PZ-HIST-23-000238

Menu Reports Help

> File Date: 09/12/2023 Application Status: Pending

> > Assigned To: Alexander Castro

Description of Work: All existing brick and cast stone masonry will be rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation and Preservation. Areas of ma mortar mix consistent with the original. Where masonry is too damaged for repair or brick units are cracked or missing, new cast stone or brick will match the original as c means possible will be undertaken in areas of repair and repointing, The concrete foundation walls and front concrete stair and wrought metal railings will be retained and Interior's Standards for Rehabilitation and Preservation. In limited areas where masonry is too damaged for repair, new concrete will match the existing as closely as post stairs, gently cleaned, and repainted black to match the existing. The painted brick on the rear and side elevations will be scraped, repaired, and repainted. Analysis of the significantly compromised and unsafe. The existing balconies will be removed, and new balconies will be constructed within the footprint of the existing. A copy of the stru footings and piers will be installed, and the existing concrete foundations will be retained and topped by a new reinforced concrete cap. The new balconies will be framed matching the existing. Vents will be installed on the side elevations to exhaust new boilers to be installed within the basement and new bathroom exhaust fans to be installed. color of the surrounding brick and will be minimally visible from the public right-of-way. The windows at the front elevations will be removed and replaced with historically-s sash with interior screens, exterior applied muntins, and non-reflective internal spacer bars. The windows at the side and rear elevations will be removed and replaced with interior screens The proposed windows will have a one-over-one configuration, which has been approved by the National Park Service on similar residential rehabilitation basement windows. The metal storefront system at the main entrances will be removed and replaced with new historically-appropriate, lightly-colored aluminum storefron one-panel door flanked by half-light paneled sidelights and surmounted by a three-part transom. The flush metal doors in the balcony entrances on the rear elevations wil doors. The existing BUR rolled asphalt roofing systems will be removed. New fully-adhered EPDM roofing system will be installed. A ramp will be constructed between 11 133 Bedford Street to facilitate an accessible means of entry in accordance with ADA requirements. The ramp will be of wood-frame construction with a six-inch reinforced a vertical galvanized steel balustrade, round galvanized steel handrails, and round galvanized steel toprails. The existing clay tile coping on the parapet walls at 119-121 is needed, and reinstalled. The westmost window opening in bay five on the first floor of the north elevation of 119-121 Bedford Street will be lowered to accommodate a ne masonry units beneath the window will be carefully removed, and a new two-panel aluminum door will be installed.

Application Detail: Detail

Application Type: Historic Preservation

Documents:

: File Name	Document Group	Category	Description	Туре	Docun
DSC 0001.JPG	PLNG_COA	Photos		image/jpeg	Uploac
SHPO Part 1 Determinat	PLNG_COA	Other	CTSHPO CTHRTC Part	application/pdf	Uploac
SHPO Part 2 Conditiona	PLNG_COA	Other	CTSHPO CTHRTC Part	application/pdf	Uploac
Odeh Balcony Memo 08.1	PLNG_COA	Other	Structural Report o	application/pdf	Uploac
NPS Part 1 Approvals.pdf	PLNG_COA	Other	NPS HPCA Part 1 App	application/pdf	Uploac
NPS Part 2 Conditional	PLNG_COA	Other	NPS HPCA Part 2 App	application/pdf	Uploac
2023-08-11 Bedford Gar	PLNG_COA	Plans	Existing and Propos	application/pdf	Uploac
Bedford Gardens - Base	PLNG_COA	Product Specs	Product Specificati	application/pdf	Uploac
Bedford Gardens - Bath	PLNG_COA	Product Specs	Product Specificati	application/pdf	Uploac
Masonry Specifications	PLNG_COA	Other	Specifications for	application/pdf	Uploac
Owner Authorization Le	PLNG_COA	Owners Authoriz	Owner Authorization	application/pdf	Uploac
2023-08-11 Bedford Gar	PLNG_COA	Plans	Existing and Propos	application/pdf	Uploac
119-137 Bedford Street	PLNG_COA	Photos	Exterior Photo Keys	application/pdf	Uploac
119-137 Bedford Street	PLNG_COA	Photos	Exterior Photos	application/pdf	Uploac

Show all

Address: 119 BEDFORD ST, HARTFORD, CT 06120

Owner Name: BEDFORD GARDENS 88 LLC

Owner Address: 338 ASYLUM ST, HARTFORD, CT 06103

Application Name:

Parcel No: 220227096

Contact Info: Name Organization Name **Contact Primary Address** Contact Type Status Active Matthew Robayna WinnDevelopment Developer Mailing, One Washingto.

Architect Active Michael Fontaine The Architectur.. Mailing, 50 Commandant... Licensed Professionals Info: Primary License Number License Type Name **Business Name Business License #**

MAJOR CONTRACTOR KEITH CONSTRUCT... Yes KEITH CONSTRUCT... MCO.0900943

Job Value: \$0.00

Total Fee Assessed: \$200.00 Total Fee Invoiced: \$200.00

Balance: \$0.00

Custom Fields: PLNG_COA_CF

GIS Information

Zoning District Zoning Overlay **FEMA Flood Zone** Land Use Per Assessor

NX-1

NRZ Neighborhood Local Historic District

CLAY ARSENAL NRZ CLAY-ARSENAL

Historic District Historic Landmark/Site

State Historic District

National Historic District Dispersion met? **Identify Dispersion** No

General Project Information

Is this application a result of a violation notice?

Zoning Enforcement Case ID #

Is this a contributing building or structure?

Is this proposed work visible from the street?

Yes

Historic Review Types

New Construction/Addition **Exterior Alteration**

No

Yes

Demolition Signage No No

Solar Panel

No

Other

Does this project include a demolition?

No

If a demolition request, what alternatives have you sought?

Exterior Alterations

Windows Doors

Porches/Walkways Siding

Roofs Mechanical Appurtenances

Other

Describe the existing conditions and materials

Masonry - The three-bay, Classical Revival-style apartment buildings extend three stories above raised basements and terminate at flat roofs. The façade walls are clad in yellow, running-bond brick above a cast-stone water table with inlaid brick ornamentation.

The main entrances are centered on the facades and framed by brick surrounds. They are accessed by wide concrete steps with late 20th century wrought metal railings.

Fenestration consists of regularly spaced window openings arranged in groups of two and three. Inlaid soldier brick surrounds enclose the openings.

The side and rear elevations feature minimal ornamentation. Walls are clad in red running-bond brick, though some of the windows have been painted. Window openings have segmentally arched lintels and cast stone sills. A three-story steel porch structure with wood landings is mounted to the brick at the rear elevation, providing a second means of egress from the interior.

Overall, the exterior masonry is in fair condition, with localized areas of mortar and brick deterioration, evidence of past repointing, and spalling or cracked stone. The porches are in poor condition

Windows - The existing windows are replacement double-hung, one-over-one vinyl sash on the first through third floor and two-light sliding vinyl sash on the basement. The basement and rear elevation windows have metal security grilles.

Exterior Entrances - The main entrances consist of modern single-light flush metal door flanked by metal sidelights and surmounted by a metal transom.

Modern single-light flush metal doors provide access to the rear balconies, secondary entrance, stair hall and basement.

Roof - The buildings are topped by flat BUR rolled asphalt roofing systems with aluminum flashing. Clay camel back tile coping cap the parapets at 119-121 and 131-133 Bedford Street.

Describe the proposed materials

All existing brick and cast stone masonry will be rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation and Preservation. Areas of masonry, and mortar deterioration will be repointed with a mortar mix consistent with the original. Where masonry is too damaged for repair or brick units are cracked or missing, new cast stone or brick will match the original as closely as possible. Masonry cleaning using the gentlest means possible will be undertaken in areas of repair and repointing.

The concrete foundation walls and front concrete stair and wrought metal railings will be retained and repaired in accordance with the Secretary of the Interior's Standards for Rehabilitation and Preservation. In limited areas where masonry is too damaged for repair, new concrete will match the existing as closely as possible. The wrought metal railings will be resecured to the stairs, gently cleaned, and repainted black to match the existing.

The painted brick on the rear and side elevations will be scraped, repaired, and repainted.

Analysis of the rear balconies determined that the structure is significantly compromised and unsafe. The existing balconies will be removed, and new balconies will be constructed within the footprint of the existing. A copy of the structural report is enclosed.

New reinforced concrete footings and piers will be installed, and the existing concrete foundations will be retained and topped by a new reinforced concrete cap. The new balconies will be framed with pressure treated lumber and have steel railings matching the existing.

Vents will be installed on the side elevations to exhaust new boilers to be installed within the basement and new bathroom exhaust fans to be installed within the units. Vents will be painted to match the color of the surrounding brick and will be minimally visible from the public right-of-way.

The windows at the front elevations will be removed and replaced with historically-appropriate, lightly-colored, double-pane hung_aluminum sash with interior screens, exterior applied muntins, and non-reflective internal spacer bars.

The windows at the side and rear elevations will be removed and replaced with lightly-colored, double-pane hung aluminum sash with interior screens The proposed windows will have a one-overone configuration, which has been approved by the National Park Service on similar residential rehabilitation projects.

New security grilles will be installed at the basement windows.

The metal storefront system at the main entrances will be removed and replaced with new historically-appropriate, lightly-colored aluminum storefront systems. These will consist of a rectangular half-light, one-panel door flanked by half-light paneled sidelights and surmounted by a three-part transom.

The flush metal doors in the balcony entrances on the rear elevations will be removed and replaced with new half-light

aluminum doors.

The existing BUR rolled asphalt roofing systems will be removed.

New fully-adhered EPDM roofing system will be installed.

A ramp will be constructed between 119-120 and 123–125
Bedford Street and 127-129 and 131-133 Bedford Street to
facilitate an accessible means of entry in accordance with ADA
requirements. The ramp will be of wood-frame construction with a
six-inch reinforced concrete ramp slab at the east end. The ramp
will have a vertical galvanized steel balustrade, round galvanized
steel handrails, and round galvanized steel toprails.

The existing clay tile coping on the parapet walls at 119-121 and 131-133 Bedford Street will be retained, repaired as needed, and reinstalled.

The westmost window opening in bay five on the first floor of the north elevation of 119-121 Bedford Street will be lowered to accommodate a new ADA accessible entrance. The cast stone and brick masonry units beneath the window will be carefully, removed, and a new two-panel aluminum door will be installed.

Hardships and Reason for Hardships

Is this an owner-occupied principal residence?

No

Is this a non-owner occupied residential building containing six (6) or fewer dwelling units?

Is this a commercial and industrial building? $\underline{\text{No}}$

Is this a request for demolition where there is no feasible and prudent alternative to demolition?

Other Payment Required

Green Infrastructure Fund Amount

_

City Tree Fund Amount

_

Complete Street Fund Amount

_

Describe Reason for Payments

-

Reason for Request

Reason for Request

_

Recommendation

Recommendation

-

Adverse Impacts on Neighboring Lands Suitability as Presently Zoned

Consistency with POCD

_

Enhanced Doc List

Reason for Hardship

Cost of historic preservation recommendations:

Economic circumstances of the applicant:Lack of availa

Impact of the historic preservation recommendations on the district as a whole and on property value

Dates and Notices		
Application Received	Open Hearing Deadline	Close Hearing Deadline
– Decision Deadline	Extensions Requested?	 If yes, describe how the dates ab
Notice sent to NRZ/CRCOG	Legal Ad #1	_ Legal Ad #2
- Sign Affidavit Received	Certificate of Mailings Returned	- Notice of Decision Published
Recordation Date	– Approval Expiration Date	Sign Deposit Check #
– Sign Deposit Date Received	Sign Deposit Check Amount	– Public Hearing Date
- Public Hearing Time	Meeting Link or Location	– Document Link
	-	-
Certificate of Compliance		
As-Built Drawing Date	Type of Bond	Escrow Account #
- Bonding Company Name	Bonding Contact Name	_ Bonding Primary Phone #
_ Bonding Email	– Drawings Number of Sheets	– Drawings Last Revised
_	-	_

Prior Approvals

Type of Permit/Authorization	Issued By	Issued Date Expiration Date
Other State Permit	CTSHPO - CTHRTC Part 1 Approvals	10/11/2022
Other State Permit	CTSHPO - CTHRTC Part 2 Conditional Approva	ls 11/22/2022
Other State Permit	NPS - HPCA Part 1 Approvals	04/22/2022
Other State Permit	NPS - HPCA Part 2 Conditional Approvals	12/30/2022

Resolution Clauses

Type Comment

Workflow Status:	Task	Assigned To	Status	Status Date	Action By	
	Application Intake	Alexander Castro				
	Planning and Zoning Re					
	Public Notice					
	Historic Commission					
	Notice of Decision					
	Appeal Period					
	Permit Issuance					
	Permit Status					
	Certificate of Plannin					
	Case Complete					
Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
Application Comments:	View ID Comment			Date		
Initiated by Product:	ACA					
Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments	
Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments	

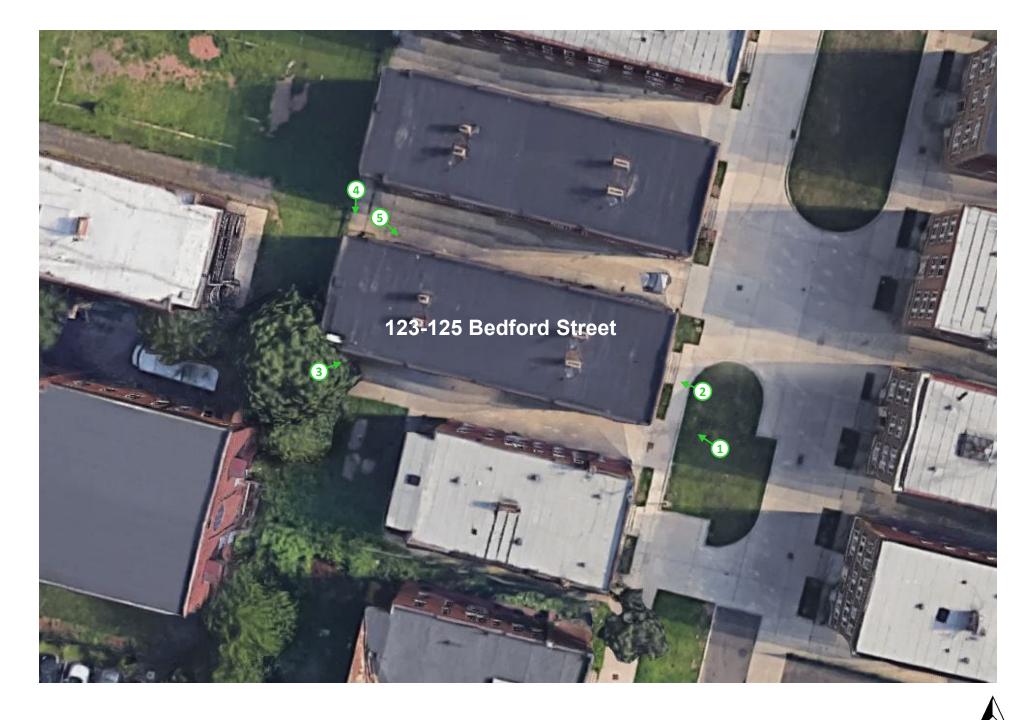














123-125 Bedford Street, Hartford, CT 06120

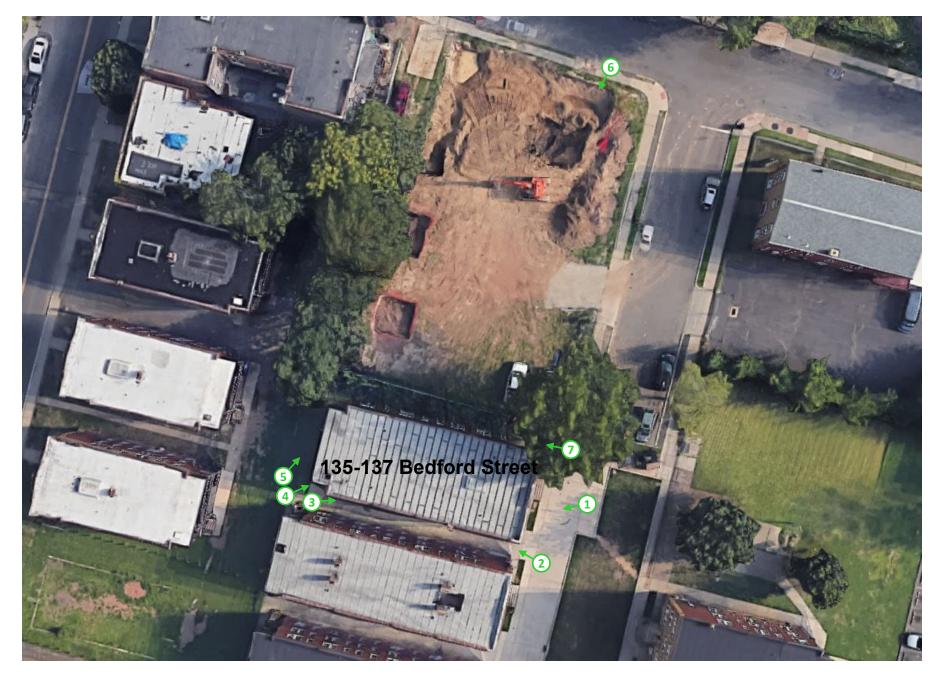










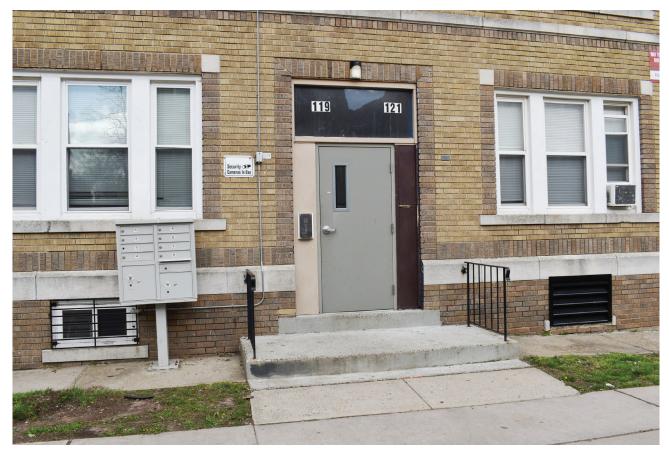








1. Façade (east elevation)



2. Main entrance



3. Façade (east) and side (north) elevations



4. Side (north) elevation



5. Rear (west) elevation



6. Side (south) elevation



1. Façade (east) elevation



2. Main entrance



3. Side (south) elevation



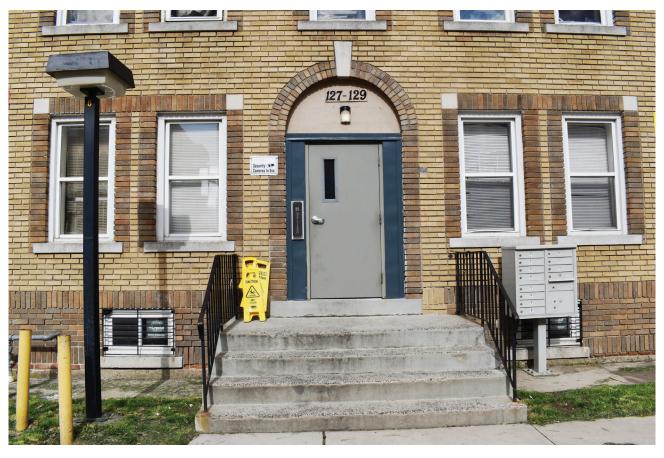
4. Rear (west) elevation



5. Side (north) elevation



1. Façade (east) elevation



2. Main entrance



3. Facade



4. Side (south) elevation



5. Rear (west) elevation



6. Side (north) elevation



7. Side (north) and façade (east) elevations







1. Façade (east) elevation



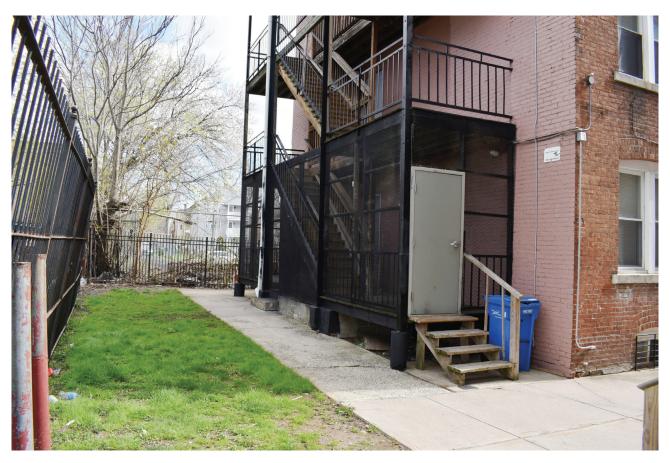
2. Façade (east) and side (south) elevations



3. Side (south) elevation



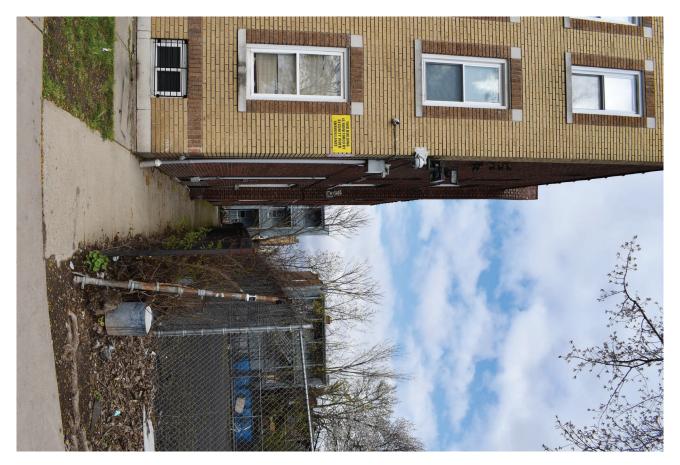
4. Rear (west) elevation



5. Rear (west) elevation and yard



6. Side (north) elevation



7. View towards pedestrian path along side (north) elevation

APPLICABLE REFERENCED STANDARDS (HEREIN REFERRED TO AS THE BUILDING CODE). ALL REFERENCES TO THE CONTRACTOR IN THIS SET OF DRAWINGS REFER TO THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, AND OTHER PARTY OR PARTIES RESPONSIBLE FOR THE EXECUTION OF THE PROJECT.

3. ALL REFERENCES TO A PROFESSIONAL ENGINEER, STRUCTURAL ENGINEER, AND GEOTECHNICAL ENGINEER IN THIS SET OF DRAWINGS REFERS TO A PROFESSIONAL ENGINEER COMPETENT IN THE RESPECTIVE FIELD OF DESIGN WHO IS REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION. REPORT ALL OBSERVATIONS AND ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER OF RECORD AS A REQUEST FOR INFORMATION (REI) REFORE PROCEEDING WITH WORK

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND BRACING THE STRUCTURE DURING ALL CONSTRUCTION PHASES. ALL SHORING AND BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. SUBMIT AN OUTLINE OF PROPOSED PROCEDURE AND ITS IMPACT ON THE BUILDING STRUCTURE FOR RECORD TO THE ARCHITECT/ENGINEER OF RECORD BEFORE PROCEEDING WITH WORK.

THE EVALUATION OF THE STRUCTURE TO SAFELY SUPPORT ANY AND ALL CONSTRUCTION LOADING (E.G. EQUIPMENT LOADS, TEMPORARY LOADS FROM DEBRIS AND MATERIAL STORAGE) IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN TEAM HAS DESIGNED THE STRUCTURE FOR THE PERMANENT DEAD LOADS AND UNIFORM LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS ACCORDING TO THE REQUIREMENTS OF THE BUILDING CODE. THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO EVALUATE PROPOSED CONSTRUCTION LOADING AND TO DESIGN ALL TEMPORARY BRACING AND SHORING SYSTEMS THAT MAY BE REQUIRED DUE TO THE CONTRACTOR'S MEANS AND METHODS AND

SEQUENCE OF CONSTRUCTION. WHERE DETAILS FOR SPECIFIC CONDITIONS ARE NOT SHOWN ON THESE DRAWINGS, USE DETAILS FOR THE MOST NEARLY SIMILAR CONDITIONS SHOWN ON THE STRUCTURAL DRAWINGS AS DETERMINED BY THE STRUCTURAL ENGINEER OF RECORD. REPORT ANY COORDINATION ISSUES IMMEDIATELY AS AN RFI FOR REVIEW.

COORDINATE WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR LOCATIONS AND DIMENSIONS OF CHASES, OPENINGS, BEAM PENETRATIONS, AND OTHER INFORMATION THAT IMPACTS STRUCTURE AND FOUNDATIONS THAT IS NOT SHOWN ON THESE DRAWINGS. INCLUDE ADDITIONAL FRAMING AND REINFORCEMENT FOR SUCH WORK PER THE TYPICAL STRUCTURAL DETAILS ON THESE DRAWINGS IN BASE CONTRACT

9. ALL WORK SHALL BE MONITORED AND INSPECTED BY AN INDEPENDENT TESTING AND INSPECTIONS AGENCY HIRED BY THE OWNER TO CARRY OUT ALL REQUIRED TESTING AND INSPECTION WORK IN CONFORMANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS. SUBMIT ALL TESTING AND INSPECTION REPORTS IN PDF FORMAT TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW.

10. STRUCTURAL MEMBERS SHALL NOT BE MODIFIED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER OF RECORD. ANY ANTICIPATED MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS MUST BE SUBMITTED TO THE ARCHITECT/ENGINEER OF RECORD AS AN RFI FOR REVIEW AND COMMENT. IN THE EVENT OF A CONSTRUCTION OR FABRICATION ERROR, THE CONTRACTOR SHALL PREPARE A SKETCH AND CALCULATIONS, PREPARED BY A STRUCTURAL ENGINEER, DOCUMENTING THE PROPOSED CORRECTIVE ACTION AND SUBMIT IT TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO PERFORMING ANY CORRECTIVE WORK. ODEH ENGINEERS, INC. CANNOT CERTIFY ANY UNAUTHORIZED DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.

11. PRIOR TO REQUESTING A SITE VISIT BY ODEH ENGINEERS, INC. FOR OBSERVATION OF A COMPLETED STAGE OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A STATEMENT TO THE ARCHITECT/ENGINEER OF RECORD THAT ALL WORK HAS BEEN COMPLETED IN CONFORMANCE WITH THE STRUCTURAL CONTRACT DRAWINGS AND SHOP DRAWINGS WITHOUT EXCEPTION, OR HAS BEEN PERFORMED WITH FORMAL WRITTEN EXCEPTIONS ORIGINATING FROM OR AUTHORIZED BY ODEH ENGINEERS, INC.

12. PRIOR TO RELEASE OF THE FINAL PROJECT CERTIFICATION TO THE BUILDING OFFICIAL, ODEH ENGINEERS, INC. REQUIRES A LETTER FROM THE CONTRACTOR'S PROJECT EXECUTIVE IN RESPONSIBLE CHARGE STATING THAT ALL WORK INDICATED ON THE STRUCTURAL DRAWINGS HAS BEEN PERFORMED WITHOUT EXCEPTION OR WAS PERFORMED WITH FORMAL WRITTEN EXCEPTIONS ORIGINATING FROM OR AUTHORIZED BY ODEH ENGINEERS, INC. IN ADDITION ODEH ENGINEERS, INC. REQUIRES A LETTER FROM THE PRINCIPAL OF THE TESTING AND INSPECTIONS AGENCY CERTIFYING THAT ALL TESTING AND INSPECTIONS WORK HAS BEEN COMPLETED IN CONFORMANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS AND THAT ALL STRUCTURAL NONCONFORMANCE CONDITIONS FOUND HAVE BEEN BROUGHT INTO CONFORMANCE WITH THE PROJECT STRUCTURAL REQUIREMENTS PRIOR TO PROJECT COMPLETION.

13. THE TRADE CONTRACTORS SHALL SUBMIT SHOP AND ERECTION DRAWINGS AS WELL AS PRODUCT DATA (COLLECTIVELY KNOWN HEREIN AS "SHOP DRAWINGS") FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION.

a. THE SHOP DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF STANDARD PRACTICE FOR EACH RESPECTIVE TRADE IN CONJUNCTION WITH ADDITIONAL SHOP DRAWING REQUIREMENTS INDICATED ON THESE DRAWINGS.

ALL SHOP DRAWINGS SHALL BE FULLY DEVELOPED BY THE TRADE CONTRACTORS OR BY AGENTS OF THE CONTRACTORS. CAD FILES, PHOTOCOPIES, OR OTHER REPRODUCTIONS. OF THE CONTRACT DRAWINGS IN WHOLE OR IN PART SHALL NOT BE USED BY THE TRADE CONTRACTORS OR THEIR AGENTS FOR THE PREPARATION AND DEVELOPMENT OF SHOP DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ODEH ENGINEERS, INC. c. ALL SUBMITTALS SHALL BE IN UNLOCKED PDF FORMAT WITH SEARCHABLE TEXT.

14. DO NOT SCALE OFF OF THESE DRAWINGS.

15. THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS. IN ALL CASES OF CONFLICT, INFORMATION INDICATED ON THE STRUCTURAL DRAWINGS AND INCLUDED IN THE STRUCTURAL GENERAL NOTES SHALL GOVERN.

B. ENGINEERING REQUIREMENTS FOR THE CONTRACTOR

THE DESIGN OF ALL ENGINEERED SYSTEMS NOTED IN THIS SECTION, INCLUDING CONNECTIONS OF EACH SYSTEM TO THE MAIN BUILDING STRUCTURE. ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL ENGINEERED SYSTEMS SHALL CONFORM TO THE BUILDING CODE AND SHALL BE PERFORMED BY AN INDEPENDENT STRUCTURAL ENGINEER ENGAGED BY THE CONTRACTOR.

THE FOLLOWING ENGINEERED SYSTEMS ARE REQUIRED AS PART OF THE STRUCTURAL SYSTEMS SPECIFIED ON THIS PROJECT. CALCULATIONS AND SHOP DRAWINGS, BOTH SIGNED AND STAMPED BY A STRUCTURAL ENGINEER. ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD FOR REVIEW FOR EACH RESPECTIVE ENGINEERED SYSTEM BELOW. ALL SHOP DRAWINGS SHALL INDICATE THE MAGNITUDE, DIRECTION, AND LOCATION OF LOADS IMPOSED ON THE STRUCTURE FROM CONNECTIONS OF THE RESPECTIVE SYSTEMS TO THE MAIN BUILDING STRUCTURE. REFER TO THE RESPECTIVE GENERAL NOTES SECTIONS INCLUDED IN THE STRUCTURAL DOCUMENTS FOR DETAILED ENGINEERING REQUIREMENTS FOR EACH OF THE STRUCTURAL SYSTEMS SPECIFIED FOR USE. A. STRUCTURAL STEEL CONNECTIONS.

B. WOOD STAIR STRUCTURES.

C. METAL STAIR STRUCTURES. D. HANDRAILS AND GUARDRAILS.

STAIR STRUCTURES - STAIRS AND LANDINGS SHALL BE SUPPORTED ON THICKENED SLABS AT SLABS-ON-GRADE. AT ELEVATED FRAMING LEVELS, STAIRS AND LANDINGS SHALL BE SUPPORTED ON AND CONCENTRICALLY LOAD BUILDING FRAMING ELEMENTS ONLY (E.G. BEAMS AND GIRDERS), UNLESS NOTED OTHERWISE. COORDINATE ALL STAIR DETAILS WITH ARCHITECTURAL DRAWINGS. HANDRAILS AND GUARDRAILS - HANDRAILS AND GUARDRAILS MAY BE SUPPORTED FROM BUILDING FRAMING ELEMENTS, UNLESS NOTED OTHERWISE. COORDINATE ALL HANDRAIL AND GUARDRAIL DETAILS WITH THE ARCHITECTURAL DRAWINGS.

C. EXISTING CONDITIONS

EXISTING CONDITIONS ON THESE DRAWINGS ARE ASSUMED BASED ON LIMITED VISUAL OBSERVATIONS OF THE EXISTING STRUCTURE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING WITH WORK.

THE CONTRACTOR SHALL CARRY CONTINGENCY IN PRICING FOR DIFFERENCES IN CONDITIONS SHOWN, INCLUDING BUT NOT LIMITED TO: a. DIFFERENT FRAMING CONDITIONS

DIFFERENT FOUNDATION CONDITIONS AND/OR OBSTRUCTIONS

HIDDEN DAMAGE OR DETERIORATION IN STRUCTURAL MEMBERS

ENCOUNTERED SITE CONDITIONS. CHANGES IN STRUCTURE DUE TO DETAILED ARCHITECTURAL DESIGN.

ADDITIONAL FRAMING TO SUPPORT MECHANICAL EQUIPMENT, PENETRATIONS DUE FINAL COORDINATION WITH M.E.P. AND OTHER DRAWINGS.

LIMITED VISUAL OBSERVATIONS OF THE EXISTING STRUCTURE WERE PERFORMED IN THE FIELD, HOWEVER, MOST OF THE EXISTING FRAMING WAS CONCEALED AND COULD NOT BE VIEWED. THE CONTRACTOR MUST INCLUDE ADEQUATE CONTINGENCY FOR REPAIRS TO EXISTING DAMAGED OR INADEQUATE STRUCTURAL CONDITIONS DISCOVERED DURING CONSTRUCTION.

IF THE CONTRACTOR DEEMS IT NECESSARY TO MODIFY OR REMOVE ANY PORTION OF THE EXISTING STRUCTURE IN ORDER TO PERFORM THE WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS, THEN SUCH PORTIONS OF THE STRUCTURE SHALL BE REPAIRED OR REPLACED WITH EQUAL MATERIALS AND DETAILS TO MATCH THE EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER; THIS WORK SHALL BE INCLUDED IN THE BASE PRICE OF THE CONTRACT.

WHERE DISCREPANCIES BETWEEN THE DESIGN DRAWINGS AND FIELD CONDITIONS ARE FOUND, OR EXISTING STRUCTURAL MEMBERS AND CONNECTIONS ARE FOUND TO BE DAMAGED OR DETERIORATED TO A DIMINISHED CAPACITY AND ARE NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL SUBMIT DETAILED SKETCHES OF THE EXISTING CONDITIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCING WITH WORK. MODIFICATIONS TO CURRENT DETAILS OR ADDITIONAL NEW DETAILS MAY BE REQUIRED BASED ON THE ACTUAL FIELD CONDITIONS.

C. EXISTING CONDITIONS (continued)

6. EXISTING FRAMING MEMBERS SHOWN ON THESE DRAWINGS ARE DESIGNATED BY THEIR NOMINAL SIZE, UNLESS NOTED OTHERWISE. ACTUAL MEMBER SIZES SHALL BE VERIFIED IN THE

7. THE EVALUATION OF THE EXISTING STRUCTURE TO SAFELY SUPPORT ANY AND ALL CONSTRUCTION LOADING (E.G. EQUIPMENT LOADS, TEMPORARY LOADS FROM DEBRIS AND MATERIAL STORAGE) IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN TEAM HAS EVALUATED THE EXISTING STRUCTURE, AFTER IMPLEMENTATION OF THE STRUCTURAL ALTERATIONS SHOWN ON THE DRAWINGS, FOR THE PERMANENT DEAD LOADS AND UNIFORM LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS ACCORDING TO THE REQUIREMENTS OF THE BUILDING CODE. THE CONTRACTOR SHALL OBTAIN COPIES OF THE ORIGINAL STRUCTURAL DRAWINGS FOR THE BUILDING AND ANY ADDITIONS AND ALTERATIONS (IF AVAILABLE), AND SHALL ENGAGE A LICENSED STRUCTURAL ENGINEER TO EVALUATE THE PROPOSED CONSTRUCTION LOADING ON THE EXISTING STRUCTURE AND TO DESIGN ALL TEMPORARY BRACING AND SHORING SYSTEMS THAT MAY BE REQUIRED DUE TO THE CONTRACTOR'S MEANS AND METHODS AND SEQUENCE OF CONSTRUCTION.

D. STRUCTURAL LUMBER

1. ALL STRUCTURAL CARPENTRY AND LUMBER WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AS WELL AS WITH THE STANDARDS, SPECIFICATIONS, AND REQUIREMENTS OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) AND APA - THE ENGINEERED WOOD ASSOCIATION (APA).

2. ALL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE AS FOLLOWS. CONTRACTOR TO OBTAIN ENGINEERED LUMBER FROM A MANUFACTURER THAT PROVIDES THE MINIMUM REFERENCE DESIGN VALUES SHOWN FOR ENGINEERED LUMBER. ALL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE KILN DRIED WITH A MAXIMUM MOISTURE CONTENT OF 19%.

a. <u>VISUALLY GRADED DIMENSION LUMBER (2" TO 4" THICK)</u> UNTREATED LUMBER: A. SPRUCE-PINE-FIR (S-P-F) NO.1/NO.2

B. SOUTHERN PINE (SP) NO.1 2. PRESERVATIVE TREATED (P.T.) LUMBER:

A. SOUTHERN PINE (SP) NO.2

FIRE TREATED LUMBER: A. SPRUCE-PINE-FIR (S-P-F) NO.1/NO.2

B. SOUTHERN PINE (SP) NO. 1 b. VISUALLY GRADED TIMBERS (5"x5" AND LARGER)

BEAMS AND STRINGERS: A. DOUGLAS FIR-LARCH (DF-L) SELECT STRUCTURAL

POSTS AND TIMBERS: A. DOUGLAS FIR-LARCH (DF-L) SELECT STRUCTURAL

ENGINEERED WOOD BEAMS 2900 psi 290 psi 2000 ksi (2.0E) 2900 psi PSL: PARALLEL STRAND LUMBER: 2. LVL: LAMINATED VENEER LUMBER: 2600 psi 285 psi 1900 ksi (1.9E) 2510 psi 2325 psi 310 psi 1550 ksi (1.55E) 2170 psi 3. LSL: LAMINATED STRAND LUMBER: d. <u>ENGINEERED WOOD COLUMNS / WALL STUDS</u> 2400 psi 190 psi 1800 ksi (1.8E) 2500 psi PSL: PARALLEL STRAND LUMBER: LSL: LAMINATED STRAND LUMBER: 1700 psi 425 psi 1300 ksi (1.3E) 1835 psi

ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY OR EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE TREATED (P.T.). ALL WOOD COLUMNS LOCATED OUTSIDE OF THE BUILDING ENVELOPE SHALL BE P.T. 4. ALL NAIL SIZES INDICATED BY PENNYWEIGHT WITHIN THE STRUCTURAL DOCUMENTS SHALL BE

ASTM F1667 STEEL WIRE NAILS AS FOLLOWS: 6d = 0.113"x2", 8d = 0.131"x2-1/2", 10d = 0.148"x3", 16d = 0.162"x3-1/2", 20d = 0.192"x4", etc .ALTERNATE NAIL SIZES AND SPACINGS SHALL NOT BE USED WITHOUT APPROVAL FROM THIS OFFICE.

5. ALL WOOD CONNECTORS (JOIST AND BEAM HANGERS, POST CAPS AND BASES, HURRICANE STRAPS, ETC.) SHALL BE GALVANIZED STEEL CONNECTORS AS MANUFACTURED BY "SIMPSON STRONG-TIE" OF PLEASANTON, CA, "USP STRUCTURAL CONNECTORS" OF BURNSVILLE, MN, OR AN APPROVED EQUAL. ALL WOOD CONNECTORS SHALL HAVE ALL FASTENER HOLES FILLED FOR MAXIMUM CAPACITY. WHERE PREMANUFACTURED CONNECTORS CANNOT BE USED, THE CONTRACTOR SHALL HIRE A STRUCTURAL ENGINEER TO DESIGN THE CONNECTORS AND FASTENERS FOR THE FULL CAPACITY OF THE MEMBERS. ALL ENGINEERED DESIGNS AND

DETAILS SHALL BE STAMPED AND SIGNED BY THE SAME ENGINEER AND SUBMITTED FOR REVIEW. ALL CONNECTORS AND FASTENERS EXPOSED TO THE WEATHER AND/OR IN DIRECT CONTACT WITH PRESERVATIVE-TREATED/FIRE-RETARDANT-TREATED LUMBER SHALL BE STAINLESS STEEL, UNLESS AN ALTERNATE PROTECTIVE COATING IS RECOMMENDED BY THE CONNECTOR/FASTENER MANUFACTURER BASED UPON THE SPECIFIC TYPE OF PRESERVATIVE TREATMENT AND WEATHER EXPOSURE CONDITIONS FOR THE PROJECT. SUBMIT PRODUCT DATA FOR REVIEW AND APPROVAL

ALL ROOF AND FLOOR DIAPHRAGMS AND STRUCTURAL WOOD WALL PANELS SHALL BE SHEATHED WITH PLYWOOD* STRUCTURAL PANELS WHICH MEASURE NOT LESS THAN FOUR FEET BY EIGHT FEET (4' x 8'), EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. SEE TYPICAL DETAILS FOR ADDITIONAL PANEL AND FASTENING REQUIREMENTS. MINIMUM PROPERTIES ARE AS

FOLLOWS: a. WALL SHEATHING: 7/16" APA-RATED SHEATHING 24/16, EXP-1 OR 15/32" APA-RATED SHEATHING

32/16, EXP-1 b. ROOF SHEATHING: 19/32" APA-RATED SHEATHING 40/20, EXP-1

c. FLOOR SHEATHING: 23/32" APA-RATED STURD-I-FLOOR (24 O.C.) T&G SHEATHING, EXP-1 (GLUED AND NAILED) EQUIVALENT ORIENTED STRAND BOARD (OSB) PANELS OF EQUAL THICKNESS AND APA-

RATING TO THOSE LISTED ABOVE MAY BE USED IN LIEU OF PLYWOOD IN WEATHER PROTECTED AREAS WHERE APPROVED BY THE ARCHITECT. 8. ALL BUILT-UP DIMENSIONAL LUMBER MEMBERS SHALL BE FASTENED TOGETHER PER THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) FOR THE MEMBERS TO ACT

TOGETHER AS ONE. 9. ALL BUILT-UP ENGINEERED LUMBER MEMBERS SHALL BE FASTENED TOGETHER PER THE MANUFACTURER'S REQUIREMENTS FOR THE MEMBERS TO ACT TOGETHER AS ONE AT THEIR MAXIMUM DESIGN CAPACITY OF THE SPECIFIED LARGER MEMBER.

