

File Date: 03/08/2023

Application Status: Additional Info Required

Assigned To: Alexander Castro

Description of Work: Vintage Home Restoration LLC proposes to restore a vacant 1899 structure at 287-289 Sargeant Street to its original use as an owner-occupied two-family home. As par Queen Anne Free Classic-style home will be restored or reconstructed including: (1) utilizing an old photograph to rebuild the missing two-story classical entry porch on tt to match the existing portico; (2) restoring the Palladian-style window in the third story gable. The original side windows will be retained and restored and a new arched w center window; and (3) removing the vinyl siding to reveal the original siding of clapboard on the second floor and shingles in the third-floor gables. The current condition retained if possible or replaced with wood siding to match the original. The renovated home will feature a two-story owner's unit over a first-floor rental unit. The basic pla include a living room, parlor, dining room, kitchen, two bedrooms and one bath. A portion of the vacant third floor will be rebuilt to create a primary bedroom suite for the o new 30-year architectural shingles will be installed. The existing modern vinyl windows will be replaced with 1/1 aluminum-clad, insulated glass wood windows by Harvey Windows by Harvey Windows is attached for your reference as well as a photograph of its use on a historic renovation that NINA completed at 94-96 Ashley Street. The r part of the renovation. The front doors to the two units are original and will be retained and restored as necessary. For additional information, please refer to (1) the attach the Photo attachment which provides photos of the existing conditions at the building.

Application Detail: Detail

Application Type: Historic Preservation

Documents:	File Name	Document Group	Category	Description	Type	Docun
	2023-03-06 Photos of E...	PLNG_COA	Photos	Photo of current co...	application/pdf	Uploac
	287-289 Sargeant St. H...	PLNG_COA	Plans		application/pdf	Uploac
	287-298 Sargeant St. H...	PLNG_COA	Owners Authoriz...		application/pdf	Uploac
	Harvey Building Proude...	PLNG_COA	Product Specs		application/pdf	Uploac

Show all

Address: 287 SARGEANT ST, HARTFORD, CT 06105

Owner Name: HARTFORD LAND BANK INC

Owner Address: 30 LAUREL ST SUITE 3D, HARTFORD, CT 06106

Application Name:

Parcel No: 177252026

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	David Corrigan	Northside Insti...	Authorized Agent	Mailing, 20 Sargeant S...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #
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Job Value: \$0.00

Total Fee Assessed: \$200.00

Total Fee Invoiced: \$200.00

Balance: \$150.00

Custom Fields: PLNG_COA_CF

GIS Information

Zoning District	Zoning Overlay	FEMA Flood Zone	Land Use Per Assessor
N-2-2	-	-	CITY OF HARTFORD OTHER MUNICIPAL PROPERTY

NRZ	Neighborhood	Local Historic District
ASYLUM HILL NRZ	ASYLUM HILL	-

Historic District	Historic Landmark/Site	State Historic District
-		-

Dispersion met?	Identify Dispersion	National Historic District
No	-	Sigourney Square

General Project Information

Is this application a result of a violation notice?	Zoning Enforcement Case ID #
No	-

Is this a contributing building or structure?
Yes

Is this proposed work visible from the street?
Yes

Historic Review Types

New Construction/Addition	Exterior Alteration
---------------------------	---------------------

[No](#)

[Yes](#)

Demolition

Signage

[No](#)

[No](#)

Solar Panel

[No](#)

Other

—

Does this project include a demolition?

[No](#)

If a demolition request, what alternatives have you sought?

—

Exterior Alterations

Windows

Doors

[√](#)

Porches/Walkways

Siding

[√](#)

[√](#)

Roofs

Mechanical Appurtenances

[√](#)

Other

—

Describe the existing conditions and materials

[See Description of Work.](#)

Describe the proposed materials

[See Description of Work](#)

Hardships and Reason for Hardships

Is this an owner-occupied principal residence?

[Yes](#)

Is this a non-owner occupied residential building containing six (6) or fewer dwelling units?

[No](#)

Is this a commercial and industrial building?

[No](#)

Is this a request for demolition where there is no feasible and prudent alternative to demolition?

[No](#)

Other Payment Required

Green Infrastructure Fund Amount

—

City Tree Fund Amount

—

Complete Street Fund Amount

—

Describe Reason for Payments

-

Reason for Request

Reason for Request

-

Recommendation

Recommendation

-

Adverse Impacts on Neighboring Lands Suitability as Presently Zoned

-

-

Consistency with POCD

-

This is a dynamic label.

PLNG_COA_DIGEPLAN
Enhanced Doc List

-

Reason for Hardship

Cost of historic preservation recommendations: Economic circumstances of the applicant:Lack of availa

Impact of the historic preservation recommendations on the district as a whole and on property value

Dates and Notices

Application Received

Open Hearing Deadline

Close Hearing Deadline

Decision Deadline

Extensions Requested?

If yes, describe how the dates abc

Notice sent to NRZ/CRCOG

Legal Ad #1

Legal Ad #2

Sign Affidavit Received

Certificate of Mailings Returned

Notice of Decision Published

Recordation Date

Approval Expiration Date

Sign Deposit Check #

Sign Deposit Date Received

Sign Deposit Check Amount

Public Hearing Date

Public Hearing Time

Meeting Link or Location

Document Link

Certificate of Compliance

As-Built Drawing Date

Type of Bond

Escrow Account #

Bonding Company Name

Bonding Contact Name

Bonding Primary Phone #

Bonding Email

Drawings Number of Sheets

Drawings Last Revised

Prior Approvals

Type of Permit/Authorization Issued By Issued Date Expiration Date

Resolution Clauses

Type Comment

Workflow Status:

Task

Assigned To

Status

Status Date

Action By

[Application Intake](#)

Alexander Castro

Additional I...

04/10/2023

Alexander Castro

Planning and Zoning Re...

Public Notice

Historic Commission

Notice of Decision

Appeal Period

Permit Issuance

Permit Status

Certificate of Plannin...

Case Complete

Condition Status:

Name

Short Comments

Status

Apply Date

Severity

Action By

Application Comments:	View ID	Comment	Date		
Initiated by Product:	ACA				
Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments

Rehabilitation of:

287-289 Sargeant Street

Hartford, Connecticut

March 6, 2023

DRAWING LIST

COVER SHEET	
L-1	Site Plan
A-1	First Floor Plan
A-2	2nd. & 3rd. Floor Plans
A-3	Basement & Roof Plans
A-4	Exterior Elevations
A-5	Building Section and Wall Section
A-6	Window Schedule, Door Schedule & Wall Types
A-7	Front Porch Elevations and Section Detail

CODE SUMMARY:

APPLICABLE CODES

2022 Connecticut State Building Code
2022 International Residential Code
2021 International Plumbing Code
2021 International Mechanical Code
2021 International Existing Building Code
2021 International Energy Conservation Code
2020 National Electrical Code (NFPA 70)
2018 Connecticut State Fire Safety Code
2017-69 ICC A117.1 Accessible and Usable Buildings & Facilities

SCOPE OF WORK:

The existing building consists of 2 1/2 story residential structure of approximately 4,743 GSF gross square feet.
The scope of work consists of (level-2) interior renovations including partial demolition, new partitions, interior finishes, plumbing, electrical, mechanical work, and the restoration and reconstruction of front and rear porches.

Use Group: R-3 Residential (Two Family Residential occupancy)
Type of Construction: 5B Unprotected

BUILDING HEIGHT:

Height Limitations: 3 stories. Max. Floor to Floor height 12' Max. overall height = 40'-0"
Height Limitations: Existing 2 1/2 with 10'-3" fl. to fl. height and overall height = 40'-0"

Area Limitations: Unlimited. Proposed 1,662 GSF

Interior finish of walls and ceilings: Class A, B, or C 21-3.2

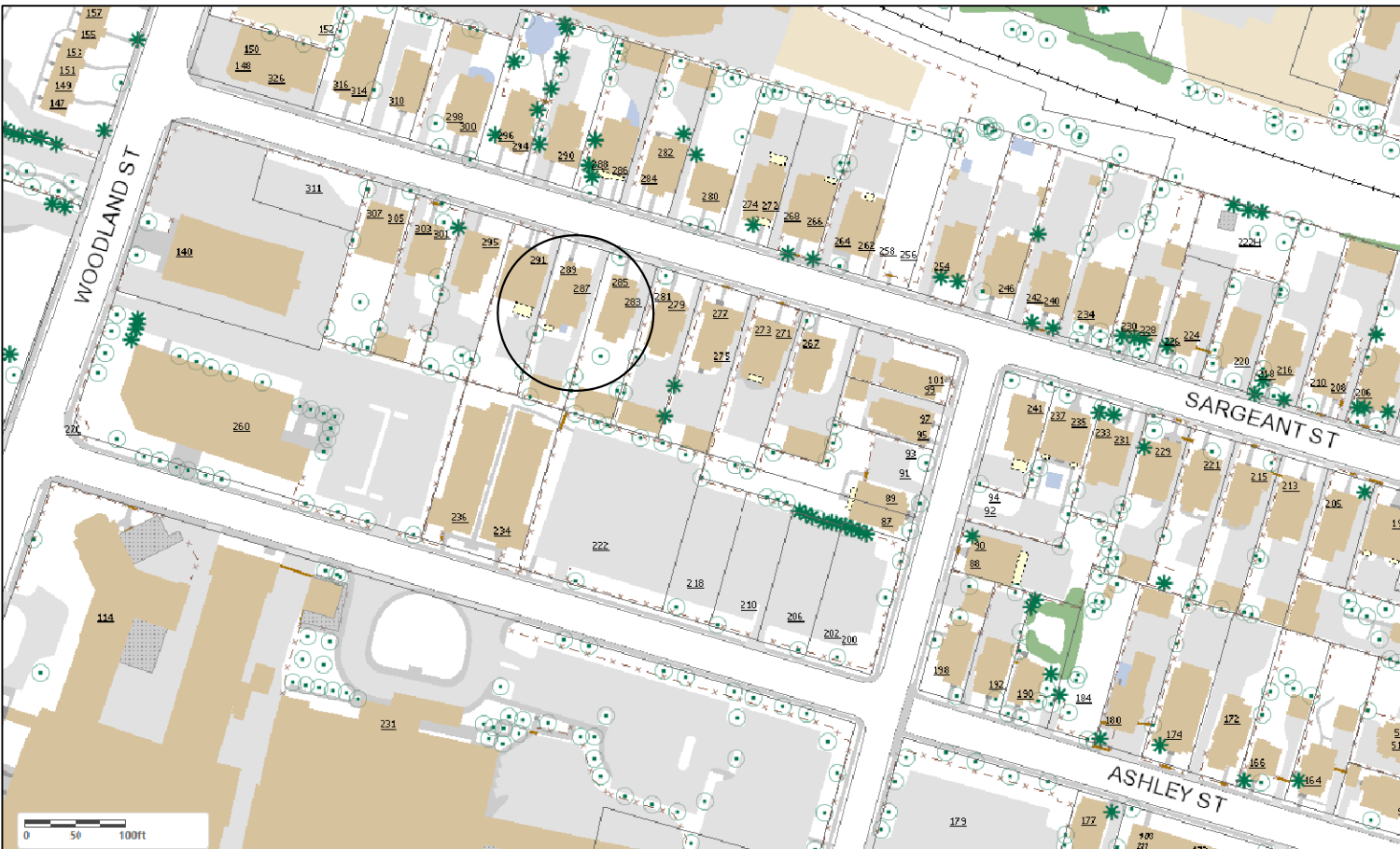
Smoke detectors are required. As per section R-314.2.2 of CT BUILDING CODES 2022

EXISTING FLOOR AREAS:

Existing First Floor Area.....	= 1,662 gsf
Existing Second Floor Area.....	= 1,609 gsf
Existing Third Floor Area.....	= 1,548 gsf
Total Existing floor area.....	= 4,743 gsf



