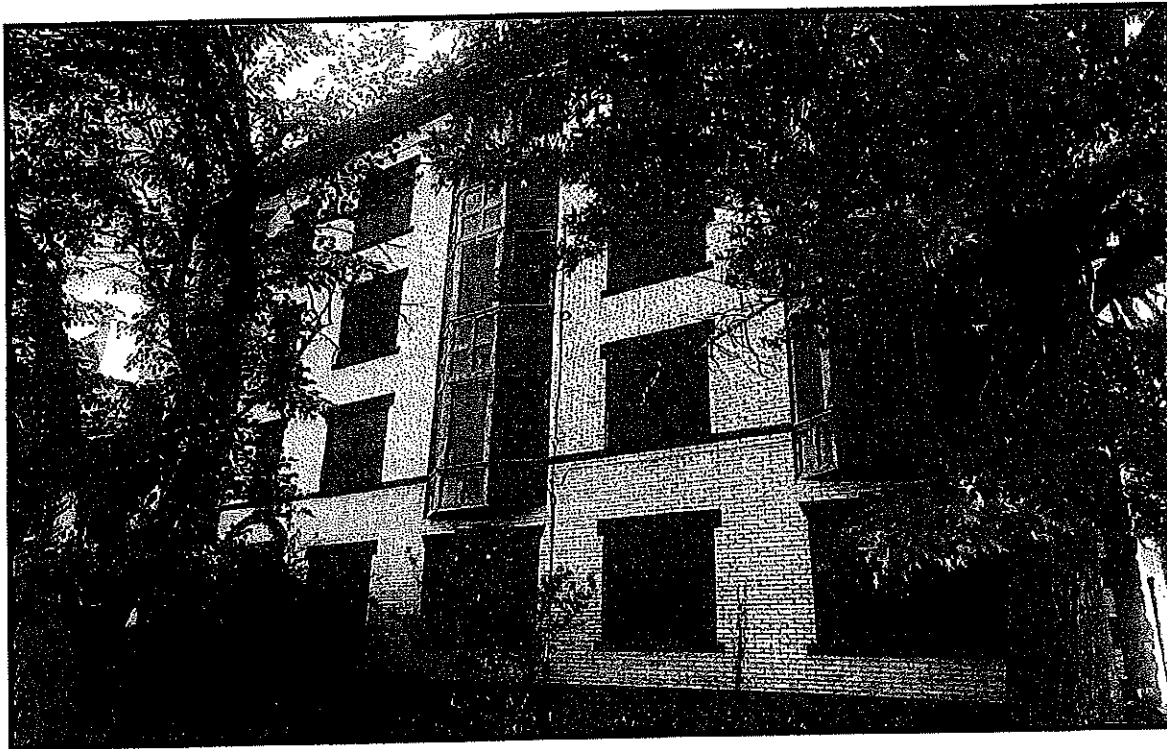


PHOTO 2: - 224 Washington Street West Elevation.

216 & 224 Washington Street
Hartford, CT

November 11, 2022

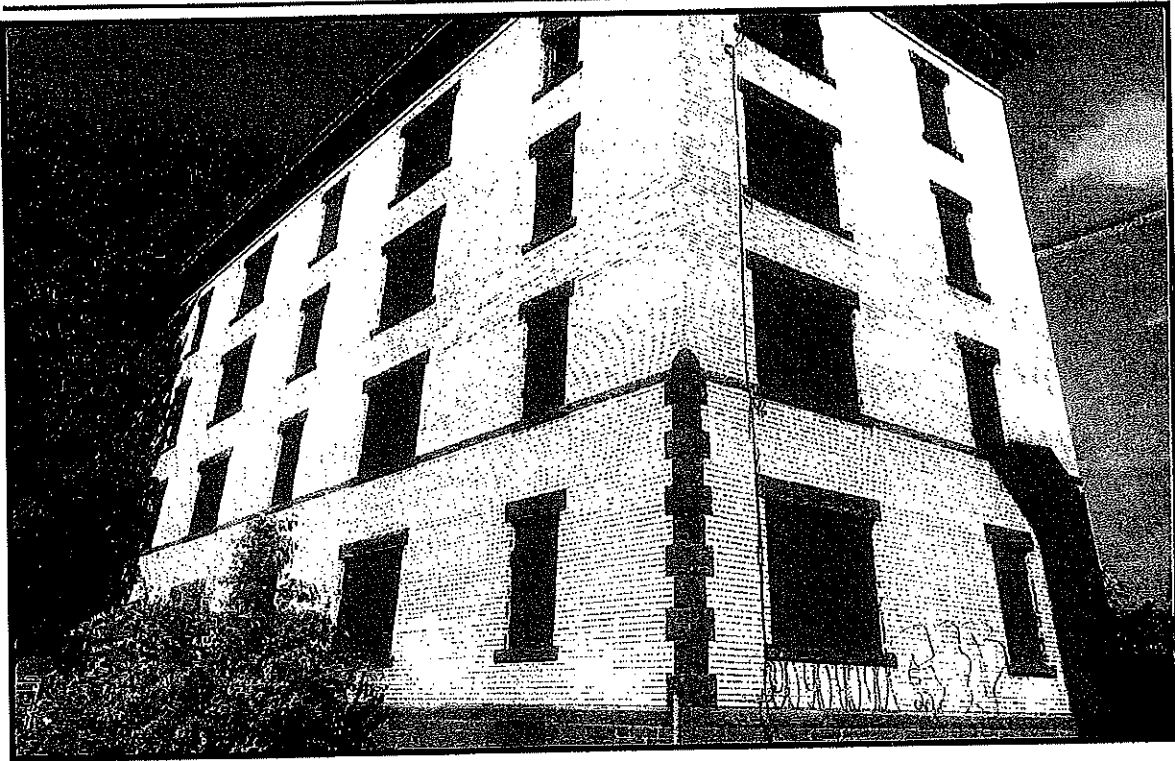


PHOTO 3: - 224 Washington Street South Elevation.



PHOTO 4: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.



PHOTO 5: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.