E. POST-INSTALLED ANCHOR SYSTEMS

ADHESIVE ANCHORS USE

1. ALL POST-INSTALLED ANCHORS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (INCLUDING, BUT NOT LIMITED TO, DRILL BIT SIZE,

CLEANING OF HOLES, AND TEMPERATURE CONSTRAINTS). 2. EXCEPT WHERE INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF

THE FOLLOWING ANCHOR TYPES AS PROVIDED BY HILTI, INC. a. ANCHORAGE TO CONCRETE

ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:

A. HILTI HIT-HY 200 SAFE SET SYSTEM WITH THE HILTI HIT-Z ROD PER ICC ESR-3187. B. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM SYSTEM WITH HAS-E THREADED ROD PER ICC ESR-3187.

C. HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM WITH HAS-E THREADED ROD PER ICC ESR-3814.

HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI ROUGHENING TOOL WITH HAS-E

THREADED ROD PER ICC ESR-3814 FOR DIAMOND CORED HOLES. 2. MECHANICAL ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE: A. HILTI KWIK BOLT-TZ EXPANSION ANCHORS PER ICC ESR-1917.

B. HILTI KWIK BOLT 3 EXPANSION ANCHORS (UNCRACKED CONCRETE ONLY) PER ICC ESR-2302. REBAR DOWELING INTO CONCRETE

1. ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE: A. HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM SYSTEM WITH CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3814.

HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI ROUGHENING TOOL WITH CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3814 IN DIAMOND CORED HOLES. ANCHORAGE TO SOLID GROUTED MASONRY

 ADHESIVE ANCHORS USE A. HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM PER ESR-4143.

B. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR CONTINUOUSLY DEFORMED STEEL REBAR.

2. MECHANICAL ANCHORS USE: a. HILTI KWIK BOLT-3 EXPANSION ANCHORS PER ICC ESR-1385.

ANCHORAGE TO HOLLOW / MULTI-WYTHE MASONRY

A. HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM PER ICC ESR-4144. B. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR

CONTINUOUSLY DEFORMED STEEL REBAR. C. THE APPROPRIATE SIZE SCREEN TUBE SHALL BE USED PER ADHESIVE MANUFACTURER'S RECOMMENDATION.

THE CONTRACTOR SHALL PERFORM A PULL TEST ON 5% OF ALL ANCHORS TO VALIDATE THAT THE ANCHORS ACHIEVE THE MINIMUM TENSION CAPACITY SPECIFIED IN ESR-4144. AN ADDITIONAL 20% OF ALL ANCHORS SHALL BE TESTED USING A CALIBRATED TORQUE WRENCH TO A MINIMUM 60 FT-LBS TORQUE. TESTING SHALL BE PERFORMED AT RANDOM AND VARIED LOCATIONS THROUGHOUT THE PROJECT WHERE ANCHORS ARE INSTALLED.

3. ALL ANCHORS INTO CONCRETE SHALL BE INSTALLED AFTER THE CONCRETE HAS ACHIEVED IT'S 28-DAY DESIGN STRENGTH, BUT NOT LESS THAN 21 DAYS AFTER CONCRETE PLACEMENT. 4. ALL ADHESIVE ANCHORS INSTALLED IN THE HORIZONTAL, UPWARD INCLINED, AND OVERHEAD ORIENTATIONS SHALL BE CONTINUOUSLY INSPECTED DURING INSTALLATION PER ACI.

OVERHEAD ADHESIVE ANCHORS SHALL BE INSTALLED USING THE HILTI PROFI SYSTEM. THE CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. THE SPECIAL INSPECTOR RESPONSIBLE FOR INSPECTION OF THE ANCHOR INSTALLATIONS SHALL BE PRESENT FOR THIS TRAINING. THE STRUCTURAL ENGINEER OF RECORD MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS.

6. ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS

EXISTING REINFORCING BARS IN THE CONCRETE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. UNLESS NOTED ON THE DRAWINGS THAT THE BARS CAN BE CUT, THE CONTRACTOR SHALL REVIEW EXISTING STRUCTURAL DRAWINGS IF AVAILABLE AND SHALL LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS

ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER METHOD AS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE.

F. STRUCTURAL DEMOLITION

ALL DEMOLITION WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ITS APPLICABLE REFERENCED STANDARDS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO DEMOLITION AND NEW CONSTRUCTION. WHERE DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS ARE ENCOUNTERED, DEMOLITION SHALL NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OF RECORD.

ALL BIDDERS SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING BUILDING, RELATED ACCESS LIMITATIONS FOR PERSONNEL AND EQUIPMENT, AND OTHER POTENTIAL CONSTRUCTION COORDINATION ISSUES. DISCREPANCIES, OMISSIONS, OR VARIATIONS FROM CONDITIONS NOTED ON THE STRUCTURAL DRAWINGS AND IN THE SPECIFICATIONS THAT ARE DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OF RECORD AS A REQUEST FOR INFORMATION (RFI).

4. ONLY DEMOLITION OF STRUCTURAL ELEMENTS IS SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS. DEMOLITION OF ADDITIONAL NONSTRUCTURAL ELEMENTS REQUIRED TO DEMOLISH AND REMOVE THE STRUCTURAL ELEMENTS INDICATED SHALL BE COORDINATED WITH THE ARCHITECT. IN GENERAL, NO COLUMNS, WALLS, BRACES, OR OTHER LOAD-BEARING VERTICAL STRUCTURAL ELEMENTS SHALL BE REMOVED AS PART OF THIS DEMOLITION UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS.

5. IT IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE STRUCTURE DURING ALL DEMOLITION AND CONSTRUCTION PHASES. NOTE THAT TEMPORARY BRACING IS REQUIRED FOR ALL COLUMNS AND WALLS TO REMAIN WHERE INTERCONNECTED FRAMING MEMBERS (SUCH AS BEAMS, GIRDERS, DIAGONAL BRACES, OR SLABS) ARE TO BE REMOVED.

6. THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO PROVIDE STAMPED AND SIGNED STRUCTURAL CALCULATIONS AND DRAWINGS FOR ALL TEMPORARY SHORING AND BRACING SYSTEMS, AS WELL AS AN ANALYSIS OF ANY TEMPORARY LOADS THAT THE CONTRACTOR CHOOSES TO IMPOSE UPON THE EXISTING STRUCTURE (SEE SECTION C -ENGINEERING REQUIREMENTS FOR CONTRACTOR). THE CONTRACTOR SHALL PROVIDE ALL ADDITIONAL SHORING, FLOOR REINFORCEMENT, AND OTHER MEASURES AS REQUIRED TO SUPPORT SUCH TEMPORARY LOADS. ALL SHORING SHALL BE PLACED CONTINUOUS DOWN TO FOUNDATIONS. SUBMIT A DETAILED PLAN OF DEMOLITION AND SHORING, STAMPED BY THE SAME STRUCTURAL ENGINEER, FOR RECORD.

DEMOLITION WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO PRESERVE THE INTEGRITY OF ALL ADJACENT STRUCTURAL AND NONSTRUCTURAL BUILDING ELEMENTS. WHERE NECESSARY, PRECUT CONNECTIONS TO STRUCTURAL ELEMENTS TO REMAIN IN ORDER TO AVOID DAMAGE DURING REMOVAL OF CONNECTED MEMBERS. ANY DAMAGE TO EXISTING ELEMENTS AND FINISHES TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

G. CONCRETE

1. ALL CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ACI 318 AND 301 REQUIREMENTS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PROPORTIONING OF CONCRETE MIX, CONCRETE TESTING, PLACEMENT OF CONCRETE, AND CURING PROCEDURES.

. CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH, fc. a. ALL CONCRETE... 8. PROVIDE TOTAL AIR ENTRAINMENT OF 6% (±1%) FOR ALL CONCRETE EXPOSED TO WEATHER. 4. MAXIMUM WATER/CEMENT RATIO FOR 4000 PSI CONCRETE - W/C = 0.45, UNLESS NOTED

OTHERWISE. PROVIDE A HIGH-RANGE WATER REDUCING ADMIXTURE IF REQUIRED TO INCREASE WORKABILITY OF THE CONCRETE.

5. CONCRETE FOR ALL ELEMENTS SHALL BE NORMAL WEIGHT (N.W.) WITH A MAXIMUM DRY DENSITY OF 145 PCF (± 5 PCF). 6. UNLESS NOTED OTHÈRWISE, FLY ASH CONFORMING TO ASTM C618, CLASS C OR SLAG CEMENT

CONFORMING TO ASTM C989, GRADE 120 MAY BE USED AS A REPLACEMENT FOR UP TO 25% OF CEMENTITIOUS MATERIALS BY WEIGHT. REPLACEMENT OF CEMENTITIOUS MATERIALS IN EXCESS OF THIS VALUE OR USE OF OTHER CEMENTITIOUS MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO SUBMITTING MIX DESIGNS FOR REVIEW.

7. ALL REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING MATERIAL SPECIFICATIONS: a. REINFORCING BARS: ASTM A615 (F_v=60 KSI, MIN.)

c. REINFORCING BARS TO BE WELDED: ASTM A615 OR ASTM A706 (F_y=60 KSI, MIN.) d. EPOXY-COATED REINFORCING BARS: ASTM A775 OR ASTM A934

b. WELDED WIRE REINFORCEMENT: ASTM A1064 (F_v=60 KSI, MIN.)

e. EPOXY-COATED WELDED WIRE REINFORCEMENT: ASTM A884 8. ALL STIRRUPS AND TIES SHALL BE CLOSED TYPE AND ALL HOOKS SHALL BE STANDARD 90°

TYPE, UNLESS OTHERWISE NOTED. 9. WHERE NO REINFORCEMENT IS INDICATED FOR CONCRETE SLABS AND WALLS, PROVIDE A MINIMUM #4 @ 12" O.C. CONTINUOUS EACH WAY, TOP AND BOTTOM (OR EACH FACE OF WALL).

10. PROVIDE CORNER BARS AT ALL CORNERS AND INTERSECTIONS MATCHING HORIZONTAL REINFORCEMENT WITH 2'-6" MINIMUM LAPS. 11. PROVIDE MATCHING DOWELS FOR ALL VERTICAL REINFORCING BARS AT CMU WALLS. DOWEL DIAMETER SHALL MATCH VERTICAL REINFORCING BAR DIAMETER. DOWEL LENGTH SHALL BE 96

BAR DIAMETERS MINIMUM WITH 48 BAR DIAMETER MIN. EMBEDMENT AND 48 BAR DIAMETER MIN. 12. SET ÀND TIÉ ALL REINFORCEMENT, ANCHOR BOLTS, AND CAST-IN AND EMBEDDED ITEMS PRIOR TO PLACING CONCRETE. SETTING OF DOWELS AND REINFORCEMENT INTO WET CONCRETE

SHALL NOT BE ALLOWED. 13. REINFORCING LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI-318 FOR TENSION LAP SPLICES, CLASS B, UNLESS NOTED OTHERWISE. SEE DRAWINGS FOR SPECIAL LAP SPLICE INSTRUCTIONS AT FOUNDATION WALLS AND GRADE BEAM/PILE CAP INTERSECTIONS.

14. DETAILING OF REINFORCEMENT SHALL BE ACCORDING TO THE LATEST EDITION OF THE ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". PROVIDE BAR SUPPORTS. SPACERS. AND ACCESSORIES RECOMMENDED IN THE LATEST EDITION OF THE ACI DETAILING MANUAL, PUBLICATION SP-66. ALL ACCESSORIES IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC-COATED. PROVIDE SCHEDULE OF ALL ACCESSORIES WITH SHOP DRAWINGS FOR REVIEW.

15. CONCRETE SHALL MEET THE FOLLOWING MINIMUM PERCENTAGES OF ITS 28 DAY COMPRESSIVE STRENGTH (fc) PRIOR TO REMOVING FORMS AND/OR SHORES:

 a. ALL CONCRETE . 16. UNLESS NOTED OTHERWISE, PROVIDE REINFORCEMENT COVER PER THE TABLE AT THE END

OF THIS SECTION. 17. ALL CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS, EXCEPT WHERE SPECIFICALLY INDICATED. VERTICAL CONSTRUCTION JOINTS AND STOPS IN THE CONCRETE WORK SHALL BE MADE AT MIDSPAN. ALL REINFORCEMENT SHALL BE CONTINUOUS THROUGH VERTICAL CONSTRUCTION JOINTS.

18. MAXIMUM STRAIGHT LENGTH OF CONCRETE WALL BETWEEN CONSTRUCTION JOINTS SHALL BE

19. PROVIDE VERTICAL CONTROL JOINTS AT A MAXIMUM SPACING OF 20 FEET O.C. FOR ALL

CONTINUOUS WALLS WITH MORE THAN 12" PROJECTION ABOVE FINISH GRADE. NOT ALL OPENINGS AND PENETRATIONS THROUGH CONCRETE WALLS AND SLABS ARE SHOWN ON THE STRUCTURAL DRAWINGS. UNLESS NOTED OTHERWISE, FOR PENETRATIONS THROUGH CONCRETE FOUNDATION WALLS EXCEEDING 8"Ø, REINFORCE WALL AROUND THE PERIMETER OF THE OPENING WITH (4)-#5 BARS, EACH FACE IN A DIAGONAL PATTERN EXTENDING 2'-6" BEYOND OPENING. FOR PENETRATIONS THROUGH SLABS ON GRADE, REINFORCE PER THE TYPICAL DETAILS. COORDINATE ALL OPENING LOCATIONS WITH ARCHITECT AND OTHER

21. PROVIDE SAWCUT JOINTS IN ALL SLABS ON GRADE USING AN EARLY-ENTRY SAW WITHIN 4 HOURS OF PLACEMENT. PROVIDE SAWCUTS @ 10'-0" O.C. MAX., UNLESS NOTED OTHERWISE.

22. PLACE ALL SLABS PER ACI 301 AND ACI 302.1 SPECIFICATIONS. UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM FLOOR FLATNESS AND LEVELNESS: a. SLABS ON GRADE:

1. OVERALL FLOOR FLATNESS FF = 35

DRAWINGS FOR REVIEW.

2. LOCAL FLOOR FLATNESS FFL = 25 3. OVERALL FLOOR LEVELNESS FL = 25

4. LOCAL FLOOR LEVELNESS FL_L = 17 INDIVIDUAL SECTIONAL BOUNDARIES FOR LOCAL MEASUREMENTS SHALL BE SET AT CONSTRUCTION AND CONTROL JOINT LOCATIONS. IN THE ABSENCE OF CONSTRUCTION AND CONTROL JOINTS, BOUNDARIES SHALL BE COLUMN LINES AND HALF-COLUMN LINES OR 10'-0" WIDE SEGMENTS, WHICHEVER IS LESS.

23. WHERE NECESSARY DUE TO CONGESTION OF REINFORCEMENT, CONTRACTOR SHALL PROVIDE MECHANICAL BAR COUPLERS AND BAR TERMINATORS IN LIEU OF LAP SPLICES AND HOOKED ENDS PER ACI REQUIREMENTS. THE CONTRACTOR SHALL INCLUDE THE COST OF SUCH

MECHANICAL ACCESSORIES IN BASE CONTRACT. 24. ALL CONCRETE TEST CYLINDERS FOR CONCRETE COMPRESSIVE TESTING SHALL BE PREPARED

PER ACI REQUIREMENTS AND APPLICABLE ASTM STANDARDS. ALL CONCRETE MIX DURATION TIMES SHALL BE LESS THAN 90 MINUTES. 26. ALL CONCRETE MUST BE PLACED FROM A HEIGHT NOT GREATER THAN 4'-0" ABOVE ITS FINAL

27. COORDINATE THE LOCATION, QUANTITY, AND DIMENSIONS OF EMBEDDED ITEMS AND HARDWARE WITH THE ARCHITECT AND WITH RESPECTIVE SYSTEMS MANUFACTURERS (E.G. ELEVATORS, LIFTS AND CURTAIN WALL SYSTEMS).

28. ALL CONCRETE ELEMENTS WITH LEAST DIMENSION OF 5 FEET OR MORE SHALL BE CONSIDERED MASS CONCRETE AND SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 SECTION 8 "MASS CONCRETE". 29. SUBMIT PROPOSED MIX DESIGN OF EACH CONCRETE TYPE AND REINFORCING SHOP

MINIMUM REINFORCEMENT COVER					
CONCRETE EXPOSURE MEMBER REINFORCEMENT MINIMUM COVER					
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND ²	ALL	ALL	3 INCHES		
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND		NO. 6 THROUGH NO. 18 BARS	2 INCHES		
	ALL	NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1-1/2 INCHES		
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS,	NO. 14 AND NO. 18 BARS	1-1/2 INCHES		
	AND WALLS	NO. 11 BAR AND SMALLER	3/4 INCH		
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2 INCHES		

MINIMUM COVER IS INDICATED IN THIS TABLE. SEE STRUCTURAL DETAILS FOR LOCATIONS WHERE GREATER COVER IS REQUIRED.

2. SEE TYPICAL DETAILS FOR COVER REQUIREMENTS AT SLABS ON GRADE.

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Revision

Architect of Record:

Drawn: Author

Checked: Checker

Scale: Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

GENERAL NOTES

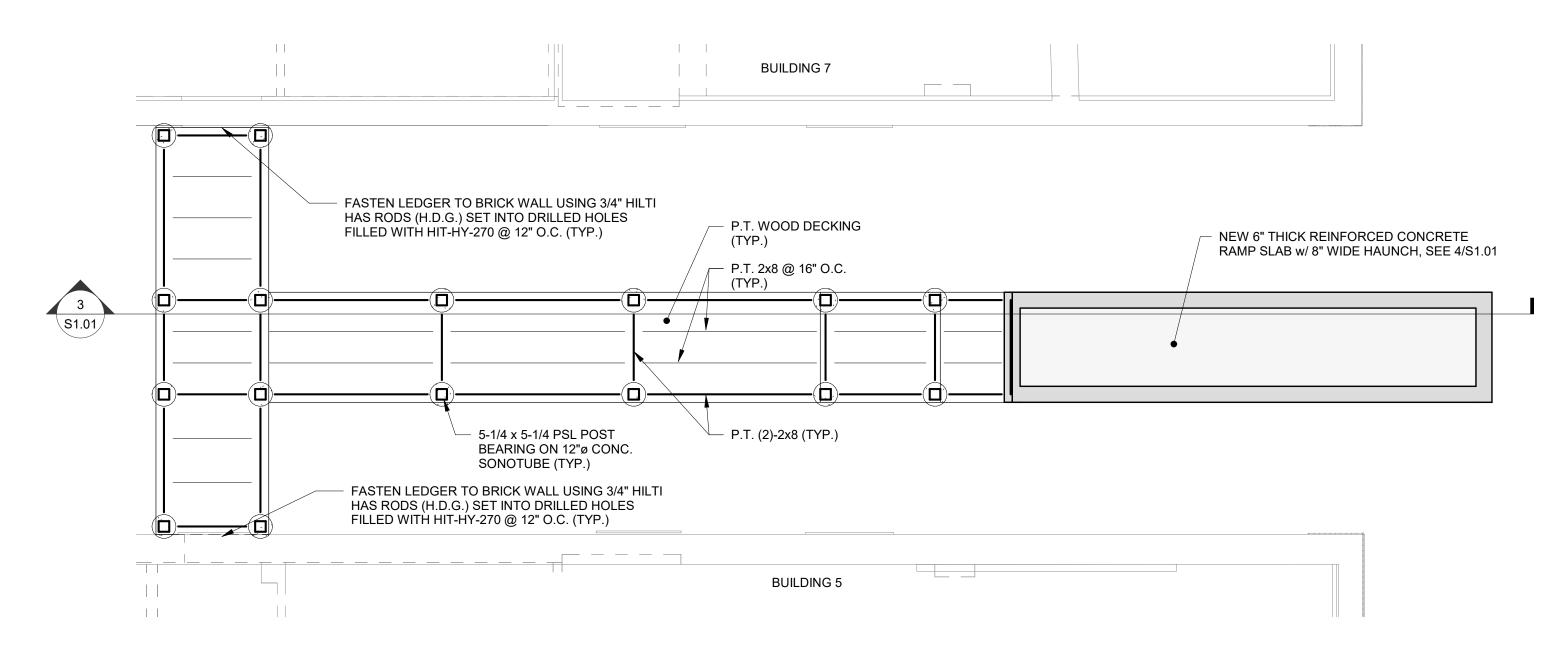
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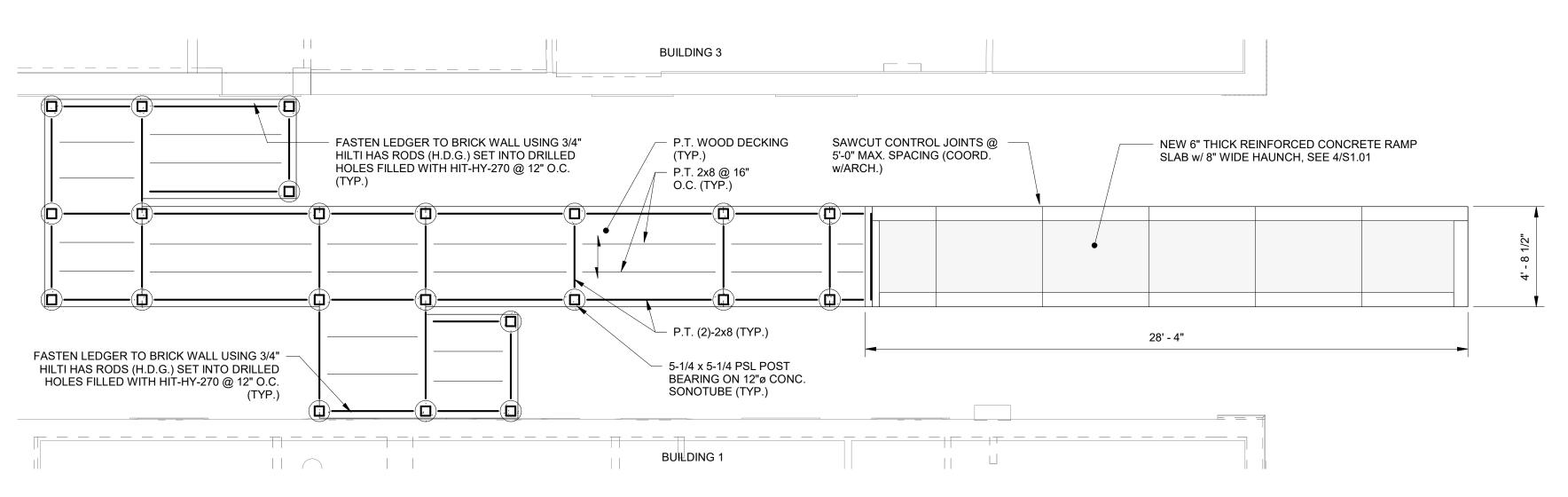
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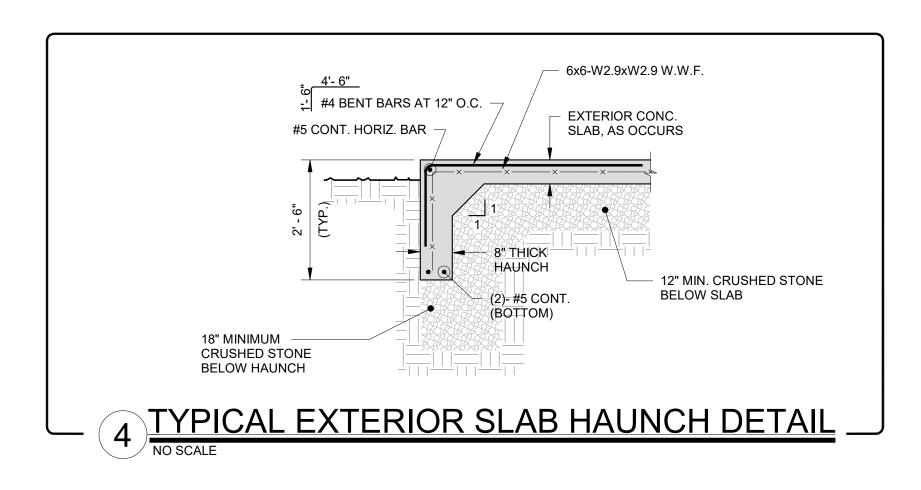
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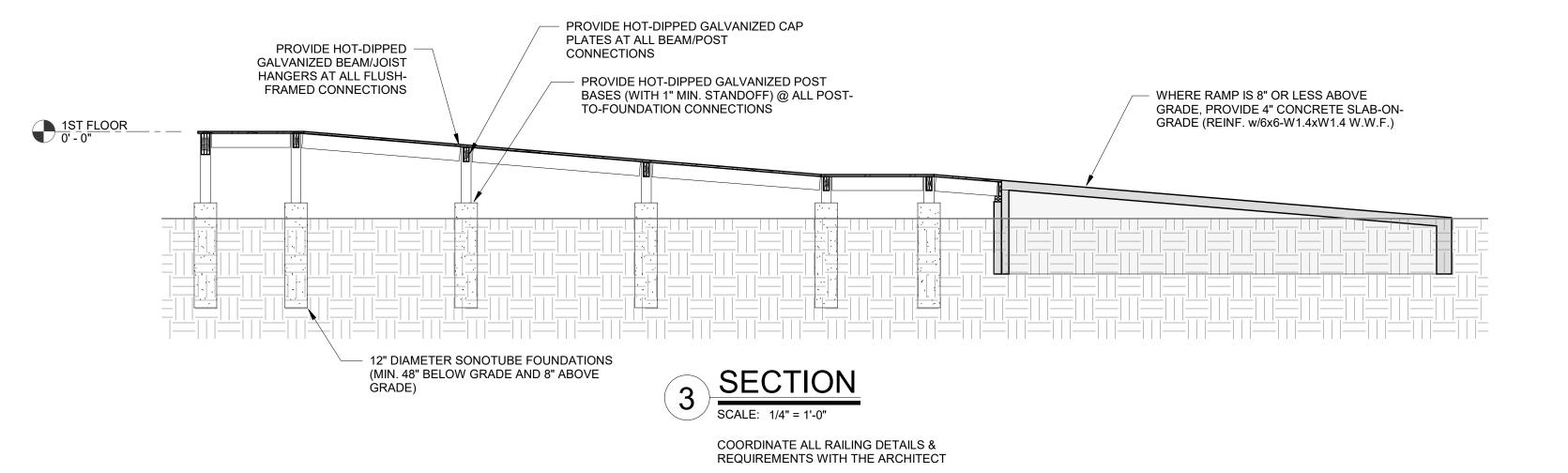


PROPOSED EXTERIOR RAMP BETWEEN BUILDINGS 5 & 7 SCALE: 1/4" = 1'-0"



PROPOSED EXTERIOR RAMP BETWEEN 2 BUILDINGS 1 & 3 SCALE: 1/4" = 1'-0"





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As indicated Key Plan:

Project Name: BEDFORD

GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

RAMP PLANS & DETAILS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

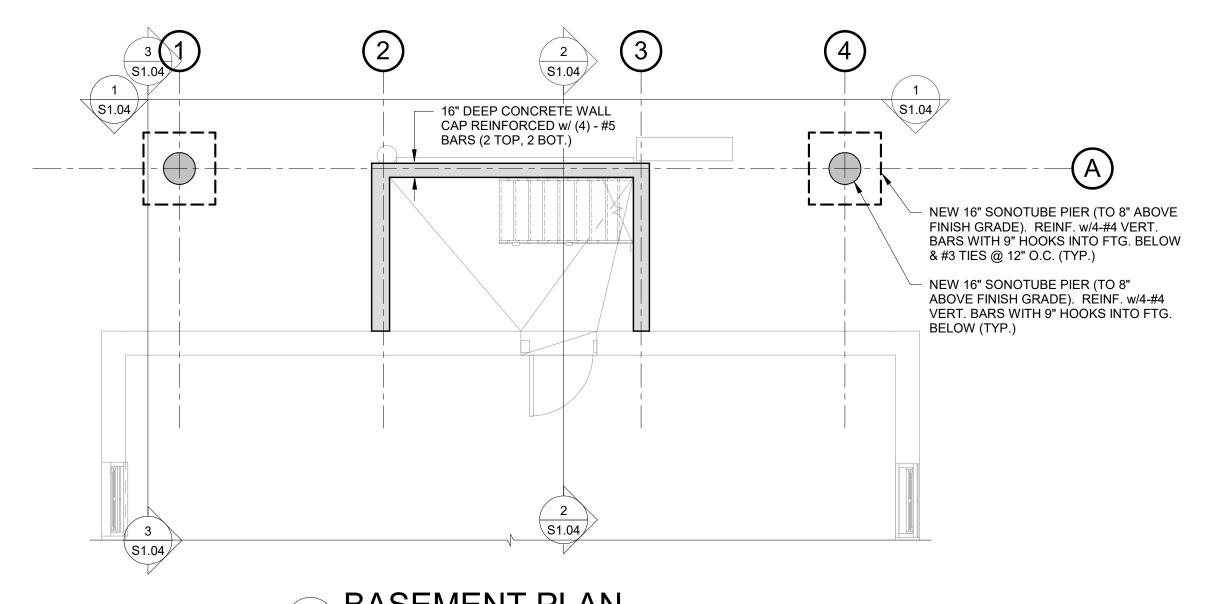
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08/11/2023

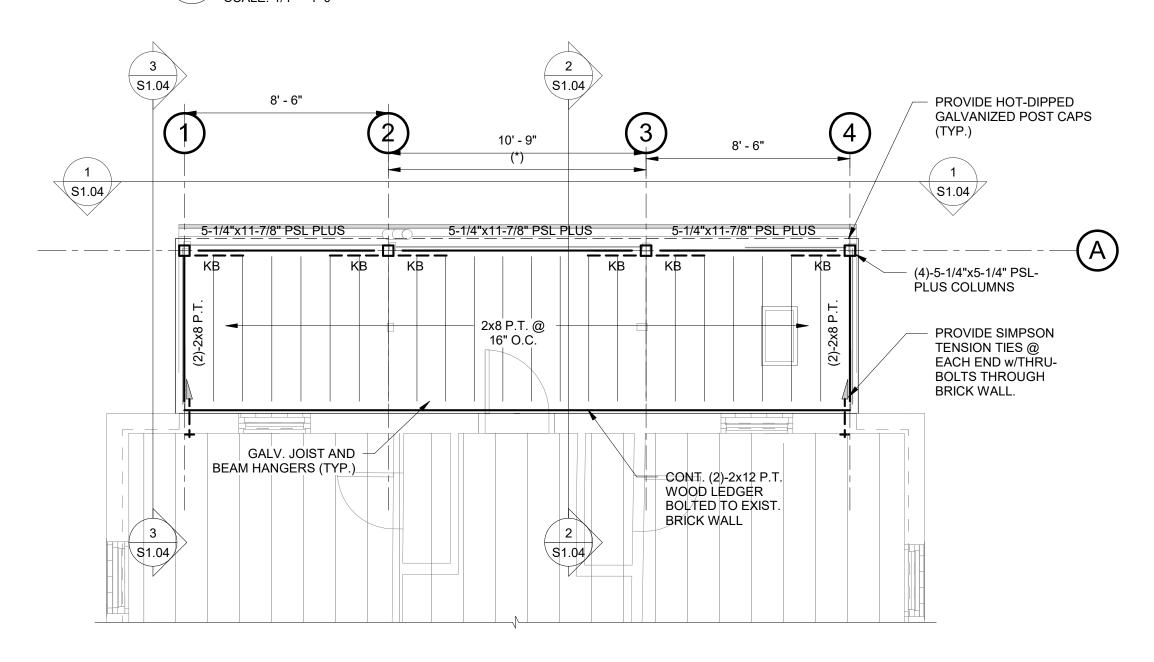
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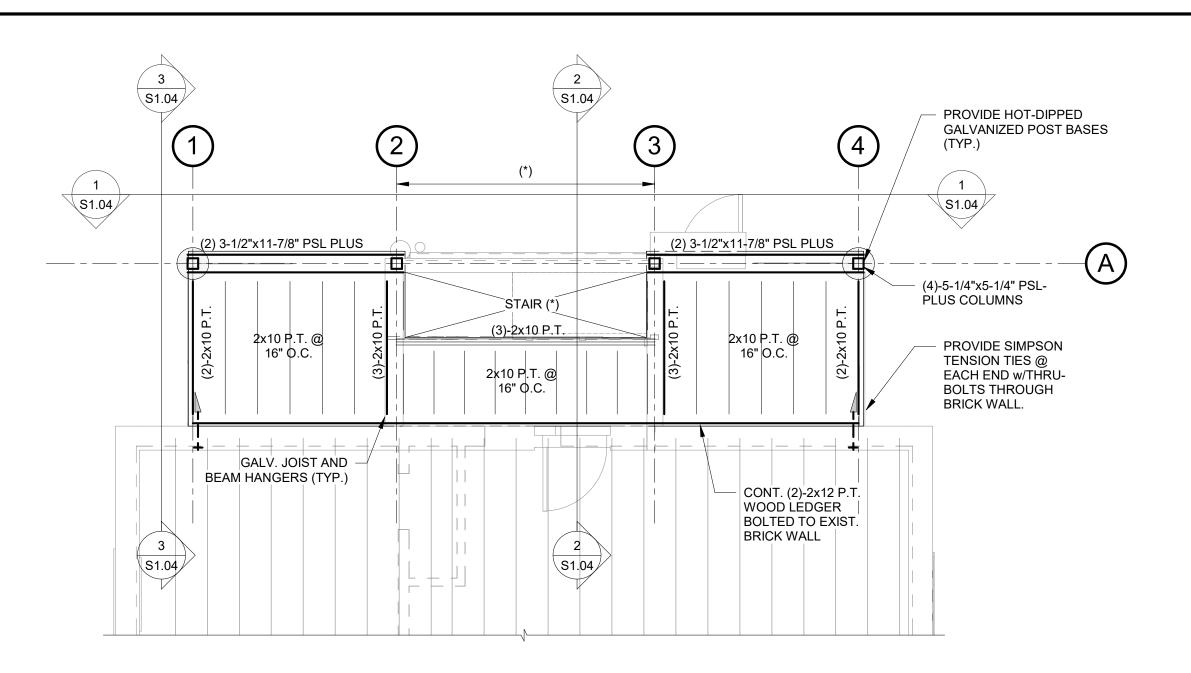


BASEMENT PLAN SCALE: 1/4" = 1'-0" 3 S1.04 S1.04 4 1 S1.04 S1.04/ (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS (4)-5-1/4"x5-1/4" PSL-PLUS COLUMNS STAIR (*) 2x10 P.T. @ 2x10 P.T. @ PROVIDE SIMPSON 16" O.C. 16" O.C. TENSION TIES @ 2x10 P.T. @ EACH END w/THRU-16" $\phi.c$ **BOLTS THROUGH** BRICK WALL. GALV. JOIST AND CONT. (2)-2x12 P.T. WOOD LEDGER | BOLTED TO EXIST. BRICK WALL S1.04 3 S1.04

3 BALCONY SECOND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



5 BALCONY ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



BALCONY GROUND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0" \S1.04/ ∖S1.04*/*/ (4)(*) 1 \$1.04 \$1.04 (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS <u>▗</u>▗▗▗▗▗▗▗▗▗▗▗▗ (4)-5-1/4"x5-1/4" PSL-PLUS COLUMNS STAIR (*) 2x10 P.T. @ 2x10 P.T. @ PROVIDE SIMPSON 16" Q.C. 16" O.C. TENSION TIES @ 2x10 P.T. @ EACH END w/THRU-16" O.C. **BOLTS THROUGH** BRICK WALL. GALV. JOIST AND CONT. (2)-2x12 P.T. WOOD LEDGER || BOLTED TO EXIST. BRICK WALL

4 BALCONY THIRD FLOOR FRAMING PLAN

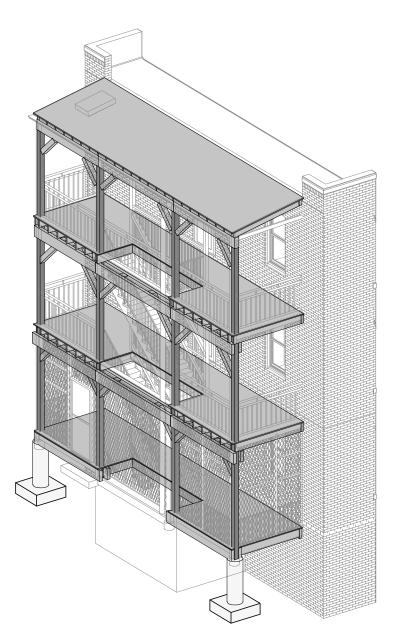
NOTES:

 (*) - STAIR CLEAR OPENING BY ARCH., SPACING BETWEEN GRIDS 2 AND 3 IS

DEPENDENT ON STAIR WIDTH

2. - - - INDICATES 5 1/4 x 5 1/4 PSL PLUS

KB KICKER BRACE



6 3D VIEW

tat

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O d Ongine Structural	PAPS engineers	1223 Mineral Spring Av North Providence, RI C Phone: 401.724. Fax: 401.724. www.odehengineers)290 177 198
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BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

TYPICAL BALCONY STRUCTURAL FRAMING PLANS

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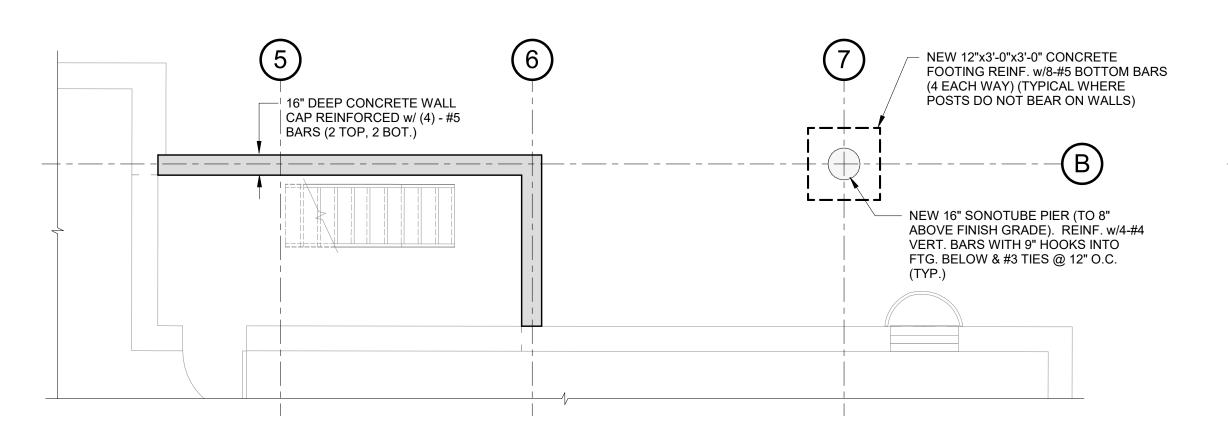
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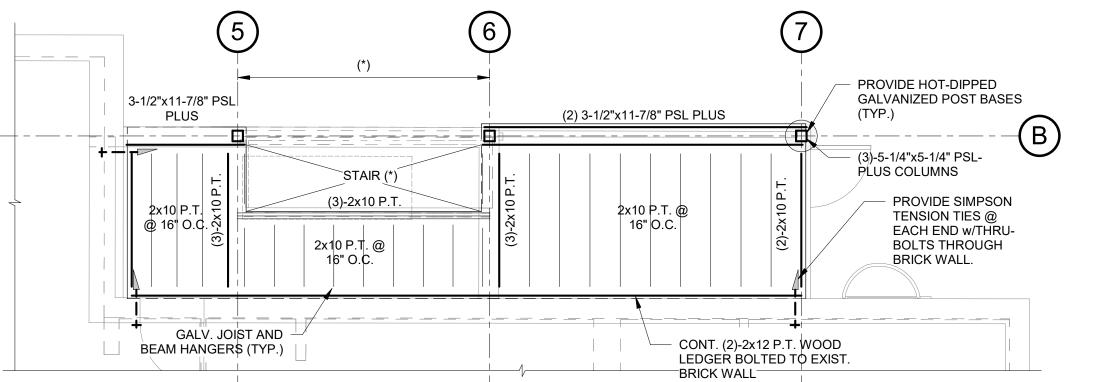
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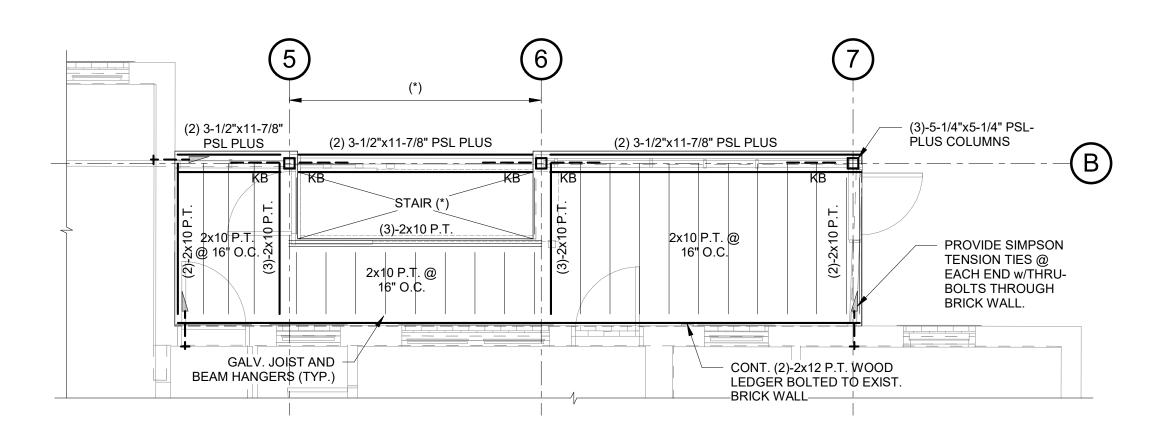
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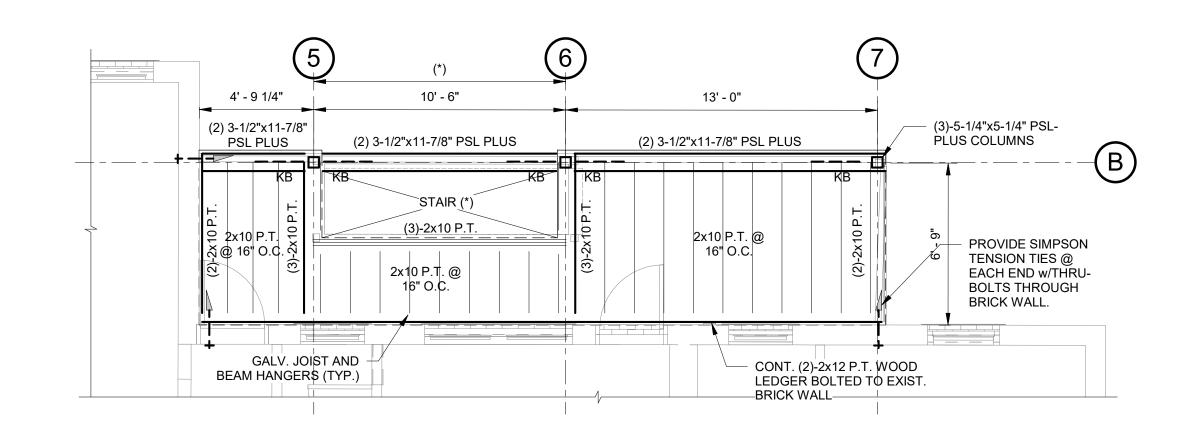