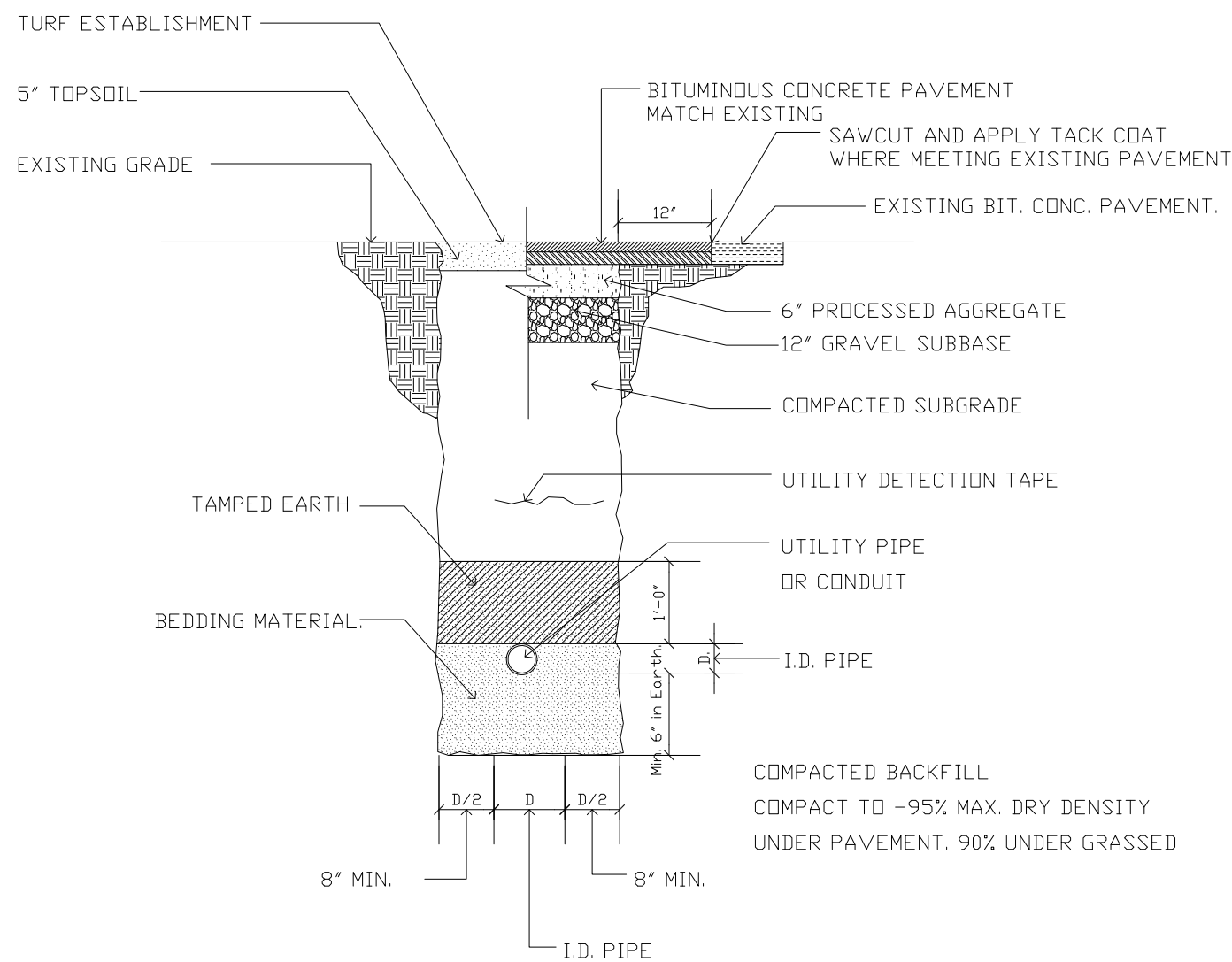
287-289 Sargeant St.



KEY PLAN



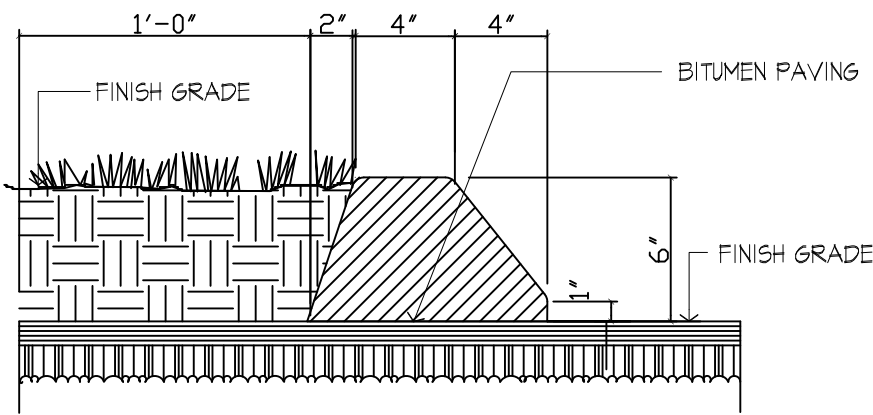
AERIAL VIEW



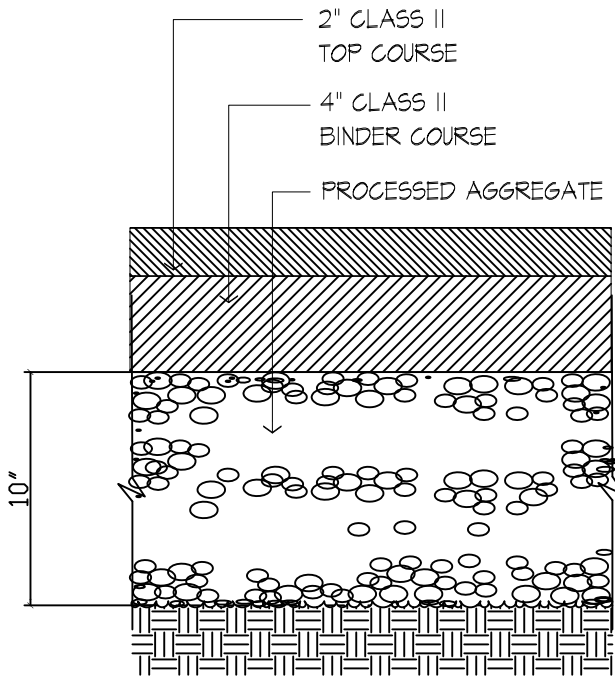
3 Typical Trench Detail
L-1 NOT TO SCALE



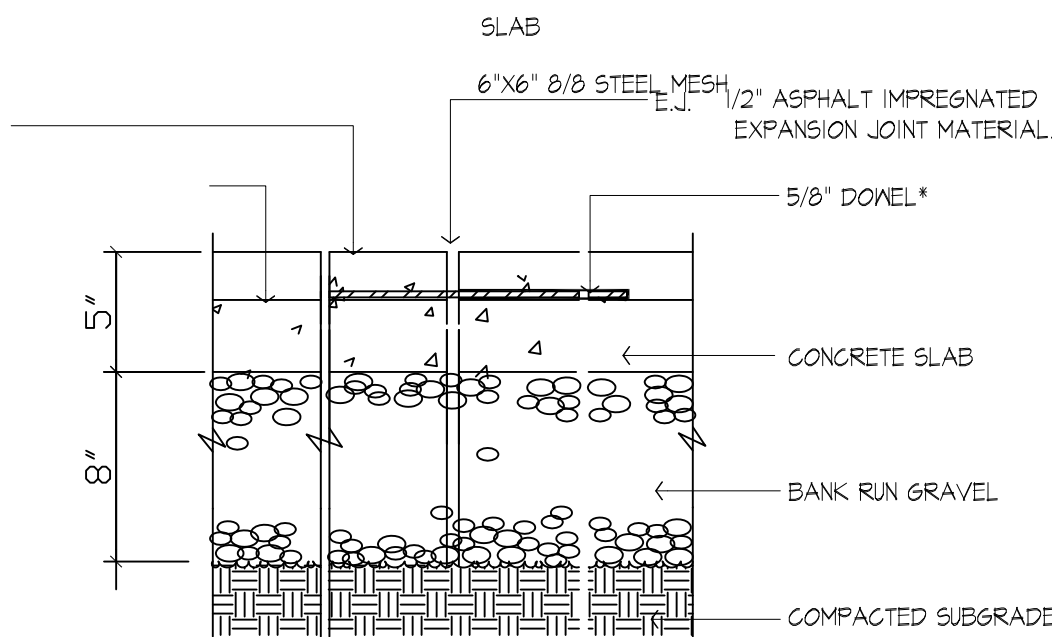
2 STREET MAP
L-1 NOT TO SCALE



4 Bituminous Concrete Curb
L-1 SCALE: 1 1/2"=1'-0"



5 Bituminous Concrete Paving
L-1 SCALE: 1 1/2"=1'-0"



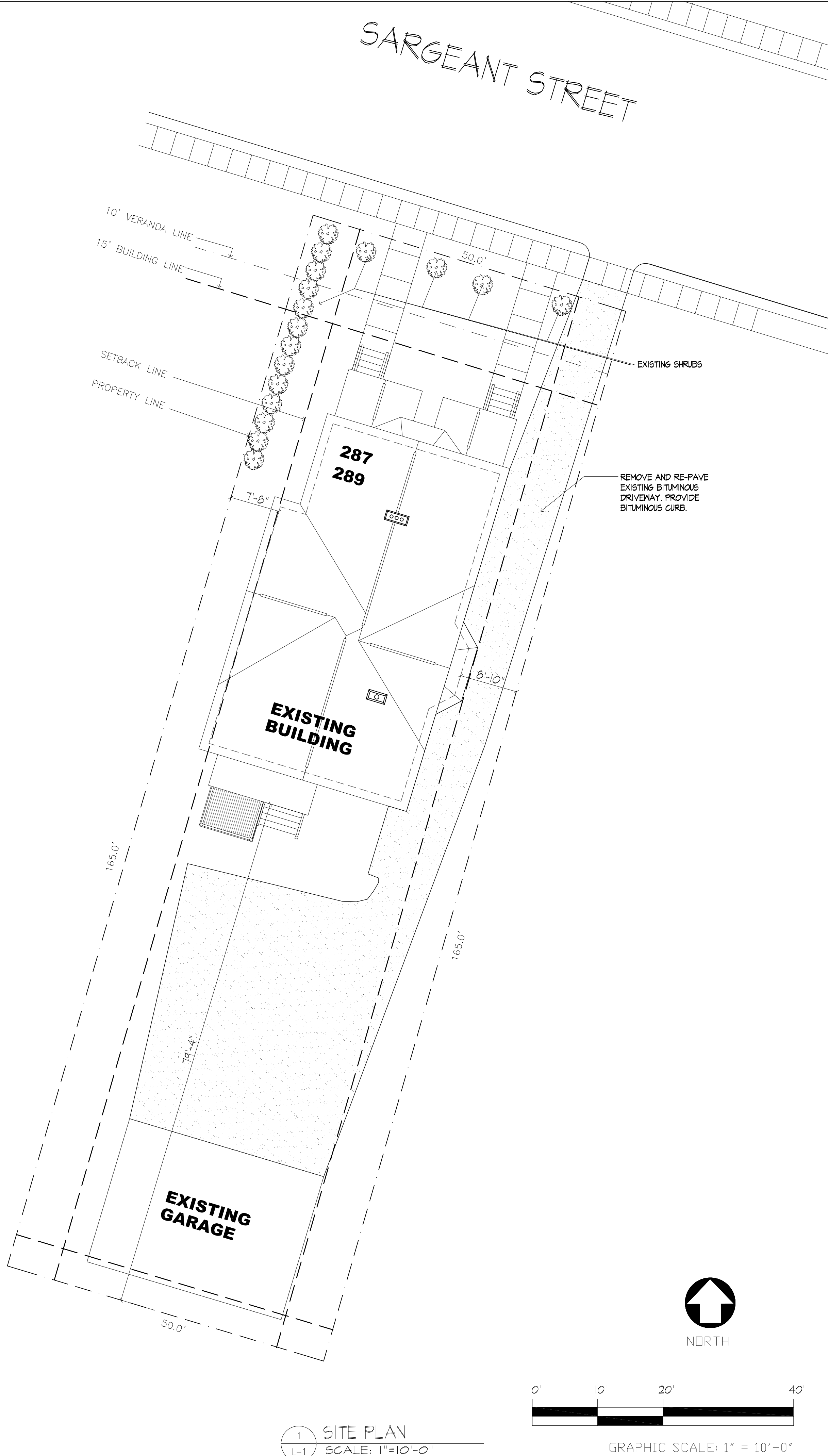
NOTE: SEE PLAN FOR JOINTING.
* NOTE: DOVELS FOR CONCRETE WALK SHALL BE 24" LONG, 2" O.C. & 12" FROM EDGE OF WALK. DIP IN 60° TO DEGREE PENETRATION ASPHALT OR WRAP WITH HEAVY TAR PAPER ON ONLY ONE END.