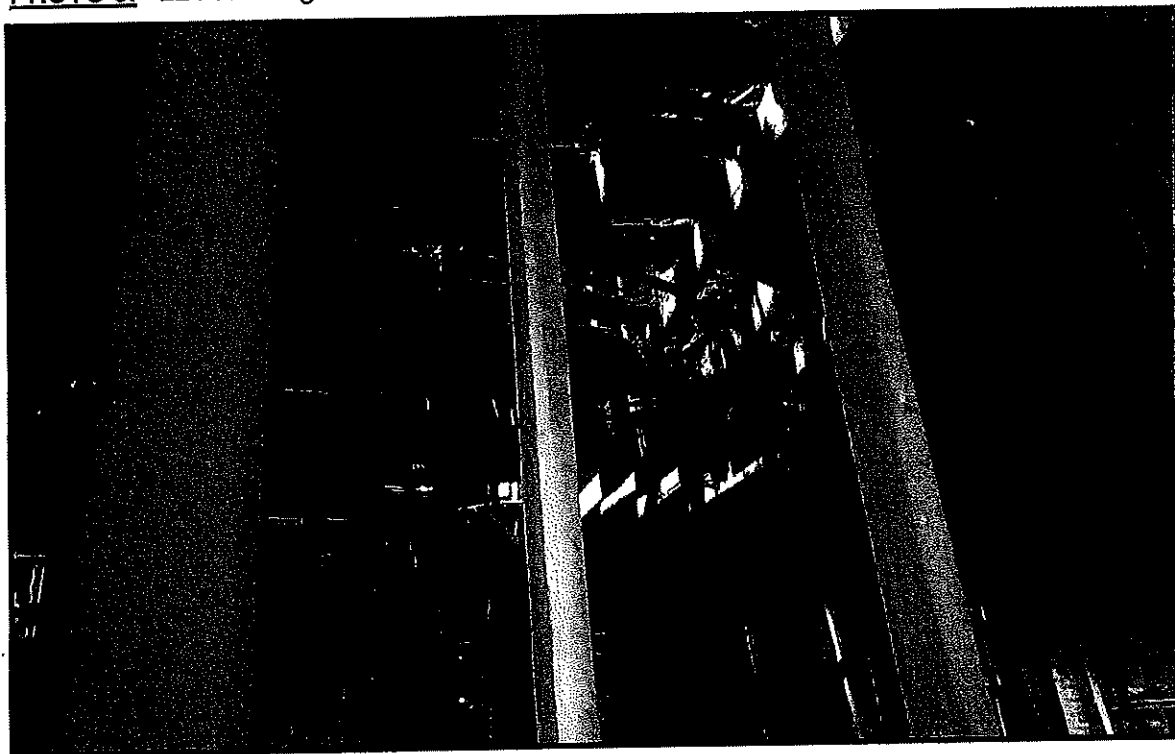


PHOTO 6: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.



PHOTO 7: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.

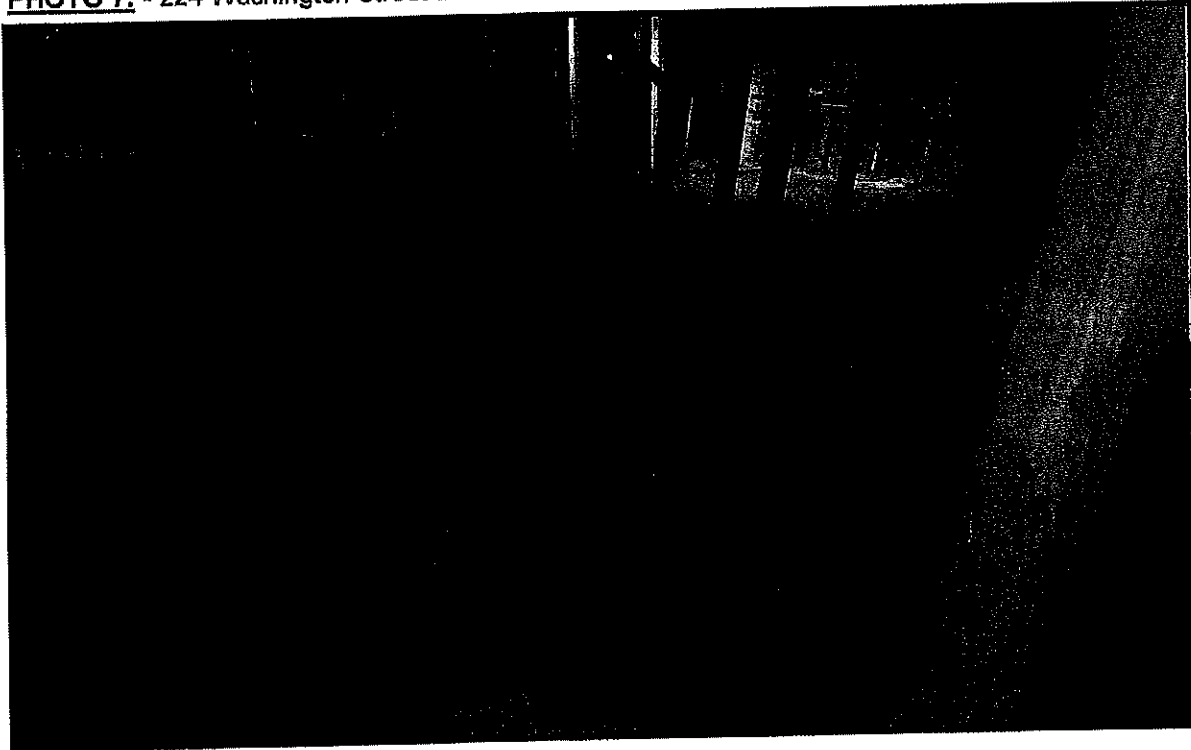


PHOTO 8: - 224 Washington Street Deteriorated and Partially Collapsed Floor Framing.

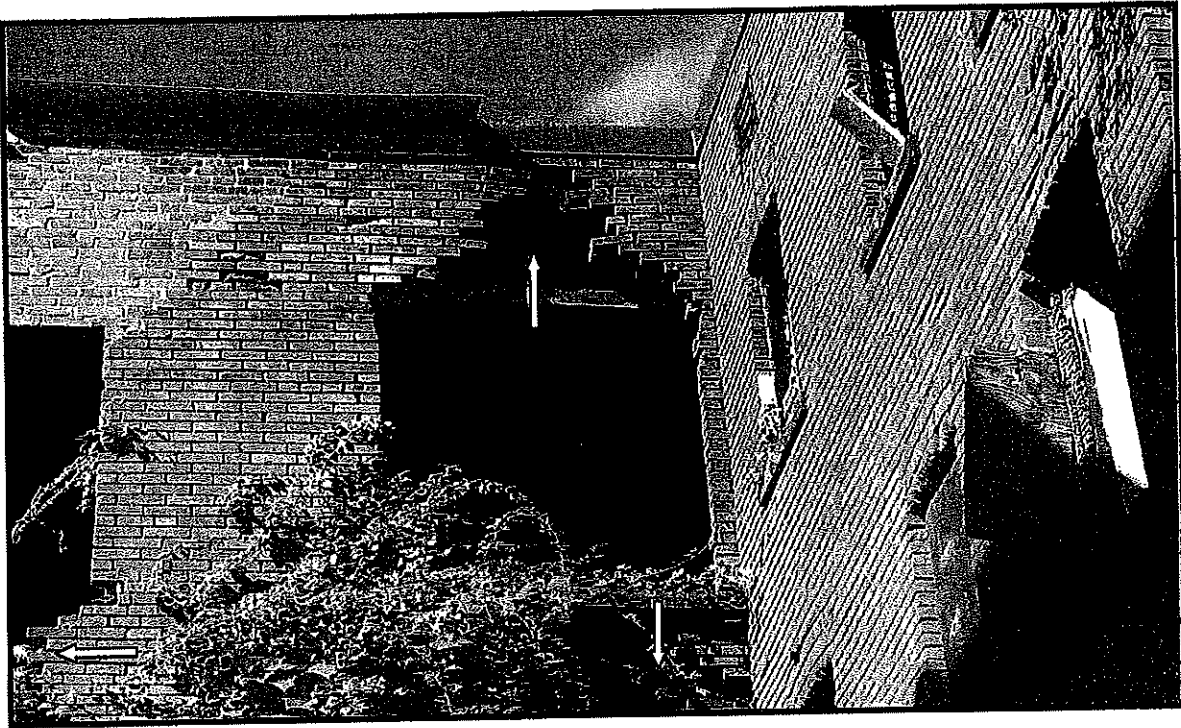


PHOTO 9: - 224 Washington Street East Wall Masonry Failure at Window Head and Sill.