5 BASEMENT PLAN

BALCONY GROUND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

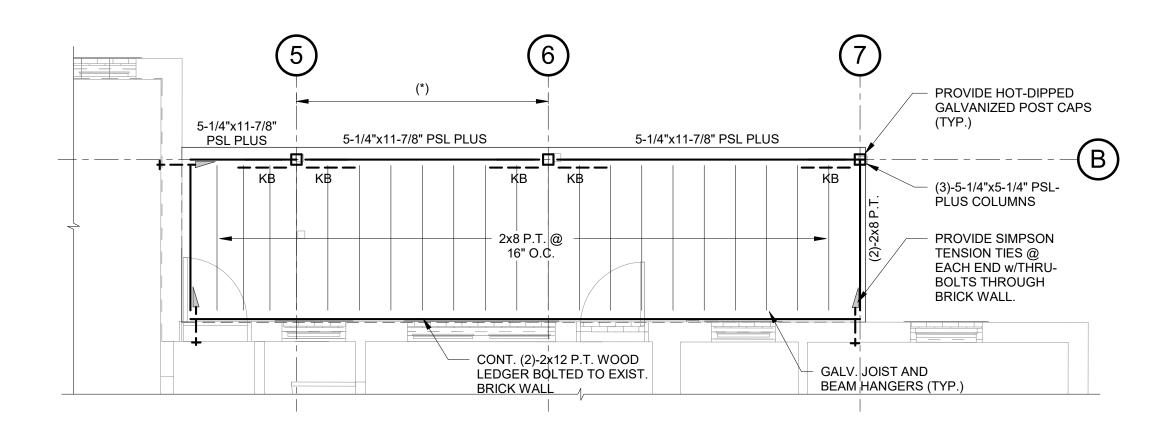




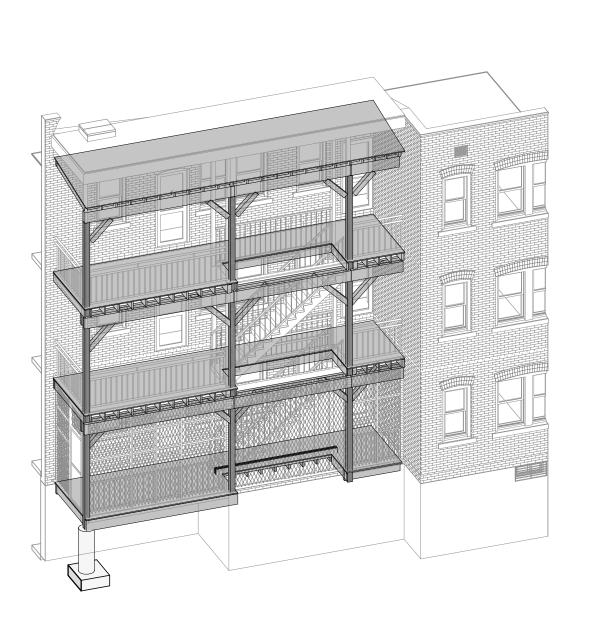
1 BALCONY SECOND FLOOR FRAMING PLAN

2 BALCONY THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



3 BALCONY ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



NOTES:

1. (*) - STAIR CLEAR OPENING BY ARCH.,
SPACING BETWEEN GRIDS 5 AND 6 IS
DEPENDENT ON STAIR WIDTH

2. - - - - INDICATES 5 1/4 x 5 1/4 PSL PLUS
KB KICKER BRACE

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Architect of Record:	
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BALCONY FRAMING

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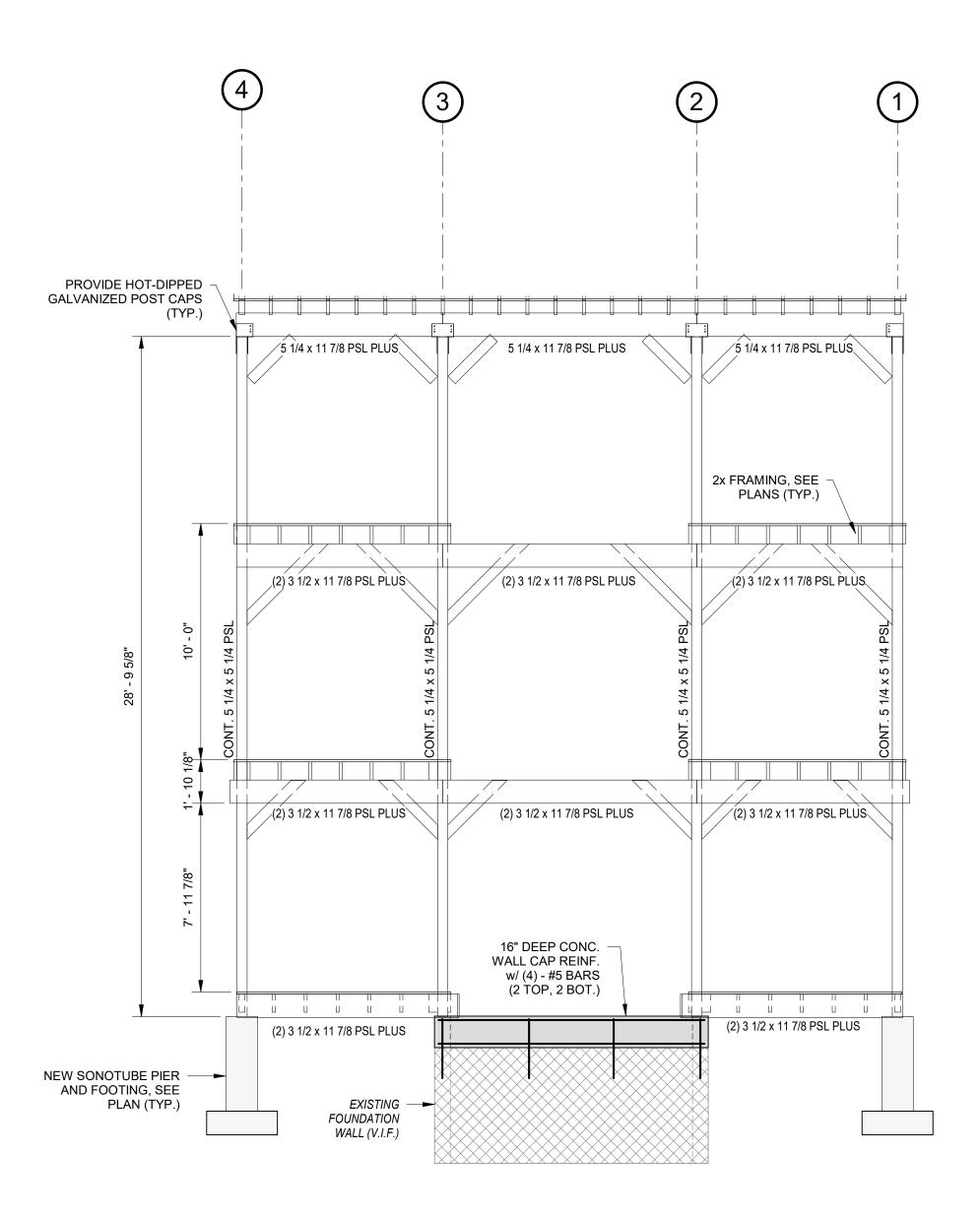
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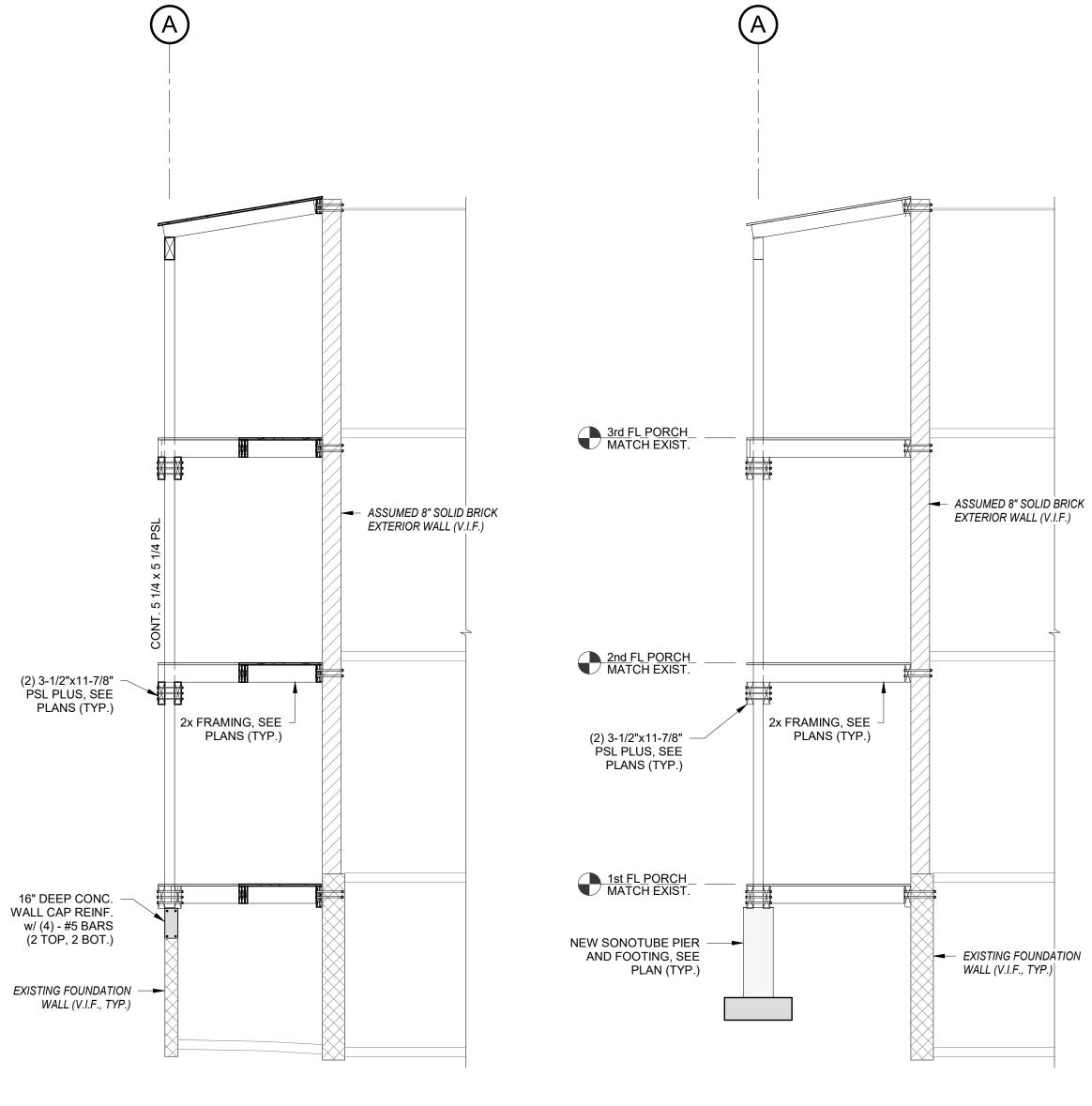
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TYPICAL PORCH FRAMING ELEVATION



- 1. ALL LUMBER SHALL BE PRESSURE TREATED 2. ALL FOOTINGS SHALL BE SET A MINIMUM OF 48" BELOW GRADE.
- ALL FASTENERS AND CONNECTORS SHALL BE HOT-DIPPED GALVANIZED.
 ALL DIMENSIONS MUST BE COORDINATED WITH THE ARCHITECT AND EXISTING CONDITIONS.
- MINIMUM BEAM-TO-COLUMN CONNECTION SHALL BE (3)-3/4" THRU-BOLTS. 6. MINIMUM KNEE BRACE TO COLUMN & KNEE BRACE TO BEAM CONNECTION SHALL BE (2)-3/4" THRU-
- 7. ALL WORK INDICATED ON THIS DRAWING IS TYPICAL. ADJUSTMENTS SHALL BE MADE TO SUIT EACH BUILDING. COORDINATE WITH THE ARCHITECT.
- 8. SEE ARCHITECTURAL DRAWINGS FOR ALL HANDRAIL, STAIR, AND ENCLOSURE REQUIREMENTS



TYPICAL PORCH FRAMING SECTION



TYPICAL PORCH FRAMING END ELEVATION





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TYPICAL BALCONY FRAMING ELEVATIONS

Bedford & Brook Streets

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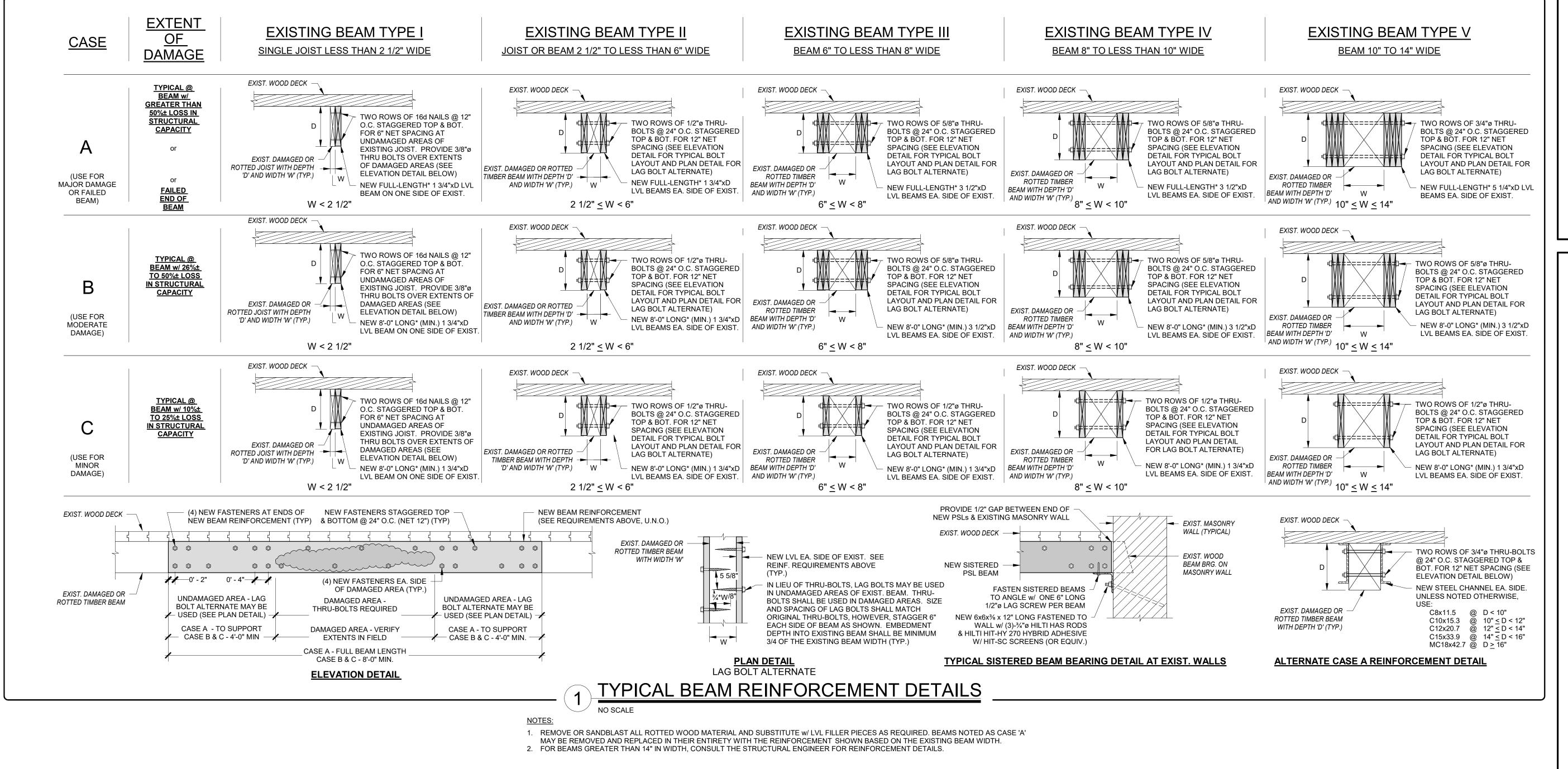
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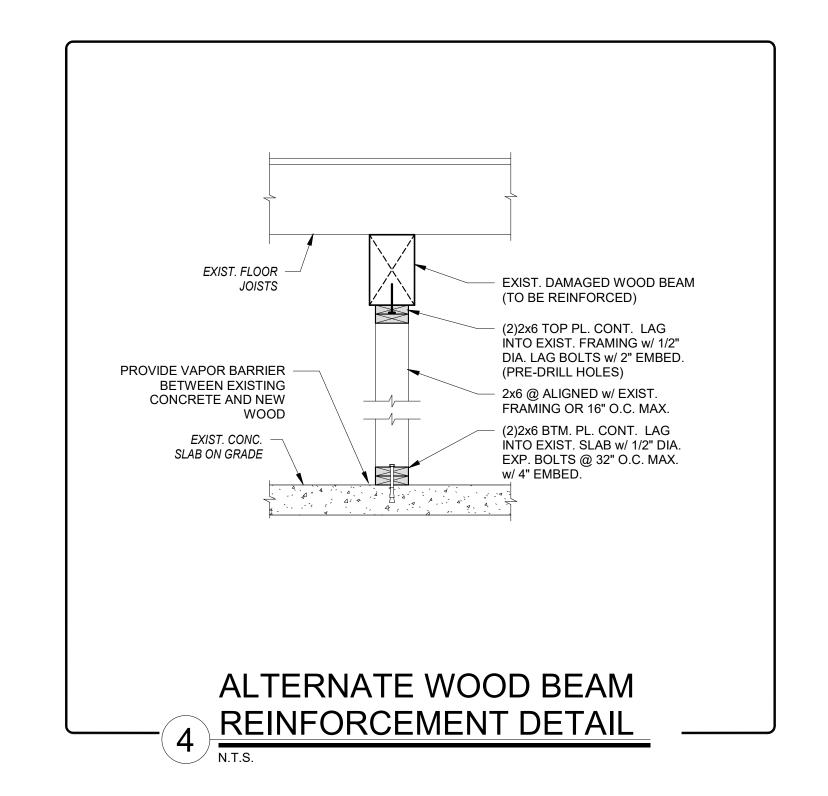
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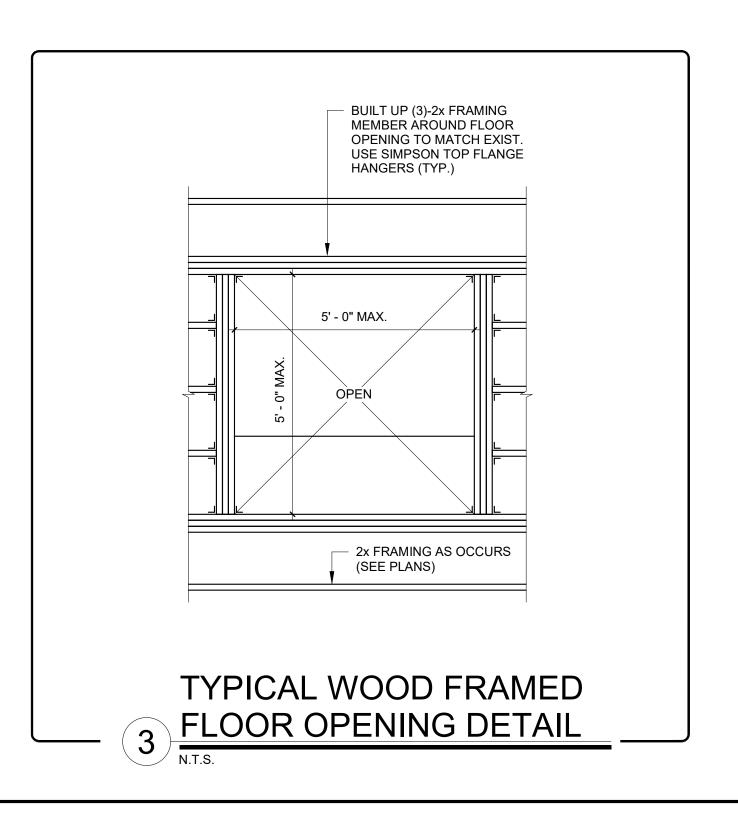
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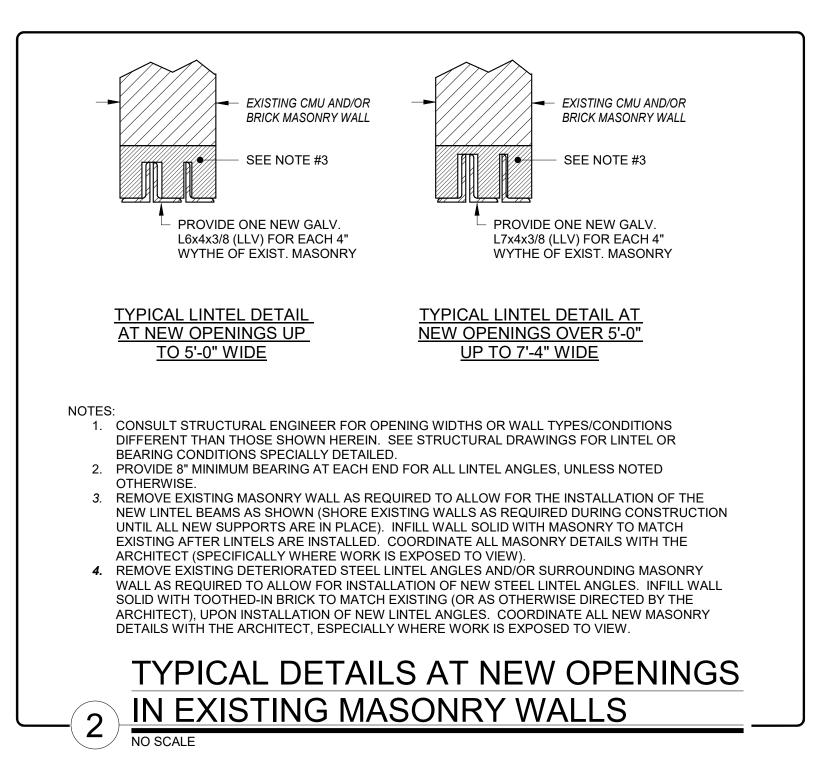
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BEDFORD GARDENS

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TYPICAL STRUCTURAL DETAILS

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08/11/23

Sheet Number:

S3.01

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- ALL REPAIR MORTAR LIME CONTENT SHALL MATCH EXISTING PERFORM LIME CONTENT TEST PRIOR TO CONSTRUCTION.
- BRICK REMOVAL AND REPLACEMENT

AREA.

DETERIORATED -

MORTAR JOINTS

NOT LESS THAN 1"

MORTAR FROM JOINTS TO A

UNIFORM DEPTH EQUAL TO 2

1/2 TIMES JOINT WIDTH BUT

REMOVE DETERIORATED -

TOOL JOINT TO

FOR USE WHERE BRICK JOINTS HAVE

DETERIORATED - VERIFY LOCATIONS IN FIELD AND

COORDINATE ALL RESTORATION WORK WITH

RE-POINTING DETAIL

TYPICAL BRICK

MATCH PROFILE

APPLY MORTAR IN 1/4" LIFTS -

- A. REMOVE BRICKS THAT ARE DAMAGED, SPALLED, OR DETERIORATED. CAREFULLY DEMOLISH OR REMOVE ENTIRE UNITS FROM JOINT TO JOINT, WITHOUT DAMAGING SURROUNDING MASONRY, IN A MANNER THAT PERMITS REPLACEMENT WITH FULL-SIZE UNITS. 1. WHEN REMOVING SINGLE BRICKS, REMOVE MATERIAL FROM
- CENTER OF BRICK AND WORK TOWARD OUTSIDE EDGES. B. SUPPORT AND PROTECT REMAINING MASONRY THAT SURROUNDS REMOVAL AREA. MAINTAIN FLASHING, REINFORCEMENT, LINTELS, AND
- ADJOINING CONSTRUCTION IN AN UNDAMAGED CONDITION. C. NOTIFY ENGINEER OF UNFORESEEN DETRIMENTAL CONDITIONS INCLUDING VOIDS, CRACKS, BULGES, AND LOOSE MASONRY UNITS IN EXISTING MASONRY BACKUP, ROTTED WOOD, RUSTED METAL, AND OTHER DETERIORATED ITEMS.
- D. REMOVE IN AN UNDAMAGED CONDITION AS MANY WHOLE BRICKS AS POSSIBLE*. 1. REMOVE MORTAR, LOOSE PARTICLES, AND SOIL FROM BRICK BY
- CLEANING WITH HAND CHISELS, BRUSHES, AND WATER. STORE BRICK FOR REUSE, AS INDICATED. 3. DELIVER CLEANED BRICK NOT REQUIRED FOR REUSE TO OWNER,
- UNLESS OTHERWISE DIRECTED. E. CLEAN BRICKS SURROUNDING REMOVAL AREAS BY REMOVING
- MORTAR, DUST, AND LOOSE PARTICLES IN PREPARATION FOR F. INSTALL REPLACEMENT BRICK INTO BONDING AND COURSING PATTERN OF EXISTING BRICK. IF CUTTING IS REQUIRED. USE A
- MOTOR-DRIVEN SAW DESIGNED TO CUT MASONRY WITH CLEAN, SHARP, UNCHIPPED EDGES. G. LAY REPLACEMENT BRICK WITH COMPLETELY FILLED BED. HEAD. AND COLLAR JOINTS. BUTTER ENDS WITH SUFFICIENT MORTAR TO FILL SURROUNDING BRICKS THAT HAVE ASTM C 67 INITIAL RATES OF ABSORPTION (SUCTION) OF MORE THAN 30 G/30 SQ, IN. PER MIN. (30
- HEAD JOINTS AND SHOVE INTO PLACE. WET BOTH REPLACEMENT AND G/194 SQ. CM PER MIN.). USE WETTING METHODS THAT ENSURE THAT UNITS ARE NEARLY SATURATED BUT SURFACE IS DRY WHEN LAID. MAINTAIN JOINT WIDTH FOR REPLACEMENT UNITS TO MATCH EXISTING
- 1. TOOL EXPOSED MORTAR JOINTS IN REPAIRED AREAS TO MATCH JOINTS OF SURROUNDING EXISTING BRICKWORK. RAKE OUT MORTAR USED FOR LAYING BRICK BEFORE MORTAR SETS AND POINT NEW MORTAR JOINTS IN REPAIRED AREA TO COMPLY WITH REQUIREMENTS FOR RE-POINTING EXISTING

MASONRY, AND AT SAME TIME AS RE-POINTING OF SURROUNDING

- 3. MASONRY UNIT PATCHING
- A. PATCH THE FOLLOWING MASONRY UNITS
- UNITS WITH HOLES.
- UNITS WITH CHIPPED EDGES OR CORNERS. 3. UNITS WITH SMALL AREAS OF DEEP DETERIORATION.
- B. REMOVE AND REPLACE EXISTING PATCHES, UNLESS OTHERWISE INDICATED OR APPROVED BY ARCHITECT
- C. PATCHING BRICKS:
 - REMOVE LOOSE MATERIAL FROM BRICK SURFACE. REMOVE ADDITIONAL MATERIAL SO PATCH WILL NOT HAVE FEATHERED EDGES AND WILL BE AT LEAST 1/4 INCH (6 MM) THICK. BUT NOT LESS THAN RECOMMENDED BY PATCHING COMPOUND MANUFACTURER.
- MASK OR REMOVE SURROUNDING MORTAR JOINTS IF PATCH WILL EXTEND TO EDGE OF BRICK.
- MIX PATCHING COMPOUND IN INDIVIDUAL BATCHES TO MATCH EACH UNIT BEING PATCHED. COMBINE ONE OR MORE COLORS OF PATCHING COMPOUND, AS NEEDED, TO PRODUCE EXACT MATCH. RINSE SURFACE TO BE PATCHED AND LEAVE DAMP, BUT WITHOUT
- BRUSH-COAT SURFACES WITH SLURRY COAT OF PATCHING COMPOUND ACCORDING TO MANUFACTURER'S WRITTEN
- INSTRUCTIONS. 6. PLACE PATCHING COMPOUND IN LAYERS AS RECOMMENDED BY PATCHING COMPOUND MANUFACTURER, BUT NOT LESS THAN 1/4 INCH (6 MM) OR MORE THAN 2 INCHES (50 MM) THICK. ROUGHEN
- SURFACE OF EACH LAYER TO PROVIDE A KEY FOR NEXT LAYER. TROWEL, SCRAPE, OR CARVE SURFACE OF PATCH TO MATCH TEXTURE AND SURFACE PLANE OF SURROUNDING BRICK. SHAPE AND FINISH SURFACE BEFORE OR AFTER CURING. AS DETERMINED BY TESTING, TO BEST MATCH EXISTING BRICK.
- 8. KEEP EACH LAYER DAMP FOR 72 HOURS OR UNTIL PATCHING COMPOUND HAS SET.

- REPOINTING MASONRY VERIFY AND COORDINATE WITH ARCH. DWGS. A. RAKE OUT AND RE-POINT MORTAR JOINTS TO THE FOLLOWING
 - 1. ALL JOINTS IN AREAS INDICATED.
 - 2. JOINTS WHERE MORTAR IS MISSING OR WHERE THEY CONTAIN
 - 3. CRACKED JOINTS WHERE CRACKS CAN BE PENETRATED AT LEAST 1/4 INCH (6 MM) BY A KNIFE BLADE 0.027 INCH (0.7 MM) THICK. 4. CRACKED JOINTS WHERE CRACKS ARE 1/8 INCH (3 MM) OR MORE IN
 - WIDTH AND OF ANY DEPTH. 5. JOINTS WHERE THEY SOUND HOLLOW WHEN TAPPED BY METAL
 - 6. JOINTS WHERE THEY ARE WORN BACK 1/4 INCH (6 MM) OR MORE FROM SURFACE.
- 7. JOINTS WHERE THEY ARE DETERIORATED TO POINT THAT MORTAR CAN BE EASILY REMOVED BY HAND. 8. JOINTS, OTHER THAN THOSE INDICATED AS SEALANT-FILLED JOINTS, WHERE THEY HAVE BEEN FILLED WITH SUBSTANCES
- B. DO NOT RAKE OUT AND RE-POINT JOINTS WHERE NOT REQUIRED.
- C. RAKE OUT JOINTS AS FOLLOWS:

TYPICAL BRICK MASONRY REPAIR NOTES

* - CONTRACTOR MAY PROVIDE NEW BRICKS TO MATCH EXISTING WITH WRITTEN APPROVAL FROM THE OWNER AND ARCHITECT

OTHER THAN MORTAR.

- 1. REMOVE MORTAR FROM JOINTS TO DEPTH OF 2 TIMES JOINT WIDTH, BUT NOT LESS THAN 1/2 INCH (13 MM) OR NOT LESS THAN THAT REQUIRED TO EXPOSE SOUND, UN-WEATHERED MORTAR.
- 2. REMOVE MORTAR FROM MASONRY SURFACES WITHIN RAKED-OUT JOINTS TO PROVIDE REVEALS WITH SQUARE BACKS AND TO EXPOSE MASONRY FOR CONTACT WITH POINTING MORTAR. BRUSH, VACUUM. OR FLUSH JOINTS TO REMOVE DIRT AND LOOSE DEBRIS.
- 3. DO NOT SPALL EDGES OF MASONRY UNITS OR WIDEN JOINTS. REPLACE OR PATCH DAMAGED MASONRY UNITS AS DIRECTED BY ARCHITECT.
 - a. CUT OUT CENTER OF MORTAR BED JOINTS USING ANGLE GRINDERS WITH DIAMOND-IMPREGNATED METAL BLADES. REMOVE REMAINING MORTAR BY HAND WITH CHISEL AND MALLET STRICTLY ADHERE TO WRITTEN QUALITY-CONTROL PROGRAM. QUALITY-CONTROL PROGRAM SHALL INCLUDE PROVISIONS FOR DEMONSTRATING ABILITY OF OPERATORS TO USE TOOLS WITHOUT DAMAGING MASONRY, SUPERVISING PERFORMANCE, AND PREVENTING DAMAGE DUE TO WORKER FATIGUE.

- . NOTIFY ENGINEER OF UNFORESEEN DETRIMENTAL CONDITIONS INCLUDING VOIDS IN MORTAR JOINTS, CRACKS, LOOSE MASONRY UNITS, ROTTED WOOD, RUSTED METAL, AND OTHER DETERIORATED
- E. POINT JOINTS AS FOLLOWS:
- 1. RINSE MASONRY-JOINT SURFACES WITH WATER TO REMOVE DUST AND MORTAR PARTICLES. TIME RINSING APPLICATION SO, AT TIME OF POINTING, JOINT SURFACES ARE DAMP BUT FREE OF STANDING WATER. IF RINSE WATER DRIES, DAMPEN MASONRY-JOINT SURFACES BEFORE POINTING.
- 2. APPLY POINTING MORTAR FIRST TO AREAS WHERE EXISTING MORTAR WAS REMOVED TO DEPTHS GREATER THAN SURROUNDING AREAS. APPLY IN LAYERS NOT GREATER THAN 3/8 INCH (9 MM) UNTIL A UNIFORM DEPTH IS FORMED. FULLY COMPACT EACH LAYER THOROUGHLY AND ALLOW IT TO BECOME THUMBPRINT HARD BEFORE APPLYING NEXT LAYER.
- 3. AFTER LOW AREAS HAVE BEEN FILLED TO SAME DEPTH AS REMAINING JOINTS, POINT ALL JOINTS BY PLACING MORTAR IN LAYERS NOT GREATER THAN 1/4 INCH (9 MM). FULLY COMPACT EACH LAYER AND ALLOW TO BECOME THUMBPRINT HARD BEFORE APPLYING NEXT LAYER. WHERE EXISTING BRICKS HAVE WORN OR ROUNDED EDGES, SLIGHTLY RECESS FINISHED MORTAR SURFACE BELOW FACE OF MASONRY TO AVOID WIDENED JOINT FACES. TAKE CARE NOT TO SPREAD MORTAR OVER EDGES ONTO EXPOSED
- MASONRY SURFACES OR TO FEATHEREDGE MORTAR. 4. WHEN MORTAR IS THUMBPRINT HARD, TOOL JOINTS TO MATCH ORIGINAL APPEARANCE OF JOINTS. REMOVE EXCESS MORTAR FROM EDGE OF JOINT BY BRUSHING.
- CURE MORTAR BY MAINTAINING IN THOROUGHLY DAMP CONDITION FOR AT LEAST 72 HOURS INCLUDING WEEKENDS AND HOLIDAYS.
- 1. ACCEPTABLE CURING METHODS INCLUDE COVERING WITH WET BURLAP AND PLASTIC SHEETING, PERIODIC HAND MISTING, AND PERIODIC MIST SPRAYING USING SYSTEM OF PIPES. MIST HEADS, AND
- 2. ADJUST CURING METHODS TO ENSURE THAT POINTING MORTAR IS DAMP THROUGHOUT ITS DEPTH WITHOUT ERODING SURFACE MORTAR.

REPLACE DAMAGED

REMOVE EXISTING SEALANT AS APPLICABLE

SAW-CUT CRACK TO 1/4" MIN. JOINT WIDTH IF

NECESSARY: INSTALL CLOSED-CELL BACKER-ROD AND SEALANT PER "TYPICAL CRACK

SEALANT DETAIL" ON THIS SHEET

NEW WORK

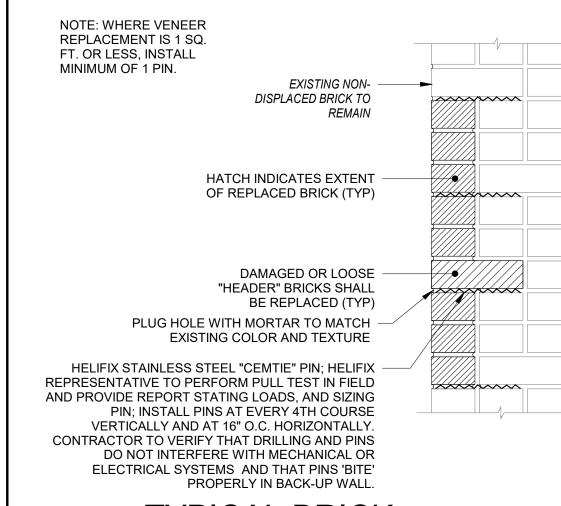
BRICK AS NECESSARY

G. WHERE RE-POINTING WORK PRECEDES CLEANING OF EXISTING MASONRY, ALLOW MORTAR TO HARDEN AT LEAST 30 DAYS BEFORE BEGINNING CLEANING WORK.

"HELIFIX" STAINLESS STEEL CRACK STITCHING "HELIBAR" PLACED EVERY FOURTH BRICK

COURSE VERTICALLY ON EXTERIOR AND

INTERIOR WALL FACES (TYP.)