6 Concrete Walk
L-1 SCALE: 1 1/2"=1'-0"

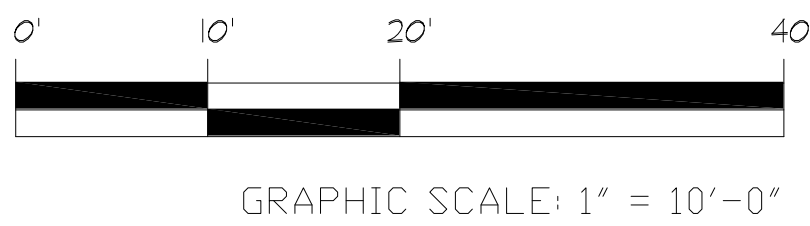
ZONING INFORMATION 287-289 SARGEANT STREET		Zone N-2-2 Neighborhood Residential District	
	Required	Existing	
MIN. FRONT LOT LINE COVERAGE	75%	59%	*
OCCUPATION OF CORNER	N/A Not a corner lot		
FRONT BUILD-TO-ZONE	With-in 2 ft of building line	With-in 2 ft of building line	
CORNER BUILD-TO-ZONE	N/A Not a corner lot		
MINIMUM SIDE SETBACK	7.5 FT	7.6 FT AND 0.0 FT	
MINIMUM REAR SETBACK	5 FT	7.3 FT	
MINIMUM LOT WIDTH	30 FT	50 FT	
MAX. BUILDING COVERAGE	52 %	32 %	
MAX. IMPERVIOUS AREA	65%	54 %	
ADDITIONAL SEMI-PERVIOUS AREA	25%	NONE	
PARKING SPACES	PERMITTED IN REAR OF BUILDING ONLY	REAR OF BUILDING	
PERMITTED VEHICULAR ACCESS	ONE DRIVEWAY PER LOT	ONE DRIVEWAY	
MINIMUM OVERALL HEIGHT	TWO STORIES	2 1/2 STORIES	
MAXIMUM OVERALL HEIGHT	THREE STORIES	2 1/2 STORIES	
ALL STORIES			
Minimum Height	9 FT	0'-2" Third Floor* 9'-10" Second Floor*	
Maximum Height	12 FT	10'-2" First Floor	
ALL STORIES	Residential	Residential	
Minimum Transparency per each story			
Third Floor	15%	Existing	
Second Floor	15%	Existing	
First Floor	15%	Existing	
FRONT FACADE ENTRANCE TYPE	STOOP PORCH	PORCH	
PRINCIPAL ENTRY LOCATION	FRONT	FRONT	
REQUIRED NUMBER OF STREET ENTRANCES	Min 1, Max 2	2	
PERMITTED ROOF	PITCHED	PITCHED	
LOT AREA		0.250 SF	
NOTE-1 THIS SITE PLAN IS BASED IN PART ON INFORMATION FROM HARTFORD 015 MAP			
NOTE-2 ASTERISK (*) INDICATES - EXISTING NON-CONFORMING CONDITION			

General Notes:

- All work shall be done in accordance with the CT Building Code, CT State Fire Safety Code, as well as any other applicable codes, ordinance and regulations of the City of Hartford, the water district regulation, the department of environmental protection, and all utilities regulations, etc. as applicable to the work being done. Obtain all site and curb cut permits as may be required.
- Any required erosion & sedimentation control devices shall be in place prior to commencing any excavation.
- Verify location of any utilities prior to excavation. use services of "call before you dig". call 1-800-922-4455 at least 48 hours prior to beginning excavation.
- The contractor shall store all materials in such a way to preserve the integrity of the adjacent properties, existing site, new and existing utilities.
- The contractor shall coordinate all excavation to incorporate and integrate underground utilities & systems. remove any obsolete components and replace with new components as needed. Install all miscellaneous drainage components.
- Excavate to proper depths to achieve the specified elevations of footings and slabs. Excavate and grade to achieve the levels for walks, porch, and perimeter grades. Remove any old existing roots in preparation for new foundation work. Provide all cut & fill, compaction, rough & finish grading, etc. for a complete job. Contractor is responsible for calculating & providing proper quantities of fill to allow a gradual grading away from building to permit proper drainage, swales, etc. for a complete job, as well as removing excess earth from site, with no additional cost to owner. Any excess cuts of soil shall be corrected with no additional cost to owner.
- Remove and re-pave existing bituminous driveway, as indicated on site plan and as required for new construction. Driveway shall be 1 1/2" top course over 1 1/2" binder course, over 6" crushed aggregate base on compacted earth. Restore grade with compacted fill and min. 4" topsoil to match adjacent grade.
- Remove excavated rocks & boulders (if any). Remove roots of cut trees.
- Remove excess material from site. No construction debris or trees, etc. are to be buried on site.
- No backfilling shall be done near foundations, until adequate bracing has been provided.
- Contractor shall finish grade all areas of site. Slope grade away from building for proper drainage. Spread minimum 4" topsoil and grass seed over graded and tamped base.
- Contractor shall be responsible for any damage caused to existing pavement, curbs, utilities, or any other site elements to remain.



1 SITE PLAN
L-1 SCALE: 1"=10'-0"



GRAPHIC SCALE: 1" = 10'-0"

General Notes

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No. Revision/Issue Date

NORTH

SEAL

Valerio Gladone Architect

100 Sachem Drive
Middletown, CT 06457
email: gladone@comcast.net Tel. (860) 372-0134

Renovations To:
287-289 Sargeant Street
Hartford Ct 06105

SITE PLAN

Project No:

Date: March 6, 2023

Scale: AS NOTED

L-1

GENERAL NOTES

- General Contractor shall field verify all dimensions and conditions and shall notify Architect of any discrepancies prior to start of construction.
- G.C. to provide all demolition and dumping as is necessary to complete the work.
- All materials are to be new unless noted otherwise.
- All lumber in contact with concrete or masonry shall be pressure treated.
- Floor construction shall remain continuous across all mechanical chases throughout the entire building. All floor penetrations shall be firestopped as required.
- Provide firestopping at all Ducts, pipes, and other penetrations through fire rated walls and floors. Use UL rated sealants and caulking as manufactured by Dow, 3M or approved equal. Follow manufacturer's installation instructions.
- All plumbing to be concealed in walls and floors, unless noted otherwise.
- Provide metal UL fire rated plumbing access panels. Panels are to be 18"x18" with keyed locks. Provide panels to access bathroom plumbing traps. Field verify locations.
- Provide all necessary chases and "box outs" for plumbing and heating piping as required to complete the work.
- Refasten loose floor boards and take out high spots. Remove squeaks.
- "Patch, repair and restore" shall mean to original "like new" condition.
- All hollow vertical spaces in walls including fireplaces flues shall be firestopped at each floor level.
- All new and existing walls to be of wood frame construction with 1/2" gypsum wall board on both sides. At areas of infill, provide a smooth, continuous and flush condition with adjacent walls at both sides.
- Inspect all existing framing components, and exposed sub-floors for damage or deterioration, and repair or replace any components as required.
- Provide new kitchen cabinets, countertop and appliances as indicated and as selected by owner.
- Provide new plumbing fixtures as indicated and as selected by owner.
- Provide new mechanical, electrical and plumbing system as required by codes and as selected by owner.

FINISH NOTES

- At all new interior wall and ceilings provide new gypsum wallboard. Repair and or replace interior drywall finish where required. Provide new framing where required. New drywall construction shall be flush with existing adjacent walls where required.
- At all floor areas provide new carpet or ceramic tile finish as indicated on plans. Sand and finish all existing wood floors for a continuous even surface and finish. Repair as required to match existing.
- Preserve and reuse all interior wood trim at doors, windows, wall base, molding etc. Provide new trim where missing and where new doors or windows are provided. All new trim to match existing. Clean and restore existing stained wood trim, caulk prime and paint existing painted trim.
- All new painted wood trim to be clear pine. All new stained wood trim to be hardwood free of knots or defects. Wood trim profiles, dimensions and details to match existing to the extent possible.
- All closets shall be provided with hanging rod at 5'-4" A.F.F. with shelf above unless noted otherwise.
- Provide 5 shelves spaced 12" O.C. vertically in all storage closets. Provide one shelf over washer and dryer.
- All closets shall have the same floor treatment as the adjacent room.
- Provide moisture resistant gypsum board behind all sinks, washing machines and in all bathrooms, unless shown otherwise on plans.
- Interior paint and stain colors are to be selected by Owner.
- Provide marble threshold at doors where ceramic floor tile floor finish is used, and rubber reducing strips at all other transitions between dissimilar flooring materials.

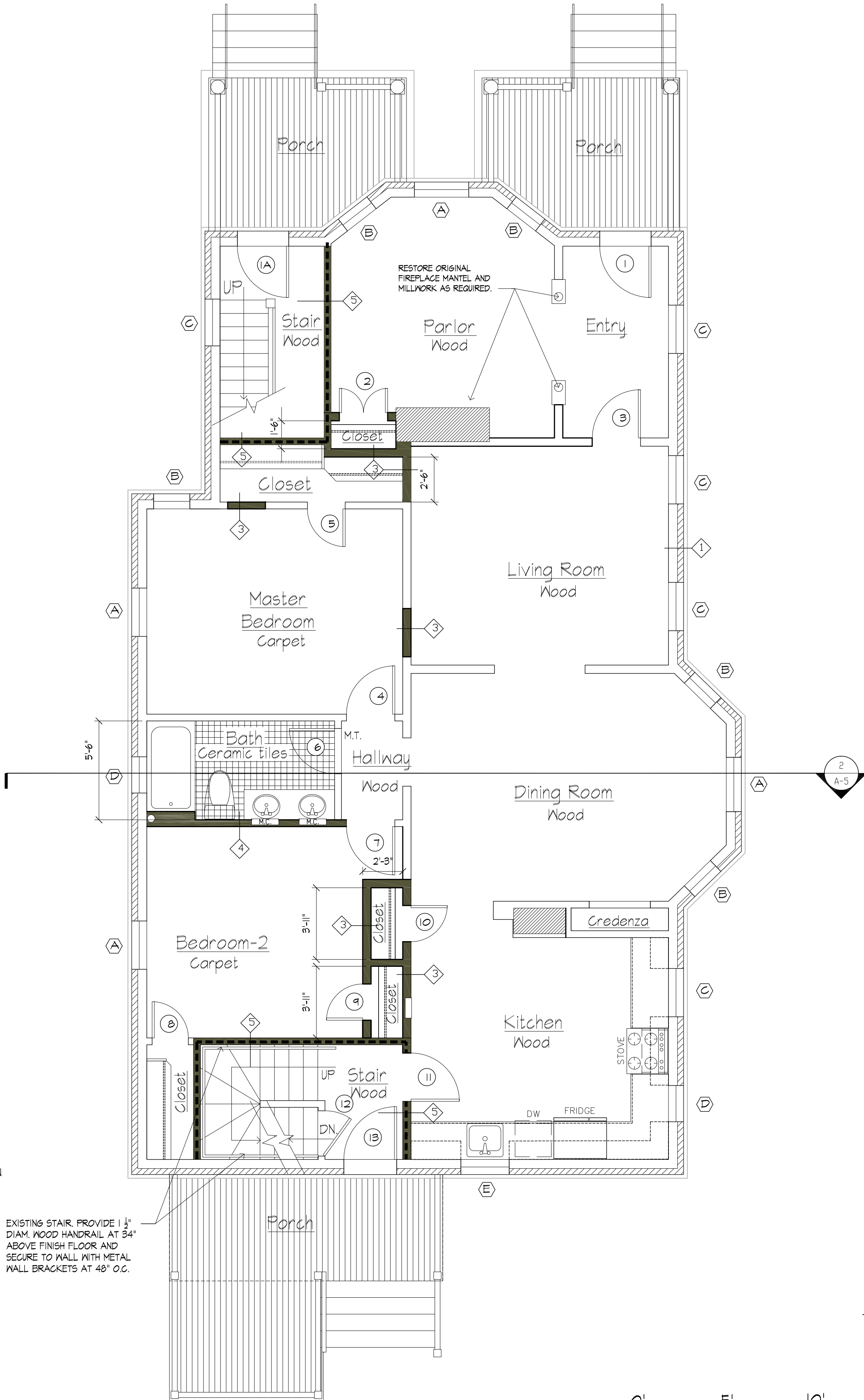
KITCHEN & BATHROOM NOTES

- Provide 1/2" water resistant GMB at all kitchen and bathroom walls and ceiling.
- Provide ceramic floor and wall base tiles at all bathrooms, and kitchen as selected by owner.
- Provide 1/2" cement fiber board behind ceramic tile finish at walls and floors.
- Provide and install all plumbing fixtures as indicated. All plumbing fixtures to be selected by owner.
- All new plumbing shall be installed behind finished walls and ceilings. Where required increase size of net wall to accommodate and secure all plumbing.
- Provide all bathroom accessories as required and selected by owner. Provide solid wood blocking behind walls to secure all accessories.
- Provide exhaust fan at all bathroom and kitchen locations.
- G.C. to provide shop drawings for owner's review for all kitchen, bathroom and miscellaneous millwork as required by owner.
- All finish flooring and wall base shall extend under all areas not covered by base cabinetry.

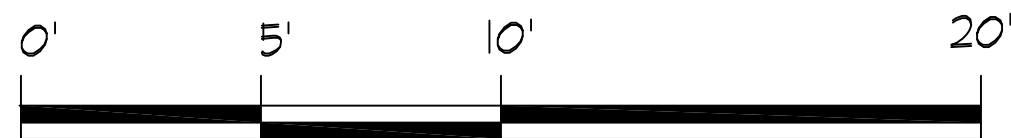
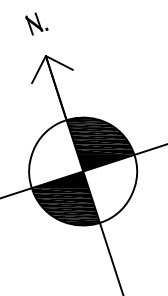
LEGEND:

	EXISTING WALL TO REMAIN		SECTION MARK
	NEW WALLS.		DETAIL MARK
	1-HOUR FIRED WALLS.		RECESSED MEDICINE CABINET
	EXTERIOR MASONRY VENEER		OVER THE RANGE EXHAUST FAN
	DOOR NUMBER		MARBLE THRESHOLD
	WINDOW TYPE		WOOD THRESHOLD
	WALL TYPE. (See DWG. 4-A7) for wall type details.		ROOM NAME
	ELEVATION MARK		ROOM FLOOR FINISH

Living Room ← ROOM NAME
Wood ← ROOM FLOOR FINISH



EXISTING STAIR, PROVIDE 1 1/2" DIA. WOOD HANDRAIL AT 34" ABOVE FINISH FLOOR AND SECURE TO WALL WITH METAL WALL BRACKETS AT 48" O.C.