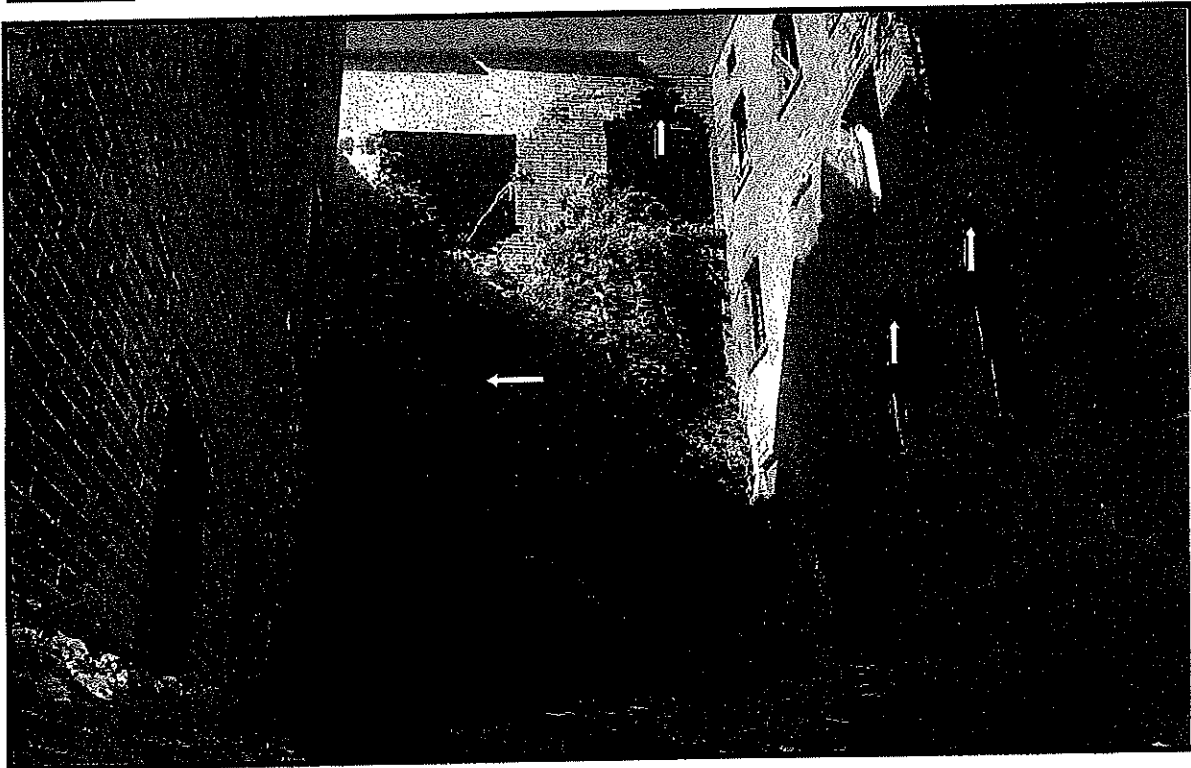


PHOTO 10: - 224 Washington Street East Elevation Masonry Wall Partial Collapse.

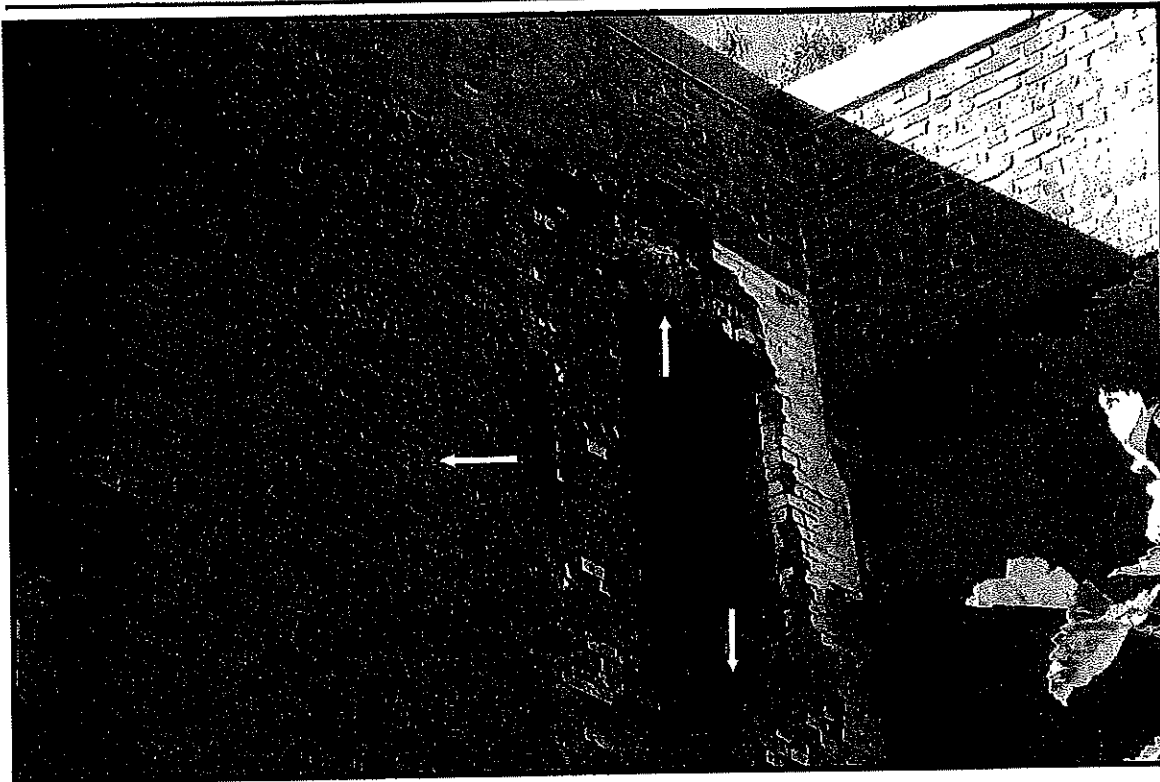


PHOTO 11: - 224 Washington Street East Wall Masonry Deterioration and Wall Failures.