TYPICAL BRICK

- START OF CONSTRUCTION.
- ALL WORK AND PREPARATION SHALL BE TO STRICT ADHERENCE OF
- ALL MATERIALS NOTED AS "SIKA" SHALL BE AS MANUFACTURED BY "SIKA CORPORATION" OF LYNDHURST, NJ, OR AN APPROVED EQUAL. ALL NEW REPAIR MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS BY QUALIFIED INSTALLERS. THE CONTRACTOR SHALL PROVIDE UNIT PRICES FOR ALL WORK. A QUALIFIED REPRESENTATIVE OF REPAIR MATERIAL MANUFACTURER SHALL BE ENGAGED AT THE CONTRACTOR'S EXPENSE TO SUPERVISE PROCEDURES AND
- ALL MATERIALS NOTED AS 'HELIFIX' SHALL BE AS MANUFACTURED BY "HELIFIX INC." OF STREETSBORO, OH, OR AN APPROVED EQUAL. 'HELIFIX' PINS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS BY QUALIFIED INSTALLERS RESIST 50 PSF WIND LOAD SUCTION. 'HELIFIX' REPRESENTATIVE TO TO BE USED AND ANTICIPATED PULL OUT LOADS

NOTE: CONTRACTOR TO VERIFY THAT INSTALLATION OF 'HELIFIX' BARS DOES NOT INTERFERE WITH MECHANICAL SYSTEMS (PIPES, ELECTRIC

NOTES REGARDING BRICK MASONRY REPAIR DETAILS-ALL BRICK MASONRY REPAIR DETAILS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND DETAILS

PRODUCT SPECIFICATION NOTE

- SUBMIT PRODUCT SPECS TO BE USED FOR APPROVAL PRIOR TO
- PRODUCT SPECIFICATIONS.
- PLACEMENT OF ALL RESTORATION PRODUCTS.
- 'HELIFIX' PINS SHALL BE STAINLESS STEEL AND SHALL BE INSTALLED TO PERFORM FIELD PULL TEST AND SUBMIT REPORT STATING SIZE OF TIES

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Checked: Checker

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TYPICAL BRICK MASONRY REPAIR DETAILS

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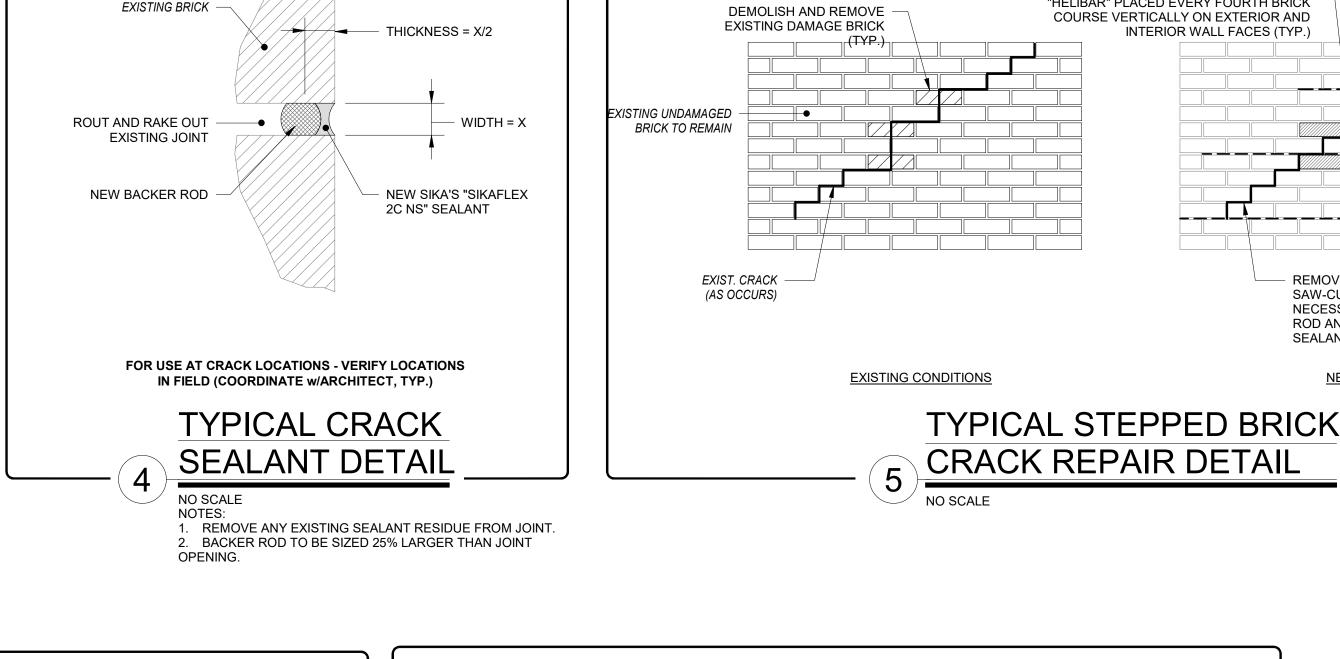
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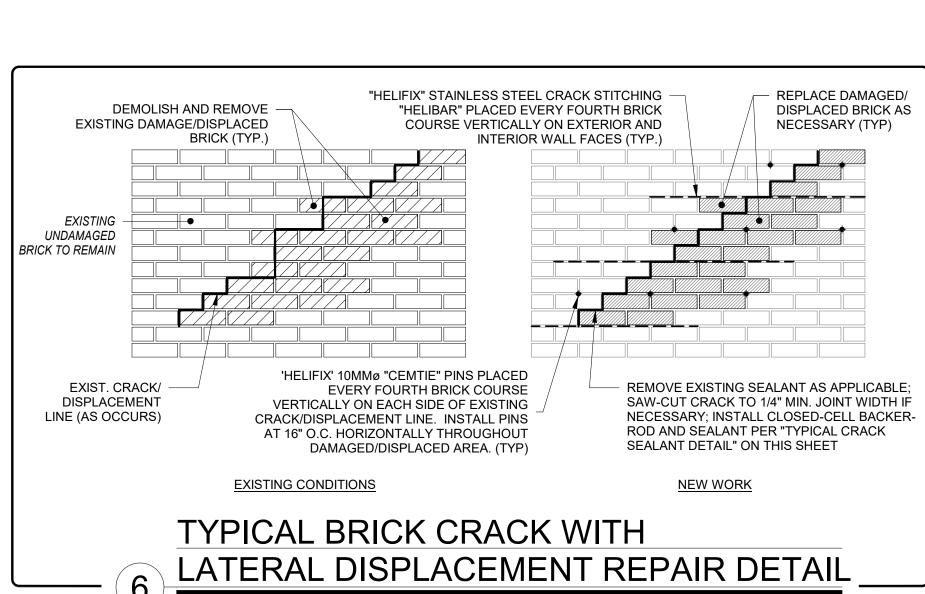
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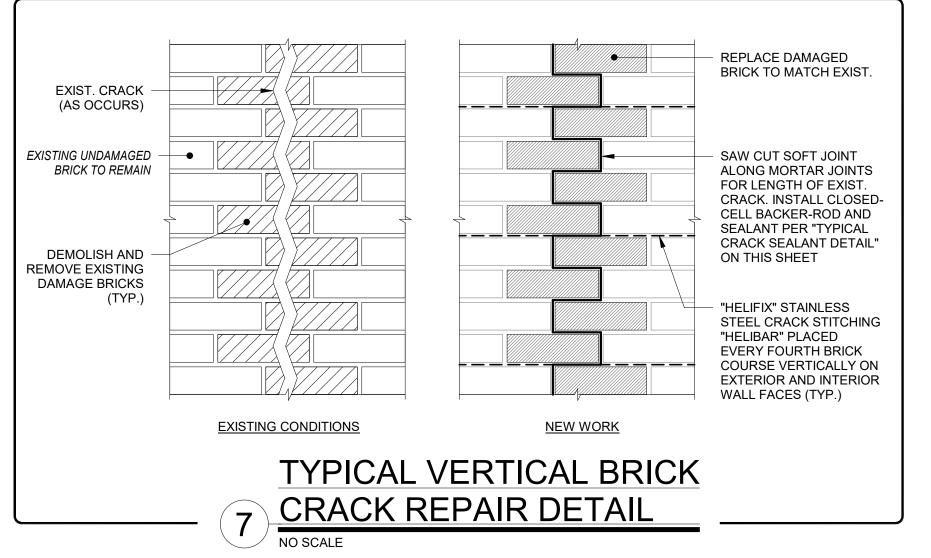
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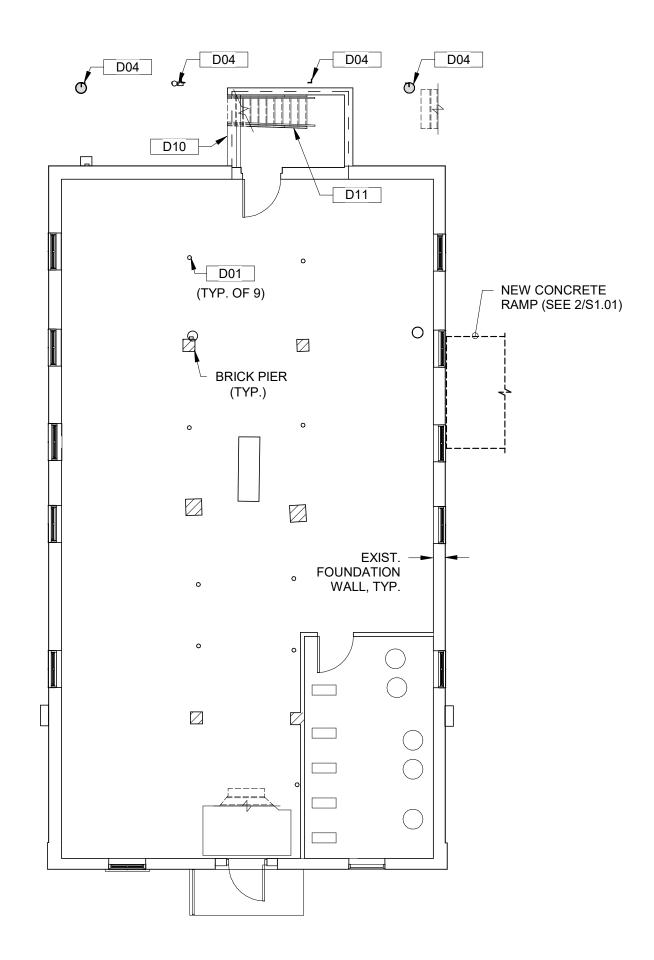
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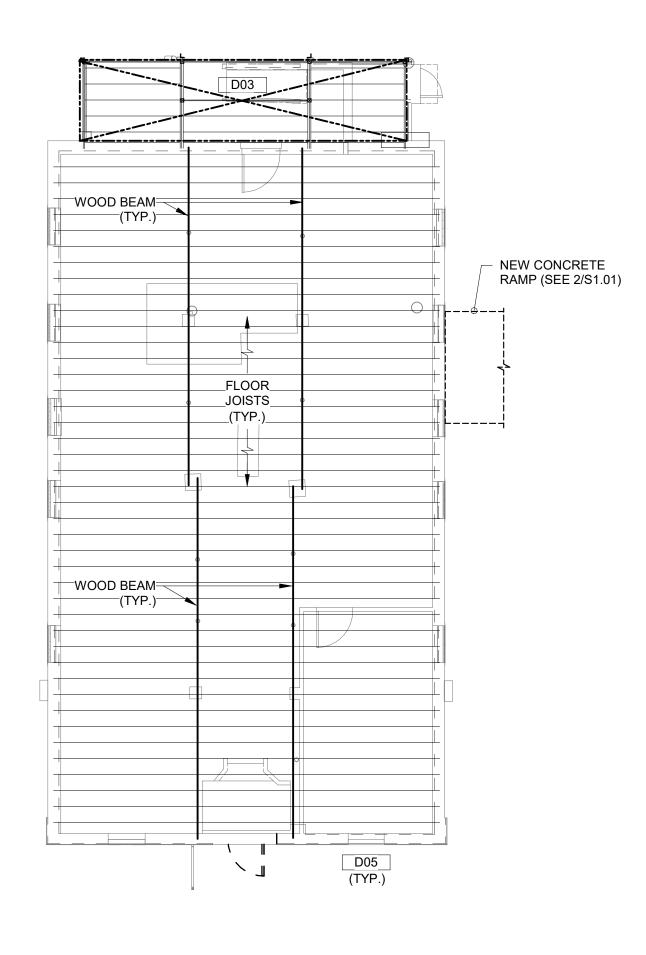
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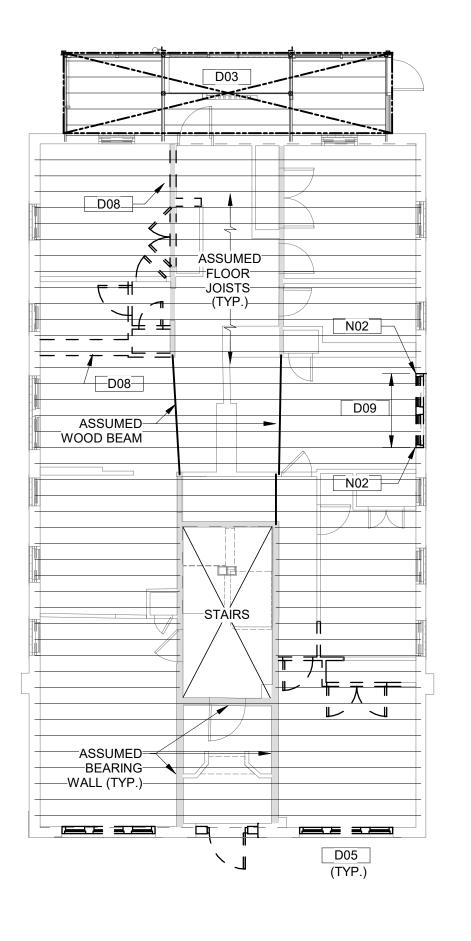


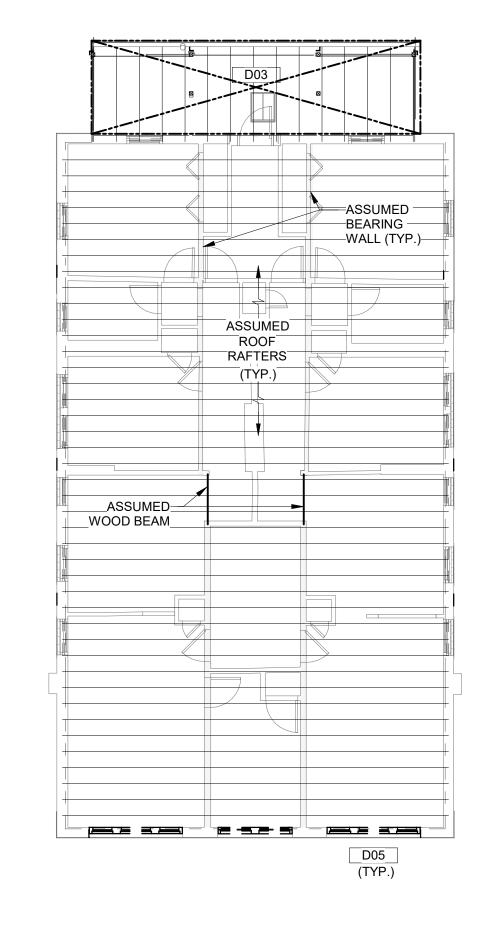














EXISTING 1st

PLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

EXISTING 2nd & 3rd

FLOOR FRAMING PLAN

SCALE: 1/8" = 11:0"



STRUCTURAL DEMO NOTES Key Value **Keynote Text** EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL". EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF. EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS. EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED. PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR. EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

ALL DETAILS WITH THE ARCHITECT.

	NEW CONDITIONS NOTES					
	Key Value	Keynote Text				
N02		PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".				
N03		PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.				

—TYPICAL BRICK MASONRY PIER NOTE———

IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

TYPICAL WOOD PORCH STAIR NOTE

THE EXISTING WOOD STRINGERS IN THE PORCH AREAS WERE NOT FOUND TO BE POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

——TYPICAL INTERIOR FOOTING NOTE—

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Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Key Plan:

Scale: As indicated



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 1 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

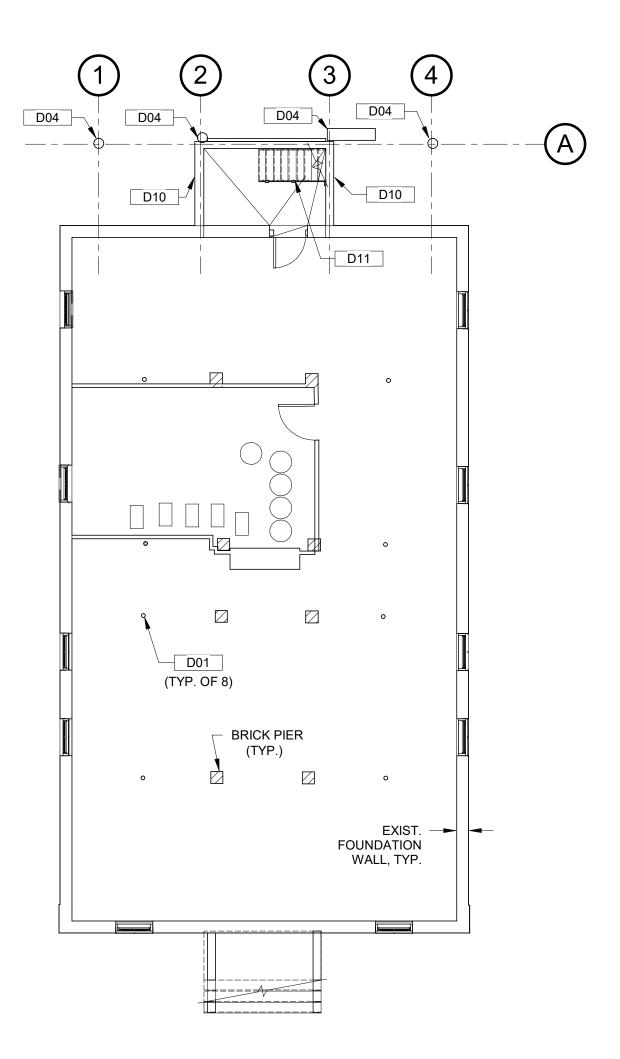
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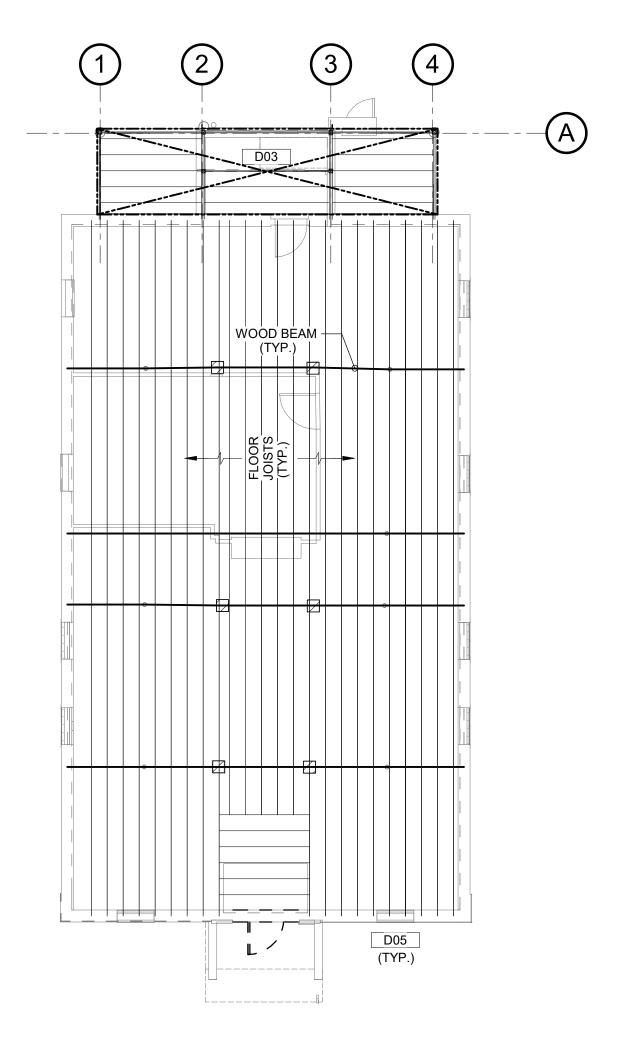
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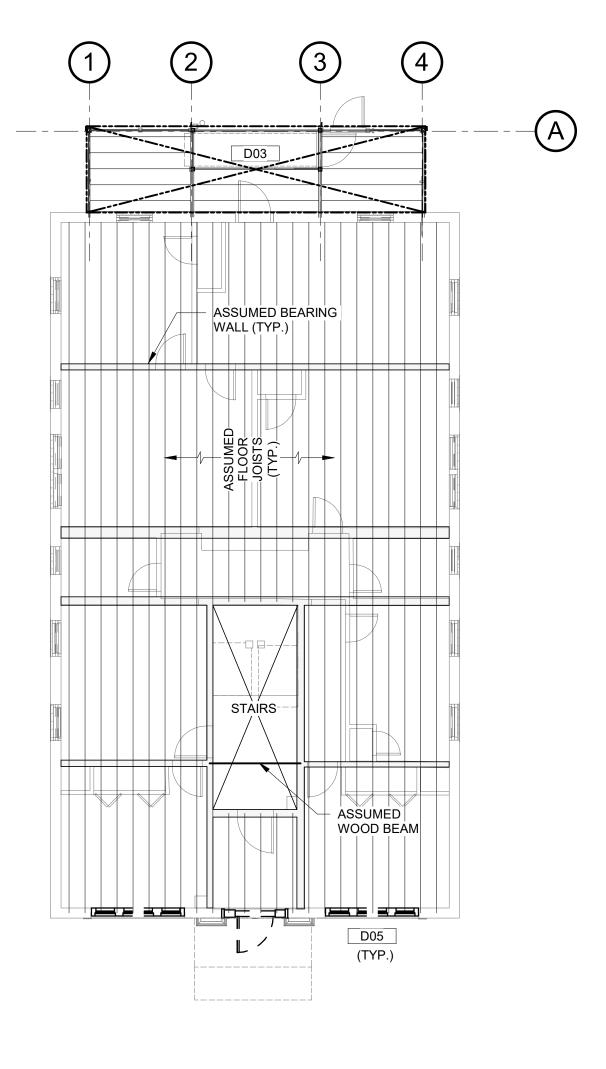
FEBRUARY 24, 2023

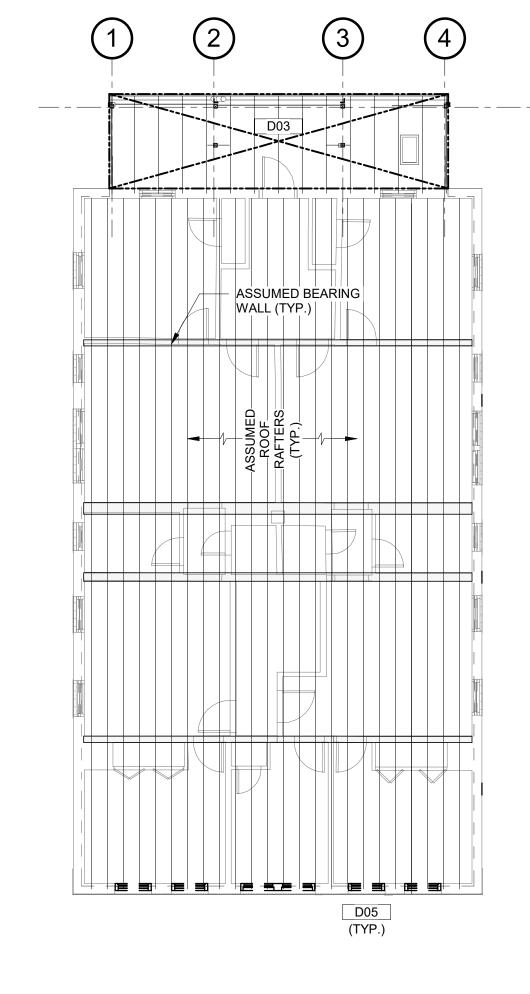
Sheet Number:

SE1.01











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EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"

EXISTING 1st 2 FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

EXISTING 2nd & 3rd 3 FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

EXISTING 4 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES				
Key Value	Keynote Text			
D01	EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL".			
D02	EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.			
D03	EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH \$1.04 FOR NEW PORCH FRAMING REQUIREMENTS.			
D04	REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.			
D05	EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.			
D06	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.			
D07	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.			
D08	EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED.			
D09	PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR.			
D10	EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.			
D11	EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE			

ALL DETAILS WITH THE ARCHITECT.

NEW CONDITIONS NOTES					
Key Value	Keynote Text				
N02	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".				
N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.				

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BEDFORD **GARDENS**

Project Name:

Drawn: BJL, KLM

As indicated

Checked: DJO

Scale: Key Plan:

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 2 EXISTING STRUCTURAL PLANS

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Project Number:

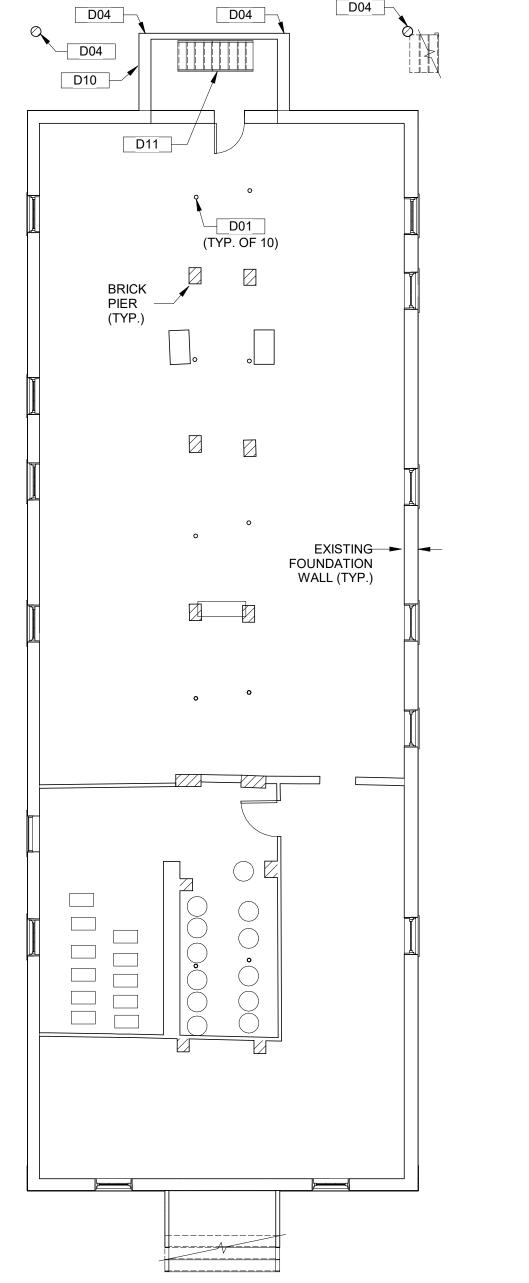
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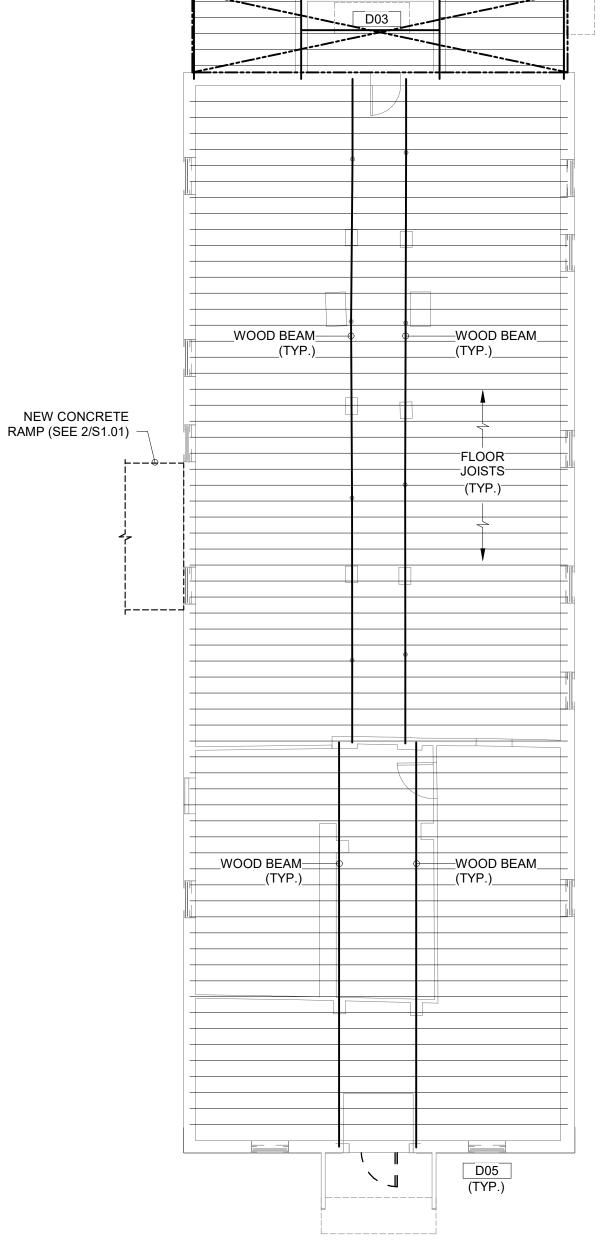
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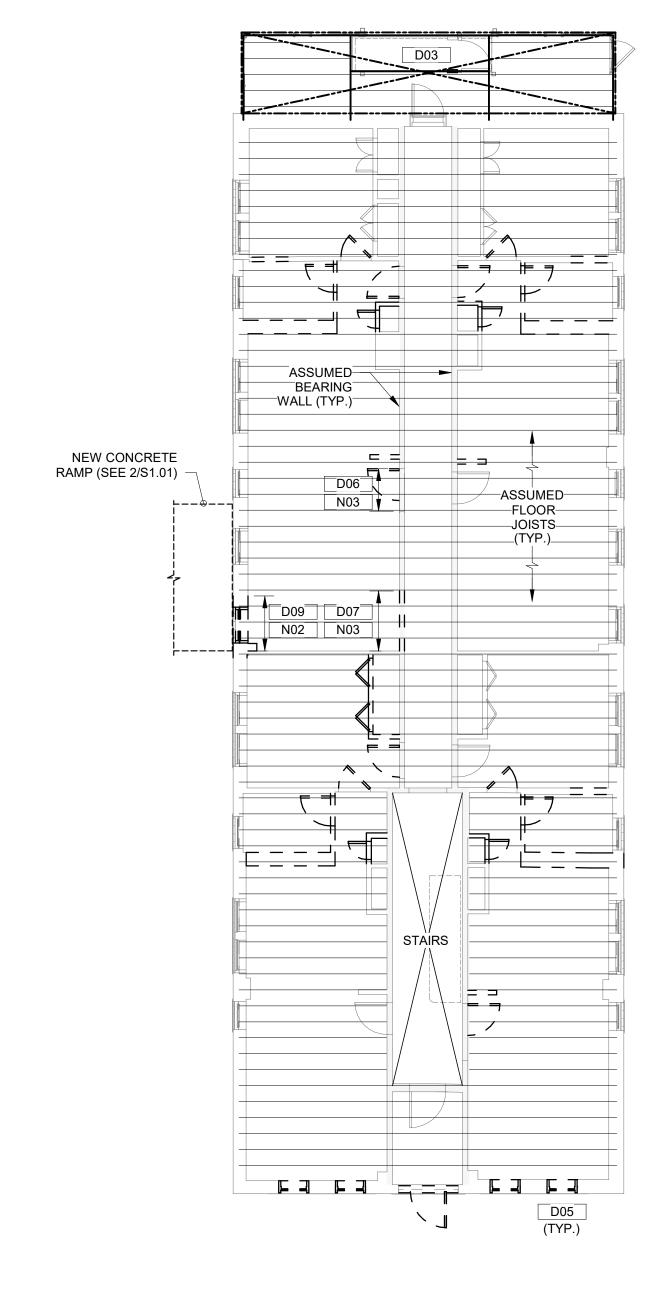
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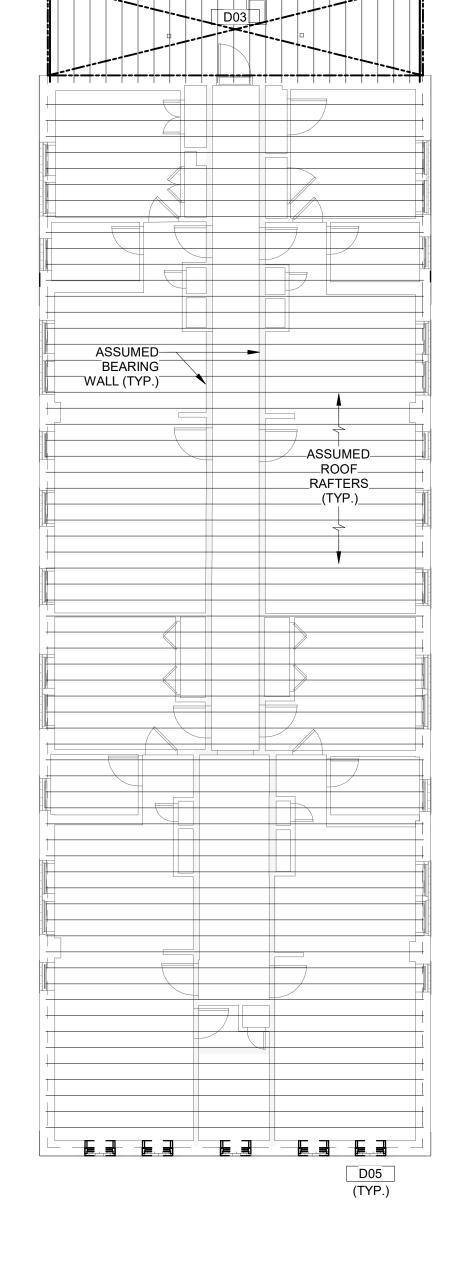
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SE1.02









EXISTING 4 ROOF FRAMING PLAN

EXISTING BASEMENT PLAN

EXISTING 1st 2 FLOOR FRAMING PLAN

STUDS ON EACH SIDE.

EXISTING 2nd & 3rd

3 FLOOR FRAMING PLAN

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Architect of Record:

Consultant:

Drawn: BJL, KLM

Checked: DJO As indicated Scale:

Project Name:

Key Plan:

BEDFORD **GARDENS**

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 3 EXISTING STRUCTURAL PLANS

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Project Number:

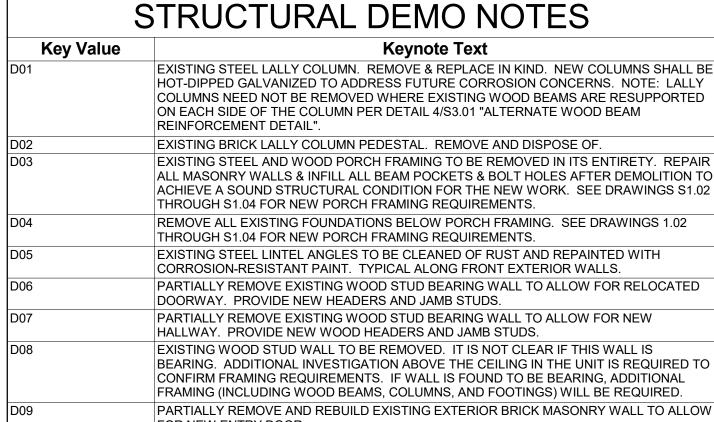
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Issue Date:

FEBRUARY 24, 2023

Sheet Number:

SE1.03



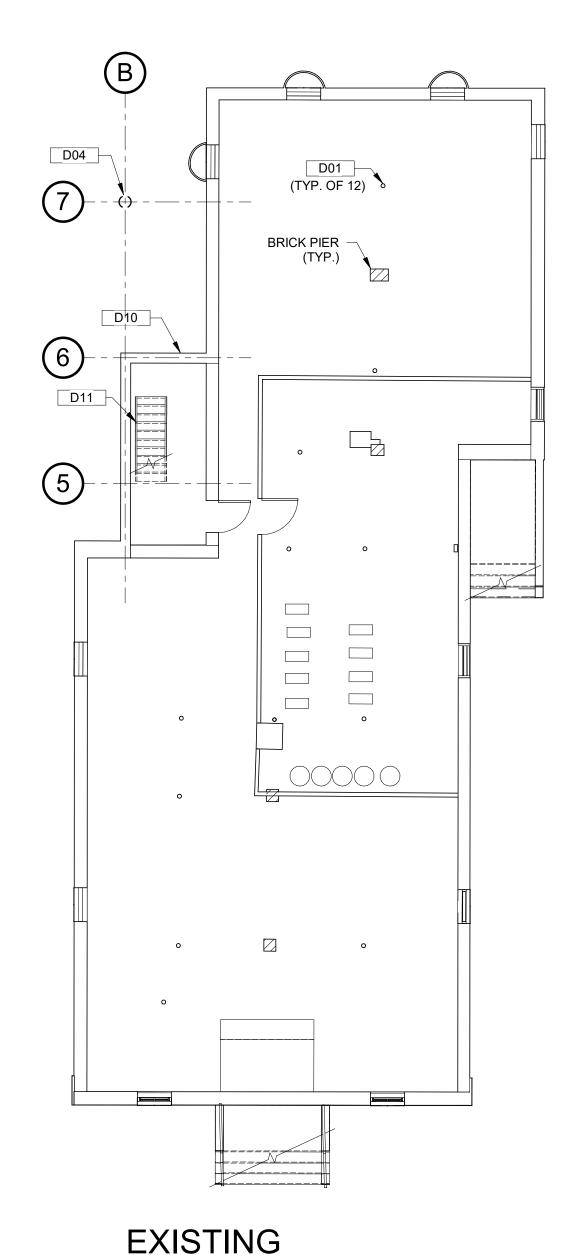
ALL DETAILS WITH THE ARCHITECT.

FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.

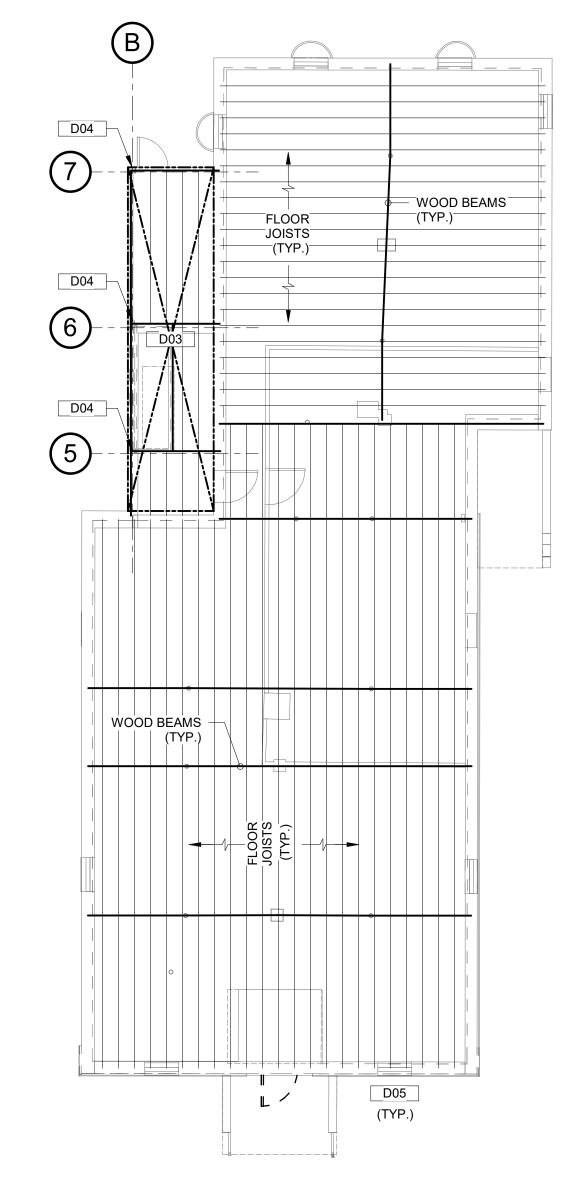
EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

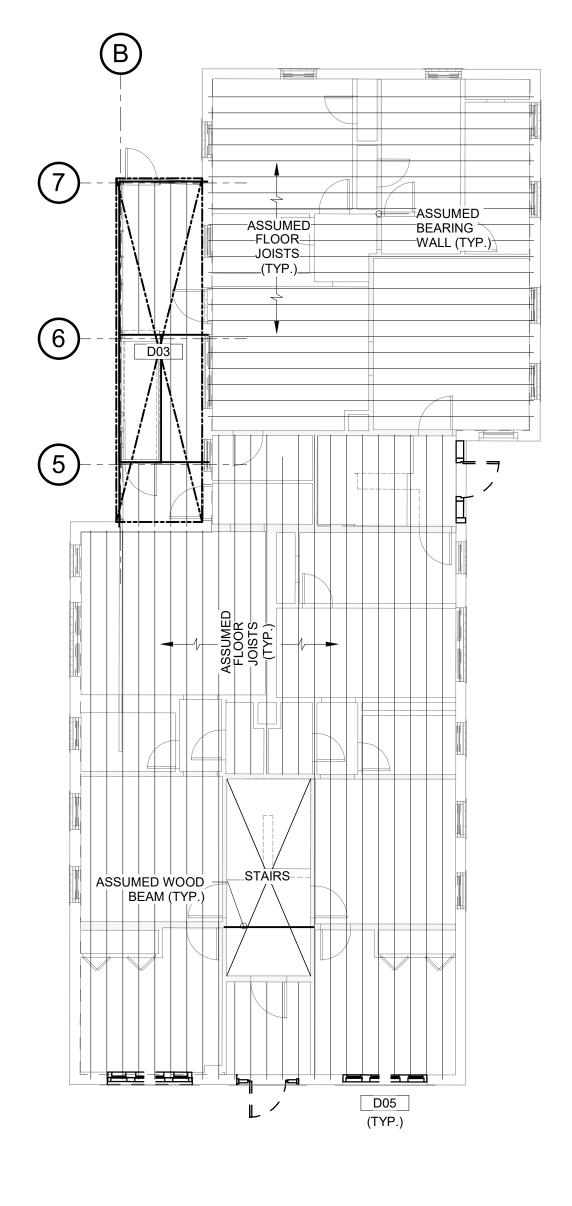
NEW CONDITIONS NOTES

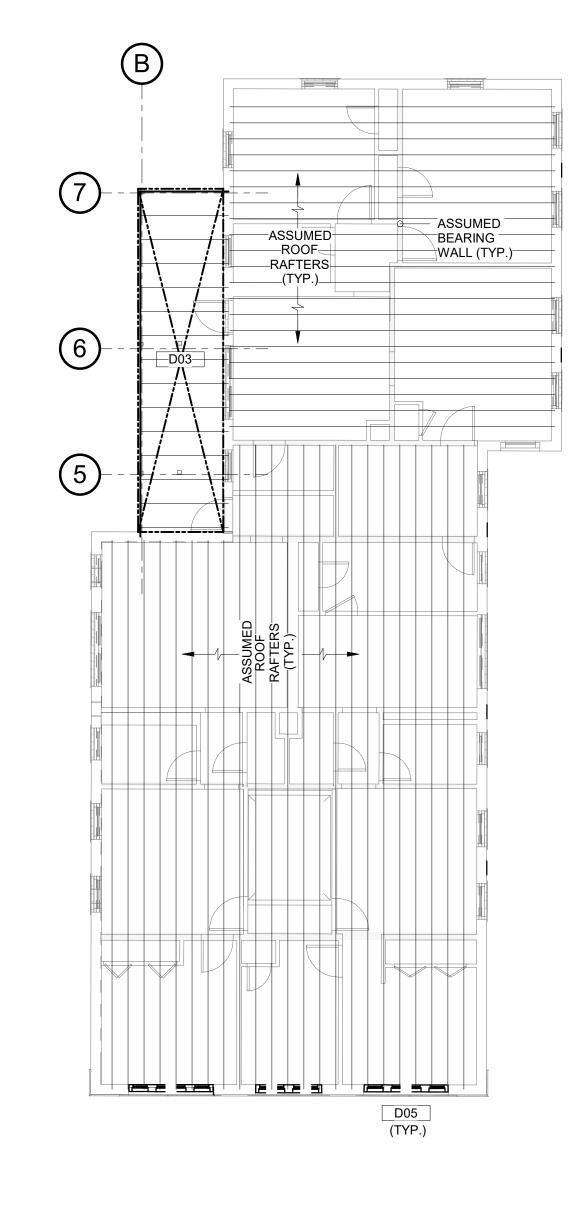
Key Value **Keynote Text** PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0''. PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB



BASEMENT PLAN







EXISTING 1st FLOOR FRAMING PLAN

EXISTING 2nd & 3rd FLOOR FRAMING PLAN

EXISTING ROOF FRAMING PLAN

STRUCTURAL DEMO NOTES Key Value Keynote Text EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL". EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF. EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS. EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED. PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR. EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE ALL DETAILS WITH THE ARCHITECT.