GRAPHIC SCALE

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

General Notes

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No.	Revision/Issue	Date
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NORTH

SEAL

Valerio Giadone Architect

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email: giadone@comcast.net Tel. (860) 372-0134

Renovations To:
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FIRST FLOOR PLAN

Project No:

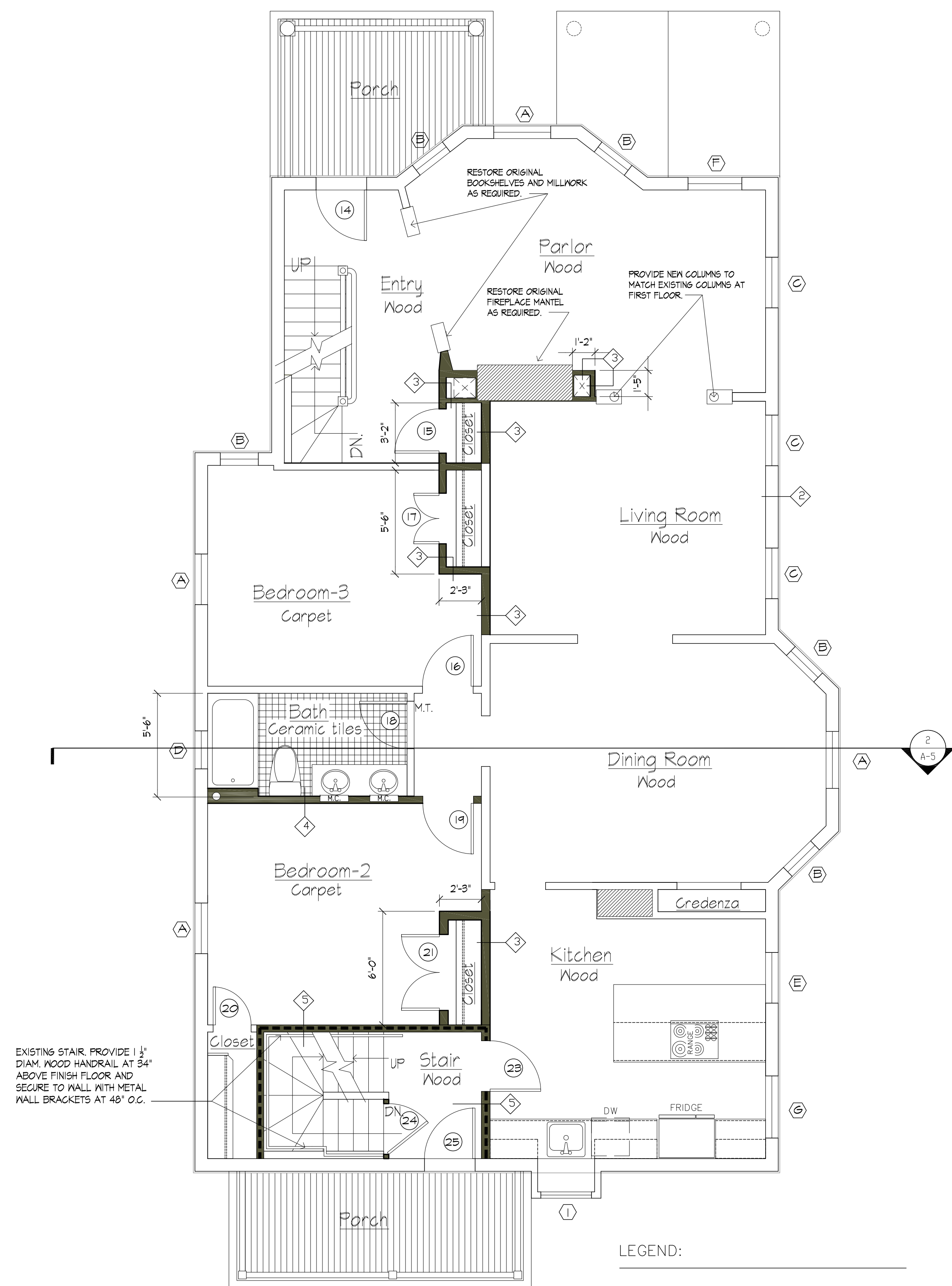
Date: March 6, 2023

Scale: AS NOTED

A=1

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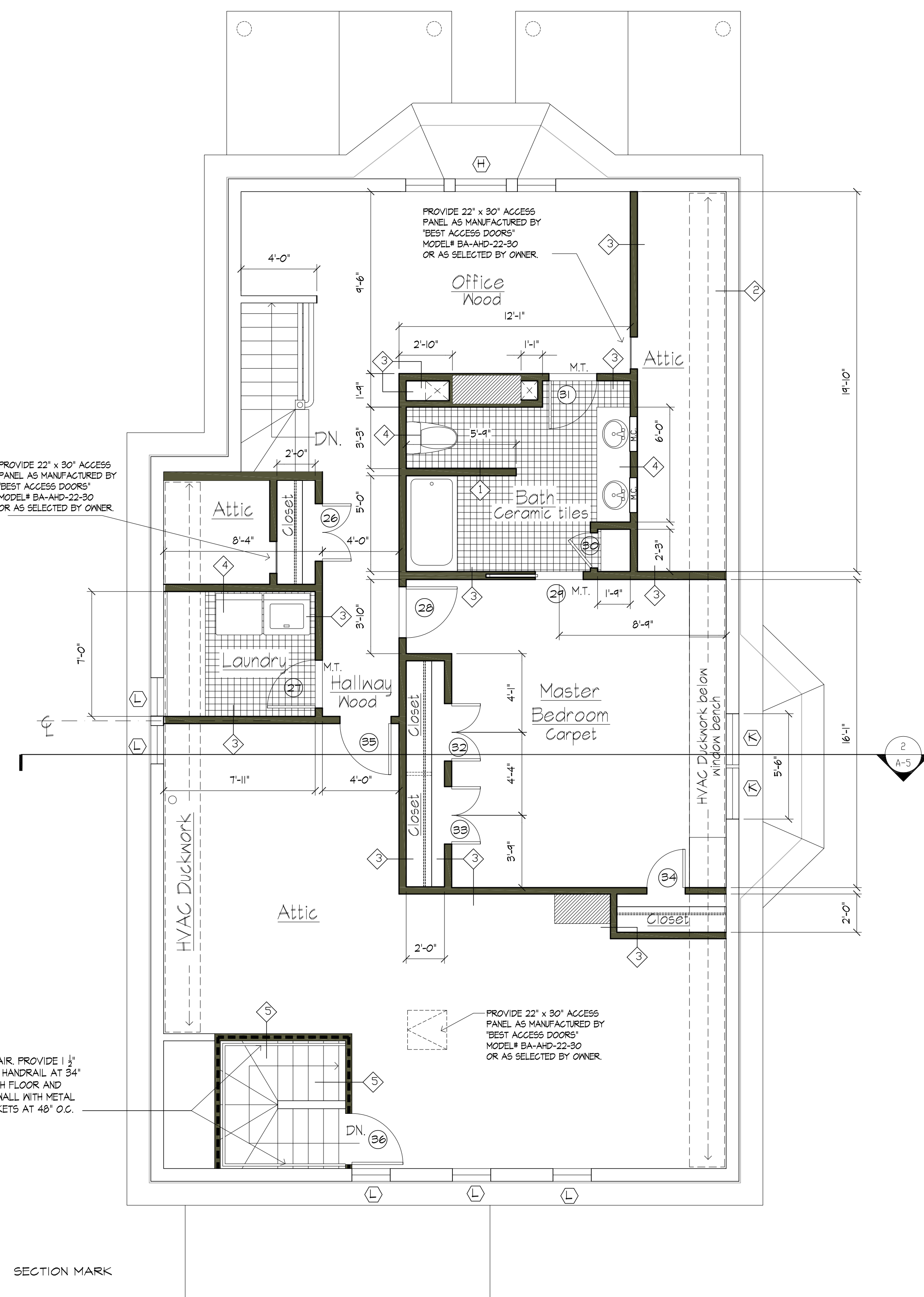


1 SECOND FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"

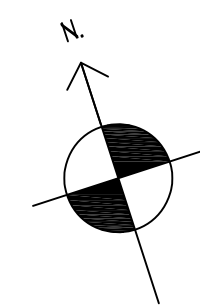
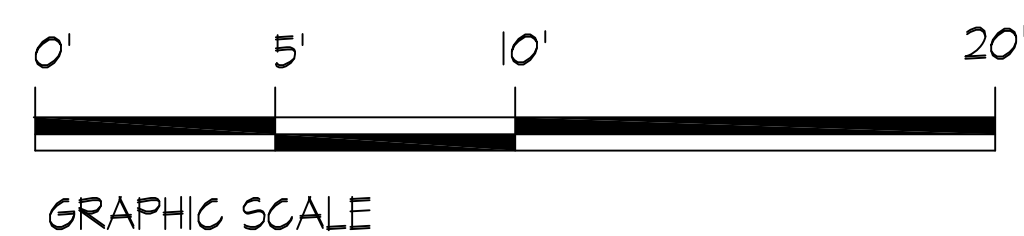
LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALLS.
- 1-HOUR FIRED WALLS.
- EXTERIOR MASONRY VENEER
- DOOR NUMBER
- WINDOW TYPE
- WALL TYPE. (See DWS. 4-A1) for wall type details.
- ELEVATION MARK

- SECTION MARK
- DETAIL MARK
- M.C. RECESSED MEDICINE CABINET
- E.F. OVER THE RANGE EXHAUST FAN
- M.T. MARBLE THRESHOLD
- W.T. WOOD THRESHOLD
- Living Room ← ROOM NAME
- Wood ← ROOM FLOOR FINISH