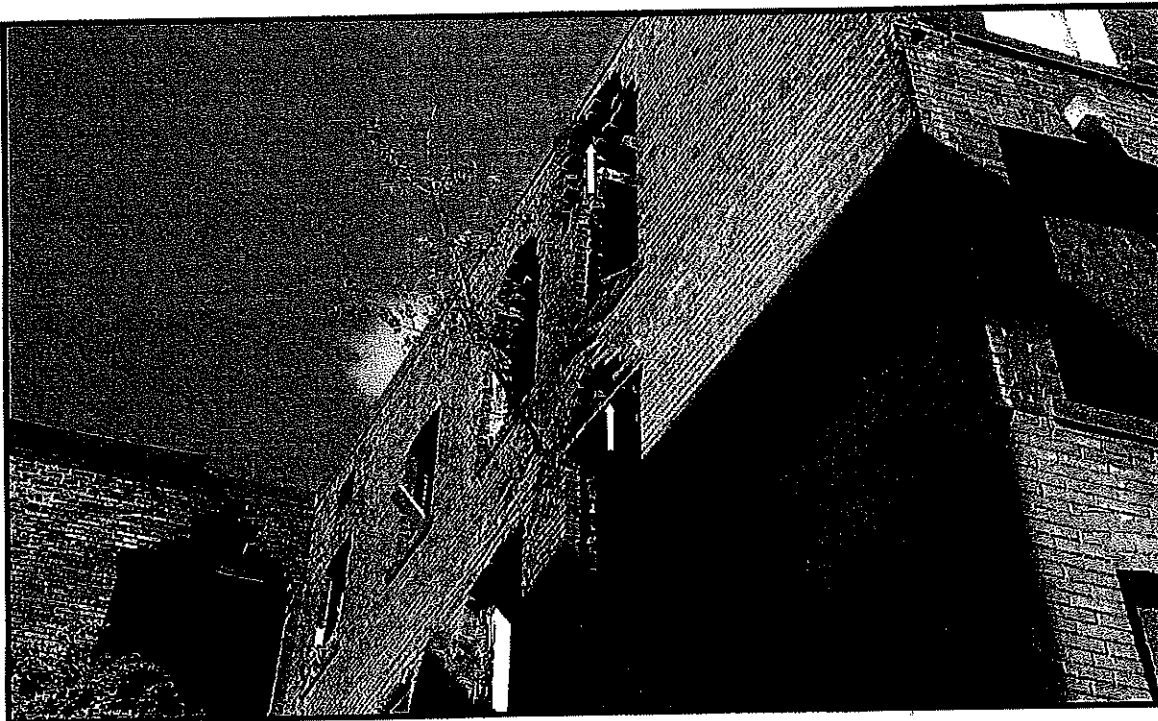


PHOTO 12: - 224 Washington Street East Wall Masonry Deterioration and Wall Failures.

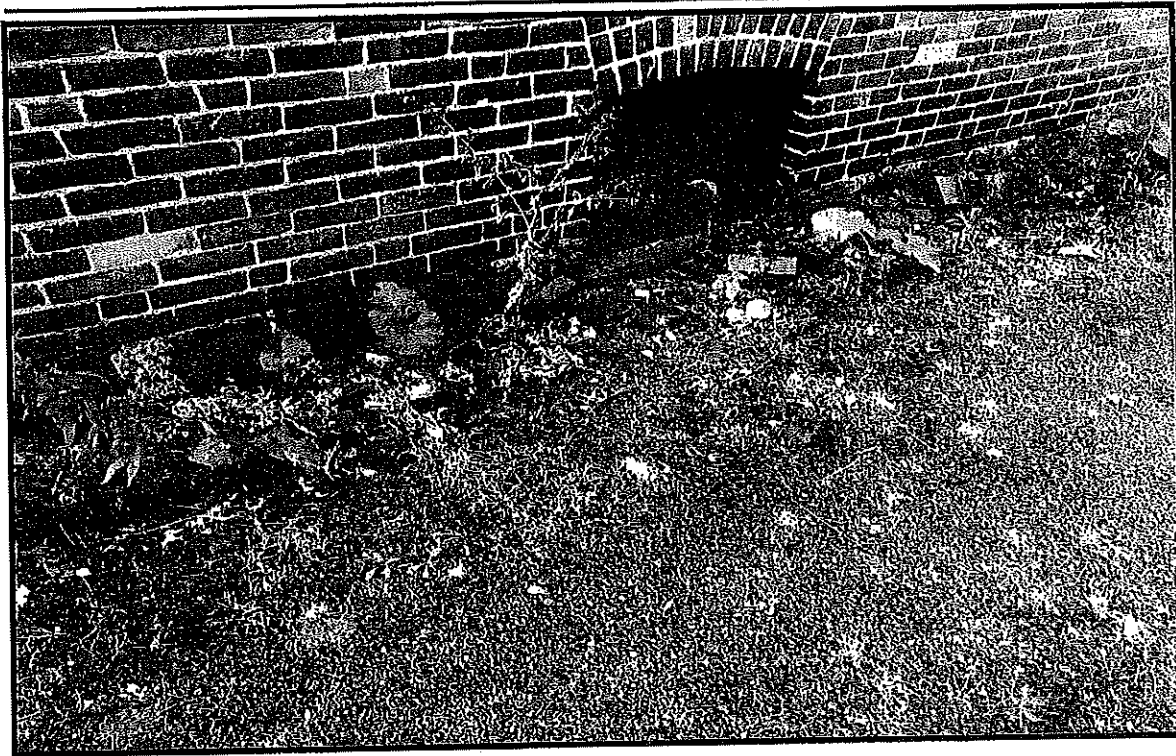


PHOTO 13: - 224 Washington Street North Wall Bricks From Failed Window Head Above.

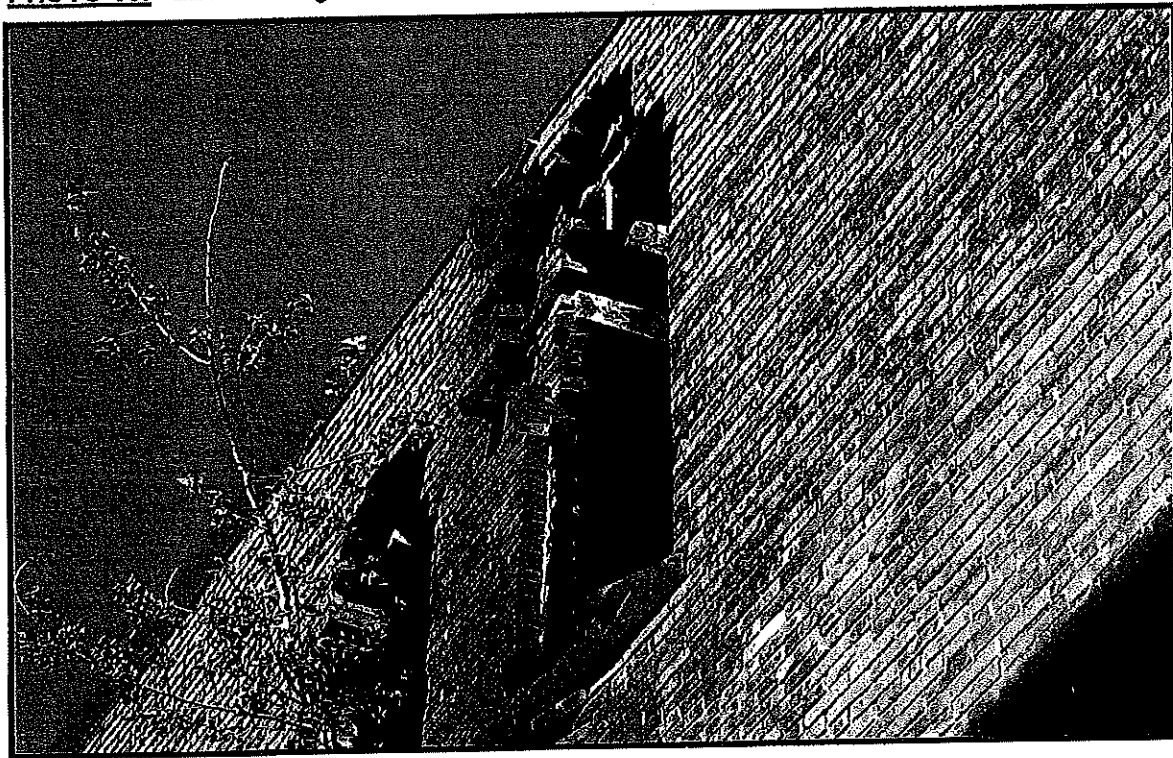


PHOTO 14: - 224 Washington Street East Wall Fire Damage. Note Unsupported Roof Framing.