		NEW CONDITIONS NOTES
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BUILDING 4 EXISTING STRUCTURAL PLANS

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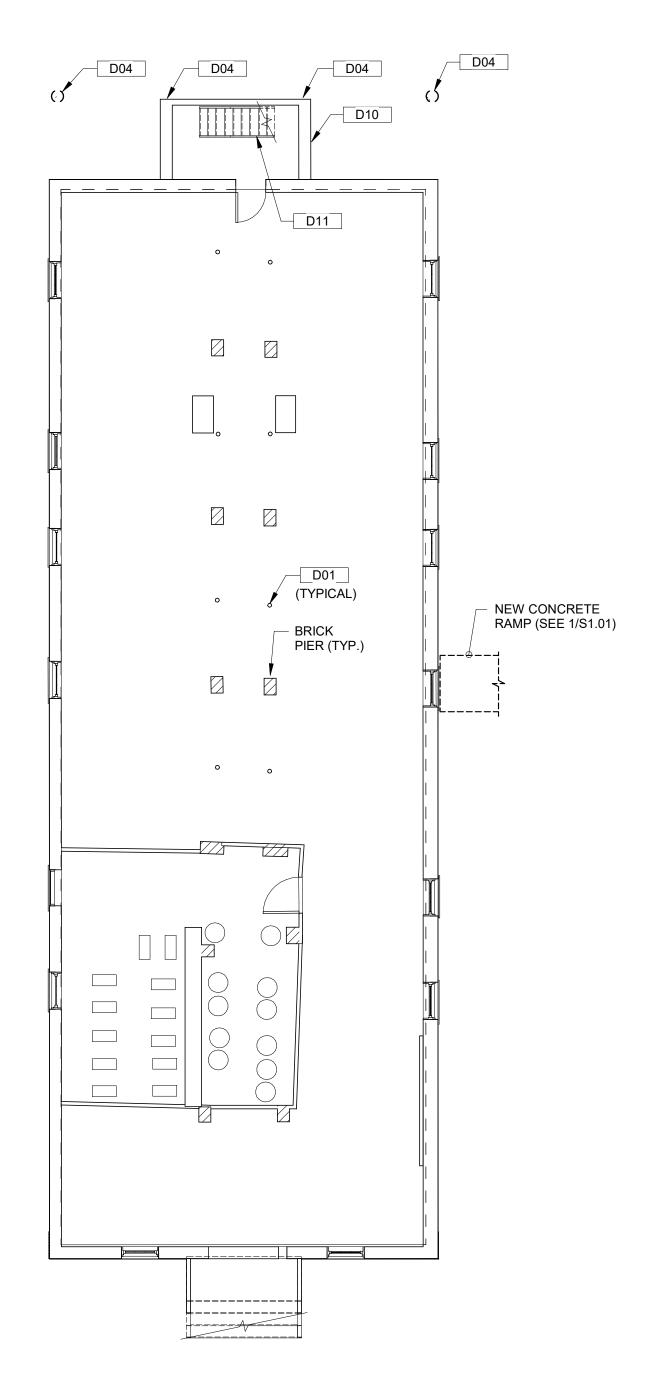
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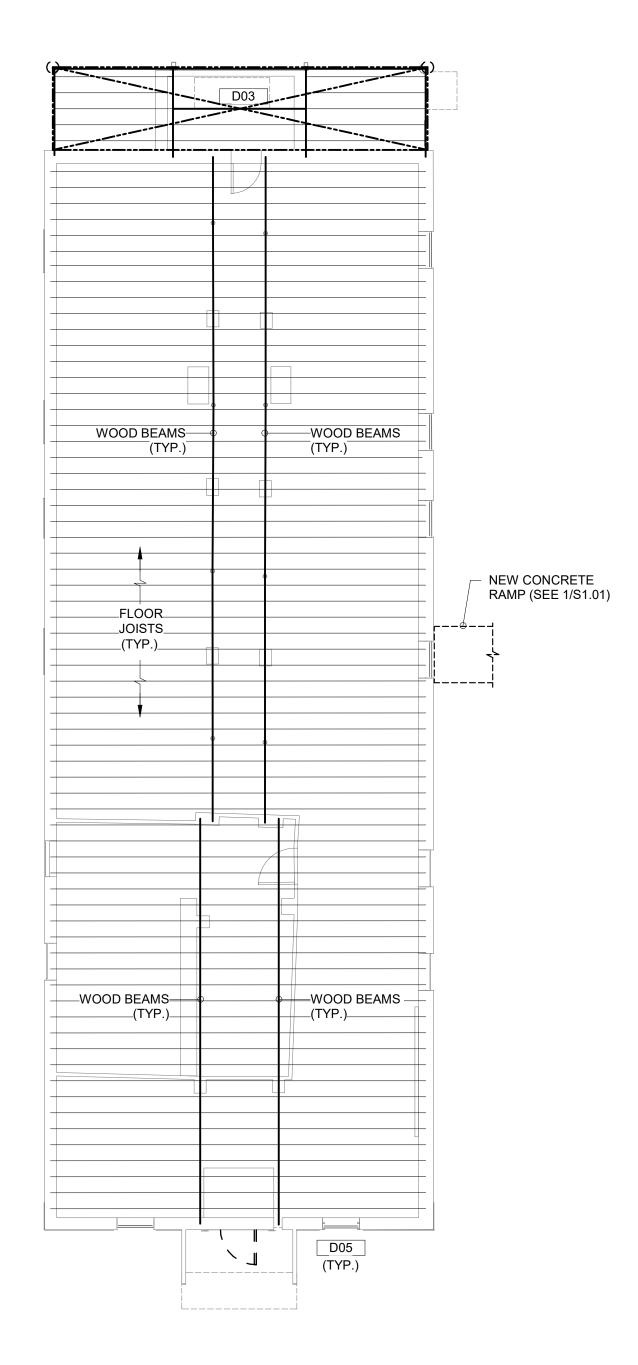
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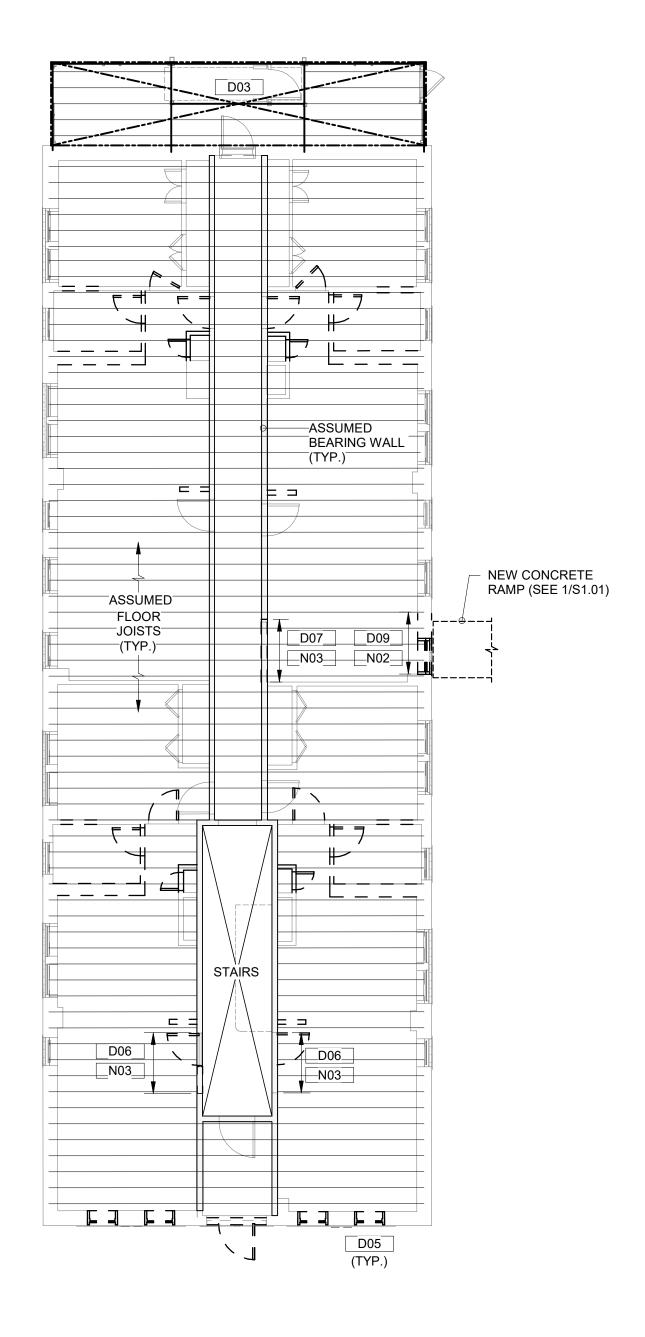
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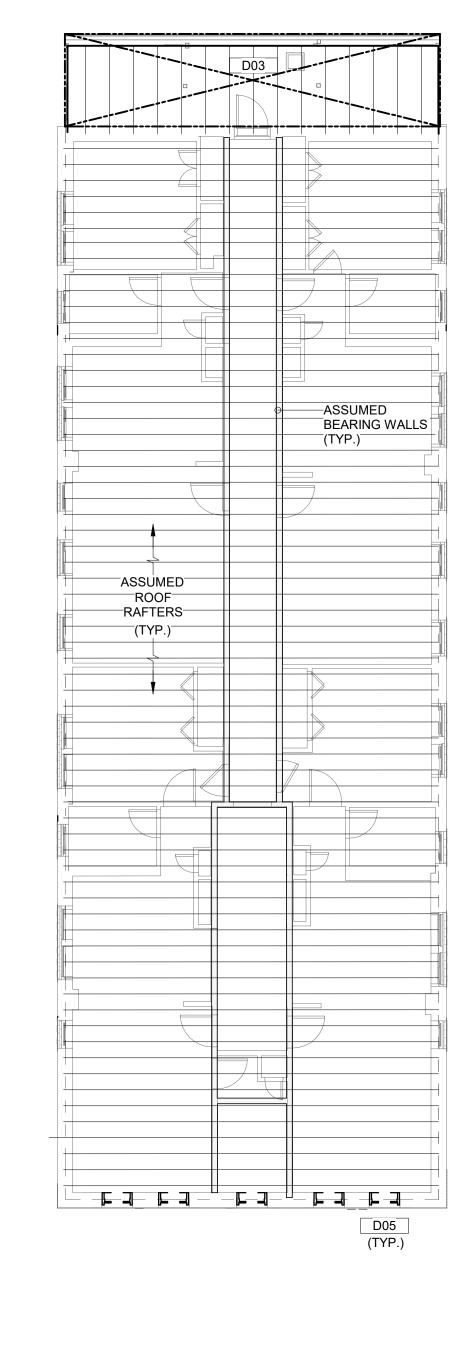
FEBRUARY 24, 2023

Sheet Number:









EXISTING BASEMENT PLAN SCALE: 1/8" = 1'-0"

REINFORCEMENT DETAIL".

FOR NEW ENTRY DOOR.

ALL DETAILS WITH THE ARCHITECT.

STRUCTURAL DEMO NOTES

Keynote Text

EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE

HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY

COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED

EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO

ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02

REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02

PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED

BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO

PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW

EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL

FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED.

EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH

PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW

EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS

CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.

ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM

EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.

THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.

THROUGH \$1.04 FOR NEW PORCH FRAMING REQUIREMENTS.

HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.

EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.

DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.

NEW CONDITIONS NOTES Key Value Keynote Text PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0". PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB

EXISTING 1st

2 FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

STUDS ON EACH SIDE.

EXISTING 2nd & 3rd FLOOR FRAMING PLAN SCALE: 1/8" = 11 0"

TYPICAL BRICK MASONRY PIER NOTE

IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

TYPICAL WOOD PORCH STAIR NOTE THE EXISTING WOOD STRINGERS IN THE PORCH AREAS WERE NOT FOUND TO BE

POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

—TYPICAL INTERIOR FOOTING NOTE—

DUE TO THE BASEMENT SLAB ON GRADE, THE EXISTING SIZES & CONDITIONS OF THE EXISTING CONCRETE FOUNDATIONS BELOW THE EXISTING STEEL LALLY COLUMNS AND BRICK PIERS WERE NOT VISIBLE. EXISTING FOOTING SIZES MUST BE VERIFIED PRIOR TO INSTALLING NEW COLUMNS. IF NO FOOTING IS FOUND (I.E., IF COLUMNS ARE BEARING DIRECTLY UPON THE EXISTING SLAB ON GRADE), NEW CONCRETE FOOTINGS SHALL BE PROVIDED. MINIMUM COLUMN SIZES SHALL BE 3 FT x 3 FT x 12", REINFORCED WITH 8-#5 BOTTOM BARS (4 BARS, EACH WAY). FOOTINGS MAY BE SET ATOP BASEMENT SLABS IF SOILS BELOW ARE SUITABLE FOR BEARING.

EXISTING ROOF FRAMING PLAN

GENERAL FRAMING NOTE

MOST UNITS WERE OCCUPIED DURING THE INVESTIGATION PHASE AND NO ACCESS TO VIEW THE FRAMING WAS POSSIBLE. MOST OF THE FLOOR FRAMING IN THE BASEMENT AREAS WAS COVERED WITH A GYPSUM CEILING, PREVENTING DIRECT OBSERVATION OF THE FRAMING, WITH THE EXCEPTION OF THE FLOOR BEAMS, COLUMNS, AND CONCRETE PIERS, IN MOST CASES. FOR THIS REASON, THE FRAMING PLANS INCLUDED IN THIS SET OF DRAWINGS ARE SCHEMATIC AND ARE BASED UPON THESE LIMITED VISUAL OBSERVATIONS. ALL FRAMING AREAS MUST BE FIELD-VERIFIED WHERE NEW WORK WILL BE PERFORMED TO EITHER CONFIRM OR TO CORRECT THE ASSUMPTIONS SHOWN HEREIN.

EXISTING LALLY COLUMN NOTE —

DUE TO THE EXTENT OF DETERIORATION OBSERVED AROUND THE BASES OF MOST LALLY COLUMNS IN THE VARIOUS BUILDINGS, THIS OFFICE RECOMMENDS THE REMOVAL AND REPLACEMENT OF ALL EXISTING STEEL LALLY COLUMNS IN-KIND.

EXISTING WOOD BEAM REINFORCEMENT NOTE

VARIOUS WOOD BEAMS WERE FOUND TO BE SPLIT ALONG THEIR LENGTHS. FOR PLANNING PURPOSES, ASSUME THAT FOUR WOOD BEAMS IN EACH BUILDING WILL REQUIRE REINFORCEMENT. BEAM REINFORCEMENT WILL REQUIRE THE REMOVAL AND REATTACHMENT OF ANY ELECTRICAL WIRING THAT IS CURRENTLY FASTENED TO EACH SIDE OF THE BEAM. REPAIR FROM ONE SIDE ONLY MAY BE POSSIBLE IF AN ADDITIONAL COLUMN AND FOOTING IS PROVIDED ALONG THE SPAN OF THE BEAM OR IF A NEW BEAM IS INSTALLED DIRECTLY BELOW THE CRACKED BEAM. DETAILS AND SUPPORT CONDITIONS TO BE DETERMINED BASED UPON THE CHOSEN REINFORCEMENT METHOD.

EXTERIOR BRICK MASONRY REPAIR NOTE

EXISTING BUILDINGS SHALL BE INSPECTED TO QUANTIFY THE EXTENT OF MASONRY REPAIR REQUIRED. FOR PLANNING PURPOSES, ASSUME FOUR EXISTING BRICK ARCH WINDOW HEADERS WILL REQUIRE STRUCTURAL REPAIR. REPAIR DETAILS SHALL BE PROVIDED BY A MASONRY RESTORATION SPECIALIST.

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Drawn: BJL, KLM
Checked: DJO

As indicated

Key Plan:

OF CONNECTION

OF CONNECT

Project Name:

Scale:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 5 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

22020

Issue Date:

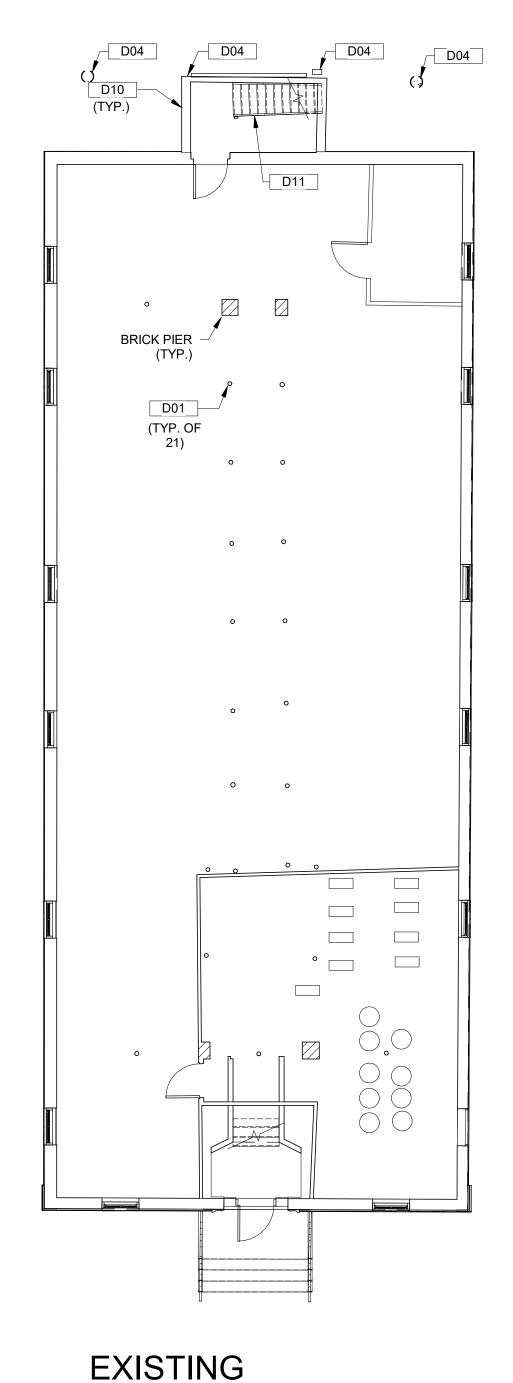
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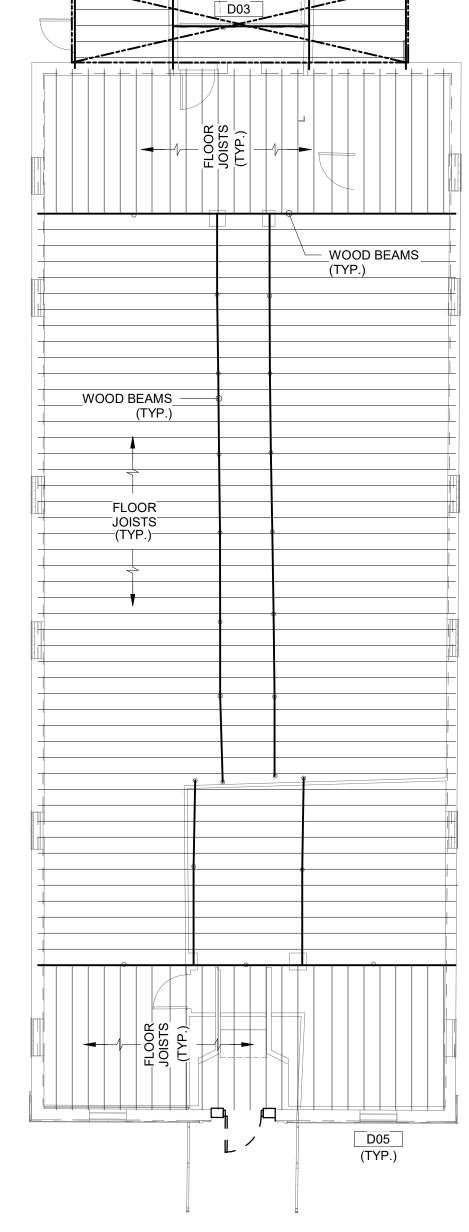
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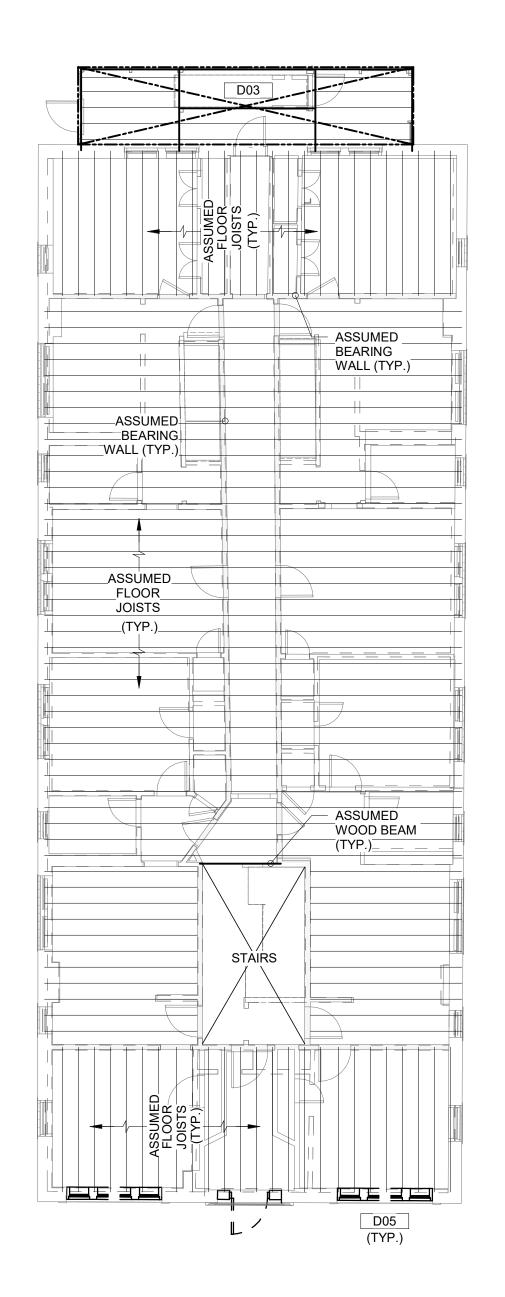


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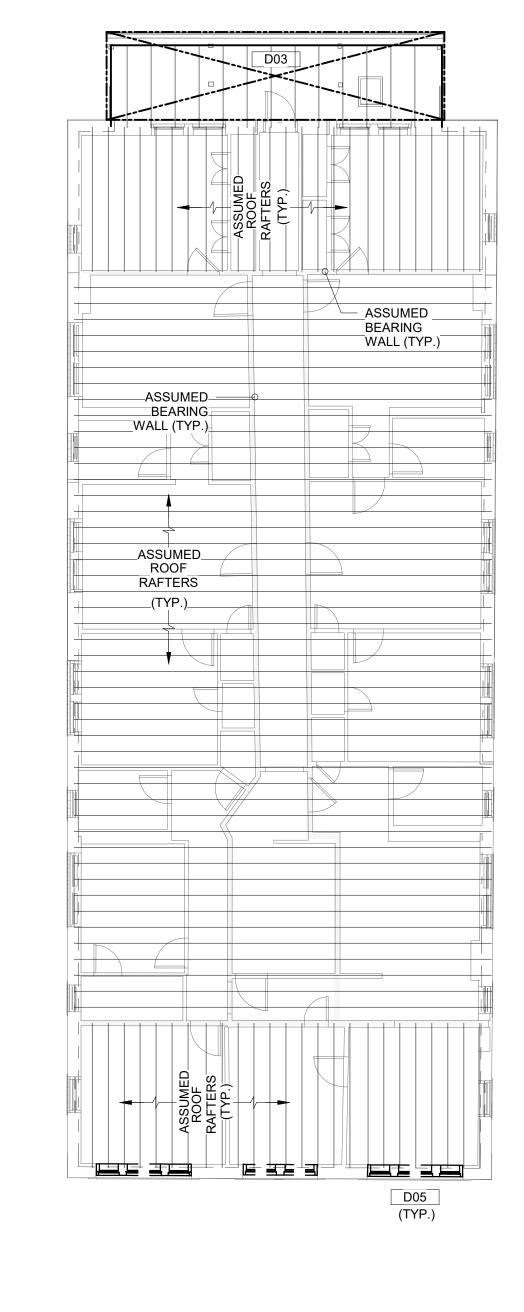














STRUCTURAL DEMO NOTES Key Value Keynote Text EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL B HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL". EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF. EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS S1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH \$1.04 FOR NEW PORCH FRAMING REQUIREMENTS. EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS. EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED. PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR. EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE ALL DETAILS WITH THE ARCHITECT.

BASEMENT PLAN

NEW CONDITIONS NOTES	
Key Value	Keynote Text
N02	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".
N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

TYPICAL BRICK MASONRY PIER NOTE IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR

POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS
MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO
ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

PLANNING PURPOSES.

—TYPICAL INTERIOR FOOTING NOTE—

DUE TO THE BASEMENT SLAB ON GRADE, THE EXISTING SIZES & CONDITIONS OF THE EXISTING CONCRETE FOUNDATIONS BELOW THE EXISTING STEEL LALLY COLUMNS AND BRICK PIERS WERE NOT VISIBLE. EXISTING FOOTING SIZES MUST BE VERIFIED PRIOR TO INSTALLING NEW COLUMNS. IF NO FOOTING IS FOUND (I.E., IF COLUMNS ARE BEARING DIRECTLY UPON THE EXISTING SLAB ON GRADE), NEW CONCRETE FOOTINGS SHALL BE PROVIDED. MINIMUM COLUMN SIZES SHALL BE 3 FT x 3 FT x 12", REINFORCED WITH 8-#5 BOTTOM BARS (4 BARS, EACH WAY). FOOTINGS MAY BE SET ATOP BASEMENT SLABS IF SOILS BELOW ARE SUITABLE FOR BEARING.

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MOST UNITS WERE OCCUPIED DURING THE INVESTIGATION PHASE AND NO ACCESS TO VIEW THE FRAMING WAS POSSIBLE. MOST OF THE FLOOR FRAMING IN THE BASEMENT AREAS WAS COVERED WITH A GYPSUM CEILING, PREVENTING DIRECT OBSERVATION OF THE FRAMING, WITH THE EXCEPTION OF THE FLOOR BEAMS, COLUMNS, AND CONCRETE PIERS, IN MOST CASES. FOR THIS REASON, THE FRAMING PLANS INCLUDED IN THIS SET OF DRAWINGS ARE SCHEMATIC AND ARE BASED UPON THESE LIMITED VISUAL OBSERVATIONS. ALL FRAMING AREAS MUST BE FIELD-VERIFIED WHERE NEW WORK WILL BE PERFORMED TO EITHER CONFIRM OR TO CORRECT THE ASSUMPTIONS SHOWN HEREIN.

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DUE TO THE EXTENT OF DETERIORATION OBSERVED AROUND THE BASES OF MOST LALLY COLUMNS IN THE VARIOUS BUILDINGS, THIS OFFICE RECOMMENDS THE REMOVAL AND REPLACEMENT OF ALL EXISTING STEEL LALLY COLUMNS IN-KIND.

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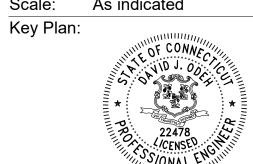
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odeh engineers structural engineers	North Prov Phone: Fax:	ral Spring Avenue vidence, RI 02904 401.724.1771 401.724.1981 hengineers.com
Revision:		

Architect of Record:

Consultant:

Drawn:	BJL, KLM
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Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 6 EXISTING STRUCTURAL PLANS

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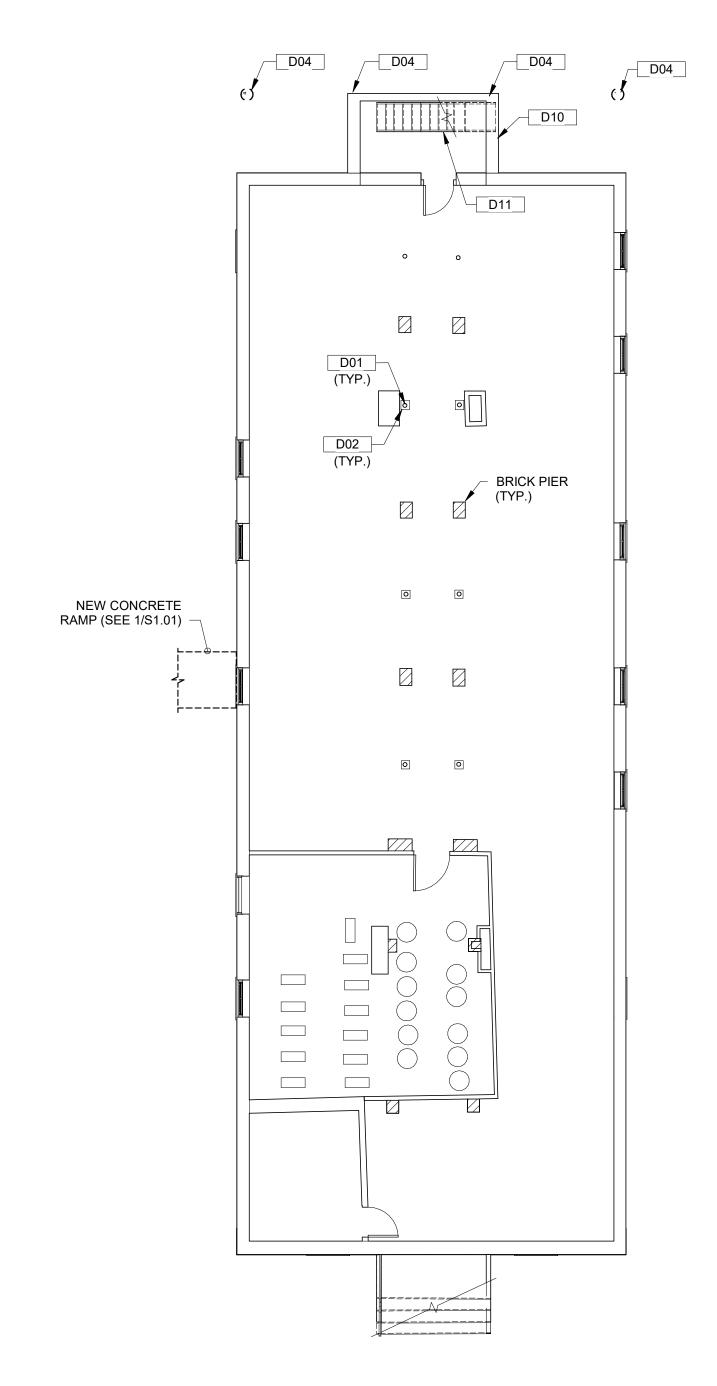
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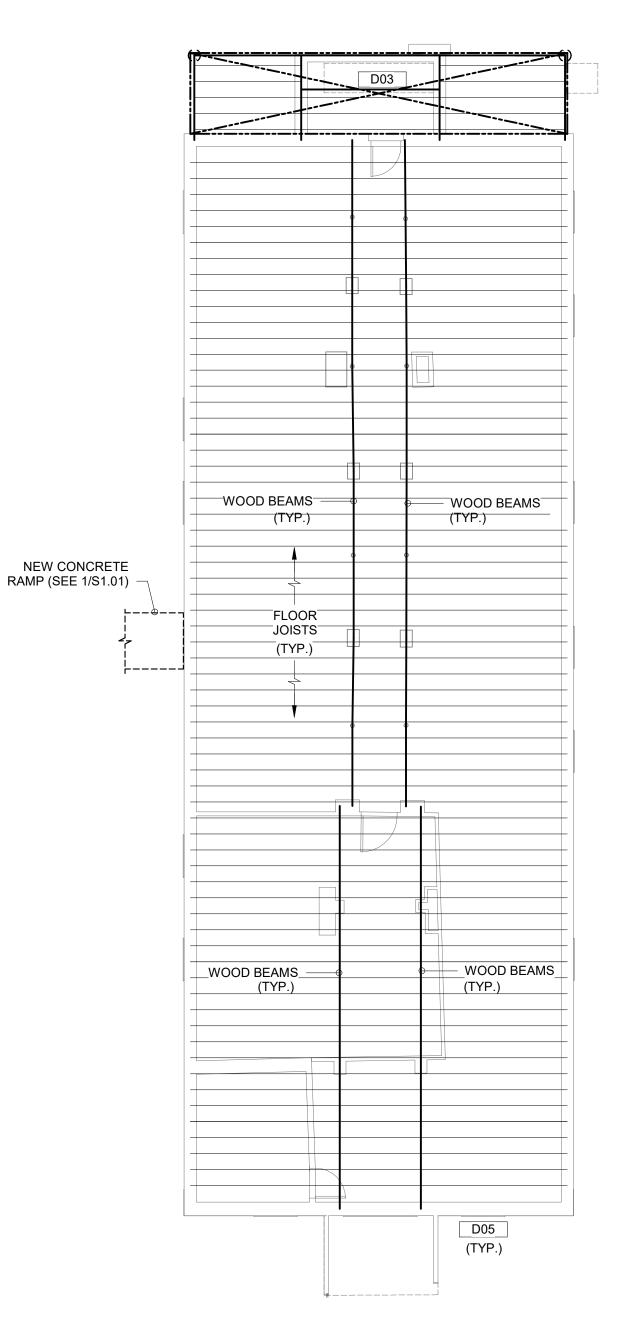
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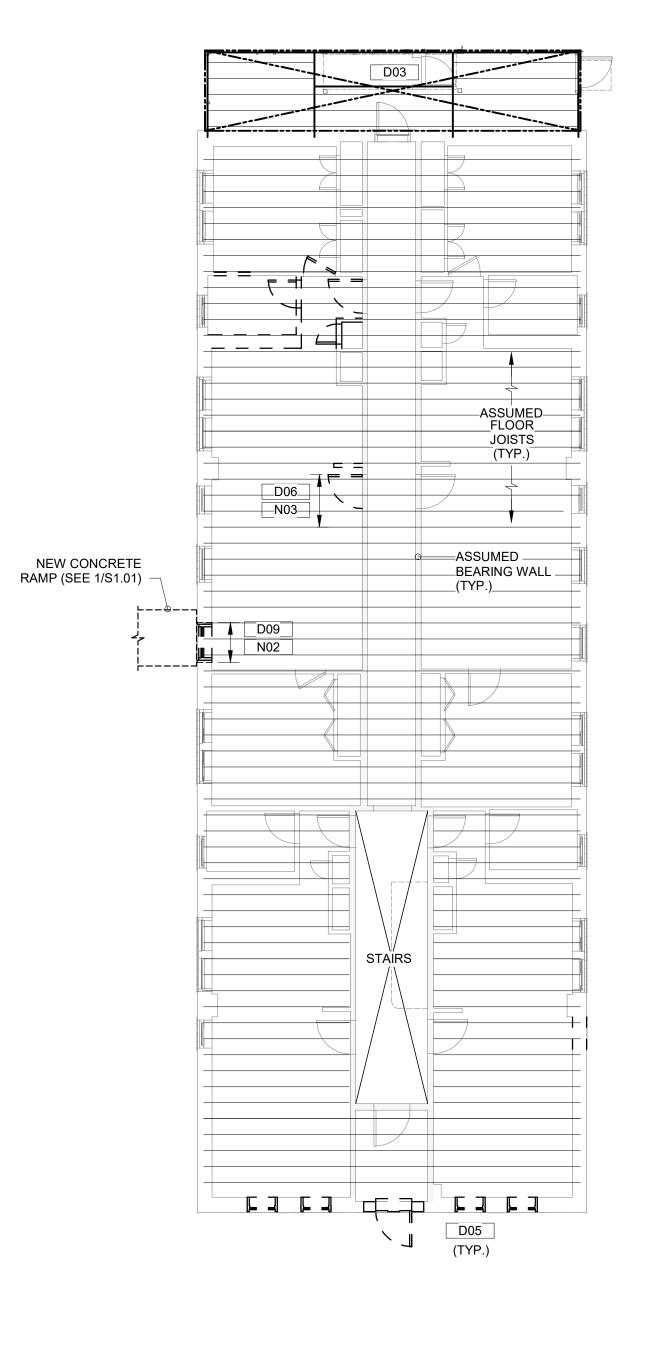
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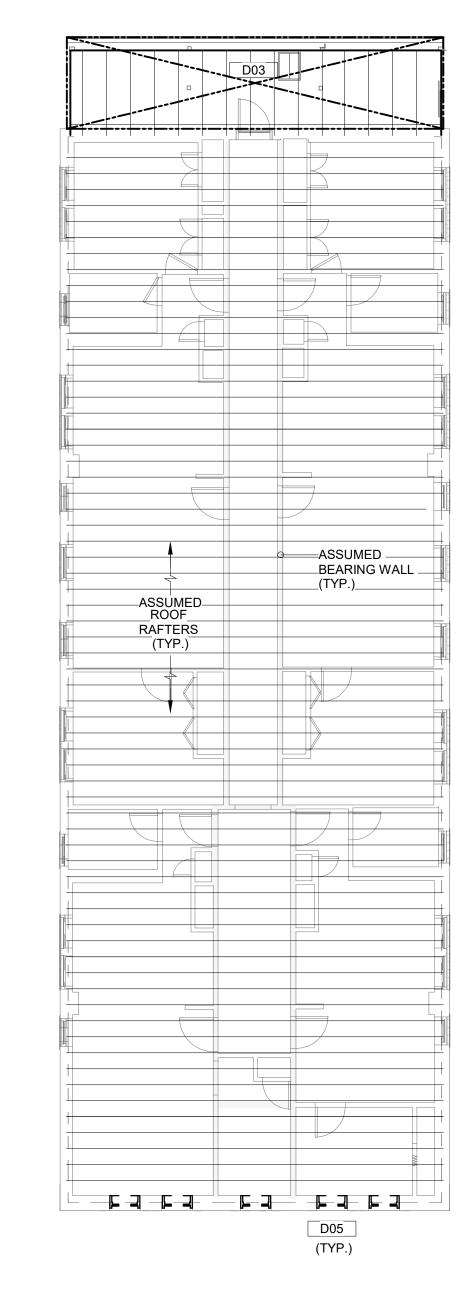
FEBRUARY 24, 2023

Sheet Number:









EXISTING BASEMENT PLAN

STRUCTURAL DEMO NOTES

REINFORCEMENT DETAIL".

FOR NEW ENTRY DOOR.

ALL DETAILS WITH THE ARCHITECT.

Keynote Text

EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE

HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY

COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED

EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO

ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02

REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02

PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED

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PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW

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ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM

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THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.

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HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.

EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.

DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.

EXISTING 1st 2 FLOOR FRAMING PLAN

NEW CONDITIONS NOTES	
Key Value	Keynote Text
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N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

EXISTING 2nd & 3rd 3 FLOOR FRAMING PLAN

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VARIOUS WOOD BEAMS WERE FOUND TO BE SPLIT ALONG THEIR LENGTHS. FOR PLANNING PURPOSES, ASSUME THAT FOUR WOOD BEAMS IN EACH BUILDING WILL REQUIRE REINFORCEMENT. BEAM REINFORCEMENT WILL REQUIRE THE REMOVAL AND REATTACHMENT OF ANY ELECTRICAL WIRING THAT IS CURRENTLY FASTENED TO EACH SIDE OF THE BEAM. REPAIR FROM ONE SIDE ONLY MAY BE POSSIBLE IF AN ADDITIONAL COLUMN AND FOOTING IS PROVIDED ALONG THE SPAN OF THE BEAM OR IF A NEW BEAM IS INSTALLED DIRECTLY BELOW THE CRACKED BEAM. DETAILS AND SUPPORT CONDITIONS TO BE DETERMINED BASED UPON THE CHOSEN REINFORCEMENT METHOD.