2 THIRD FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"



No.	Revision/Issue	Date

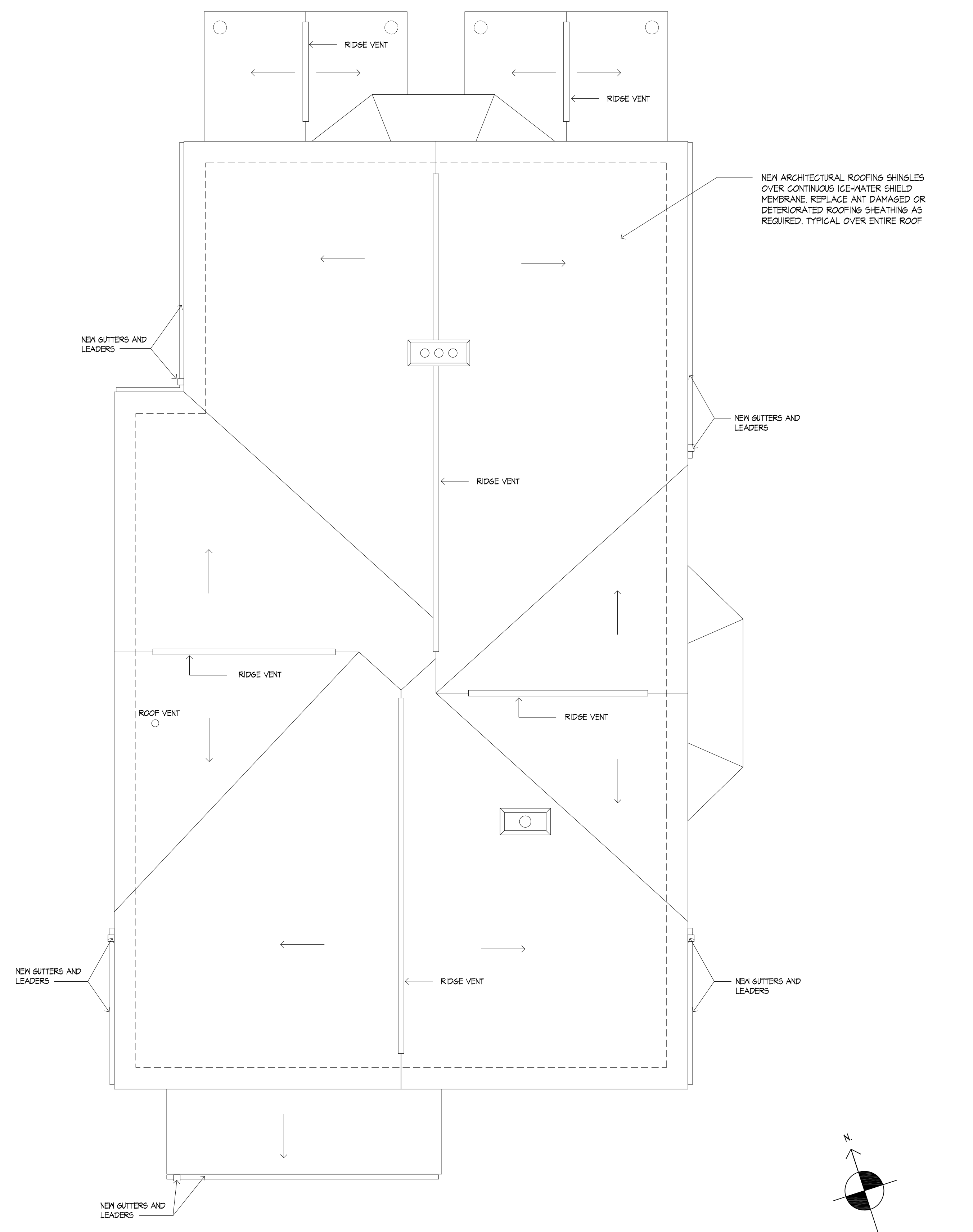
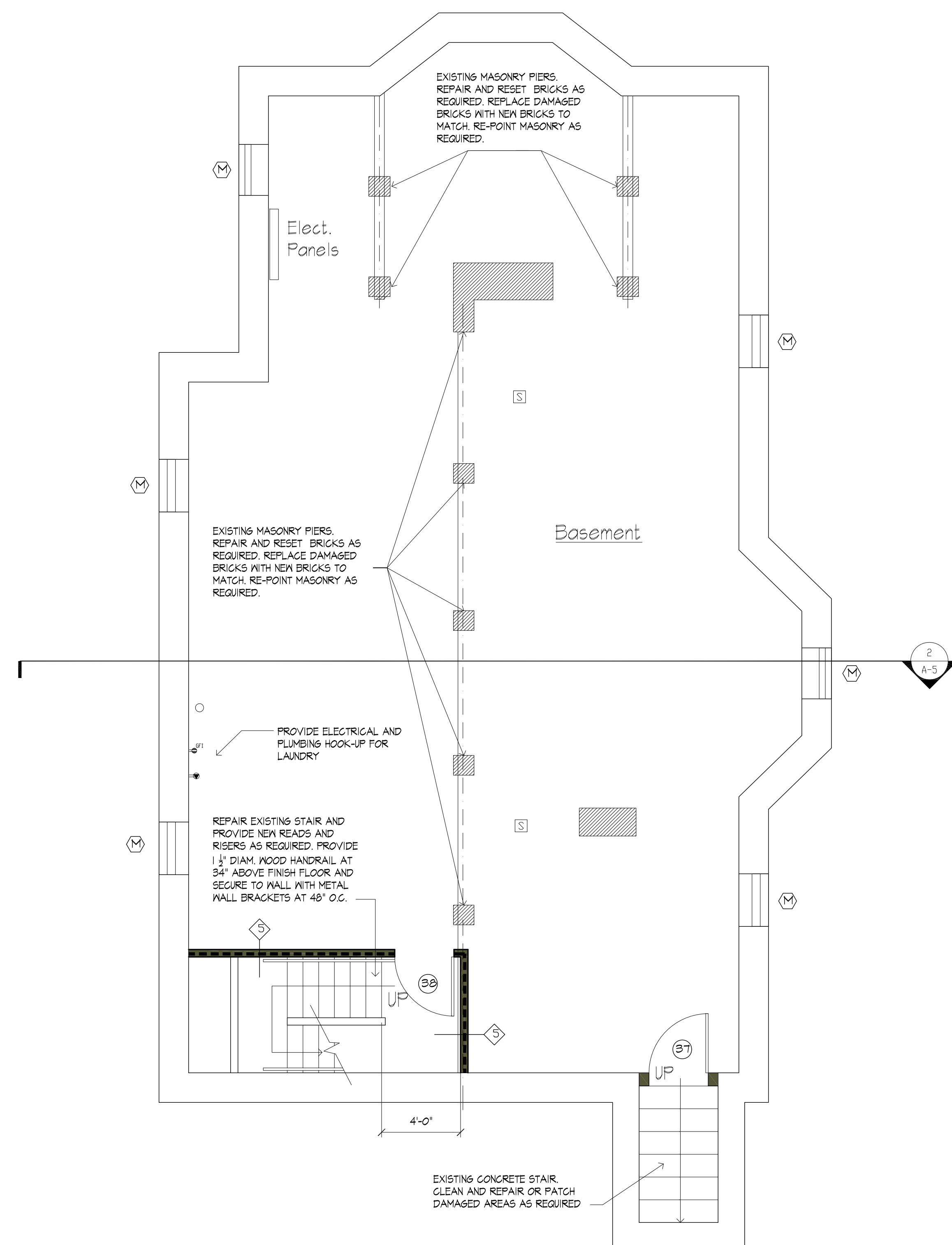
NORTH SEAL

Valerio Gladone Architect
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Renovations To:
287-289 Sargeant Street
Hartford Ct 06105

2nd. & 3rd. FLOOR PLANS

Project No:	A-2
Date: March 6, 2023	
Scale: AS NOTED	



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NORTH

SEAL

Valerio Giadone Architect

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Middletown CT. 06457
email: giadone@comcast.net Tel. (860) 372-0134

Renovations To:
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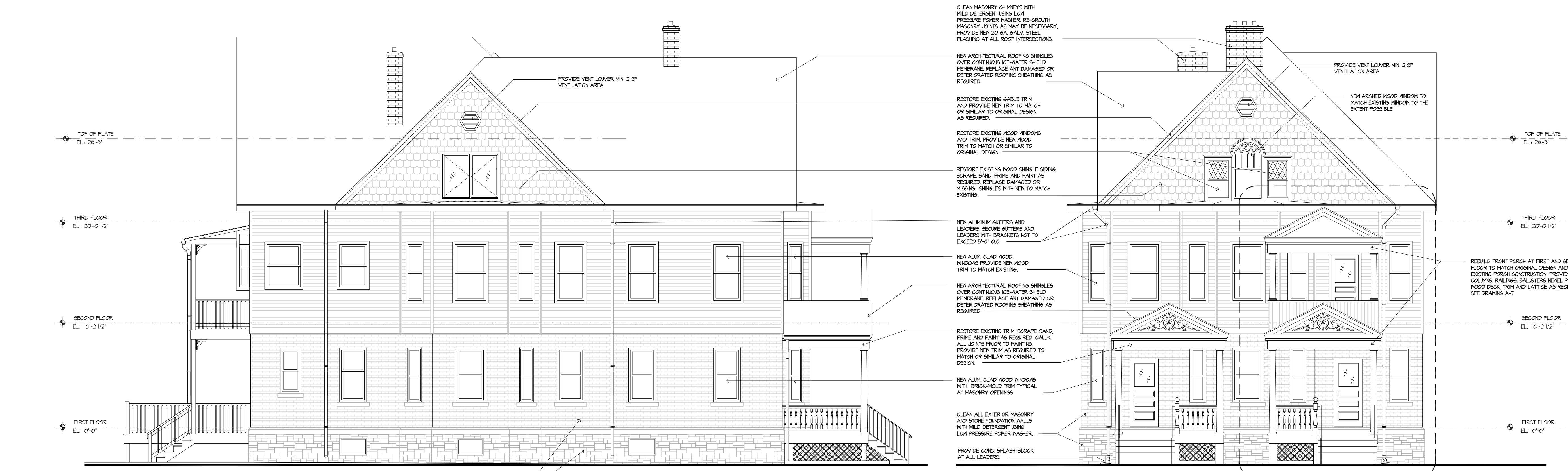
BASEMENT & ROOF PLANS

Project No:

Date: March 6, 202

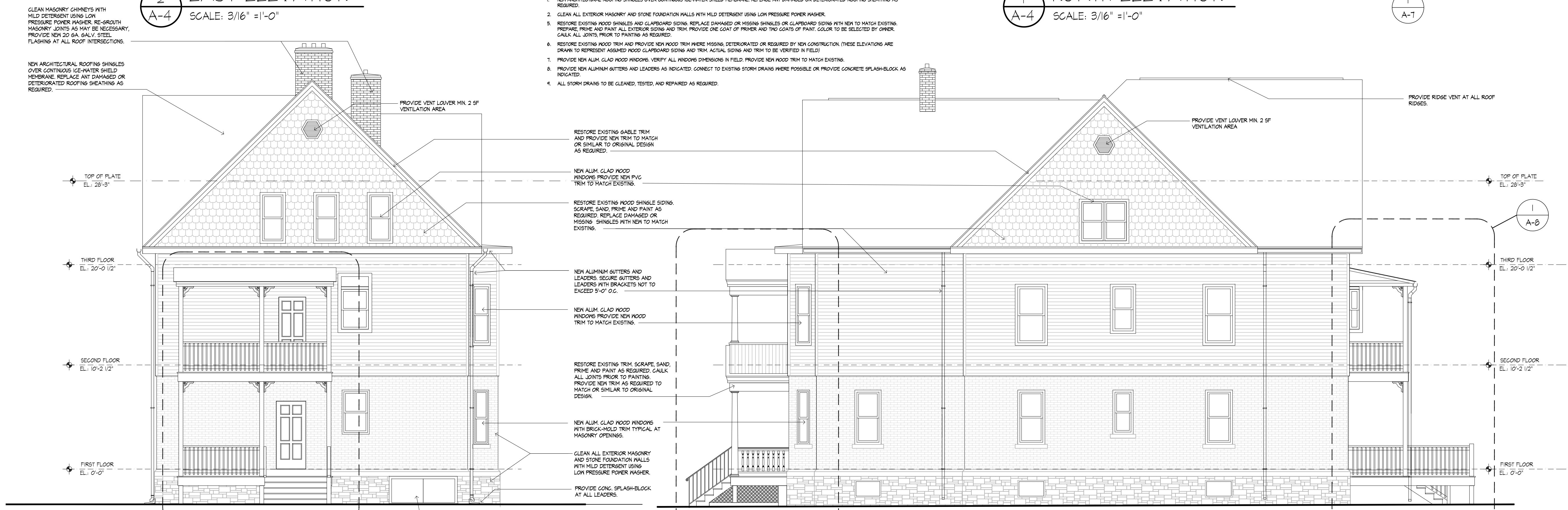
Scale: **AS NOTED**

$$A = \begin{pmatrix} 1 & 2 & 3 \\ 2 & 3 & 4 \\ 3 & 4 & 5 \end{pmatrix}$$



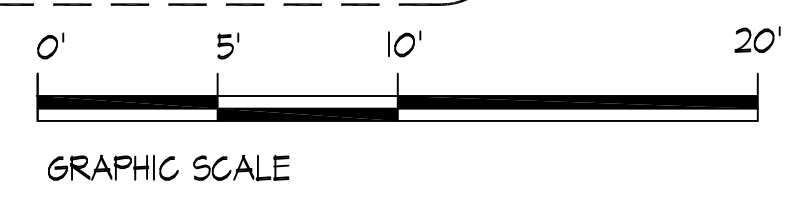
2 EAST ELEVATION
A-4 SCALE: 3/16" = 1'-0"

1 NORTH ELEVATION
A-4 SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
A-4 SCALE: 3/16" = 1'-0"

4 WEST ELEVATION
A-4 SCALE: 3/16" = 1'-0"



- EXTERIOR ELEVATION NOTES:
1. NEW ARCHITECTURAL ROOFING SHINGLES OVER CONTINUOUS ICE-WATER SHIELD MEMBRANE. REPLACE ANY DAMAGED OR DETERIORATED ROOFING SHEATHING AS REQUIRED.
 2. CLEAN ALL EXTERIOR MASONRY AND STONE FOUNDATION WALLS WITH MILD DETERGENT USING LOW PRESSURE POWER WASHER.
 3. RESTORE EXISTING WOOD SHINGLES AND CLAPBOARD SIDING. REPLACE DAMAGED OR MISSING SHINGLES OR CLAPBOARD SIDING WITH NEW TO MATCH EXISTING. PREPARE, PRIME AND PAINT ALL EXTERIOR SIDING AND TRIM. PROVIDE ONE COAT OF PRIMER AND TWO COATS OF PAINT. COLOR TO BE SELECTED BY OWNER. CAULK ALL JOINTS PRIOR TO PAINTING AS REQUIRED.
 4. RESTORE EXISTING WOOD TRIM AND PROVIDE NEW WOOD TRIM WHERE MISSING, DETERIORATED OR REQUIRED BY NEW CONSTRUCTION. (THESE ELEVATIONS ARE DRAWN TO REPRESENT ASSUMED WOOD CLAPBOARD SIDING AND TRIM. ACTUAL SIDING AND TRIM TO BE VERIFIED IN FIELD).
 5. PROVIDE NEW ALUM. GLAD WOOD WINDOWS. VERIFY ALL WINDOWS DIMENSIONS IN FIELD. PROVIDE NEW WOOD TRIM TO MATCH EXISTING.
 6. PROVIDE NEW ALUMINUM GUTTERS AND LEADERS AS INDICATED. CONNECT TO EXISTING STORM DRAINS WHERE POSSIBLE OR PROVIDE CONCRETE SPLASH-BLOCK AS INDICATED.
 7. ALL STORM DRAINS TO BE CLEANED, TESTED, AND REPAIRED AS REQUIRED.