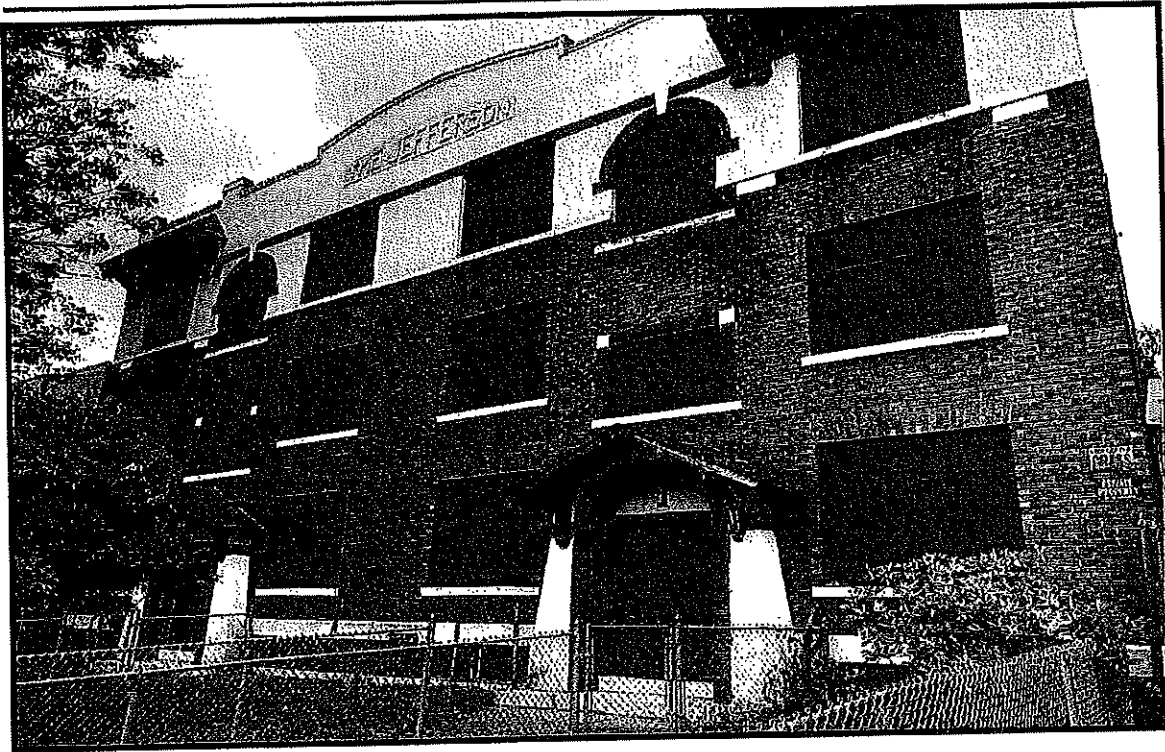


PHOTO 15: - 216 Washington Street West Elevation.

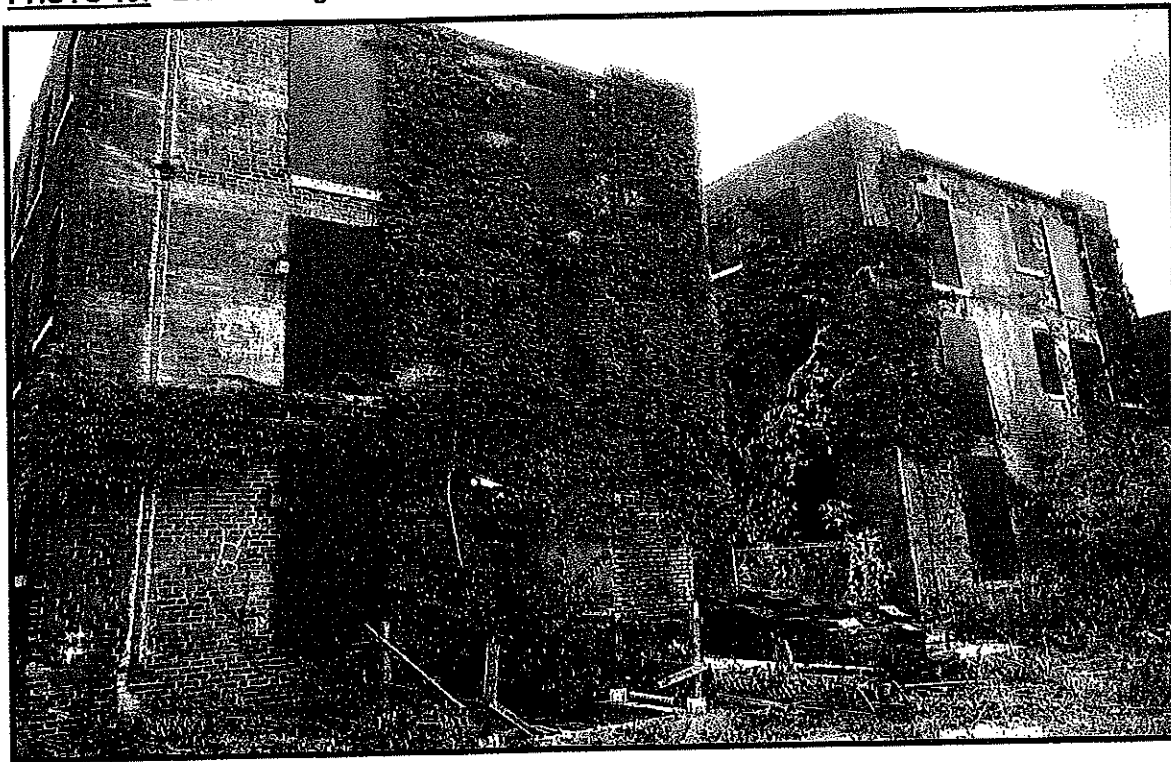


PHOTO 16: - 216 Washington Street East Elevation.