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engineers	Fax:	401.724.1981
structural engineers	www.ode	ehengineers.com
Revision:		

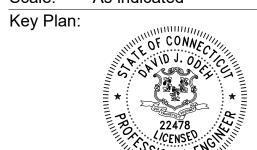
Architect of Record:

Consultant:

Revision:

Drawn: BJL, KLM

Checked: DJO As indicated Scale:



Project Name:

BEDFORD **GARDENS**

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 7 EXISTING STRUCTURAL PLANS

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Project Number:

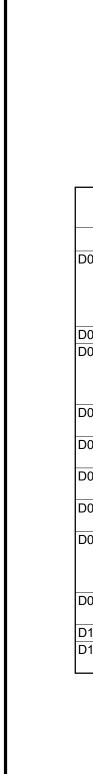
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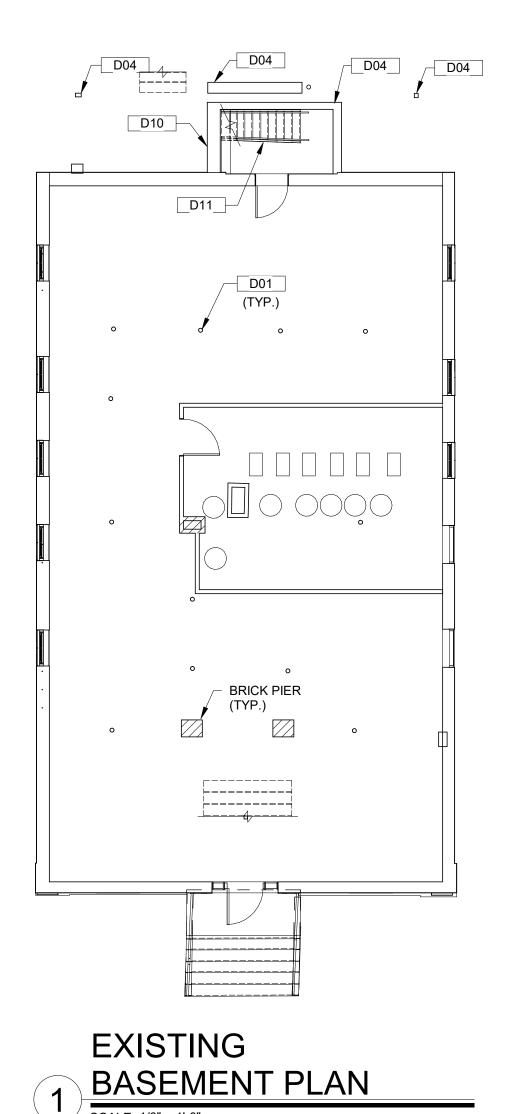
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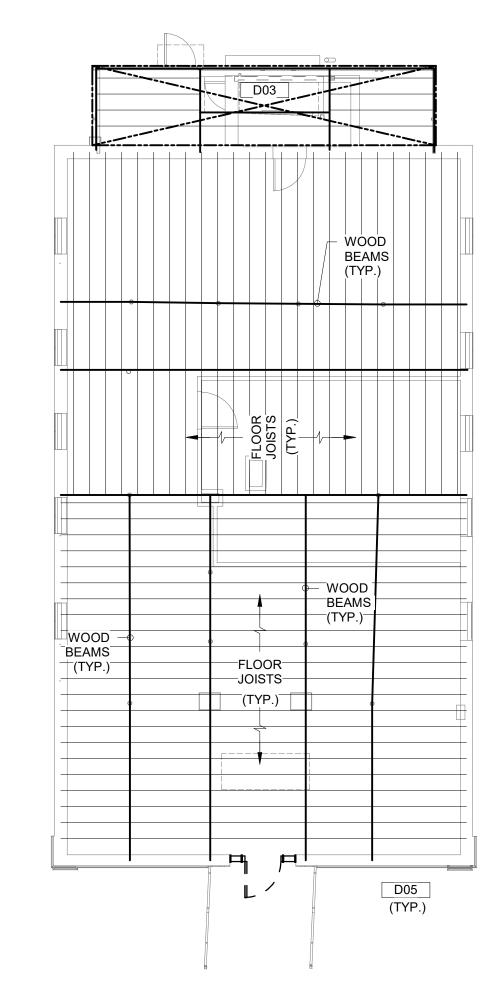
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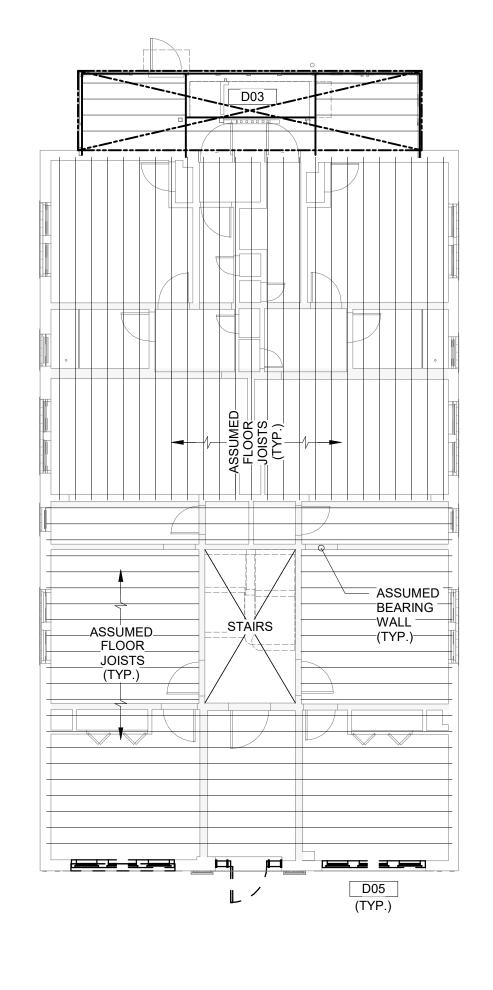
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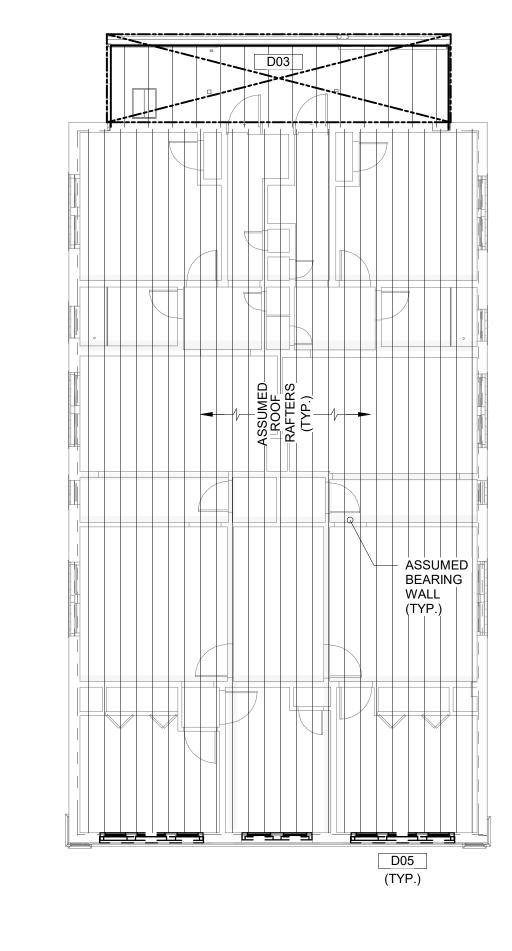


Key Value











EXISTING 1st

PLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

EXISTING 2nd & 3rd

FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES Key Value Keynote Text EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL". EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF. EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS. EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED. PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.

ALL DETAILS WITH THE ARCHITECT.

EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

NEW CONDITIONS NOTES		
Key Value	Keynote Text	
B A	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".	
P	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.	

——TYPICAL BRICK MASONRY PIER NOTE———

IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

——TYPICAL WOOD PORCH STAIR NOTE——

THE EXISTING WOOD STRINGERS IN THE PORCH AREAS WERE NOT FOUND TO BE POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

——TYPICAL INTERIOR FOOTING NOTE—

DUE TO THE BASEMENT SLAB ON GRADE, THE EXISTING SIZES & CONDITIONS OF THE EXISTING CONCRETE FOUNDATIONS BELOW THE EXISTING STEEL LALLY COLUMNS AND BRICK PIERS WERE NOT VISIBLE. EXISTING FOOTING SIZES MUST BE VERIFIED PRIOR TO INSTALLING NEW COLUMNS. IF NO FOOTING IS FOUND (I.E., IF COLUMNS ARE BEARING DIRECTLY UPON THE EXISTING SLAB ON GRADE), NEW CONCRETE FOOTINGS SHALL BE PROVIDED. MINIMUM COLUMN SIZES SHALL BE 3 FT x 3 FT x 12", REINFORCED WITH 8-#5 BOTTOM BARS (4 BARS, EACH WAY). FOOTINGS MAY BE SET ATOP BASEMENT SLABS IF SOILS BELOW ARE SUITABLE FOR BEARING.

GENERAL FRAMING NOTE ——

MOST UNITS WERE OCCUPIED DURING THE INVESTIGATION PHASE AND NO ACCESS TO VIEW THE FRAMING WAS POSSIBLE. MOST OF THE FLOOR FRAMING IN THE BASEMENT AREAS WAS COVERED WITH A GYPSUM CEILING, PREVENTING DIRECT OBSERVATION OF THE FRAMING, WITH THE EXCEPTION OF THE FLOOR BEAMS, COLUMNS, AND CONCRETE PIERS, IN MOST CASES. FOR THIS REASON, THE FRAMING PLANS INCLUDED IN THIS SET OF DRAWINGS ARE SCHEMATIC AND ARE BASED UPON THESE LIMITED VISUAL OBSERVATIONS. ALL FRAMING AREAS MUST BE FIELD-VERIFIED WHERE NEW WORK WILL BE PERFORMED TO EITHER CONFIRM OR TO CORRECT THE ASSUMPTIONS SHOWN HEREIN.

— EXISTING LALLY COLUMN NOTE —

DUE TO THE EXTENT OF DETERIORATION OBSERVED AROUND THE BASES OF MOST LALLY COLUMNS IN THE VARIOUS BUILDINGS, THIS OFFICE RECOMMENDS THE REMOVAL AND REPLACEMENT OF ALL EXISTING STEEL LALLY COLUMNS IN-KIND.

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VARIOUS WOOD BEAMS WERE FOUND TO BE SPLIT ALONG THEIR LENGTHS. FOR PLANNING PURPOSES, ASSUME THAT FOUR WOOD BEAMS IN EACH BUILDING WILL REQUIRE REINFORCEMENT. BEAM REINFORCEMENT WILL REQUIRE THE REMOVAL AND REATTACHMENT OF ANY ELECTRICAL WIRING THAT IS CURRENTLY FASTENED TO EACH SIDE OF THE BEAM. REPAIR FROM ONE SIDE ONLY MAY BE POSSIBLE IF AN ADDITIONAL COLUMN AND FOOTING IS PROVIDED ALONG THE SPAN OF THE BEAM OR IF A NEW BEAM IS INSTALLED DIRECTLY BELOW THE CRACKED BEAM. DETAILS AND SUPPORT CONDITIONS TO BE DETERMINED BASED UPON THE CHOSEN REINFORCEMENT METHOD.

EXTERIOR BRICK MASONRY REPAIR NOTE

EXISTING BUILDINGS SHALL BE INSPECTED TO QUANTIFY THE EXTENT OF MASONRY REPAIR REQUIRED. FOR PLANNING PURPOSES, ASSUME FOUR EXISTING BRICK ARCH WINDOW HEADERS WILL REQUIRE STRUCTURAL REPAIR. REPAIR DETAILS SHALL BE PROVIDED BY A MASONRY RESTORATION SPECIALIST.

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Revision:

Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 8 EXISTING STRUCTURAL PLANS

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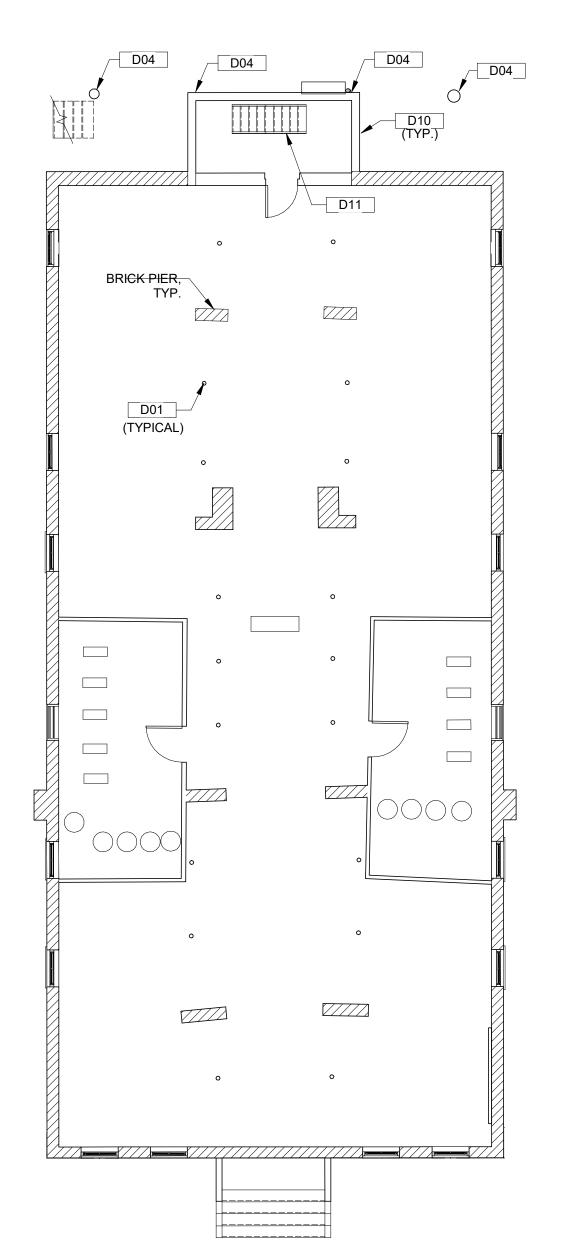
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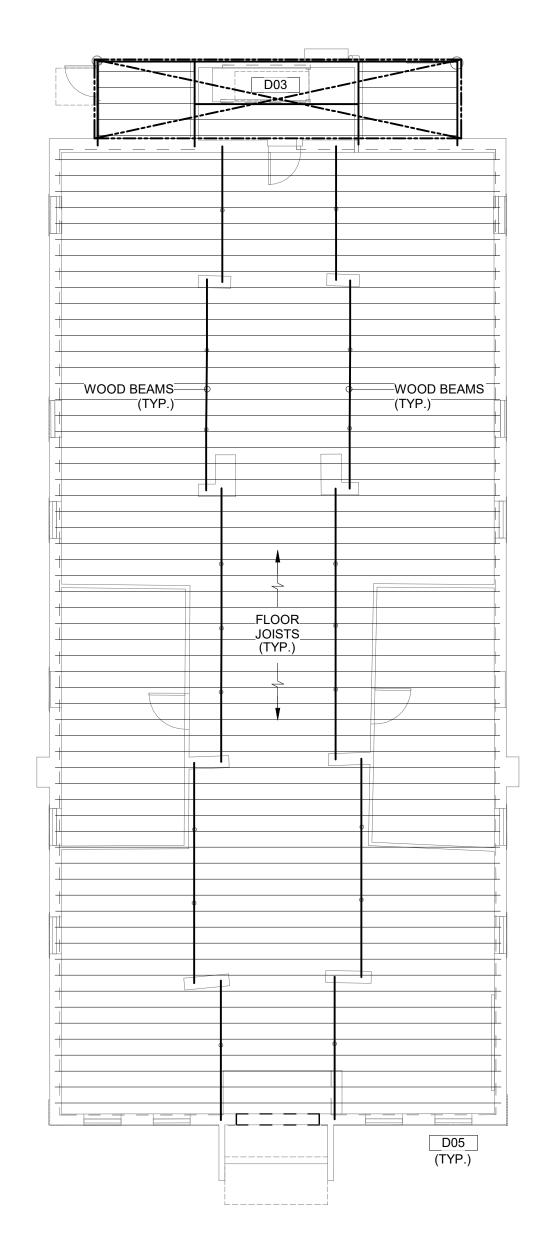
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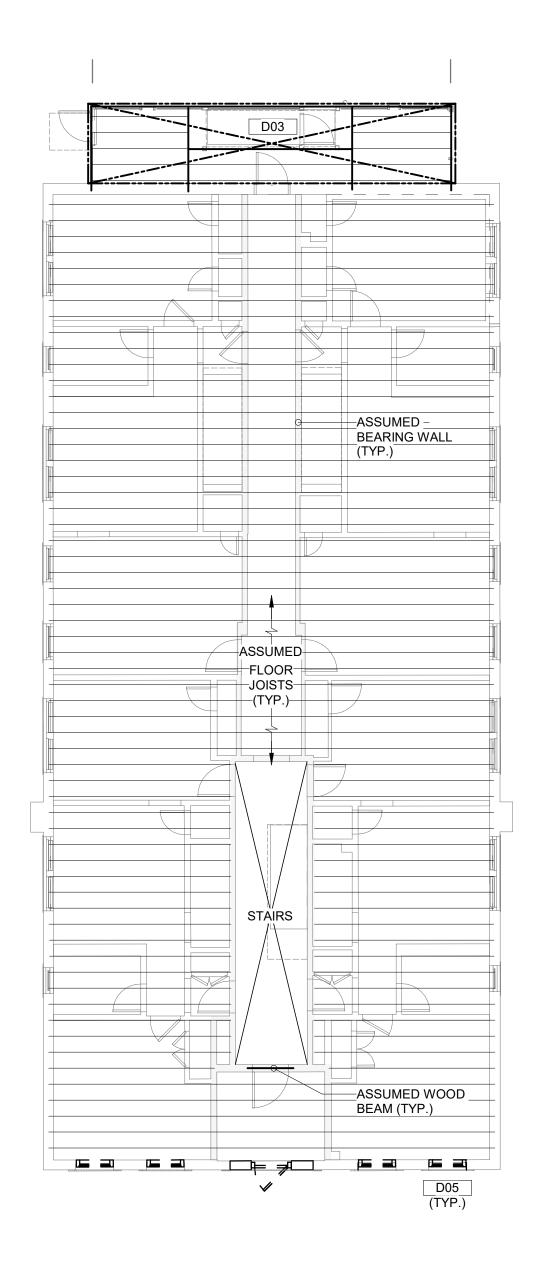
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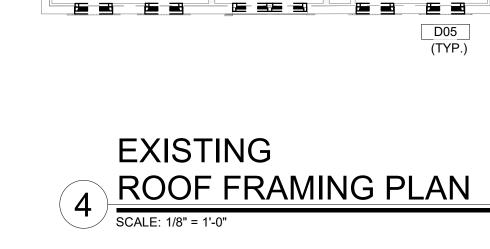




EXISTING 1st 2 FLOOR FRAMING PLAN



EXISTING 2nd & 3rd 3 FLOOR FRAMING PLAN



ASSUMED-

ROOF-

RAFTERS

—(TYP.)—

BEARING WALL

STRUCTURAL DEMO NOTES		
Key Value	Keynote Text	
D01	EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL".	
D02	EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.	
D03	EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH \$1.04 FOR NEW PORCH FRAMING REQUIREMENTS.	
D04	REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.	
D05	EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.	
D06	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.	
D07	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.	
D08	EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED.	
D09	PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR.	
D10	EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.	
D11	EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE	

ALL DETAILS WITH THE ARCHITECT.

Key Value	Keynote Text
N02	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVAN ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".
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Revision:			

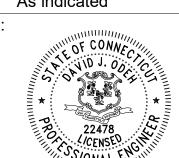
Consultant:

Architect of Record:

Drawn: BJL, KLM

As indicated Scale: Key Plan:

Checked: DJO



Project Name:

BEDFORD **GARDENS**

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 9 EXISTING STRUCTURAL PLANS

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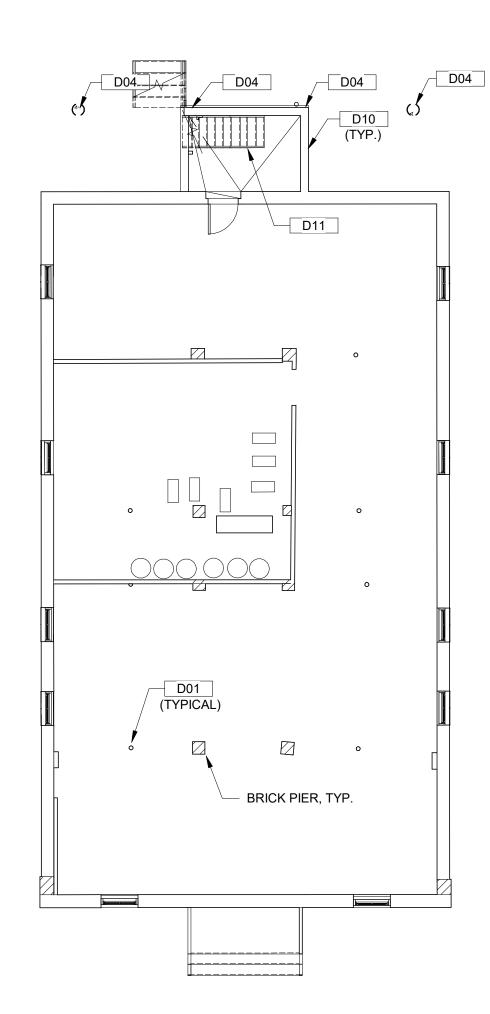
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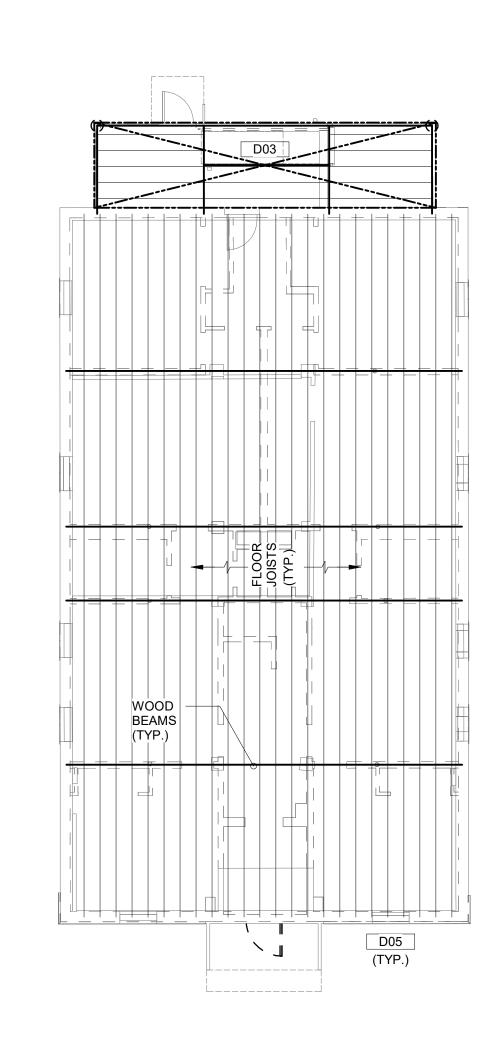
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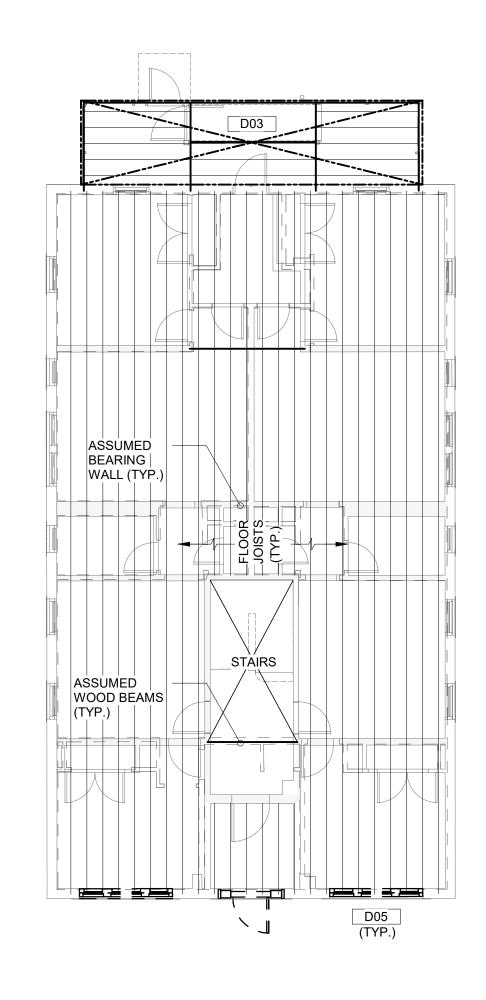
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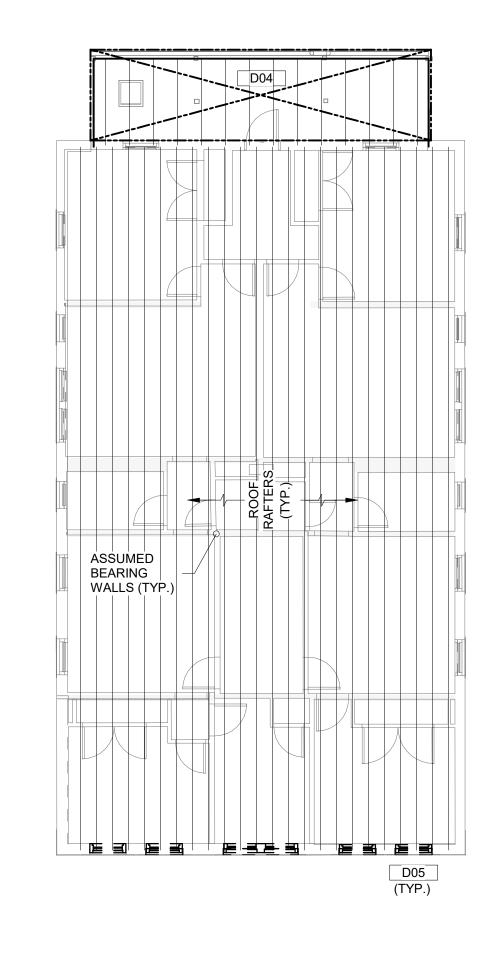














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BEDFORD **GARDENS**

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APPLICABLE REFERENCED STANDARDS (HEREIN REFERRED TO AS THE BUILDING CODE). ALL REFERENCES TO THE CONTRACTOR IN THIS SET OF DRAWINGS REFER TO THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, AND OTHER PARTY OR PARTIES RESPONSIBLE FOR THE EXECUTION OF THE PROJECT.

3. ALL REFERENCES TO A PROFESSIONAL ENGINEER, STRUCTURAL ENGINEER, AND GEOTECHNICAL ENGINEER IN THIS SET OF DRAWINGS REFERS TO A PROFESSIONAL ENGINEER COMPETENT IN THE RESPECTIVE FIELD OF DESIGN WHO IS REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION. REPORT ALL OBSERVATIONS AND ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER OF RECORD AS A REQUEST FOR INFORMATION (REI) REFORE PROCEEDING WITH WORK

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND BRACING THE STRUCTURE DURING ALL CONSTRUCTION PHASES. ALL SHORING AND BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. SUBMIT AN OUTLINE OF PROPOSED PROCEDURE AND ITS IMPACT ON THE BUILDING STRUCTURE FOR RECORD TO THE ARCHITECT/ENGINEER OF RECORD BEFORE PROCEEDING WITH WORK.

THE EVALUATION OF THE STRUCTURE TO SAFELY SUPPORT ANY AND ALL CONSTRUCTION LOADING (E.G. EQUIPMENT LOADS, TEMPORARY LOADS FROM DEBRIS AND MATERIAL STORAGE) IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN TEAM HAS DESIGNED THE STRUCTURE FOR THE PERMANENT DEAD LOADS AND UNIFORM LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS ACCORDING TO THE REQUIREMENTS OF THE BUILDING CODE. THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO EVALUATE PROPOSED CONSTRUCTION LOADING AND TO DESIGN ALL TEMPORARY BRACING AND SHORING SYSTEMS THAT MAY BE REQUIRED DUE TO THE CONTRACTOR'S MEANS AND METHODS AND

SEQUENCE OF CONSTRUCTION. WHERE DETAILS FOR SPECIFIC CONDITIONS ARE NOT SHOWN ON THESE DRAWINGS, USE DETAILS FOR THE MOST NEARLY SIMILAR CONDITIONS SHOWN ON THE STRUCTURAL DRAWINGS AS DETERMINED BY THE STRUCTURAL ENGINEER OF RECORD. REPORT ANY COORDINATION ISSUES IMMEDIATELY AS AN RFI FOR REVIEW.

COORDINATE WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR LOCATIONS AND DIMENSIONS OF CHASES, OPENINGS, BEAM PENETRATIONS, AND OTHER INFORMATION THAT IMPACTS STRUCTURE AND FOUNDATIONS THAT IS NOT SHOWN ON THESE DRAWINGS. INCLUDE ADDITIONAL FRAMING AND REINFORCEMENT FOR SUCH WORK PER THE TYPICAL STRUCTURAL DETAILS ON THESE DRAWINGS IN BASE CONTRACT

9. ALL WORK SHALL BE MONITORED AND INSPECTED BY AN INDEPENDENT TESTING AND INSPECTIONS AGENCY HIRED BY THE OWNER TO CARRY OUT ALL REQUIRED TESTING AND INSPECTION WORK IN CONFORMANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS. SUBMIT ALL TESTING AND INSPECTION REPORTS IN PDF FORMAT TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW.

10. STRUCTURAL MEMBERS SHALL NOT BE MODIFIED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER OF RECORD. ANY ANTICIPATED MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS MUST BE SUBMITTED TO THE ARCHITECT/ENGINEER OF RECORD AS AN RFI FOR REVIEW AND COMMENT. IN THE EVENT OF A CONSTRUCTION OR FABRICATION ERROR, THE CONTRACTOR SHALL PREPARE A SKETCH AND CALCULATIONS, PREPARED BY A STRUCTURAL ENGINEER, DOCUMENTING THE PROPOSED CORRECTIVE ACTION AND SUBMIT IT TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO PERFORMING ANY CORRECTIVE WORK. ODEH ENGINEERS, INC. CANNOT CERTIFY ANY UNAUTHORIZED DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.

11. PRIOR TO REQUESTING A SITE VISIT BY ODEH ENGINEERS, INC. FOR OBSERVATION OF A COMPLETED STAGE OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A STATEMENT TO THE ARCHITECT/ENGINEER OF RECORD THAT ALL WORK HAS BEEN COMPLETED IN CONFORMANCE WITH THE STRUCTURAL CONTRACT DRAWINGS AND SHOP DRAWINGS WITHOUT EXCEPTION, OR HAS BEEN PERFORMED WITH FORMAL WRITTEN EXCEPTIONS ORIGINATING FROM OR AUTHORIZED BY ODEH ENGINEERS, INC.

12. PRIOR TO RELEASE OF THE FINAL PROJECT CERTIFICATION TO THE BUILDING OFFICIAL, ODEH ENGINEERS, INC. REQUIRES A LETTER FROM THE CONTRACTOR'S PROJECT EXECUTIVE IN RESPONSIBLE CHARGE STATING THAT ALL WORK INDICATED ON THE STRUCTURAL DRAWINGS HAS BEEN PERFORMED WITHOUT EXCEPTION OR WAS PERFORMED WITH FORMAL WRITTEN EXCEPTIONS ORIGINATING FROM OR AUTHORIZED BY ODEH ENGINEERS, INC. IN ADDITION ODEH ENGINEERS, INC. REQUIRES A LETTER FROM THE PRINCIPAL OF THE TESTING AND INSPECTIONS AGENCY CERTIFYING THAT ALL TESTING AND INSPECTIONS WORK HAS BEEN COMPLETED IN CONFORMANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS AND THAT ALL STRUCTURAL NONCONFORMANCE CONDITIONS FOUND HAVE BEEN BROUGHT INTO CONFORMANCE WITH THE PROJECT STRUCTURAL REQUIREMENTS PRIOR TO PROJECT COMPLETION.

13. THE TRADE CONTRACTORS SHALL SUBMIT SHOP AND ERECTION DRAWINGS AS WELL AS PRODUCT DATA (COLLECTIVELY KNOWN HEREIN AS "SHOP DRAWINGS") FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION.

a. THE SHOP DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF STANDARD PRACTICE FOR EACH RESPECTIVE TRADE IN CONJUNCTION WITH ADDITIONAL SHOP DRAWING REQUIREMENTS INDICATED ON THESE DRAWINGS.

ALL SHOP DRAWINGS SHALL BE FULLY DEVELOPED BY THE TRADE CONTRACTORS OR BY AGENTS OF THE CONTRACTORS. CAD FILES, PHOTOCOPIES, OR OTHER REPRODUCTIONS. OF THE CONTRACT DRAWINGS IN WHOLE OR IN PART SHALL NOT BE USED BY THE TRADE CONTRACTORS OR THEIR AGENTS FOR THE PREPARATION AND DEVELOPMENT OF SHOP DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ODEH ENGINEERS, INC. c. ALL SUBMITTALS SHALL BE IN UNLOCKED PDF FORMAT WITH SEARCHABLE TEXT.

14. DO NOT SCALE OFF OF THESE DRAWINGS.

15. THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS. IN ALL CASES OF CONFLICT, INFORMATION INDICATED ON THE STRUCTURAL DRAWINGS AND INCLUDED IN THE STRUCTURAL GENERAL NOTES SHALL GOVERN.

B. ENGINEERING REQUIREMENTS FOR THE CONTRACTOR

THE DESIGN OF ALL ENGINEERED SYSTEMS NOTED IN THIS SECTION, INCLUDING CONNECTIONS OF EACH SYSTEM TO THE MAIN BUILDING STRUCTURE. ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL ENGINEERED SYSTEMS SHALL CONFORM TO THE BUILDING CODE AND SHALL BE PERFORMED BY AN INDEPENDENT STRUCTURAL ENGINEER ENGAGED BY THE CONTRACTOR.

THE FOLLOWING ENGINEERED SYSTEMS ARE REQUIRED AS PART OF THE STRUCTURAL SYSTEMS SPECIFIED ON THIS PROJECT. CALCULATIONS AND SHOP DRAWINGS, BOTH SIGNED AND STAMPED BY A STRUCTURAL ENGINEER. ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD FOR REVIEW FOR EACH RESPECTIVE ENGINEERED SYSTEM BELOW. ALL SHOP DRAWINGS SHALL INDICATE THE MAGNITUDE, DIRECTION, AND LOCATION OF LOADS IMPOSED ON THE STRUCTURE FROM CONNECTIONS OF THE RESPECTIVE SYSTEMS TO THE MAIN BUILDING STRUCTURE. REFER TO THE RESPECTIVE GENERAL NOTES SECTIONS INCLUDED IN THE STRUCTURAL DOCUMENTS FOR DETAILED ENGINEERING REQUIREMENTS FOR EACH OF THE STRUCTURAL SYSTEMS SPECIFIED FOR USE. A. STRUCTURAL STEEL CONNECTIONS.

B. WOOD STAIR STRUCTURES.

C. METAL STAIR STRUCTURES. D. HANDRAILS AND GUARDRAILS.

STAIR STRUCTURES - STAIRS AND LANDINGS SHALL BE SUPPORTED ON THICKENED SLABS AT SLABS-ON-GRADE. AT ELEVATED FRAMING LEVELS, STAIRS AND LANDINGS SHALL BE SUPPORTED ON AND CONCENTRICALLY LOAD BUILDING FRAMING ELEMENTS ONLY (E.G. BEAMS AND GIRDERS), UNLESS NOTED OTHERWISE. COORDINATE ALL STAIR DETAILS WITH ARCHITECTURAL DRAWINGS. HANDRAILS AND GUARDRAILS - HANDRAILS AND GUARDRAILS MAY BE SUPPORTED FROM BUILDING FRAMING ELEMENTS, UNLESS NOTED OTHERWISE. COORDINATE ALL HANDRAIL AND GUARDRAIL DETAILS WITH THE ARCHITECTURAL DRAWINGS.

C. EXISTING CONDITIONS

EXISTING CONDITIONS ON THESE DRAWINGS ARE ASSUMED BASED ON LIMITED VISUAL OBSERVATIONS OF THE EXISTING STRUCTURE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING WITH WORK.

THE CONTRACTOR SHALL CARRY CONTINGENCY IN PRICING FOR DIFFERENCES IN CONDITIONS SHOWN, INCLUDING BUT NOT LIMITED TO: a. DIFFERENT FRAMING CONDITIONS

DIFFERENT FOUNDATION CONDITIONS AND/OR OBSTRUCTIONS

HIDDEN DAMAGE OR DETERIORATION IN STRUCTURAL MEMBERS

ENCOUNTERED SITE CONDITIONS. CHANGES IN STRUCTURE DUE TO DETAILED ARCHITECTURAL DESIGN.

ADDITIONAL FRAMING TO SUPPORT MECHANICAL EQUIPMENT, PENETRATIONS DUE FINAL COORDINATION WITH M.E.P. AND OTHER DRAWINGS.

LIMITED VISUAL OBSERVATIONS OF THE EXISTING STRUCTURE WERE PERFORMED IN THE FIELD, HOWEVER, MOST OF THE EXISTING FRAMING WAS CONCEALED AND COULD NOT BE VIEWED. THE CONTRACTOR MUST INCLUDE ADEQUATE CONTINGENCY FOR REPAIRS TO EXISTING DAMAGED OR INADEQUATE STRUCTURAL CONDITIONS DISCOVERED DURING CONSTRUCTION.

IF THE CONTRACTOR DEEMS IT NECESSARY TO MODIFY OR REMOVE ANY PORTION OF THE EXISTING STRUCTURE IN ORDER TO PERFORM THE WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS, THEN SUCH PORTIONS OF THE STRUCTURE SHALL BE REPAIRED OR REPLACED WITH EQUAL MATERIALS AND DETAILS TO MATCH THE EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER; THIS WORK SHALL BE INCLUDED IN THE BASE PRICE OF THE CONTRACT.

WHERE DISCREPANCIES BETWEEN THE DESIGN DRAWINGS AND FIELD CONDITIONS ARE FOUND, OR EXISTING STRUCTURAL MEMBERS AND CONNECTIONS ARE FOUND TO BE DAMAGED OR DETERIORATED TO A DIMINISHED CAPACITY AND ARE NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL SUBMIT DETAILED SKETCHES OF THE EXISTING CONDITIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCING WITH WORK. MODIFICATIONS TO CURRENT DETAILS OR ADDITIONAL NEW DETAILS MAY BE REQUIRED BASED ON THE ACTUAL FIELD CONDITIONS.

C. EXISTING CONDITIONS (continued)

6. EXISTING FRAMING MEMBERS SHOWN ON THESE DRAWINGS ARE DESIGNATED BY THEIR NOMINAL SIZE, UNLESS NOTED OTHERWISE. ACTUAL MEMBER SIZES SHALL BE VERIFIED IN THE

7. THE EVALUATION OF THE EXISTING STRUCTURE TO SAFELY SUPPORT ANY AND ALL CONSTRUCTION LOADING (E.G. EQUIPMENT LOADS, TEMPORARY LOADS FROM DEBRIS AND MATERIAL STORAGE) IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN TEAM HAS EVALUATED THE EXISTING STRUCTURE, AFTER IMPLEMENTATION OF THE STRUCTURAL ALTERATIONS SHOWN ON THE DRAWINGS, FOR THE PERMANENT DEAD LOADS AND UNIFORM LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS ACCORDING TO THE REQUIREMENTS OF THE BUILDING CODE. THE CONTRACTOR SHALL OBTAIN COPIES OF THE ORIGINAL STRUCTURAL DRAWINGS FOR THE BUILDING AND ANY ADDITIONS AND ALTERATIONS (IF AVAILABLE), AND SHALL ENGAGE A LICENSED STRUCTURAL ENGINEER TO EVALUATE THE PROPOSED CONSTRUCTION LOADING ON THE EXISTING STRUCTURE AND TO DESIGN ALL TEMPORARY BRACING AND SHORING SYSTEMS THAT MAY BE REQUIRED DUE TO THE CONTRACTOR'S MEANS AND METHODS AND SEQUENCE OF CONSTRUCTION.

D. STRUCTURAL LUMBER

1. ALL STRUCTURAL CARPENTRY AND LUMBER WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AS WELL AS WITH THE STANDARDS, SPECIFICATIONS, AND REQUIREMENTS OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) AND APA - THE ENGINEERED WOOD ASSOCIATION (APA).

2. ALL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE AS FOLLOWS. CONTRACTOR TO OBTAIN ENGINEERED LUMBER FROM A MANUFACTURER THAT PROVIDES THE MINIMUM REFERENCE DESIGN VALUES SHOWN FOR ENGINEERED LUMBER. ALL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE KILN DRIED WITH A MAXIMUM MOISTURE CONTENT OF 19%.

a. <u>VISUALLY GRADED DIMENSION LUMBER (2" TO 4" THICK)</u> UNTREATED LUMBER: A. SPRUCE-PINE-FIR (S-P-F) NO.1/NO.2

B. SOUTHERN PINE (SP) NO.1 2. PRESERVATIVE TREATED (P.T.) LUMBER:

A. SOUTHERN PINE (SP) NO.2

FIRE TREATED LUMBER: A. SPRUCE-PINE-FIR (S-P-F) NO.1/NO.2

B. SOUTHERN PINE (SP) NO. 1 b. VISUALLY GRADED TIMBERS (5"x5" AND LARGER)

BEAMS AND STRINGERS: A. DOUGLAS FIR-LARCH (DF-L) SELECT STRUCTURAL

POSTS AND TIMBERS: A. DOUGLAS FIR-LARCH (DF-L) SELECT STRUCTURAL

ENGINEERED WOOD BEAMS 2900 psi 290 psi 2000 ksi (2.0E) 2900 psi PSL: PARALLEL STRAND LUMBER: 2. LVL: LAMINATED VENEER LUMBER: 2600 psi 285 psi 1900 ksi (1.9E) 2510 psi 2325 psi 310 psi 1550 ksi (1.55E) 2170 psi 3. LSL: LAMINATED STRAND LUMBER: d. <u>ENGINEERED WOOD COLUMNS / WALL STUDS</u> 2400 psi 190 psi 1800 ksi (1.8E) 2500 psi PSL: PARALLEL STRAND LUMBER: LSL: LAMINATED STRAND LUMBER: 1700 psi 425 psi 1300 ksi (1.3E) 1835 psi

ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY OR EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE TREATED (P.T.). ALL WOOD COLUMNS LOCATED OUTSIDE OF THE BUILDING ENVELOPE SHALL BE P.T. 4. ALL NAIL SIZES INDICATED BY PENNYWEIGHT WITHIN THE STRUCTURAL DOCUMENTS SHALL BE

ASTM F1667 STEEL WIRE NAILS AS FOLLOWS: 6d = 0.113"x2", 8d = 0.131"x2-1/2", 10d = 0.148"x3", 16d = 0.162"x3-1/2", 20d = 0.192"x4", etc .ALTERNATE NAIL SIZES AND SPACINGS SHALL NOT BE USED WITHOUT APPROVAL FROM THIS OFFICE.

5. ALL WOOD CONNECTORS (JOIST AND BEAM HANGERS, POST CAPS AND BASES, HURRICANE STRAPS, ETC.) SHALL BE GALVANIZED STEEL CONNECTORS AS MANUFACTURED BY "SIMPSON STRONG-TIE" OF PLEASANTON, CA, "USP STRUCTURAL CONNECTORS" OF BURNSVILLE, MN, OR AN APPROVED EQUAL. ALL WOOD CONNECTORS SHALL HAVE ALL FASTENER HOLES FILLED FOR MAXIMUM CAPACITY. WHERE PREMANUFACTURED CONNECTORS CANNOT BE USED, THE CONTRACTOR SHALL HIRE A STRUCTURAL ENGINEER TO DESIGN THE CONNECTORS AND FASTENERS FOR THE FULL CAPACITY OF THE MEMBERS. ALL ENGINEERED DESIGNS AND

DETAILS SHALL BE STAMPED AND SIGNED BY THE SAME ENGINEER AND SUBMITTED FOR REVIEW. ALL CONNECTORS AND FASTENERS EXPOSED TO THE WEATHER AND/OR IN DIRECT CONTACT WITH PRESERVATIVE-TREATED/FIRE-RETARDANT-TREATED LUMBER SHALL BE STAINLESS STEEL, UNLESS AN ALTERNATE PROTECTIVE COATING IS RECOMMENDED BY THE CONNECTOR/FASTENER MANUFACTURER BASED UPON THE SPECIFIC TYPE OF PRESERVATIVE TREATMENT AND WEATHER EXPOSURE CONDITIONS FOR THE PROJECT. SUBMIT PRODUCT DATA FOR REVIEW AND APPROVAL

ALL ROOF AND FLOOR DIAPHRAGMS AND STRUCTURAL WOOD WALL PANELS SHALL BE SHEATHED WITH PLYWOOD* STRUCTURAL PANELS WHICH MEASURE NOT LESS THAN FOUR FEET BY EIGHT FEET (4' x 8'), EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. SEE TYPICAL DETAILS FOR ADDITIONAL PANEL AND FASTENING REQUIREMENTS. MINIMUM PROPERTIES ARE AS FOLLOWS:

a. WALL SHEATHING: 7/16" APA-RATED SHEATHING 24/16, EXP-1 OR 15/32" APA-RATED SHEATHING 32/16, EXP-1

b. ROOF SHEATHING: 19/32" APA-RATED SHEATHING 40/20, EXP-1 c. FLOOR SHEATHING: 23/32" APA-RATED STURD-I-FLOOR (24 O.C.) T&G SHEATHING, EXP-1

(GLUED AND NAILED) EQUIVALENT ORIENTED STRAND BOARD (OSB) PANELS OF EQUAL THICKNESS AND APA-

RATING TO THOSE LISTED ABOVE MAY BE USED IN LIEU OF PLYWOOD IN WEATHER PROTECTED AREAS WHERE APPROVED BY THE ARCHITECT. 8. ALL BUILT-UP DIMENSIONAL LUMBER MEMBERS SHALL BE FASTENED TOGETHER PER THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) FOR THE MEMBERS TO ACT

TOGETHER AS ONE. 9. ALL BUILT-UP ENGINEERED LUMBER MEMBERS SHALL BE FASTENED TOGETHER PER THE MANUFACTURER'S REQUIREMENTS FOR THE MEMBERS TO ACT TOGETHER AS ONE AT THEIR MAXIMUM DESIGN CAPACITY OF THE SPECIFIED LARGER MEMBER.