General Notes

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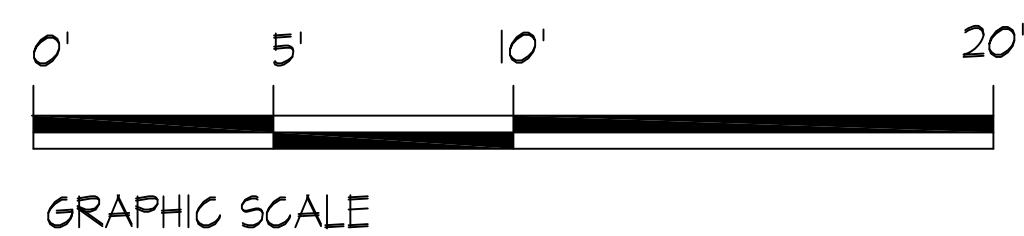
No.	Revision/Issue	Date
NORTH		SEAL

Valerio Giadone Architect
100 Sachem Drive
Middletown, CT 06457
email: giadone@comcast.net Tel. (860) 372-0134

Renovations To:
287-289 Sargeant Street
Hartford Ct 06105

EXTERIOR ELEVATIONS

Project No:	A=4
Date: March 6, 2023	
Scale: AS NOTED	



2 WALL SECTION
A-5 SCALE: 3/4" = 1'-0"

General Notes

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No.	Revision/Issue	Date
NORTH		SEAL

Valerio Giadone Architect

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Middletown CT. 06457
email: giadone@comcast.net Tel. (860) 372-0134

Renovations To:
287-289 Sargeant Street
Hartford Ct 06105

BUILDING SECTION
AND WALL SECTION

Project No:	A=5
Date: March 6, 2023	
Scale: AS NOTED	

WINDOW SCHEDULE						
Window	Size	Mat.	Function	Elevation	Notes	
A	3'-0" W x 5'-6" H	Alum. Glad Wood	D.H.	1	Note-6	
B	2'-0" W x 5'-6" H	Alum. Glad Wood	D.H.	2		
C	2'-8" W x 5'-6" H	Alum. Glad Wood	D.H.	3		
D	2'-0" W x 4'-6" H	Alum. Glad Wood	D.H.	4		
E	2'-8" W x 5'-6" H	Alum. Glad Wood	D.H.	3		
F	2'-10" W x 5'-6" H	Alum. Glad Wood	D.H.	5		
G	3'-2" W x 4'-6" H	Alum. Glad Wood	D.H.	6		
H		Wood	D.H.	7	Existing Palladian Window to remain	
I		Aluminum	Picture	8	Existing Picture Box Window to remain	
J	OMIT					
K	2'-8" W x 4'-6" H	Alum. Glad Wood	CASEMENT	9	Note-6	
L	2'-0" W x 4'-6" H	Alum. Glad Wood	D.H.	4		
M	2'-8" W x 2'-0" H	Alum. Glad Wood	Anning	10		

WINDOWS GENERAL NOTES:

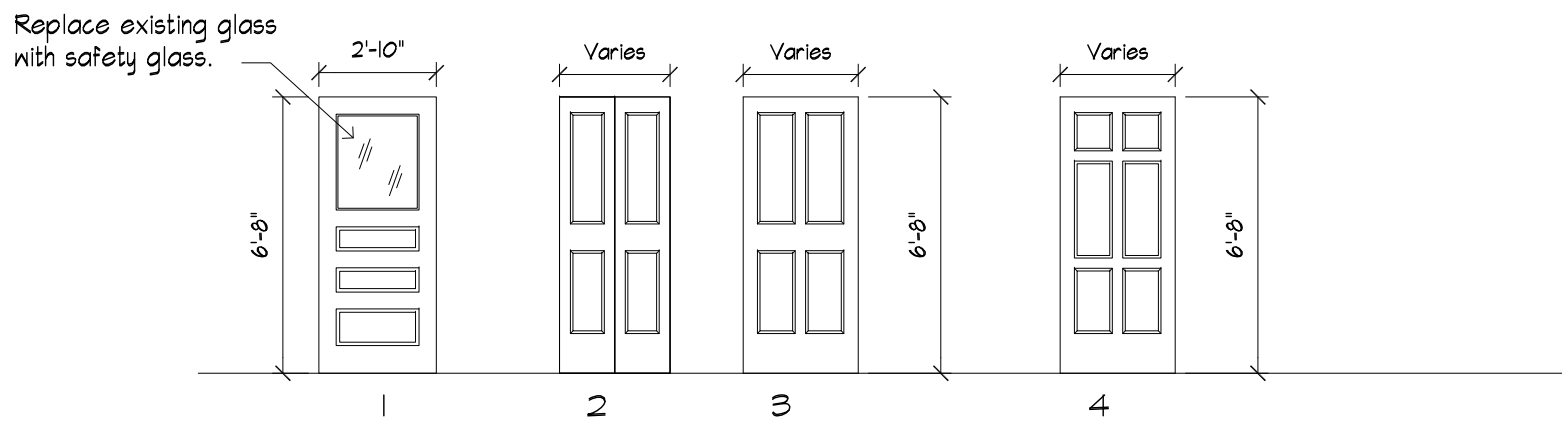
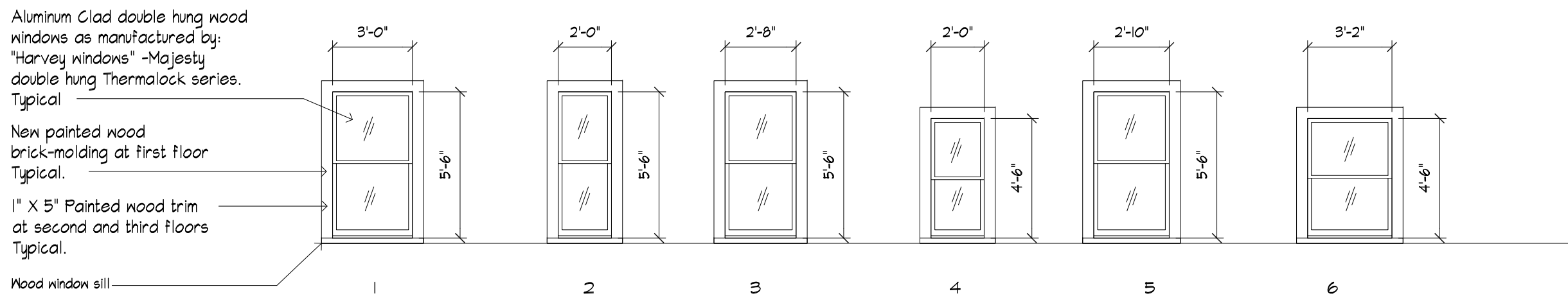
- All new windows shall be Aluminum Glad double hung wood windows as manufactured by "Harvey windows" -Majesty double hung Thermalock series. All finishes as selected by Owner.
- Glass to be double pane insulated glass high performance LOW-E Glass U-FACTOR = 0.27, SHGC = 0.24, VT = 0.54, PERFORMANCE RATING = AIR INFILTRATION = 0.3 CFM/FT
- Window Schedule above lists all the different window sizes throughout the building. This schedule does not list quantities of each size. Contractor shall be responsible for determining quantities. Refer to building plans and elevation for determining overall quantities.
- Caulk all sides of exterior windows. Caulk color to match window color.
- Provide laminated safety glass at D.H. window unit at front stair location.
- Each bedroom shall have at least one window meeting or exceed clear openable area of 5.7 square feet, clear opening width of 20" and clear opening height of 24"
- Provide new double hung windows with exterior and interior wood trim as indicated on drawings. Provide jamb extension as required.
- Provide Insect Screens at all windows.
- Provide standard hardware as selected by owner at all windows.
- All finishes to be selected by owner
- Windows sizes are approximate sizes. Contractor shall field verify all windows sizes, and provide windows to match existing rough opening sizes unless noted otherwise.
- All original interior window trim to be carefully retained and restored for reuse. Where new trim is required it shall match the existing original trim profile.
- Remove or restore security bars at first floor window as directed by owner.

DOOR SCHEDULE										
No.	Size	New/Exstg.	Type	Door Mat.	Elev.	Jamb. Dtl.	Fire Rating	Frame Mat.	Function	Notes
FIRST FLOOR										
1	2'-10" x 6'-8"	Existing	Swing	Wood	1			Wood	Entry Lock	Note-1
1A	2'-10" x 6'-8"	Existing	Swing	Wood	1			Wood	Entry Lock	Note-1
2	Pair 1'-4" x 6'-8"	New	Swing	WSD	2			Wood	Latch	Note:3
3	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
4	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Privacy	Note:3
5	2'-0" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
6	2'-6" x 6'-8"	New	Swing	WSD	3			Wood	Privacy	Note:3
7	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Privacy	Note:3
8	2'-0" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
9	2'-0" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
10	2'-0" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
11	2'-8" x 6'-8"	New	Swing	H.M.	4		I-HR	Wood	Entry Lock	Note:2
12	2'-6" x 6'-8"	New	Swing	WSD	4			Wood	Lockset	Note:3
13	3'-0" x 6'-8"	New	Swing	H.M.	4		I-HR	H.M.	Entry Lock	Note:2
SECOND FLOOR										
14	2'-10" x 6'-8"	Existing	Swing	Wood	1			Wood	Lockset	Note-1
15	2'-4" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
16	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Privacy	Note:3
17	Pair 1'-4" x 6'-8"	New	Swing	WSD	2			Wood	Latch	Note:3
18	2'-6" x 6'-8"	New	Swing	WSD	3			Wood	Privacy	Note:3
19	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Privacy	Note:3
20	2'-0" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
21	Pair 2'-0" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
22	OMIT									
23	2'-8" x 6'-8"	New	Swing	H.M.	4		I-HR	Wood	Lockset	Note:2
24	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Entry Lock	Note:3
25	3'-0" x 6'-8"	New	Swing	H.M.	3			Wood	Lockset	Note:3
THIRD FLOOR										
26	Pair 1'-6" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
27	2'-6" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
28	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Privacy	Note:3
29	2'-6" x 6'-8"	New	Pocket	WSD	3			Wood	Latch	Note:6
30	1'-10" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
31	2'-6" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
32	Pair 1'-6" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
33	Pair 1'-6" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
34	2'-0" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
35	2'-8" x 6'-8"	New	Swing	WSD	3			Wood	Latch	Note:3
36	2'-8" x 6'-8"	New	Swing	H.M.	4		I-HR	Wood	Lockset	Note:2
BASEMENT										
37	3'-0" x 6'-8"	New	Swing	H.M.	3			H.M.	Lockset	Note:3
37	3'-0" x 6'-8"	New	Swing	H.M.	3		I-HR	H.M.	Lockset	Note:2

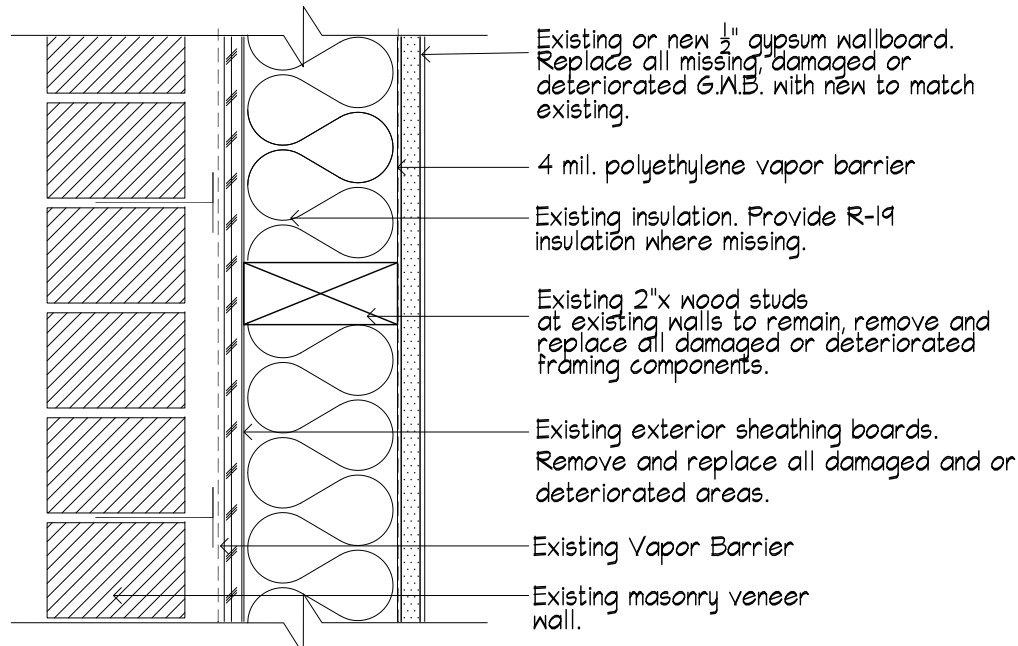
DOOR NOTES:

- Existing exterior doors to remain are to be restored to like-new condition and as required for proper operation. Provide new hardware as required. Replace existing glass with 1/4" safety glass.
- Provide I-HR Fire rated metal panel door as manufactured by "JELD-WEN". Provide automatic door closer as required.
- New solid wood panel door as manufactured by "Masonite" or as selected by owner
- All new exterior doors and frames to have integral weatherstripping and aluminum sills, unless noted otherwise.
- Integral door weatherstripping to be slotted into frame or stile and provided by door/frame manufacturer.
- Provide pocket door hardware as manufactured by "Johnson Hardware", 2000SC Series Heavy-Duty Soft-Close Pocket Door Frame Kits or equal.
- Hardware to be selected by owner. G.C. shall review and verify all hardware functions with the owner prior to placing order.
- Provide marble threshold at doors where ceramic floor tile floor finish is used, and rubber reducing strips at all other transitions between dissimilar flooring materials.
- All exterior doors to have aluminum storm doors as selected by owner.