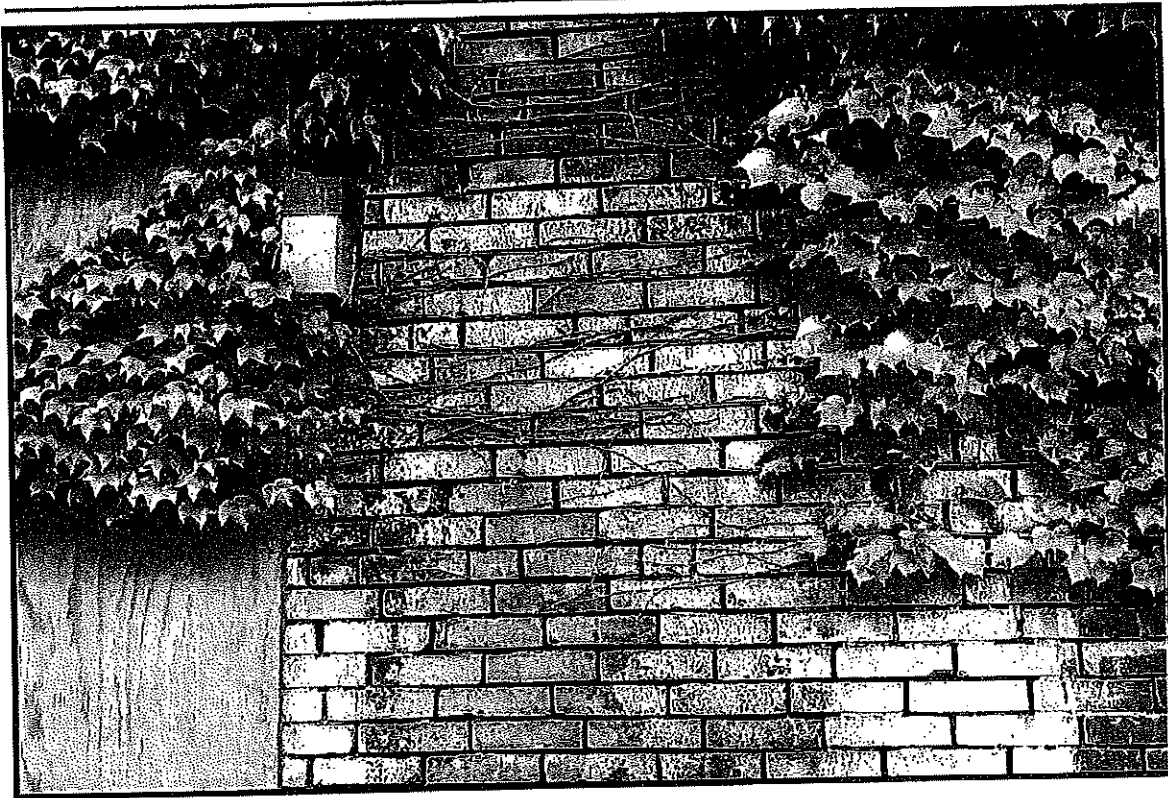


PHOTO 17: - 216 Washington Street East Elevation Deteriorated Mortar Joints.

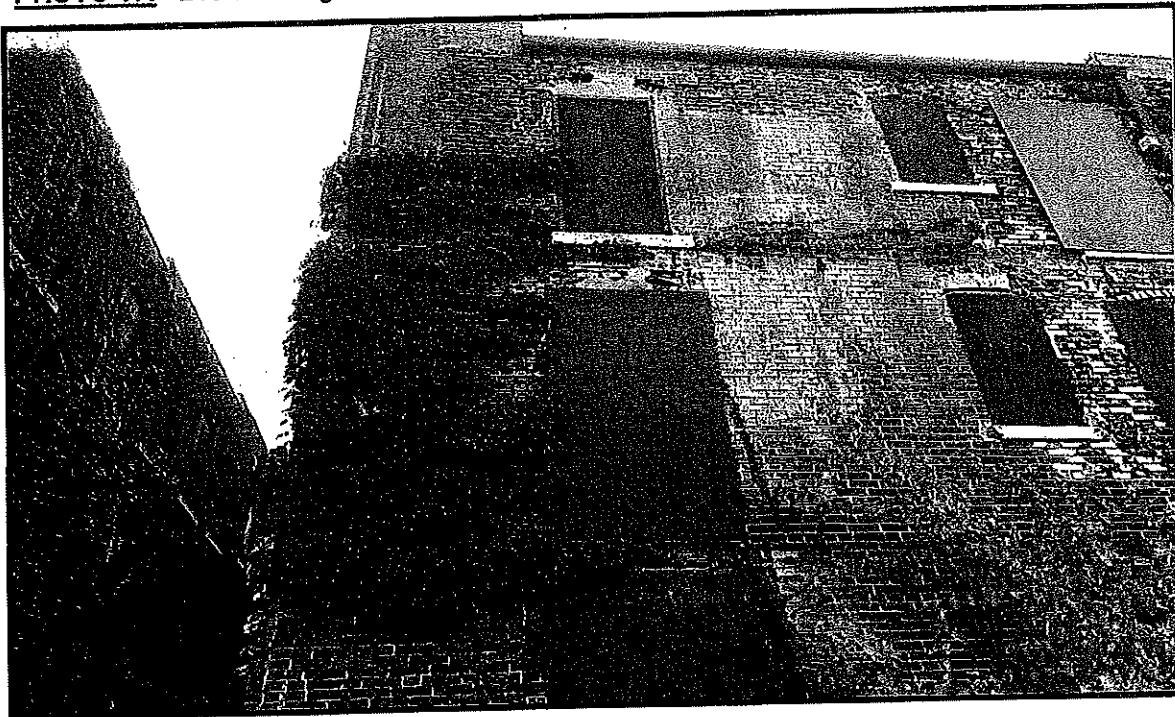


PHOTO 18: - 216 Washington Street East Elevation Deteriorated Mortar Joints.

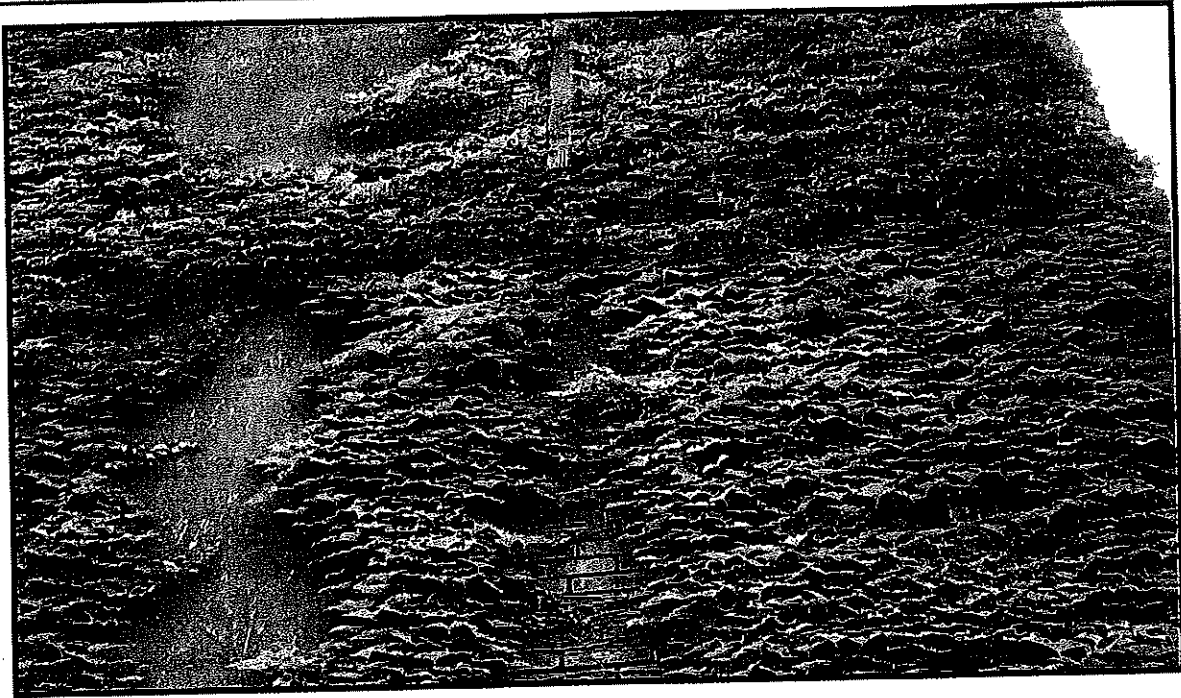


PHOTO 19: - 216 Washington Street East Elevation Deteriorated Mortar Joints.