E. POST-INSTALLED ANCHOR SYSTEMS

1. ALL POST-INSTALLED ANCHORS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (INCLUDING, BUT NOT LIMITED TO, DRILL BIT SIZE,

CLEANING OF HOLES, AND TEMPERATURE CONSTRAINTS). 2. EXCEPT WHERE INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF

THE FOLLOWING ANCHOR TYPES AS PROVIDED BY HILTI, INC. a. ANCHORAGE TO CONCRETE

ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:

A. HILTI HIT-HY 200 SAFE SET SYSTEM WITH THE HILTI HIT-Z ROD PER ICC ESR-3187. B. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM SYSTEM WITH HAS-E THREADED ROD PER ICC ESR-3187.

C. HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM WITH HAS-E THREADED ROD PER ICC ESR-3814.

HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI ROUGHENING TOOL WITH HAS-E

THREADED ROD PER ICC ESR-3814 FOR DIAMOND CORED HOLES. 2. MECHANICAL ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE: A. HILTI KWIK BOLT-TZ EXPANSION ANCHORS PER ICC ESR-1917.

B. HILTI KWIK BOLT 3 EXPANSION ANCHORS (UNCRACKED CONCRETE ONLY) PER ICC ESR-2302. REBAR DOWELING INTO CONCRETE

1. ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE: A. HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM

SYSTEM WITH CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3814. HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI ROUGHENING TOOL WITH

CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3814 IN DIAMOND CORED HOLES.

ANCHORAGE TO SOLID GROUTED MASONRY ADHESIVE ANCHORS USE

A. HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM PER ESR-4143. B. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR CONTINUOUSLY DEFORMED STEEL REBAR.

2. MECHANICAL ANCHORS USE: a. HILTI KWIK BOLT-3 EXPANSION ANCHORS PER ICC ESR-1385. ANCHORAGE TO HOLLOW / MULTI-WYTHE MASONRY

ADHESIVE ANCHORS USE A. HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM PER ICC ESR-4144. B. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR

CONTINUOUSLY DEFORMED STEEL REBAR. C. THE APPROPRIATE SIZE SCREEN TUBE SHALL BE USED PER ADHESIVE

MANUFACTURER'S RECOMMENDATION. THE CONTRACTOR SHALL PERFORM A PULL TEST ON 5% OF ALL ANCHORS TO VALIDATE THAT THE ANCHORS ACHIEVE THE MINIMUM TENSION CAPACITY SPECIFIED IN ESR-4144. AN ADDITIONAL 20% OF ALL ANCHORS SHALL BE TESTED USING A CALIBRATED TORQUE WRENCH TO A MINIMUM 60 FT-LBS TORQUE. TESTING SHALL BE PERFORMED AT RANDOM AND VARIED LOCATIONS THROUGHOUT THE PROJECT WHERE ANCHORS ARE INSTALLED.

3. ALL ANCHORS INTO CONCRETE SHALL BE INSTALLED AFTER THE CONCRETE HAS ACHIEVED IT'S 28-DAY DESIGN STRENGTH, BUT NOT LESS THAN 21 DAYS AFTER CONCRETE PLACEMENT. 4. ALL ADHESIVE ANCHORS INSTALLED IN THE HORIZONTAL, UPWARD INCLINED, AND OVERHEAD ORIENTATIONS SHALL BE CONTINUOUSLY INSPECTED DURING INSTALLATION PER ACI.

OVERHEAD ADHESIVE ANCHORS SHALL BE INSTALLED USING THE HILTI PROFI SYSTEM. THE CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. THE SPECIAL INSPECTOR RESPONSIBLE FOR INSPECTION OF THE ANCHOR INSTALLATIONS SHALL BE PRESENT FOR THIS TRAINING. THE STRUCTURAL ENGINEER OF RECORD MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS.

6. ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS

EXISTING REINFORCING BARS IN THE CONCRETE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. UNLESS NOTED ON THE DRAWINGS THAT THE BARS CAN BE CUT, THE CONTRACTOR SHALL REVIEW EXISTING STRUCTURAL DRAWINGS IF AVAILABLE AND SHALL LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS

ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER METHOD AS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE.

F. STRUCTURAL DEMOLITION

ALL DEMOLITION WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ITS APPLICABLE REFERENCED STANDARDS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO DEMOLITION AND NEW CONSTRUCTION. WHERE DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS ARE ENCOUNTERED, DEMOLITION SHALL NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OF RECORD.

ALL BIDDERS SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING BUILDING, RELATED ACCESS LIMITATIONS FOR PERSONNEL AND EQUIPMENT, AND OTHER POTENTIAL CONSTRUCTION COORDINATION ISSUES. DISCREPANCIES, OMISSIONS, OR VARIATIONS FROM CONDITIONS NOTED ON THE STRUCTURAL DRAWINGS AND IN THE SPECIFICATIONS THAT ARE DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OF RECORD AS A REQUEST FOR INFORMATION (RFI).

4. ONLY DEMOLITION OF STRUCTURAL ELEMENTS IS SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS. DEMOLITION OF ADDITIONAL NONSTRUCTURAL ELEMENTS REQUIRED TO DEMOLISH AND REMOVE THE STRUCTURAL ELEMENTS INDICATED SHALL BE COORDINATED WITH THE ARCHITECT. IN GENERAL, NO COLUMNS, WALLS, BRACES, OR OTHER LOAD-BEARING VERTICAL STRUCTURAL ELEMENTS SHALL BE REMOVED AS PART OF THIS DEMOLITION UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS.

5. IT IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE STRUCTURE DURING ALL DEMOLITION AND CONSTRUCTION PHASES. NOTE THAT TEMPORARY BRACING IS REQUIRED FOR ALL COLUMNS AND WALLS TO REMAIN WHERE INTERCONNECTED FRAMING MEMBERS (SUCH AS BEAMS, GIRDERS, DIAGONAL BRACES, OR SLABS) ARE TO BE REMOVED.

6. THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO PROVIDE STAMPED AND SIGNED STRUCTURAL CALCULATIONS AND DRAWINGS FOR ALL TEMPORARY SHORING AND BRACING SYSTEMS, AS WELL AS AN ANALYSIS OF ANY TEMPORARY LOADS THAT THE CONTRACTOR CHOOSES TO IMPOSE UPON THE EXISTING STRUCTURE (SEE SECTION C -ENGINEERING REQUIREMENTS FOR CONTRACTOR). THE CONTRACTOR SHALL PROVIDE ALL ADDITIONAL SHORING, FLOOR REINFORCEMENT, AND OTHER MEASURES AS REQUIRED TO SUPPORT SUCH TEMPORARY LOADS. ALL SHORING SHALL BE PLACED CONTINUOUS DOWN TO FOUNDATIONS. SUBMIT A DETAILED PLAN OF DEMOLITION AND SHORING, STAMPED BY THE SAME STRUCTURAL ENGINEER, FOR RECORD.

DEMOLITION WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO PRESERVE THE INTEGRITY OF ALL ADJACENT STRUCTURAL AND NONSTRUCTURAL BUILDING ELEMENTS. WHERE NECESSARY, PRECUT CONNECTIONS TO STRUCTURAL ELEMENTS TO REMAIN IN ORDER TO AVOID DAMAGE DURING REMOVAL OF CONNECTED MEMBERS. ANY DAMAGE TO EXISTING ELEMENTS AND FINISHES TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

G. CONCRETE

1. ALL CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ACI 318 AND 301 REQUIREMENTS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PROPORTIONING OF CONCRETE MIX, CONCRETE TESTING, PLACEMENT OF CONCRETE, AND CURING PROCEDURES.

. CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH, f .: a. ALL CONCRETE... 8. PROVIDE TOTAL AIR ENTRAINMENT OF 6% (±1%) FOR ALL CONCRETE EXPOSED TO WEATHER.

4. MAXIMUM WATER/CEMENT RATIO FOR 4000 PSI CONCRETE - W/C = 0.45, UNLESS NOTED OTHERWISE. PROVIDE A HIGH-RANGE WATER REDUCING ADMIXTURE IF REQUIRED TO INCREASE WORKABILITY OF THE CONCRETE.

5. CONCRETE FOR ALL ELEMENTS SHALL BE NORMAL WEIGHT (N.W.) WITH A MAXIMUM DRY DENSITY OF 145 PCF (± 5 PCF).

6. UNLESS NOTED OTHÈRWISE, FLY ASH CONFORMING TO ASTM C618, CLASS C OR SLAG CEMENT CONFORMING TO ASTM C989, GRADE 120 MAY BE USED AS A REPLACEMENT FOR UP TO 25% OF CEMENTITIOUS MATERIALS BY WEIGHT. REPLACEMENT OF CEMENTITIOUS MATERIALS IN EXCESS OF THIS VALUE OR USE OF OTHER CEMENTITIOUS MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO SUBMITTING MIX DESIGNS FOR REVIEW.

7. ALL REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING MATERIAL SPECIFICATIONS: a. REINFORCING BARS: ASTM A615 (F_v=60 KSI, MIN.)

b. WELDED WIRE REINFORCEMENT: ASTM A1064 (F_v=60 KSI, MIN.) c. REINFORCING BARS TO BE WELDED: ASTM A615 OR ASTM A706 (F_y=60 KSI, MIN.) d. EPOXY-COATED REINFORCING BARS: ASTM A775 OR ASTM A934

e. EPOXY-COATED WELDED WIRE REINFORCEMENT: ASTM A884 8. ALL STIRRUPS AND TIES SHALL BE CLOSED TYPE AND ALL HOOKS SHALL BE STANDARD 90°

TYPE, UNLESS OTHERWISE NOTED. 9. WHERE NO REINFORCEMENT IS INDICATED FOR CONCRETE SLABS AND WALLS, PROVIDE A MINIMUM #4 @ 12" O.C. CONTINUOUS EACH WAY, TOP AND BOTTOM (OR EACH FACE OF WALL).

10. PROVIDE CORNER BARS AT ALL CORNERS AND INTERSECTIONS MATCHING HORIZONTAL REINFORCEMENT WITH 2'-6" MINIMUM LAPS. 11. PROVIDE MATCHING DOWELS FOR ALL VERTICAL REINFORCING BARS AT CMU WALLS. DOWEL DIAMETER SHALL MATCH VERTICAL REINFORCING BAR DIAMETER. DOWEL LENGTH SHALL BE 96 BAR DIAMETERS MINIMUM WITH 48 BAR DIAMETER MIN. EMBEDMENT AND 48 BAR DIAMETER MIN.

12. SET AND TIÉ ALL REINFORCEMENT, ANCHOR BOLTS, AND CAST-IN AND EMBEDDED ITEMS PRIOR TO PLACING CONCRETE. SETTING OF DOWELS AND REINFORCEMENT INTO WET CONCRETE

SHALL NOT BE ALLOWED. 13. REINFORCING LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI-318 FOR TENSION LAP SPLICES, CLASS B, UNLESS NOTED OTHERWISE. SEE DRAWINGS FOR SPECIAL LAP SPLICE INSTRUCTIONS AT FOUNDATION WALLS AND GRADE BEAM/PILE CAP INTERSECTIONS.

14. DETAILING OF REINFORCEMENT SHALL BE ACCORDING TO THE LATEST EDITION OF THE ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". PROVIDE BAR SUPPORTS. SPACERS. AND ACCESSORIES RECOMMENDED IN THE LATEST EDITION OF THE ACI DETAILING MANUAL, PUBLICATION SP-66. ALL ACCESSORIES IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC-COATED. PROVIDE SCHEDULE OF ALL ACCESSORIES WITH SHOP DRAWINGS FOR REVIEW.

15. CONCRETE SHALL MEET THE FOLLOWING MINIMUM PERCENTAGES OF ITS 28 DAY COMPRESSIVE STRENGTH (fc) PRIOR TO REMOVING FORMS AND/OR SHORES:

 a. ALL CONCRETE 16. UNLESS NOTED OTHERWISE, PROVIDE REINFORCEMENT COVER PER THE TABLE AT THE END

OF THIS SECTION. 17. ALL CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS, EXCEPT WHERE SPECIFICALLY INDICATED. VERTICAL CONSTRUCTION JOINTS AND STOPS IN THE CONCRETE WORK SHALL BE MADE AT MIDSPAN. ALL REINFORCEMENT SHALL BE CONTINUOUS

THROUGH VERTICAL CONSTRUCTION JOINTS. 18. MAXIMUM STRAIGHT LENGTH OF CONCRETE WALL BETWEEN CONSTRUCTION JOINTS SHALL BE

19. PROVIDE VERTICAL CONTROL JOINTS AT A MAXIMUM SPACING OF 20 FEET O.C. FOR ALL CONTINUOUS WALLS WITH MORE THAN 12" PROJECTION ABOVE FINISH GRADE. NOT ALL OPENINGS AND PENETRATIONS THROUGH CONCRETE WALLS AND SLABS ARE SHOWN

ON THE STRUCTURAL DRAWINGS. UNLESS NOTED OTHERWISE, FOR PENETRATIONS THROUGH CONCRETE FOUNDATION WALLS EXCEEDING 8"Ø, REINFORCE WALL AROUND THE PERIMETER OF THE OPENING WITH (4)-#5 BARS, EACH FACE IN A DIAGONAL PATTERN EXTENDING 2'-6" BEYOND OPENING. FOR PENETRATIONS THROUGH SLABS ON GRADE, REINFORCE PER THE TYPICAL DETAILS. COORDINATE ALL OPENING LOCATIONS WITH ARCHITECT AND OTHER

21. PROVIDE SAWCUT JOINTS IN ALL SLABS ON GRADE USING AN EARLY-ENTRY SAW WITHIN 4 HOURS OF PLACEMENT. PROVIDE SAWCUTS @ 10'-0" O.C. MAX., UNLESS NOTED OTHERWISE.

22. PLACE ALL SLABS PER ACI 301 AND ACI 302.1 SPECIFICATIONS. UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING MINIMUM FLOOR FLATNESS AND LEVELNESS: a. SLABS ON GRADE:

1. OVERALL FLOOR FLATNESS FF = 35

DRAWINGS FOR REVIEW.

2. LOCAL FLOOR FLATNESS FFL = 25 3. OVERALL FLOOR LEVELNESS FL = 25

4. LOCAL FLOOR LEVELNESS FL_L = 17 INDIVIDUAL SECTIONAL BOUNDARIES FOR LOCAL MEASUREMENTS SHALL BE SET AT CONSTRUCTION AND CONTROL JOINT LOCATIONS. IN THE ABSENCE OF CONSTRUCTION AND CONTROL JOINTS, BOUNDARIES SHALL BE COLUMN LINES AND HALF-COLUMN LINES

OR 10'-0" WIDE SEGMENTS, WHICHEVER IS LESS. 23. WHERE NECESSARY DUE TO CONGESTION OF REINFORCEMENT, CONTRACTOR SHALL PROVIDE MECHANICAL BAR COUPLERS AND BAR TERMINATORS IN LIEU OF LAP SPLICES AND HOOKED ENDS PER ACI REQUIREMENTS. THE CONTRACTOR SHALL INCLUDE THE COST OF SUCH

MECHANICAL ACCESSORIES IN BASE CONTRACT. 24. ALL CONCRETE TEST CYLINDERS FOR CONCRETE COMPRESSIVE TESTING SHALL BE PREPARED

PER ACI REQUIREMENTS AND APPLICABLE ASTM STANDARDS. 25. ALL CONCRETE MIX DURATION TIMES SHALL BE LESS THAN 90 MINUTES. 26. ALL CONCRETE MUST BE PLACED FROM A HEIGHT NOT GREATER THAN 4'-0" ABOVE ITS FINAL

27. COORDINATE THE LOCATION, QUANTITY, AND DIMENSIONS OF EMBEDDED ITEMS AND HARDWARE WITH THE ARCHITECT AND WITH RESPECTIVE SYSTEMS MANUFACTURERS (E.G. ELEVATORS, LIFTS AND CURTAIN WALL SYSTEMS).

28. ALL CONCRETE ELEMENTS WITH LEAST DIMENSIÓN OF 5 FEET OR MORE SHALL BE CONSIDERED MASS CONCRETE AND SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 SECTION 8 "MASS CONCRETE". 29. SUBMIT PROPOSED MIX DESIGN OF EACH CONCRETE TYPE AND REINFORCING SHOP

MINIMUM REINFORCEMENT COVER				
CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	MINIMUM COVER ¹	
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND ²	ALL	ALL	3 INCHES	
EXPOSED TO WEATHER	ALL	NO. 6 THROUGH NO. 18 BARS	2 INCHES	
OR IN CONTACT WITH GROUND		NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1-1/2 INCHES	
	SLABS, JOISTS,	NO. 14 AND NO. 18 BARS	1-1/2 INCHES	
NOT EXPOSED TO WEATHER OR IN	AND WALLS	NO. 11 BAR AND SMALLER	3/4 INCH	
CONTACT WITH GROUND	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2 INCHES	

MINIMUM COVER IS INDICATED IN THIS TABLE. SEE STRUCTURAL DETAILS FOR LOCATIONS WHERE GREATER COVER IS REQUIRED.

2. SEE TYPICAL DETAILS FOR COVER REQUIREMENTS AT SLABS ON GRADE.

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Scale: Key Plan:



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Bedford & Brook Streets Hartford, CT

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GENERAL NOTES

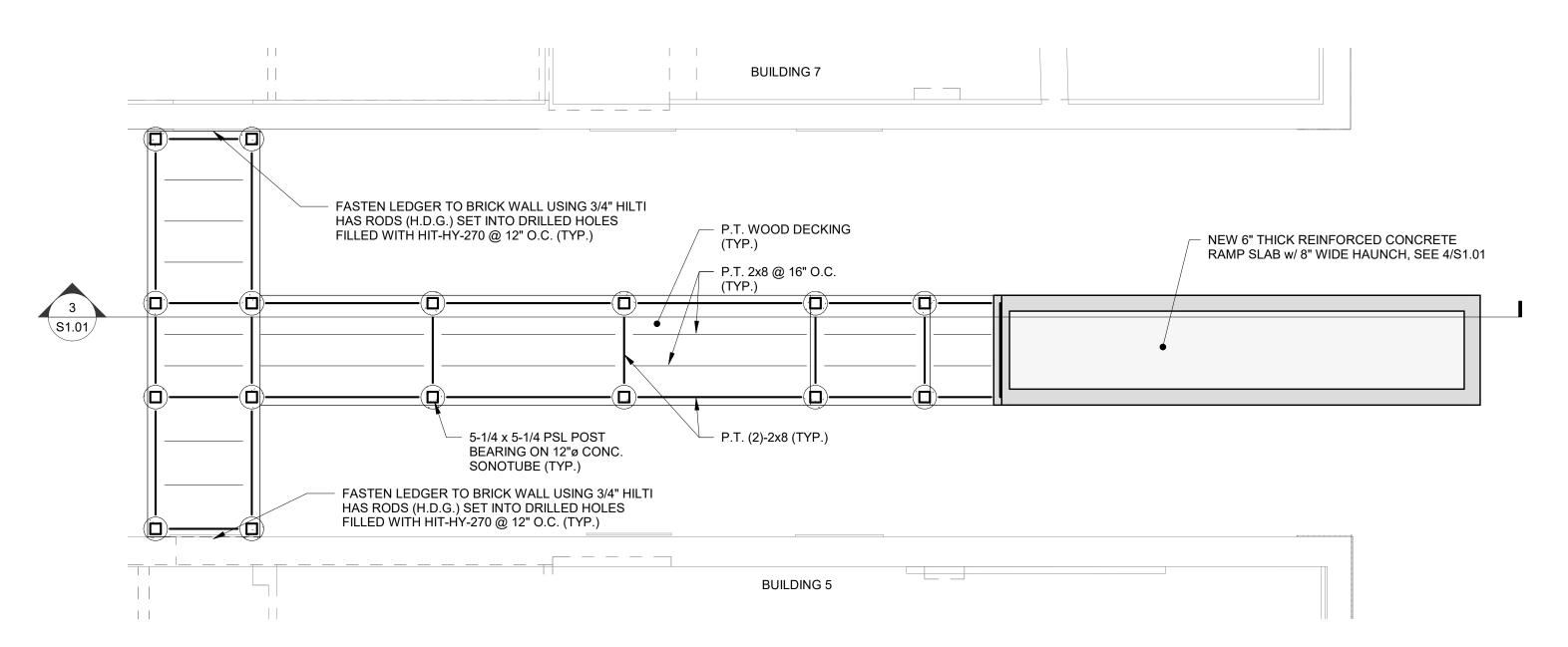
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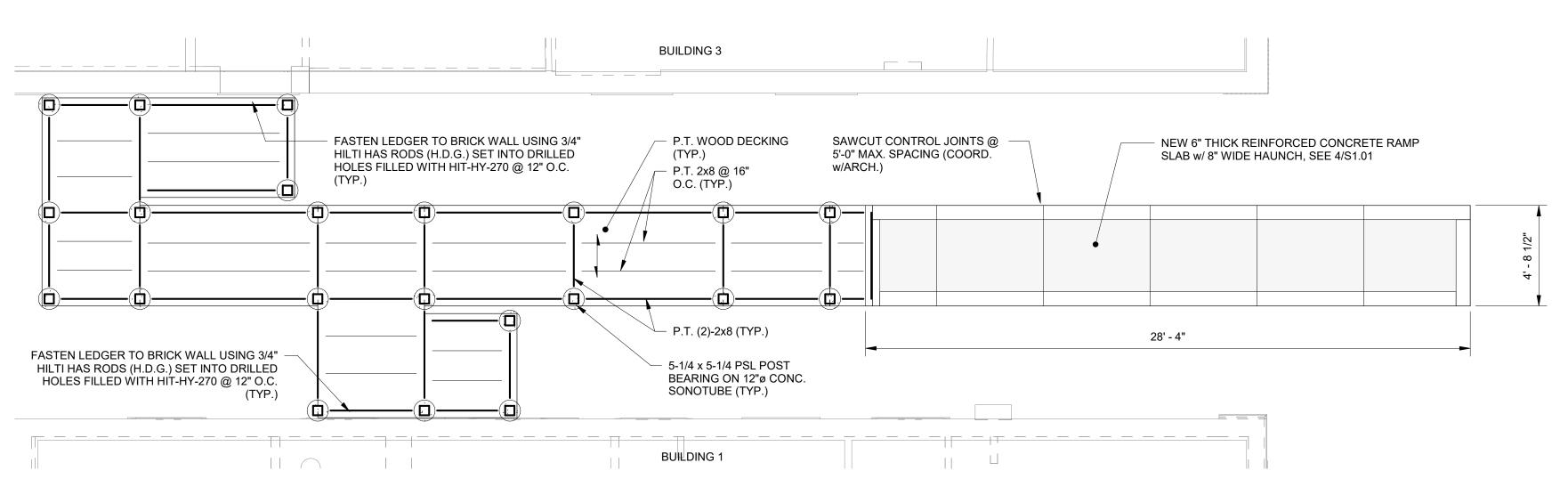
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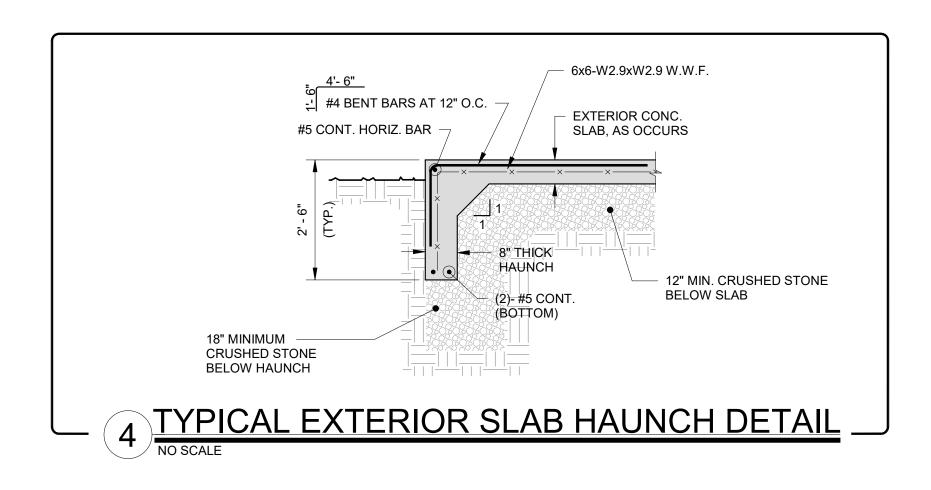
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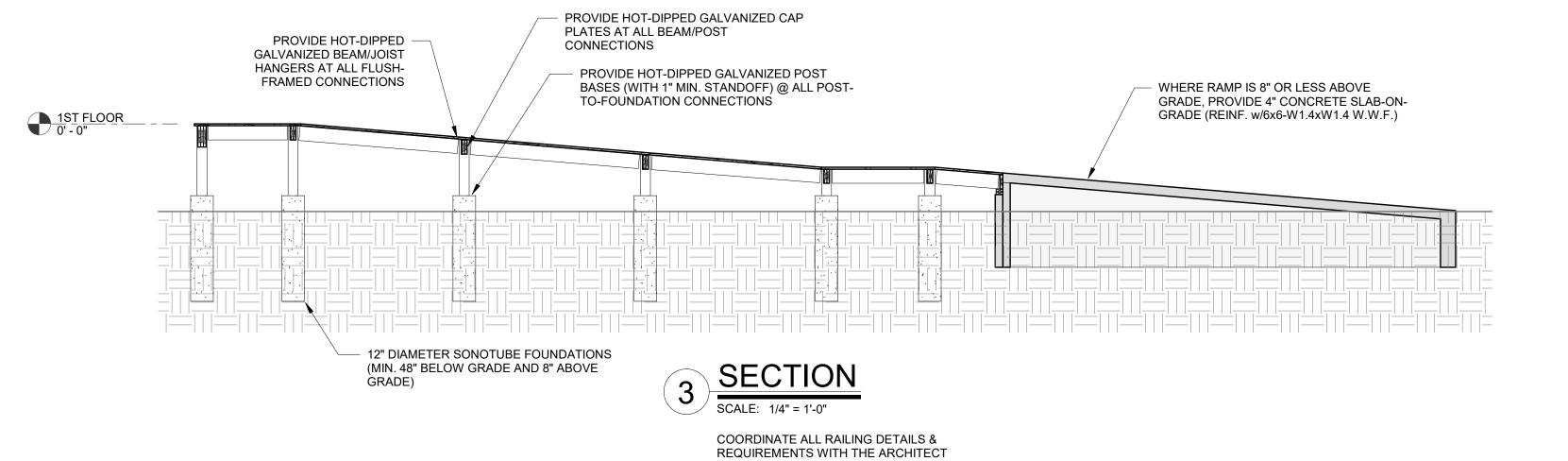


PROPOSED EXTERIOR RAMP BETWEEN BUILDINGS 5 & 7 SCALE: 1/4" = 1'-0"



PROPOSED EXTERIOR RAMP BETWEEN 2 BUILDINGS 1 & 3 SCALE: 1/4" = 1'-0"

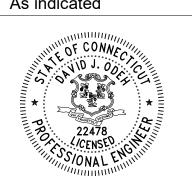




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RAMP PLANS & DETAILS

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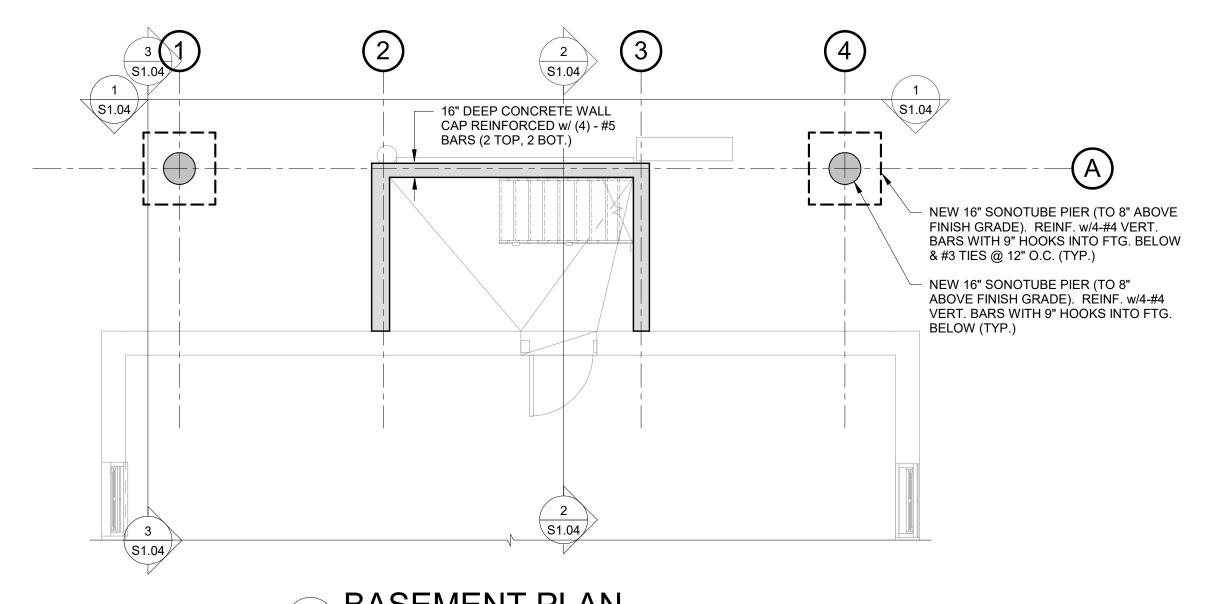
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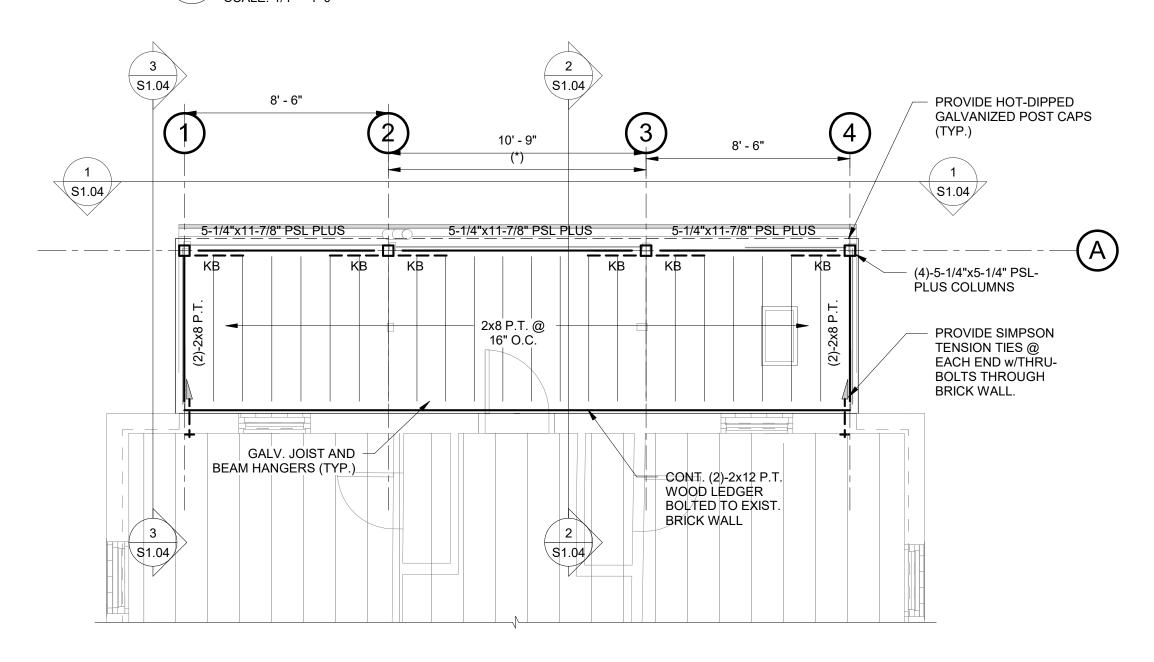
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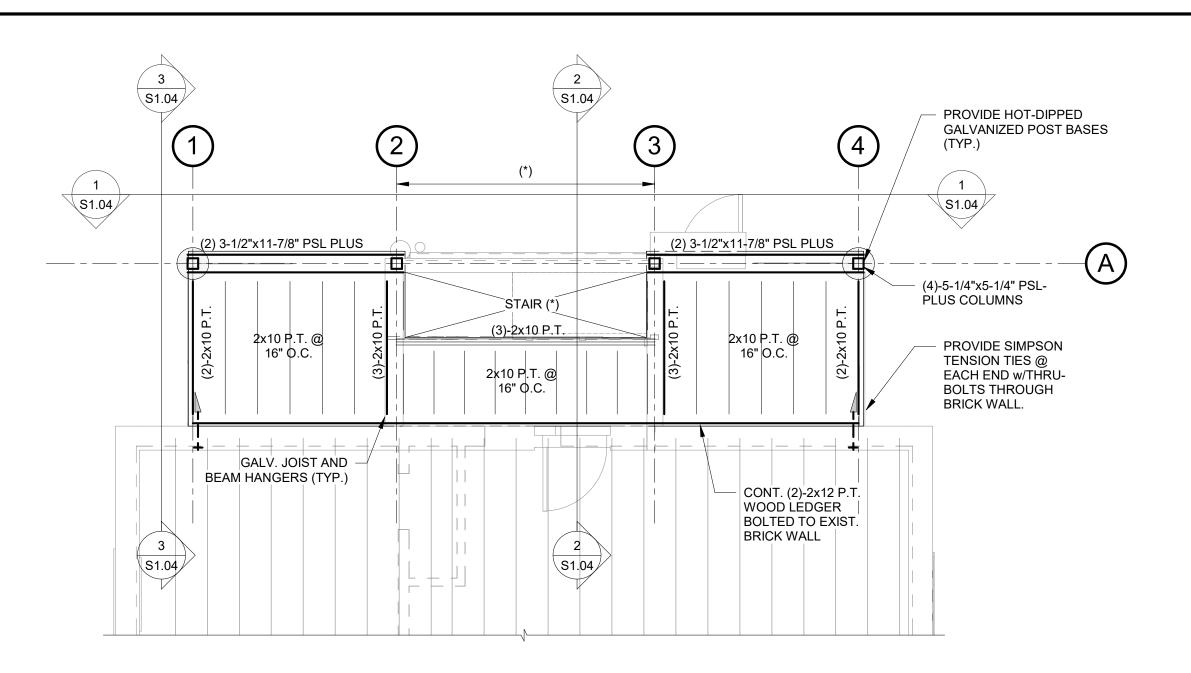


BASEMENT PLAN SCALE: 1/4" = 1'-0" 3 S1.04 S1.04 4 1 S1.04 S1.04/ (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS (4)-5-1/4"x5-1/4" PSL-PLUS COLUMNS STAIR (*) 2x10 P.T. @ 2x10 P.T. @ PROVIDE SIMPSON 16" O.C. 16" O.C. TENSION TIES @ 2x10 P.T. @ EACH END w/THRU-16" $\phi.c$ **BOLTS THROUGH** BRICK WALL. GALV. JOIST AND CONT. (2)-2x12 P.T. WOOD LEDGER | BOLTED TO EXIST. BRICK WALL S1.04 3 S1.04

3 BALCONY SECOND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0"



5 BALCONY ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



BALCONY GROUND FLOOR FRAMING PLAN SCALE: 1/4" = 1'-0" \S1.04/ ∖S1.04*/*/ (4)(*) 1 \$1.04 \$1.04 (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS (2) 3-1/2"x11-7/8" PSL PLUS <u>▗</u>▗▗▗▗▗▗▗▗▗▗▗▗ (4)-5-1/4"x5-1/4" PSL-PLUS COLUMNS STAIR (*) 2x10 P.T. @ 2x10 P.T. @ PROVIDE SIMPSON 16" Q.C. 16" O.C. TENSION TIES @ 2x10 P.T. @ EACH END w/THRU-16" O.C. **BOLTS THROUGH** BRICK WALL. GALV. JOIST AND CONT. (2)-2x12 P.T. WOOD LEDGER || BOLTED TO EXIST. BRICK WALL

4 BALCONY THIRD FLOOR FRAMING PLAN

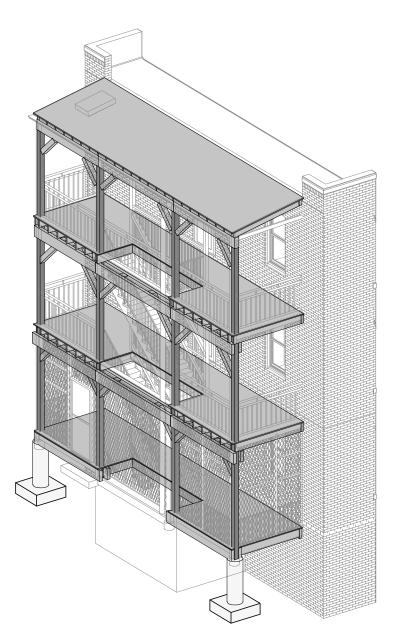
NOTES:

 (*) - STAIR CLEAR OPENING BY ARCH., SPACING BETWEEN GRIDS 2 AND 3 IS

DEPENDENT ON STAIR WIDTH

2. - - - INDICATES 5 1/4 x 5 1/4 PSL PLUS

KB KICKER BRACE



6 3D VIEW

tat

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BEDFORD GARDENS

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TYPICAL BALCONY STRUCTURAL FRAMING PLANS

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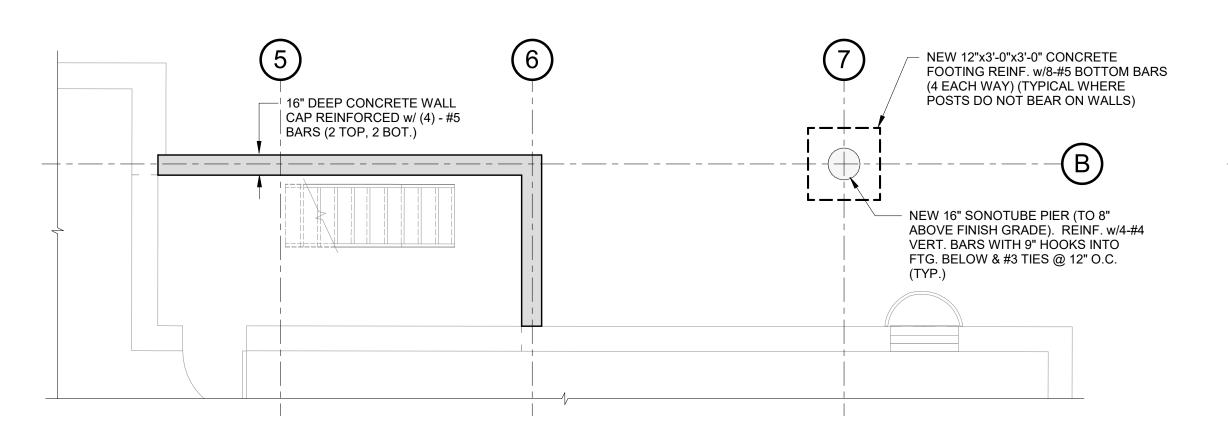
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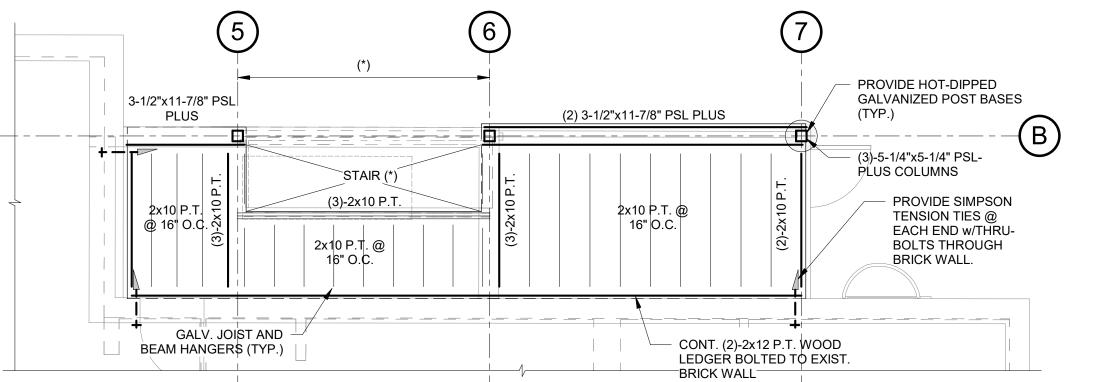
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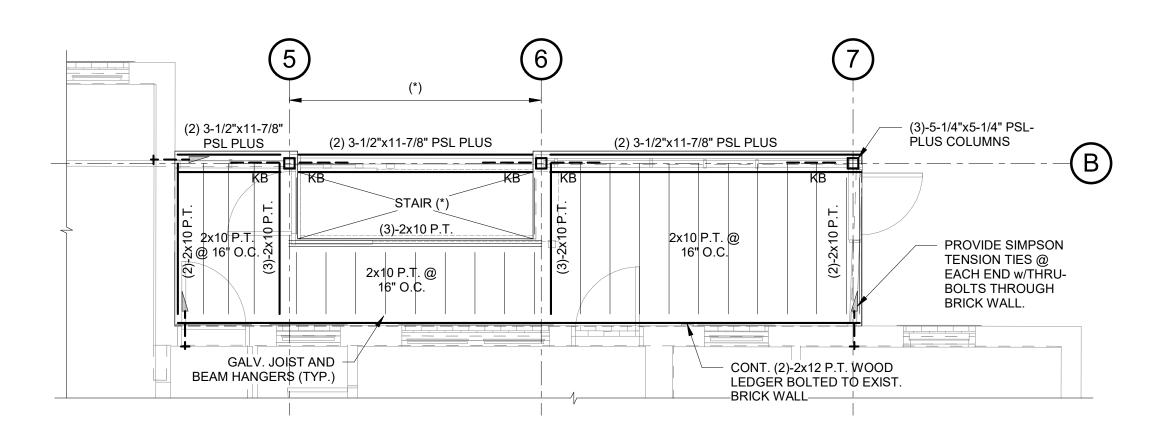
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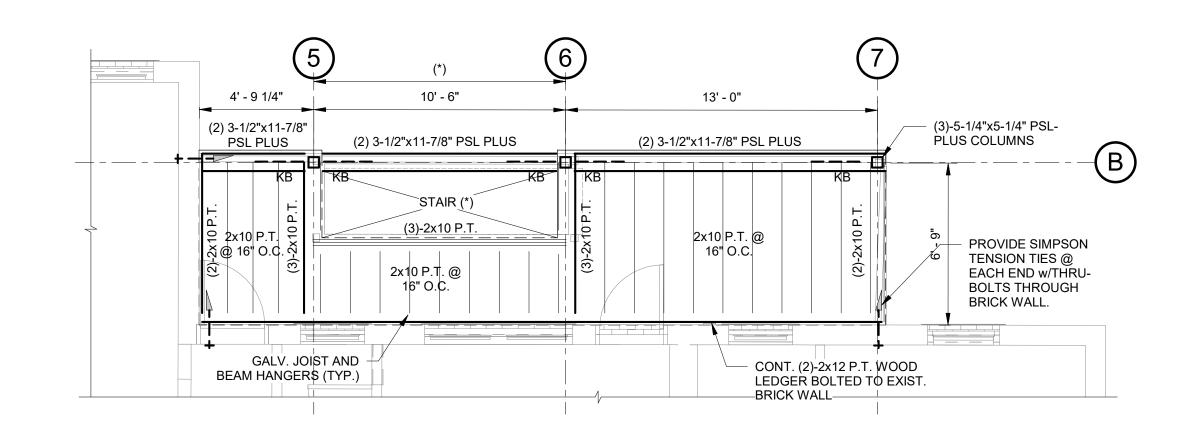