H.M. = Hollow metal
M.S.C. = Solid core raised panel hardboard door

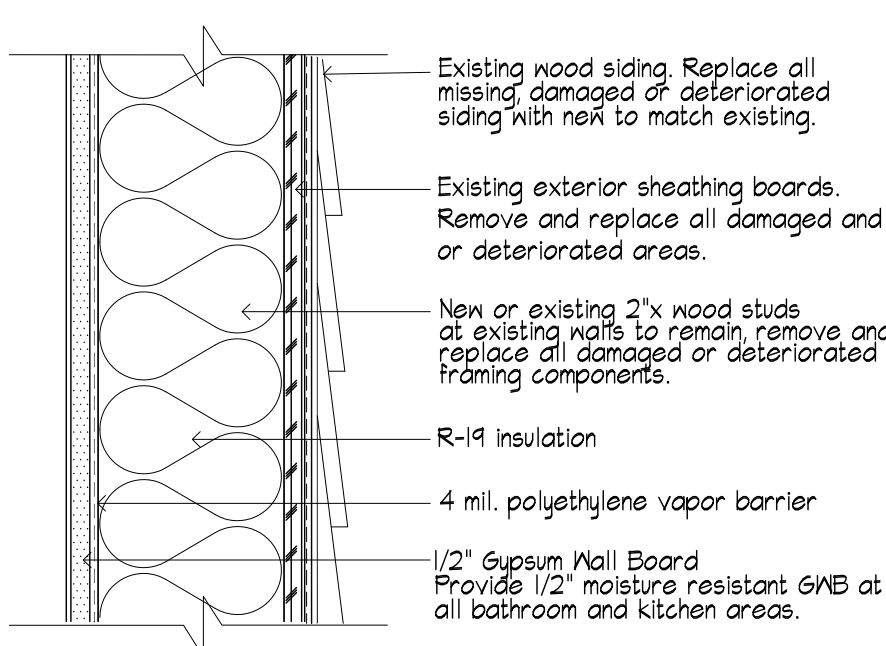


2 WINDOW SCHEDULE & ELEVATIONS
A-6 NOT TO SCALE



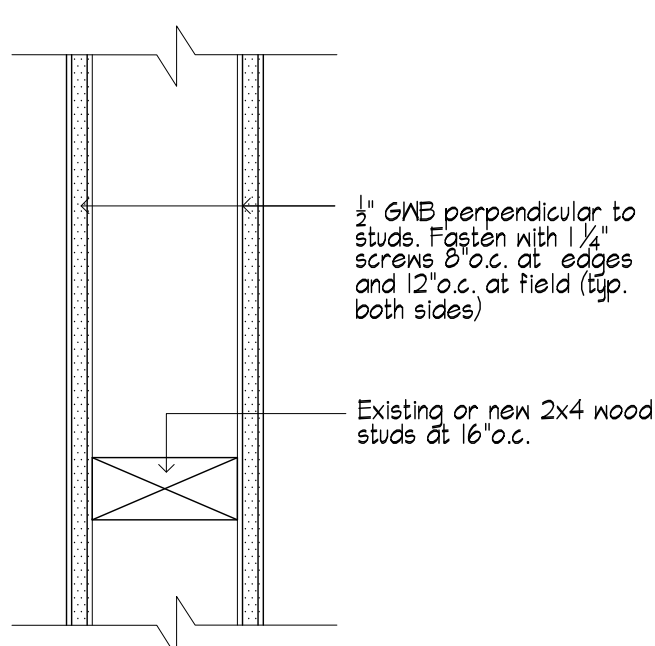
Provide moisture resistant G.W.B. at all wet areas such as kitchen, bathrooms and laundry areas. Rating shall shall have the same rating as the assembly it is supporting

WALL TYPE - 1
EXTERIOR WALL



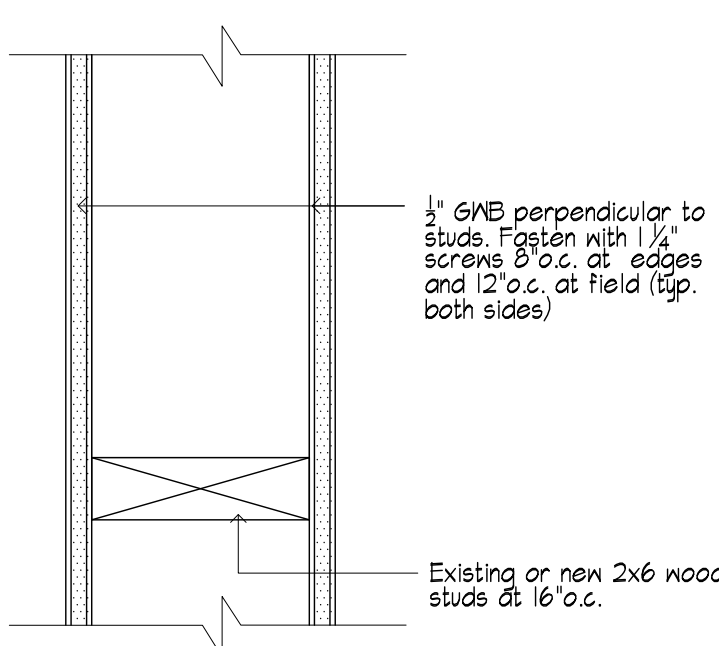
Provide moisture resistant G.W.B. at all wet areas such as kitchen, bathrooms and laundry areas. Rating shall shall have the same rating as the assembly it is supporting

WALL TYPE - 2
EXTERIOR WALL



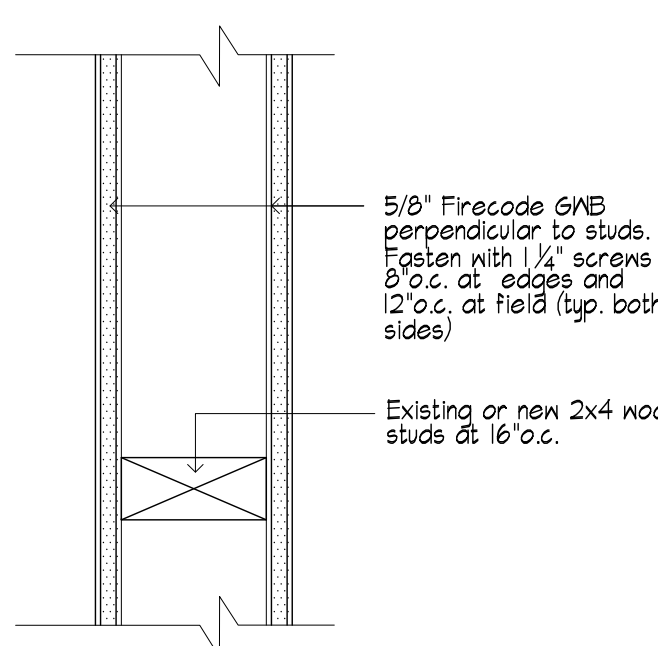
Provide moisture resistant G.W.B. at all wet areas such as kitchen, bathrooms and laundry areas. Rating shall shall have the same rating as the assembly it is supporting

WALL TYPE - 3
TYPICAL INTERIOR WALLS



Provide moisture resistant G.W.B. at all wet areas such as kitchen, bathrooms and laundry areas. Rating shall shall have the same rating as the assembly it is supporting

WALL TYPE - 4
TYPICAL at bathroom and kitchen WALLS



Provide moisture resistant G.W.B. at all wet areas such as kitchen, bathrooms and laundry areas. Rating shall shall have the same rating as the assembly it is supporting

WALL TYPE - 5
I-HR Fire rated wall UL-R 305

3 WALL TYPES
A-6 NOT TO SCALE

General Notes

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No. Revision/Issue Date

NORTH

SEAL

Valerio Giadone Architect

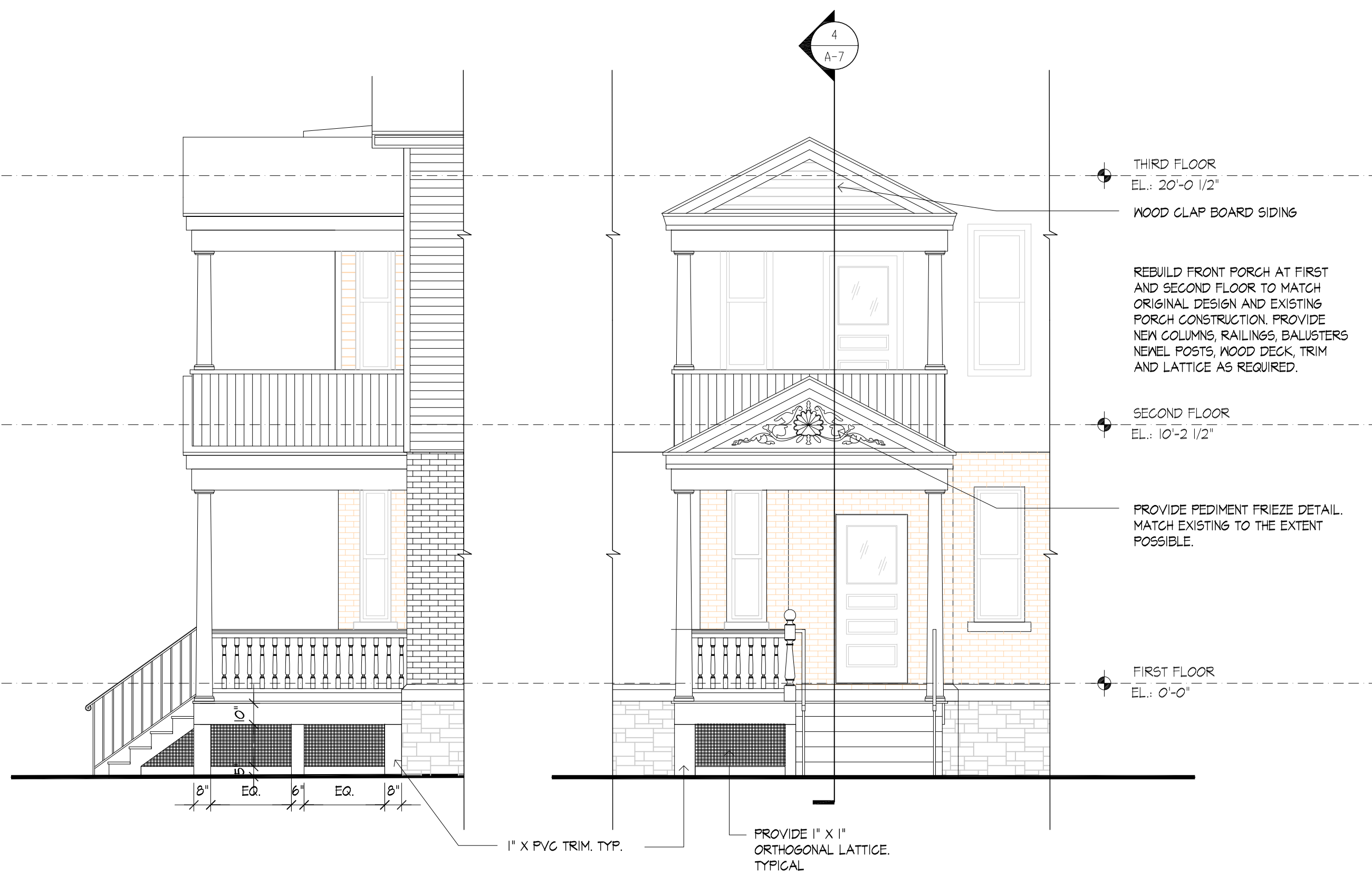
100 Sachem Drive
Middletown, CT. 06457
email: giadone@comcast.net Tel. (860) 372-0134