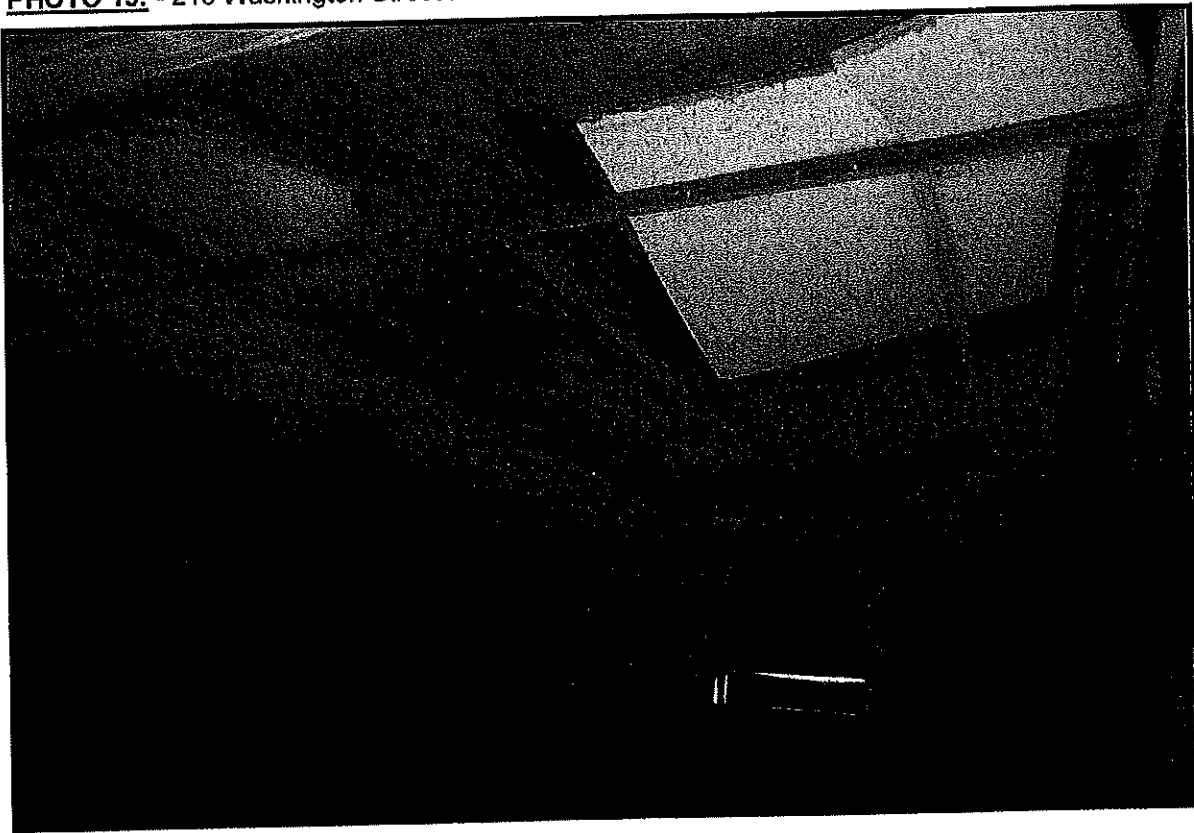


PHOTO 20: - 216 Washington Street Interior Ceiling Damage.

216 & 224 Washington Street
Hartford, CT

November 11, 2022

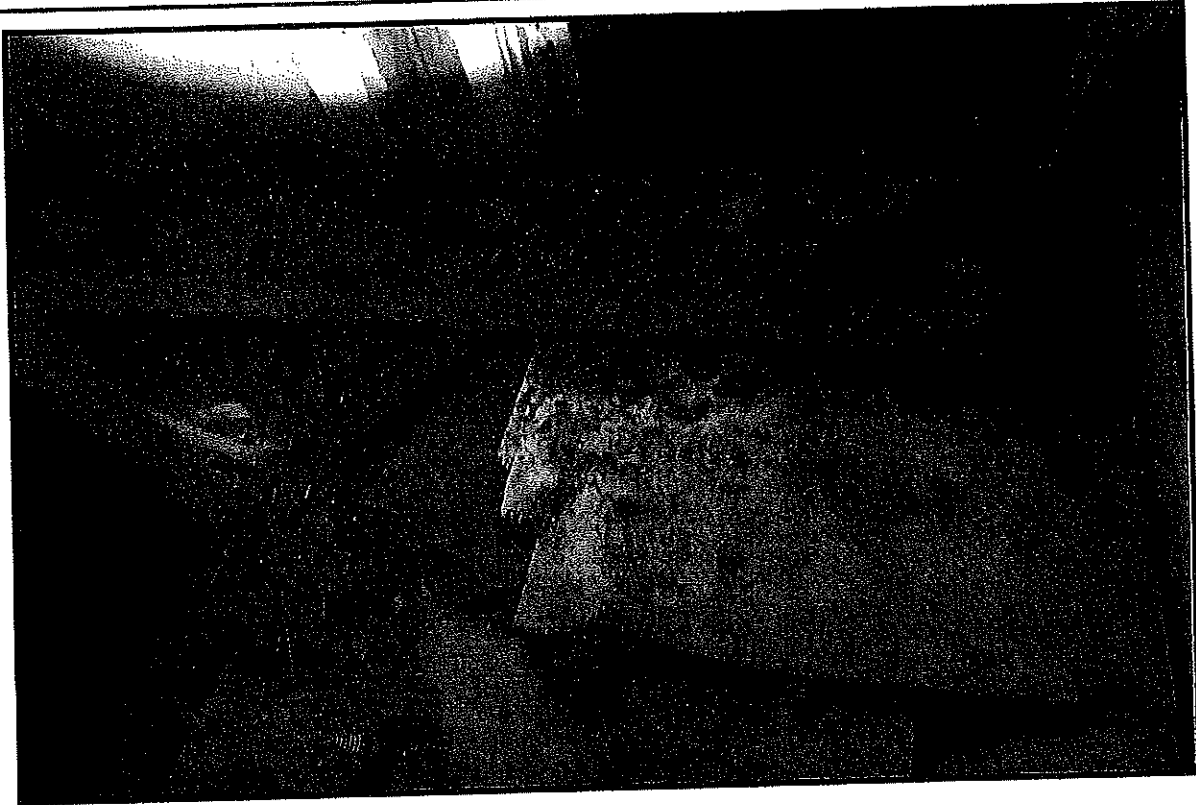


PHOTO 20: - 216 Washington Street Interior Failed Ceiling Damage.