Renovations To:
287-289 Sargeant Street
Hartford Ct 06105

WINDOW SCHEDULE
DOOR SCHEDULE & WALL TYPES

Project No:
Date: March 6, 2023
Scale: AS NOTED

A-6



2 SIDE ELEVATION
A-7 SCALE: 1/4" = 1'-0"

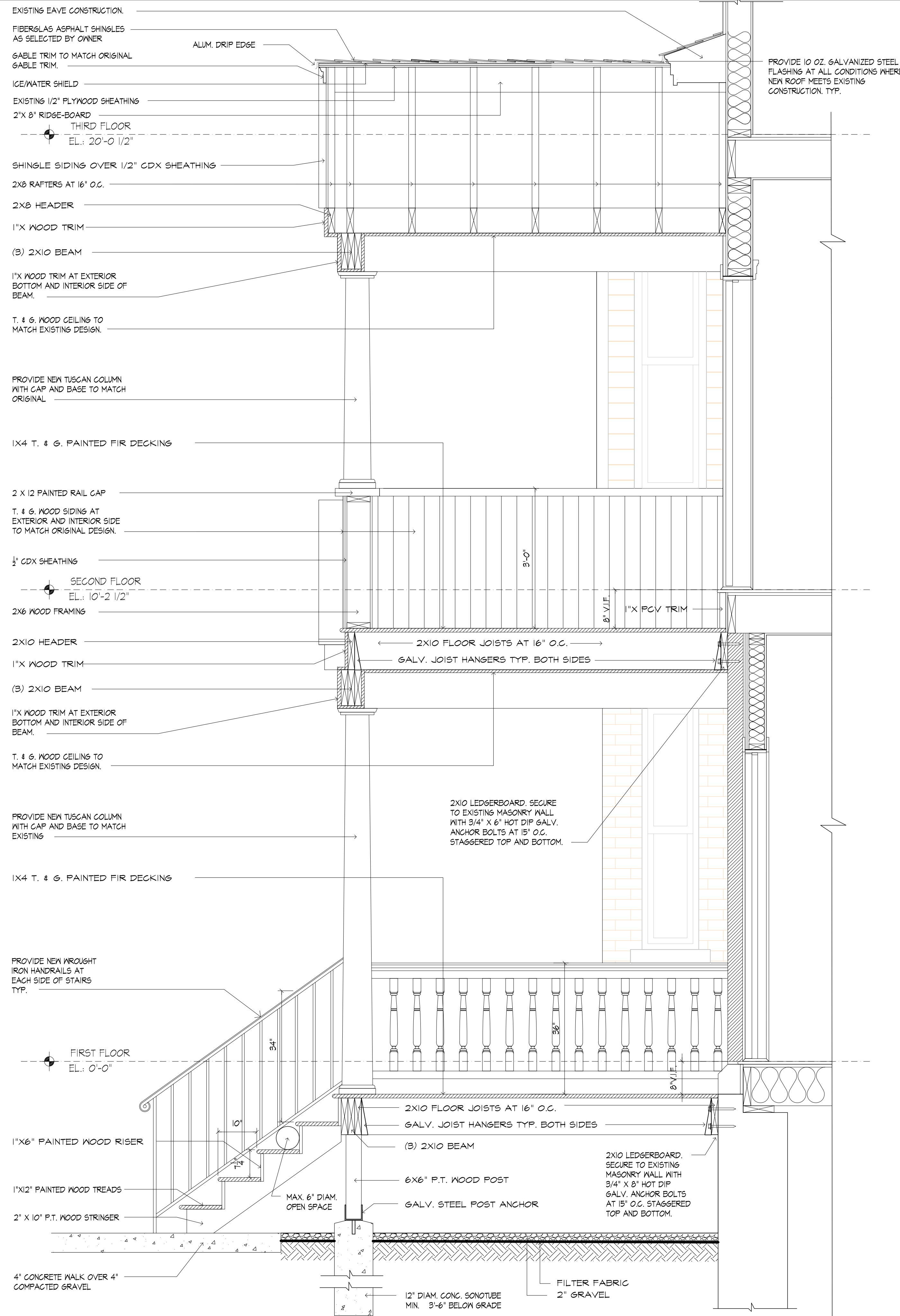
1 FRONT ELEVATION ELEVATION
A-7 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. REPLACE ALL DAMAGED OR DETERIORATED PORCH COMPONENTS INCLUDING POSTS, BEAMS, JOISTS, DECK, RAILING, BALUSTERS, TRIM ETC. WITH NEW COMPONENTS TO MATCH EXISTING OR AS INDICATED.
2. PROVIDE NEW WOOD TRIM TO MATCH EXISTING AS REQUIRED.
3. RESTORE POST BRACKETS AT REAR PORCH AS REQUIRED. REPLACE WITH NEW AS MAY BE REQUIRED.
4. ALL NEW AND EXISTING COMPONENTS TO REMAIN ARE TO BE SCRAPED, SANDED, CAULKED, PRIMED AND PAINTED TWO COATS. COLORS TO BE SELECTED BY OWNER.
5. PROVIDE NEW ROOFING INCLUDING ICE/WATER SHIELD, FLASHING, DRIP EDGE, AND ARCHITECTURAL ROOFING SHINGLES AS SELECTED BY OWNER.
6. ALL NEW DECORATIVE TRIM AND PEDIMENT FRIEZE DETAIL TO MATCH EXISTING DESIGN.



3 REFERENCE PHOTO
A-7



4 SECTION DETAIL
A-7 SCALE: 3/4" = 1'-0"

General Notes

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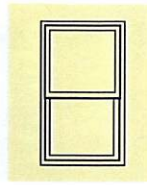
No.	Revision/Issue	Date
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NORTH SEAL

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100 Sachem Drive
Middletown, CT 06457
email: giadone@comcast.net Tel. (860) 372-0134

Renovations To:
287-289 Sargeant Street
Hartford Ct 06105
**FRONT PORCH ELEVATIONS
AND SECTION DETAIL**

Project No:	A-7	
Date:		March 6, 2023
Scale:		AS NOTED



HARVEY
BUILDING PRODUCTS

Majesty

Wood Replacement and New Construction Windows





Lower profile lock



High end architectural design features



Exterior finish (shown in Forest Green)



Top and bottom sash tilt in

When the traditional look of genuine wood is preferred, the Harvey Majesty window is your best choice. It combines the warmth and beauty of wood inside with a maintenance free aluminum clad exterior. The Majesty custom wood window offers endless possibilities for your remodeling or new construction plans.

Because Majesty windows are custom made, that means no additional carpentry is required as with other wood windows.

- All Majesty windows are ENERGY STAR® qualified with standard ENERGY STAR glazing
- Interior available pre-primed
- Fully weatherstripped
- Recessed hardware for unobstructed views
- Two frame types available: 3-1/4" replacement, 4-9/16" new construction with fin
- Locking fiberglass half screen (double hung)
- Standard top sash lift rail (double hung)
- Top and bottom sash tilt in for easy cleaning (double hung)

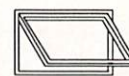
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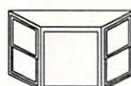
Casement



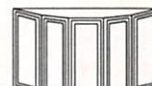
Picture



Awning



Bay



Bow



Shapes



Exterior Finishes



White Almond Dark Bronze Forest Green Black

Due to printing limitations, finishes and colors shown are for representation only.

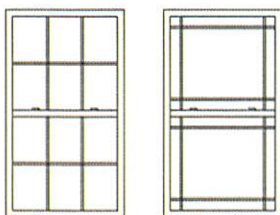
Interior Wood Options



Pine Primed

Grids

Grid Configurations



Colonial

Prairie

Custom configurations available

NONE: 1/1 window sash

Glazing Options

- ENERGY STAR (standard)
- Obscured
- Tempered

Additional Options

- Jamb liner available in White or Almond

Half or Full Screen

- Fiberglass Wire
- Aluminum Wire
- Virtually Invisible (VIEWS)

Hardware

Double Hung



Recessed Sash Lock

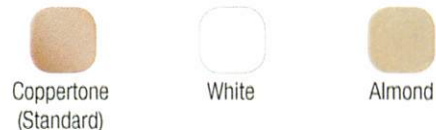
Casement



Compact Folding Handle

NOTE:
Majesty awning window has a lever-style handle and does not match the Majesty casement handle.

Standard Hardware Finishes



Coppertone (Standard)

White

Almond

Premium Hardware Finishes



Brasstone

Brushed Nickel

Oil-Rubbed Bronze

Bottom Sash Lift Options (Double Hungs)



Hook



Loop



Routed

Hardware shown in optional Oil-Rubbed Bronze finish.



HARVEY
BUILDING PRODUCTS

Thermal Performance

For the most up to date structural and thermal performance values, as well as other product specifications, visit harveybp.com.

Glazing	U factor	SHGC	VT	ENERGY STAR Compliance	Glazing	U factor	SHGC	VT	ENERGY STAR Compliance
<u>Double Hung</u>					<u>Casement/Awning</u>				
ENERGY STAR	0.27	0.26	0.49	N, NC	ENERGY STAR	0.26	0.22	0.38	All Zones
<u>Picture</u>									
ENERGY STAR	0.25	0.27	0.51	N, NC					

ENERGY STAR: This package includes everything that is needed for a product to meet ENERGY STAR requirements. Glazing, gas, glass thickness, etc. will vary by window and usually includes Low-E coating and Argon gas. This glazing package does qualify for ENERGY STAR.

U-factor measures the rate of non-solar heat transfer from one side of the window to the other. Heat transfer implies both heat loss out of a living space during cold weather and non-solar heat gain during hot summer months. The lower the U-factor, the better the performance.

Solar Heat Gain Coefficient (SHGC) measures how well a product blocks heat from the sun. The lower the SHGC, the better a product is at blocking unwanted heat gain.

Visible Transmittance (VT) measures how much light comes through a product. The higher the VT, the more light that comes through.



About Harvey Building Products

Harvey has built a solid reputation as a leading manufacturer and distributor of quality building products. A privately owned and operated business with over 50 years' experience, Harvey Building Products is known for outstanding craftsmanship and superior service as well as standing behind every product we make. In addition to manufacturing durable, attractive windows, doors and porch enclosures, Harvey distributes a full line of highly respected building products to professional contractors and builders throughout the Northeast.

We understand what it takes to be part of your home.™



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Waltham, MA 02451-1623 USA
800-9HARVEY (800-942-7839)



Information about Harvey Building Products and our products and services can be found at harveybp.com.

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PHOTOS OF EXISTING CONDITIONS: 287-289 SARGEANT STREET



Street View of Building



Front of Building



East Side of Building



West Side of Building



287 Porch



289 Porch



287 Front Door



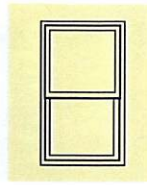
287 Front Porch Detail



Rear of Building



**Proposed Harvey Majesty Windows for 287-289 Sargeant Street
(as installed at 94-96 Ashley Street)**



HARVEY
BUILDING PRODUCTS

Majesty

Wood Replacement and New Construction Windows





Lower profile lock



High end architectural design features



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Also available in:



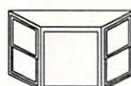
Casement



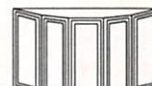
Picture



Awning



Bay



Bow



Shapes



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White Almond Dark Bronze Forest Green Black

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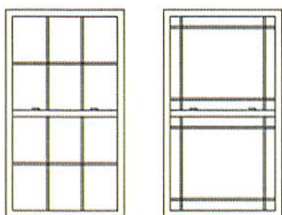
Interior Wood Options



Pine Primed

Grids

Grid Configurations



Colonial

Prairie

Custom configurations available

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Glazing Options

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- Obscured
- Tempered

Additional Options

- Jamb liner available in White or Almond

Half or Full Screen

- Fiberglass Wire
- Aluminum Wire
- Virtually Invisible (VIEWS)

Hardware

Double Hung



Recessed Sash Lock

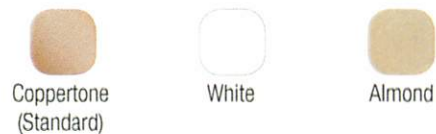
Casement



Compact Folding Handle

NOTE:
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Hardware shown in optional Oil-Rubbed Bronze finish.



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BUILDING PRODUCTS

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<u>Picture</u>									
ENERGY STAR	0.25	0.27	0.51	N, NC					

ENERGY STAR: This package includes everything that is needed for a product to meet ENERGY STAR requirements. Glazing, gas, glass thickness, etc. will vary by window and usually includes Low-E coating and Argon gas. This glazing package does qualify for ENERGY STAR.

U-factor measures the rate of non-solar heat transfer from one side of the window to the other. Heat transfer implies both heat loss out of a living space during cold weather and non-solar heat gain during hot summer months. The lower the U-factor, the better the performance.

Solar Heat Gain Coefficient (SHGC) measures how well a product blocks heat from the sun. The lower the SHGC, the better a product is at blocking unwanted heat gain.

Visible Transmittance (VT) measures how much light comes through a product. The higher the VT, the more light that comes through.



About Harvey Building Products

Harvey has built a solid reputation as a leading manufacturer and distributor of quality building products. A privately owned and operated business with over 50 years' experience, Harvey Building Products is known for outstanding craftsmanship and superior service as well as standing behind every product we make. In addition to manufacturing durable, attractive windows, doors and porch enclosures, Harvey distributes a full line of highly respected building products to professional contractors and builders throughout the Northeast.

We understand what it takes to be part of your home.™



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