LUKE BRONIN
MAYOR

CITY OF HARTFORD

DEPARTMENT OF DEVELOPMENT SERVICES

Division of Licenses and Inspections
260 Constitution Plaza
Hartford, Connecticut 06103-1822

Telephone: (860) 757- 9200
Fax: (860) 722-6333
www.hartford.gov



I. CHARLES MATHEWS
DIRECTOR OF DEVELOPMENT
SERVICES

February 3, 2023

Case BT-URGENT-2023-004435

TO: HARTFORD HOSPITAL

Via electronic mail: Steven Alexandre Steven.Alexandre@hhchealth.org
Keith Grant Keith.Grant@hhchealth.org Thomas Vaccarelli Thomas.Vaccarelli@hhchealth.org

Via Certified Mail:

Bimal Patel, President
Hartford Hospital
80 Seymour Street
Hartford, CT 06102

Re: 224 Washington St. Hartford, CT

STATE BUILDING CODE §116 NOTICE OF UNSAFE STRUCTURE

Dear: Mr. Patel

On 1/4/2023, an inspection was conducted of the premises located at **224 Washington St. Hartford, CT** for the purposes of determining compliance with the State Building Code as amended and the applicable referenced standards, adopted pursuant to the Connecticut General Statutes §29-252. The Code and said standards are available for your inspection at this office. The inspection revealed that the structure is unsafe pursuant to State Building Code §116 due to the following conditions: **Severe water infiltration has caused critical failures to a large portion of the brick façade and inner supporting brick masonry walls. Wide spread collapsing of the brick façade and inner supporting brick masonry walls was observed. The interior framing comprised of wood has also suffered critical failures due to the failed supporting masonry and water infiltration. Most of the interior structure has begun to collapse and is not safe to enter. The structure as a whole is extremely unstable. Per my own observation and the structural condition analysis done by the engineering firm of Fuss & O'Neill dated January 13, 2023 (report attached) it is imperative that this structure is made safe.**

PURSUANT TO STATE BUILDING CODE §116, YOU ARE HEREBY ORDERED TO TAKE THE PROPER CORRECTIVE ACTION TO REMOVE OR REMEDY ALL LISTED VIOLATIONS AS FOLLOWS: A BUILDING PERMIT APPLICATION TO DEMOLISH OR MAKE SAFE THE STRUCTURE TO BE TO BE FILED WITHIN THIRTY (30) DAYS FROM THE DAY THAT THIS NOTICE IS RECEIVED, WITH COMPLETION OF THE REMEDIATION TO BE MADE WITHIN 60 DAYS AFTER APPROVAL FROM THE CITY'S BUILDING DEPARTMENT AND HISTORIC COMMISSION. Construction documents in accordance with §107 for work to be done shall be submitted to this office prior to the commencement of any construction. This review of all construction documents would avoid unnecessary expense that could result from non-complying changes. Please note that the correction of certain violations may require proper permits and approval from the Building Official and other local agencies prior to any construction.

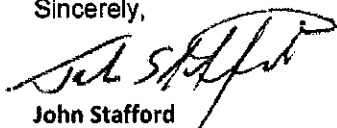
You are hereby notified that you have the right to appeal this order pursuant to Connecticut General Statutes §29-266(b) to the municipal board of appeals or Connecticut General Statute §29-266(c) in the absence of a municipal board of appeals. Variations or exemptions from the State Building Code may be granted by the State Building Inspector where strict compliance with the code would entail practical difficulty or unnecessary hardship, or is otherwise adjudged unwarranted pursuant to Connecticut General Statutes §29-254(b), provided that the intent of the law shall be observed and public welfare and safety be assured. Any application for a variation or exemption or equivalent or alternate compliance shall be filed with the local Building Official.

This is the only order you will receive. You must immediately notify me as to whether you accept or reject the terms of this order. A copy of this order is provided to you to sign and return to me with your response.

Be advised that the Building Official is authorized to prosecute any violation of this order by requesting that legal counsel of the jurisdiction, or the Office of the State's Attorney, institute the appropriate proceeding at law. Per Connecticut General Statutes §29-254a and §29-394, and State Building Code §114.3, any person who is convicted in a court of law of violating any provision of the State Building Code or for failure to comply with the written order of a building inspector for the provision of additional exit facilities in a building, the repair or alteration of a building or the removal of a building or any portion thereof shall be fined not less than two hundred not more than one thousand dollars or imprisoned not more than six months or both.

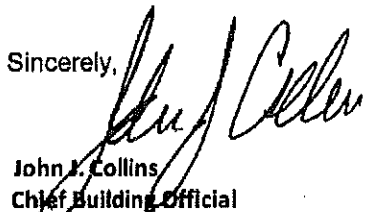
This Office hopes to gain your cooperation and looks forward to working with you in the interest of building and life safety for a timely resolution of this serious matter. If you have any questions, please feel free to contact this office at 860-757-9259.

Sincerely,



John Stafford
Assistant Building Official
Division of Licenses and Inspections
City of Hartford
260 Constitution Plaza 1st Floor
Hartford, CT 06103
STAFJ001@hartford.gov
(860) 757- 9259 (office)

Sincerely,



John J. Collins
Chief Building Official
Division of Licenses and Inspections
City of Hartford
260 Constitution Plaza 1st Floor
Hartford, CT 06103
john.collins@hartford.gov
860-757-9236 (office)

Accepted: _____
Signature of owner

Rejected: _____
Signature of owner

Date: _____

Real Estate Department

March 9, 2023

City of Hartford
Dept of Development Services
260 Constitution Plaza
Hartford, CT 06103-6333

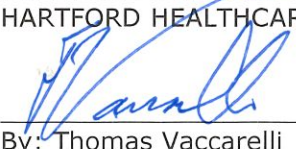
Re: 216 and 224 Washington Street, Hartford, CT

Dear Sir or Madam:

Pursuant to your request, this letter will serve to confirm that Hartford Hospital is the legal owner of record for 216 Washington Street and 224 Washington Street in Hartford, CT.

Hartford HealthCare Corporation, which is the parent corporation of Hartford Hospital, will be submitting an application for demolition for these properties on Hartford Hospital's behalf. Steven Alexandre, System Director of Real Estate of Hartford HealthCare Corporation, will be submitting the application.

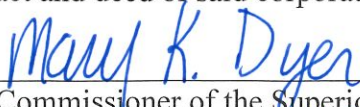
HARTFORD HOSPITAL and
HARTFORD HEALTHCARE CORPORATION


By: Thomas Vaccarelli
System VP, Facilities, Construction,
and Real Estate

STATE OF CONNECTICUT)

COUNTY OF Hartford) ss:

Personally, appeared the said Thomas Vaccarelli, Vice President of said Hartford HealthCare Corporation and Hartford Hospital, signer and sealer of the foregoing instrument, and acknowledged the same to be his free act and deed and the free act and deed of said corporations, before me.


Commissioner of the Superior Court
Notary Public Mary K. Dyer
My Commission Expires: 5/31/2026

MARY K. DYER
NOTARY PUBLIC
My Commission Expires 5/31/2026