5 BASEMENT PLAN

BALCONY GROUND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

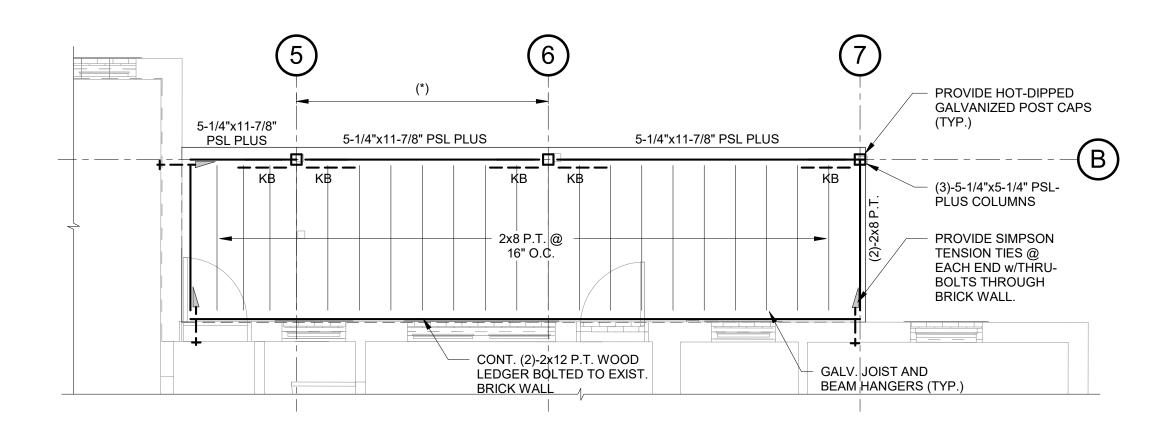




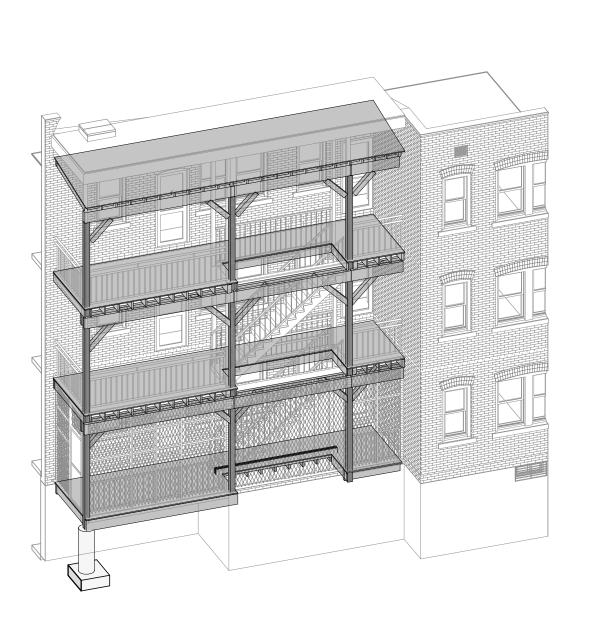
1 BALCONY SECOND FLOOR FRAMING PLAN

2 BALCONY THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



3 BALCONY ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



NOTES:

1. (*) - STAIR CLEAR OPENING BY ARCH.,
SPACING BETWEEN GRIDS 5 AND 6 IS
DEPENDENT ON STAIR WIDTH

2. - - - - INDICATES 5 1/4 x 5 1/4 PSL PLUS
KB KICKER BRACE

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BALCONY FRAMING

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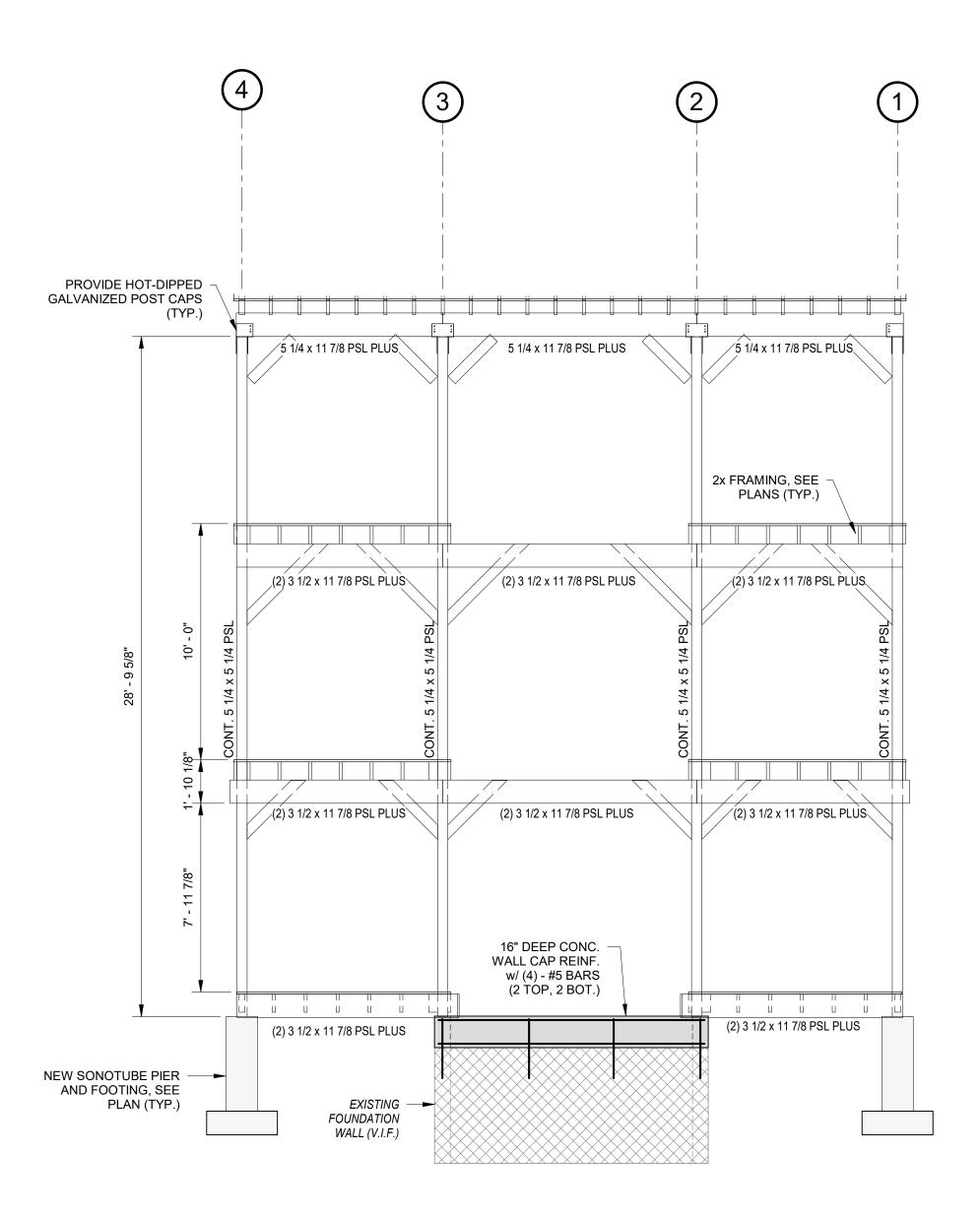
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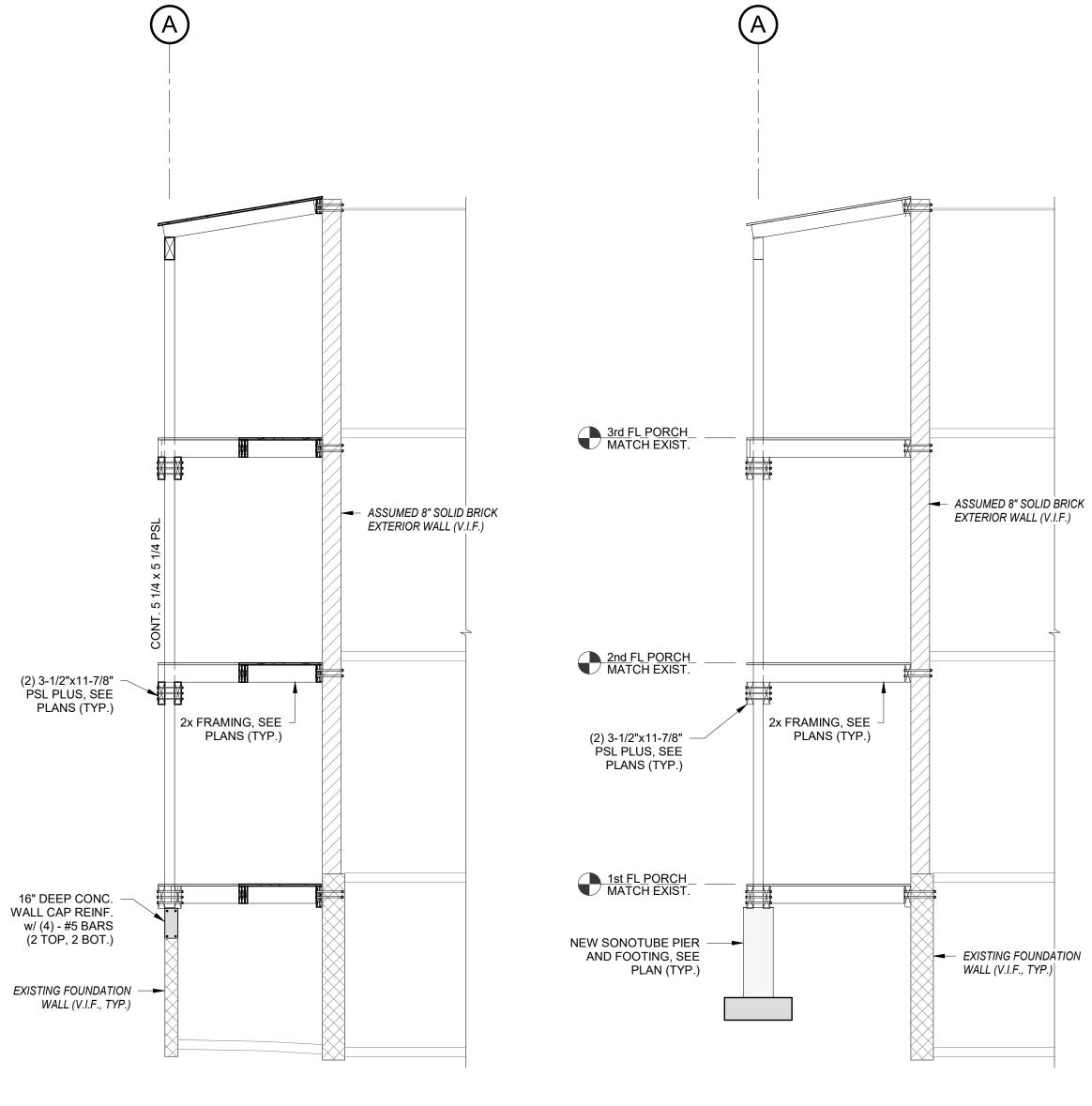
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TYPICAL PORCH FRAMING ELEVATION



- 1. ALL LUMBER SHALL BE PRESSURE TREATED 2. ALL FOOTINGS SHALL BE SET A MINIMUM OF 48" BELOW GRADE.
- ALL FASTENERS AND CONNECTORS SHALL BE HOT-DIPPED GALVANIZED.
 ALL DIMENSIONS MUST BE COORDINATED WITH THE ARCHITECT AND EXISTING CONDITIONS.
- MINIMUM BEAM-TO-COLUMN CONNECTION SHALL BE (3)-3/4" THRU-BOLTS. 6. MINIMUM KNEE BRACE TO COLUMN & KNEE BRACE TO BEAM CONNECTION SHALL BE (2)-3/4" THRU-
- 7. ALL WORK INDICATED ON THIS DRAWING IS TYPICAL. ADJUSTMENTS SHALL BE MADE TO SUIT EACH BUILDING. COORDINATE WITH THE ARCHITECT.
- 8. SEE ARCHITECTURAL DRAWINGS FOR ALL HANDRAIL, STAIR, AND ENCLOSURE REQUIREMENTS



TYPICAL PORCH FRAMING SECTION



TYPICAL PORCH FRAMING END ELEVATION





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TYPICAL BALCONY FRAMING ELEVATIONS

Bedford & Brook Streets

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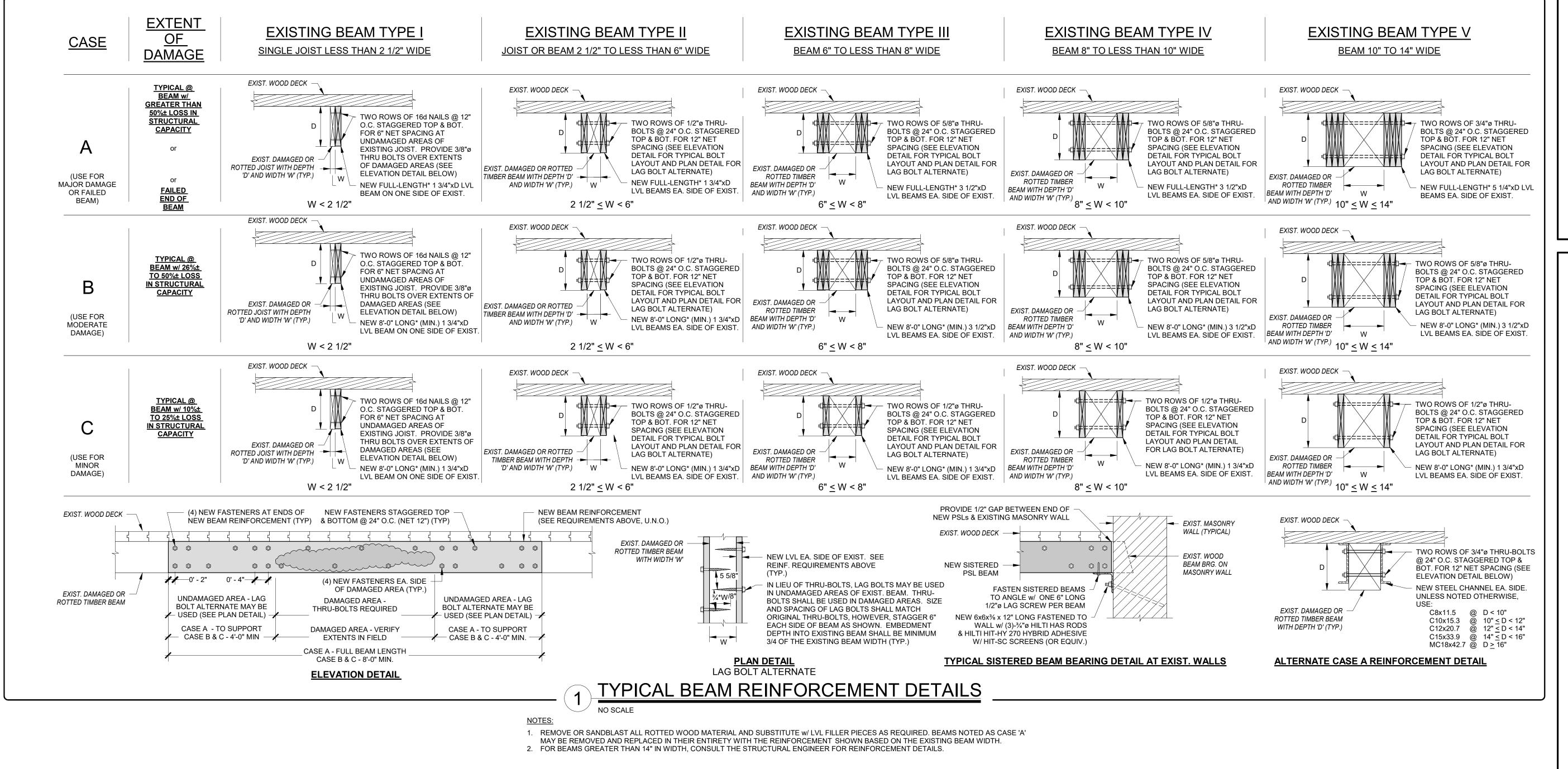
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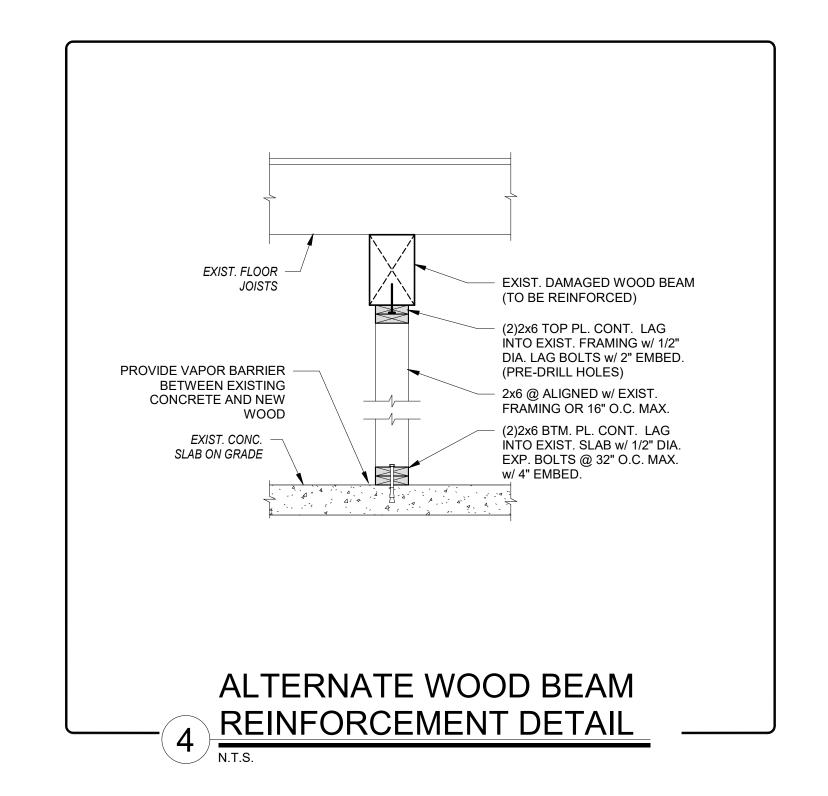
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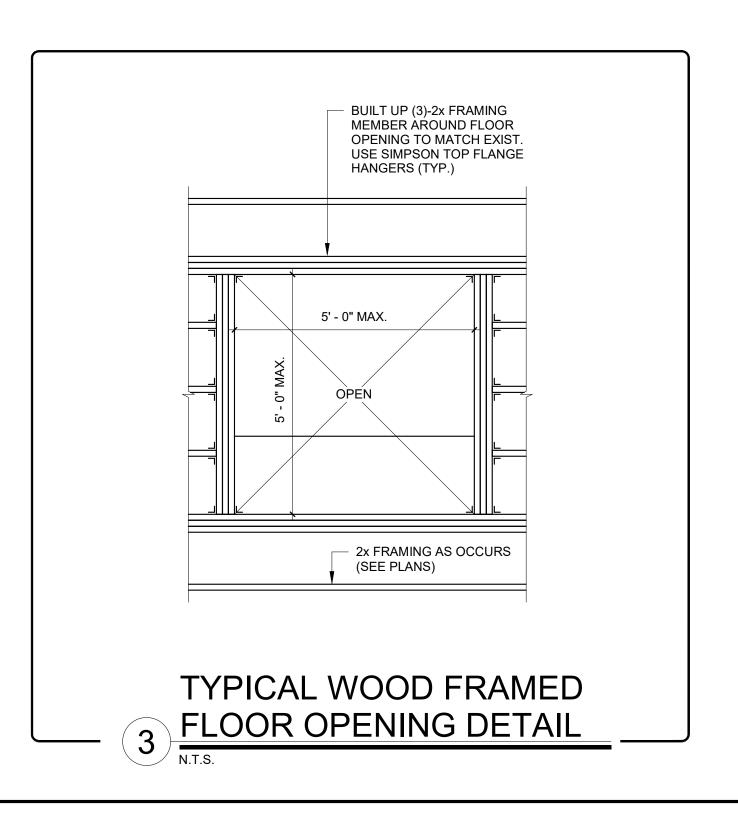
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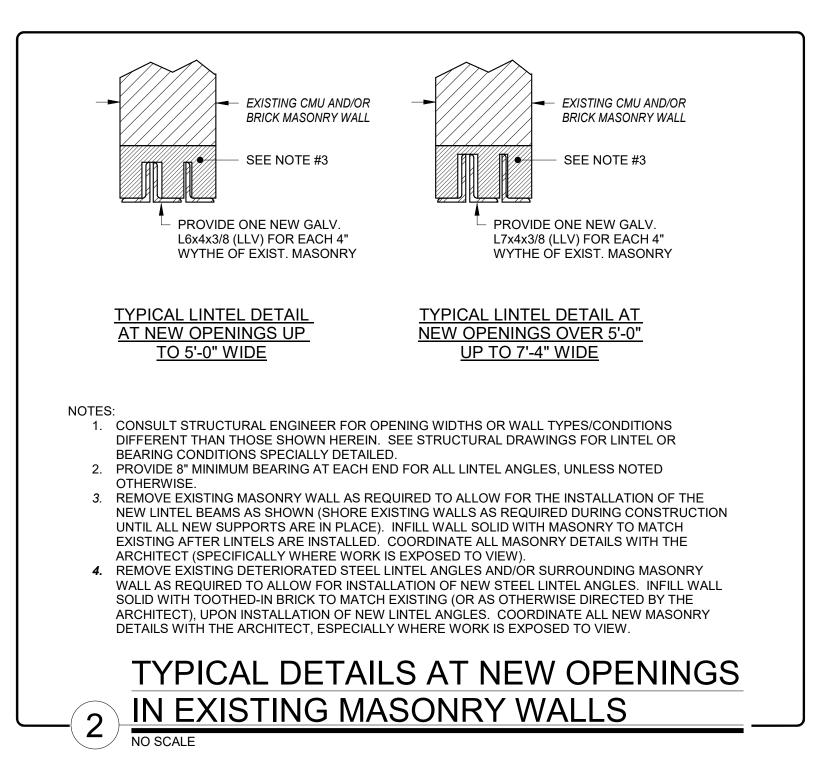
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TYPICAL STRUCTURAL DETAILS

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Issue Date:

08/11/23

Sheet Number:

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- ALL REPAIR MORTAR LIME CONTENT SHALL MATCH EXISTING PERFORM LIME CONTENT TEST PRIOR TO CONSTRUCTION.
- BRICK REMOVAL AND REPLACEMENT

AREA.

DETERIORATED -

MORTAR JOINTS

NOT LESS THAN 1"

MORTAR FROM JOINTS TO A

UNIFORM DEPTH EQUAL TO 2

1/2 TIMES JOINT WIDTH BUT

REMOVE DETERIORATED -

TOOL JOINT TO

FOR USE WHERE BRICK JOINTS HAVE

MATCH PROFILE

APPLY MORTAR IN 1/4" LIFTS -

- A. REMOVE BRICKS THAT ARE DAMAGED, SPALLED, OR DETERIORATED. CAREFULLY DEMOLISH OR REMOVE ENTIRE UNITS FROM JOINT TO JOINT, WITHOUT DAMAGING SURROUNDING MASONRY, IN A MANNER THAT PERMITS REPLACEMENT WITH FULL-SIZE UNITS. 1. WHEN REMOVING SINGLE BRICKS, REMOVE MATERIAL FROM
- CENTER OF BRICK AND WORK TOWARD OUTSIDE EDGES. B. SUPPORT AND PROTECT REMAINING MASONRY THAT SURROUNDS REMOVAL AREA. MAINTAIN FLASHING, REINFORCEMENT, LINTELS, AND
- ADJOINING CONSTRUCTION IN AN UNDAMAGED CONDITION. C. NOTIFY ENGINEER OF UNFORESEEN DETRIMENTAL CONDITIONS INCLUDING VOIDS, CRACKS, BULGES, AND LOOSE MASONRY UNITS IN EXISTING MASONRY BACKUP, ROTTED WOOD, RUSTED METAL, AND OTHER DETERIORATED ITEMS.
- D. REMOVE IN AN UNDAMAGED CONDITION AS MANY WHOLE BRICKS AS POSSIBLE*.
- STORE BRICK FOR REUSE, AS INDICATED. 3. DELIVER CLEANED BRICK NOT REQUIRED FOR REUSE TO OWNER,
- UNLESS OTHERWISE DIRECTED. E. CLEAN BRICKS SURROUNDING REMOVAL AREAS BY REMOVING
- F. INSTALL REPLACEMENT BRICK INTO BONDING AND COURSING
- MOTOR-DRIVEN SAW DESIGNED TO CUT MASONRY WITH CLEAN, SHARP, UNCHIPPED EDGES. G. LAY REPLACEMENT BRICK WITH COMPLETELY FILLED BED. HEAD. AND COLLAR JOINTS. BUTTER ENDS WITH SUFFICIENT MORTAR TO FILL SURROUNDING BRICKS THAT HAVE ASTM C 67 INITIAL RATES OF ABSORPTION (SUCTION) OF MORE THAN 30 G/30 SQ, IN. PER MIN. (30
- HEAD JOINTS AND SHOVE INTO PLACE. WET BOTH REPLACEMENT AND G/194 SQ. CM PER MIN.). USE WETTING METHODS THAT ENSURE THAT UNITS ARE NEARLY SATURATED BUT SURFACE IS DRY WHEN LAID. MAINTAIN JOINT WIDTH FOR REPLACEMENT UNITS TO MATCH EXISTING
- 1. TOOL EXPOSED MORTAR JOINTS IN REPAIRED AREAS TO MATCH JOINTS OF SURROUNDING EXISTING BRICKWORK. RAKE OUT MORTAR USED FOR LAYING BRICK BEFORE MORTAR SETS AND POINT NEW MORTAR JOINTS IN REPAIRED AREA TO COMPLY WITH REQUIREMENTS FOR RE-POINTING EXISTING

MASONRY, AND AT SAME TIME AS RE-POINTING OF SURROUNDING

- 3. MASONRY UNIT PATCHING

 - UNITS WITH HOLES.
- B. REMOVE AND REPLACE EXISTING PATCHES, UNLESS OTHERWISE INDICATED OR APPROVED BY ARCHITECT
- - REMOVE LOOSE MATERIAL FROM BRICK SURFACE. REMOVE ADDITIONAL MATERIAL SO PATCH WILL NOT HAVE FEATHERED EDGES AND WILL BE AT LEAST 1/4 INCH (6 MM) THICK. BUT NOT LESS THAN RECOMMENDED BY PATCHING COMPOUND
- MASK OR REMOVE SURROUNDING MORTAR JOINTS IF PATCH WILL
- MIX PATCHING COMPOUND IN INDIVIDUAL BATCHES TO MATCH EACH UNIT BEING PATCHED. COMBINE ONE OR MORE COLORS OF PATCHING COMPOUND, AS NEEDED, TO PRODUCE EXACT MATCH. RINSE SURFACE TO BE PATCHED AND LEAVE DAMP, BUT WITHOUT
- BRUSH-COAT SURFACES WITH SLURRY COAT OF PATCHING COMPOUND ACCORDING TO MANUFACTURER'S WRITTEN
- INSTRUCTIONS. 6. PLACE PATCHING COMPOUND IN LAYERS AS RECOMMENDED BY PATCHING COMPOUND MANUFACTURER, BUT NOT LESS THAN 1/4
- TROWEL, SCRAPE, OR CARVE SURFACE OF PATCH TO MATCH TEXTURE AND SURFACE PLANE OF SURROUNDING BRICK. SHAPE AND FINISH SURFACE BEFORE OR AFTER CURING. AS
- 8. KEEP EACH LAYER DAMP FOR 72 HOURS OR UNTIL PATCHING COMPOUND HAS SET.

- REPOINTING MASONRY VERIFY AND COORDINATE WITH ARCH. DWGS. A. RAKE OUT AND RE-POINT MORTAR JOINTS TO THE FOLLOWING
 - 1. ALL JOINTS IN AREAS INDICATED.
 - 2. JOINTS WHERE MORTAR IS MISSING OR WHERE THEY CONTAIN
 - 3. CRACKED JOINTS WHERE CRACKS CAN BE PENETRATED AT LEAST 1/4 INCH (6 MM) BY A KNIFE BLADE 0.027 INCH (0.7 MM) THICK. 4. CRACKED JOINTS WHERE CRACKS ARE 1/8 INCH (3 MM) OR MORE IN
 - WIDTH AND OF ANY DEPTH. 5. JOINTS WHERE THEY SOUND HOLLOW WHEN TAPPED BY METAL
 - 6. JOINTS WHERE THEY ARE WORN BACK 1/4 INCH (6 MM) OR MORE FROM SURFACE.
- 7. JOINTS WHERE THEY ARE DETERIORATED TO POINT THAT MORTAR CAN BE EASILY REMOVED BY HAND. 8. JOINTS, OTHER THAN THOSE INDICATED AS SEALANT-FILLED JOINTS, WHERE THEY HAVE BEEN FILLED WITH SUBSTANCES
- B. DO NOT RAKE OUT AND RE-POINT JOINTS WHERE NOT REQUIRED.
- C. RAKE OUT JOINTS AS FOLLOWS:
- 1. REMOVE MORTAR FROM JOINTS TO DEPTH OF 2 TIMES JOINT WIDTH, BUT NOT LESS THAN 1/2 INCH (13 MM) OR NOT LESS THAN THAT
- JOINTS TO PROVIDE REVEALS WITH SQUARE BACKS AND TO EXPOSE MASONRY FOR CONTACT WITH POINTING MORTAR. BRUSH, VACUUM. OR FLUSH JOINTS TO REMOVE DIRT AND LOOSE DEBRIS.
- 3. DO NOT SPALL EDGES OF MASONRY UNITS OR WIDEN JOINTS. REPLACE OR PATCH DAMAGED MASONRY UNITS AS DIRECTED BY ARCHITECT.
 - a. CUT OUT CENTER OF MORTAR BED JOINTS USING ANGLE GRINDERS WITH DIAMOND-IMPREGNATED METAL BLADES. STRICTLY ADHERE TO WRITTEN QUALITY-CONTROL PROGRAM. QUALITY-CONTROL PROGRAM SHALL INCLUDE PROVISIONS FOR DEMONSTRATING ABILITY OF OPERATORS TO USE TOOLS WITHOUT DAMAGING MASONRY, SUPERVISING PERFORMANCE,

- . NOTIFY ENGINEER OF UNFORESEEN DETRIMENTAL CONDITIONS INCLUDING VOIDS IN MORTAR JOINTS, CRACKS, LOOSE MASONRY UNITS, ROTTED WOOD, RUSTED METAL, AND OTHER DETERIORATED
- POINTING, JOINT SURFACES ARE DAMP BUT FREE OF STANDING BEFORE POINTING.
- WAS REMOVED TO DEPTHS GREATER THAN SURROUNDING AREAS. APPLY IN LAYERS NOT GREATER THAN 3/8 INCH (9 MM) UNTIL A UNIFORM DEPTH IS FORMED. FULLY COMPACT EACH LAYER THOROUGHLY AND ALLOW IT TO BECOME THUMBPRINT HARD BEFORE
- 3. AFTER LOW AREAS HAVE BEEN FILLED TO SAME DEPTH AS REMAINING JOINTS, POINT ALL JOINTS BY PLACING MORTAR IN LAYER AND ALLOW TO BECOME THUMBPRINT HARD BEFORE APPLYING NEXT LAYER. WHERE EXISTING BRICKS HAVE WORN OR ROUNDED EDGES, SLIGHTLY RECESS FINISHED MORTAR SURFACE CARE NOT TO SPREAD MORTAR OVER EDGES ONTO EXPOSED
- 4. WHEN MORTAR IS THUMBPRINT HARD, TOOL JOINTS TO MATCH ORIGINAL APPEARANCE OF JOINTS. REMOVE EXCESS MORTAR FROM EDGE OF JOINT BY BRUSHING.
- LEAST 72 HOURS INCLUDING WEEKENDS AND HOLIDAYS.
- 1. ACCEPTABLE CURING METHODS INCLUDE COVERING WITH WET BURLAP AND PLASTIC SHEETING, PERIODIC HAND MISTING, AND PERIODIC MIST SPRAYING USING SYSTEM OF PIPES. MIST HEADS, AND
- DAMP THROUGHOUT ITS DEPTH WITHOUT ERODING SURFACE MORTAR.

REPLACE DAMAGED

REMOVE EXISTING SEALANT AS APPLICABLE

SAW-CUT CRACK TO 1/4" MIN. JOINT WIDTH IF

NECESSARY: INSTALL CLOSED-CELL BACKER-ROD AND SEALANT PER "TYPICAL CRACK

SEALANT DETAIL" ON THIS SHEET

NEW WORK

BRICK AS NECESSARY

BEGINNING CLEANING WORK.

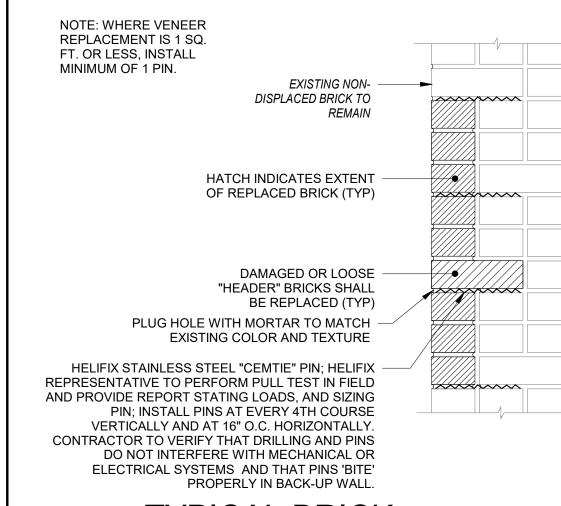
"HELIFIX" STAINLESS STEEL CRACK STITCHING "HELIBAR" PLACED EVERY FOURTH BRICK

TYPICAL STEPPED BRICK

CRACK REPAIR DETAIL

COURSE VERTICALLY ON EXTERIOR AND

INTERIOR WALL FACES (TYP.)



- SUBMIT PRODUCT SPECS TO BE USED FOR APPROVAL PRIOR TO
- ALL WORK AND PREPARATION SHALL BE TO STRICT ADHERENCE OF
- ALL MATERIALS NOTED AS "SIKA" SHALL BE AS MANUFACTURED BY "SIKA CORPORATION" OF LYNDHURST, NJ, OR AN APPROVED EQUAL. ALL NEW REPAIR MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS BY QUALIFIED INSTALLERS. THE CONTRACTOR SHALL PROVIDE UNIT PRICES FOR ALL WORK. A QUALIFIED REPRESENTATIVE OF REPAIR MATERIAL MANUFACTURER SHALL BE ENGAGED AT THE CONTRACTOR'S EXPENSE TO SUPERVISE PROCEDURES AND
- ALL MATERIALS NOTED AS 'HELIFIX' SHALL BE AS MANUFACTURED BY "HELIFIX INC." OF STREETSBORO, OH, OR AN APPROVED EQUAL. 'HELIFIX' PINS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS BY QUALIFIED INSTALLERS RESIST 50 PSF WIND LOAD SUCTION. 'HELIFIX' REPRESENTATIVE TO PERFORM FIELD PULL TEST AND SUBMIT REPORT STATING SIZE OF TIES TO BE USED AND ANTICIPATED PULL OUT LOADS

NOTE: CONTRACTOR TO VERIFY THAT INSTALLATION OF 'HELIFIX' BARS DOES NOT INTERFERE WITH MECHANICAL SYSTEMS (PIPES, ELECTRIC

NOTES REGARDING BRICK MASONRY REPAIR DETAILS-ALL BRICK MASONRY REPAIR DETAILS SHALL BE COORDINATED WITH

- PRODUCT SPECIFICATIONS.
- PLACEMENT OF ALL RESTORATION PRODUCTS.

Key Plan:

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Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

TYPICAL BRICK MASONRY REPAIR DETAILS

FOR PERMIT ONLY

Project Number

22020

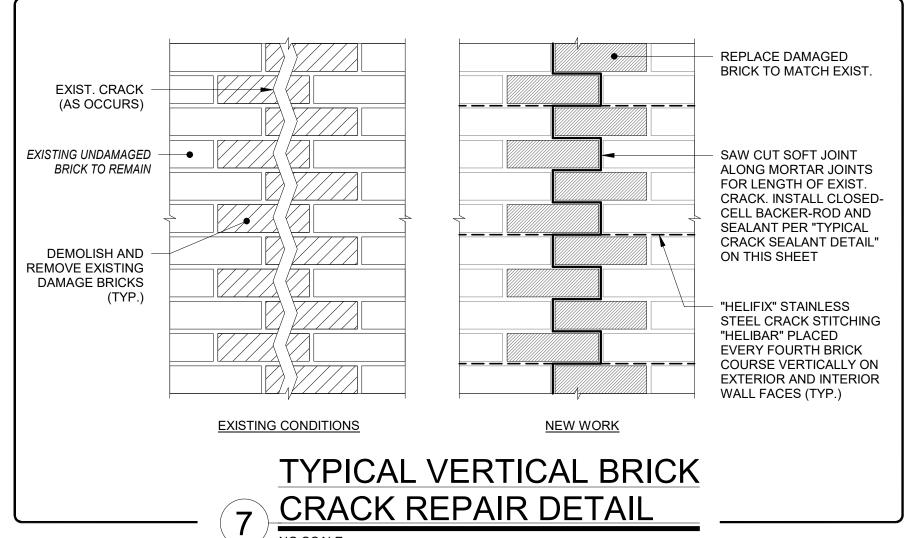
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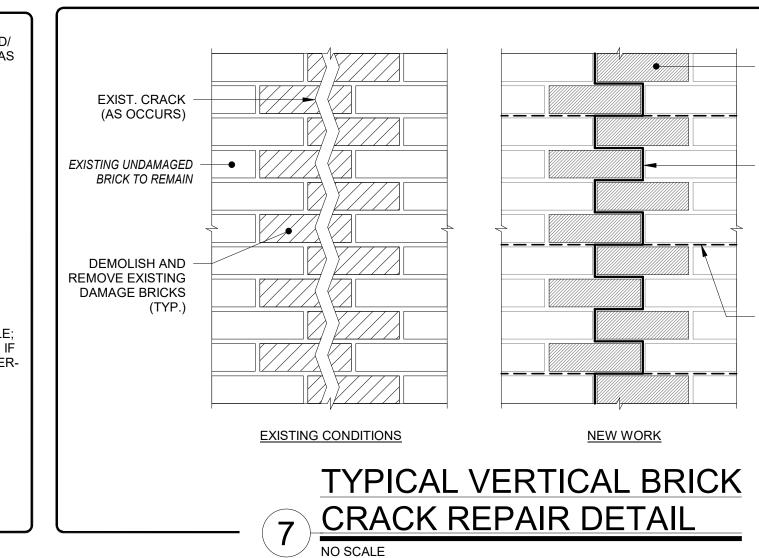
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S4.01

REPLACE DAMAGED/ "HELIFIX" STAINLESS STEEL CRACK STITCHING DEMOLISH AND REMOVE DISPLACED BRICK AS "HELIBAR" PLACED EVERY FOURTH BRICK EXISTING DAMAGE/DISPLACED COURSE VERTICALLY ON EXTERIOR AND NECESSARY (TYP) BRICK (TYP.) UNDAMAGED BRICK TO REMAIN 'HELIFIX' 10MMø "CEMTIE" PINS PLACED REMOVE EXISTING SEALANT AS APPLICABLE **EVERY FOURTH BRICK COURSE** DISPLACEMENT SAW-CUT CRACK TO 1/4" MIN. JOINT WIDTH IF VERTICALLY ON EACH SIDE OF EXISTING LINE (AS OCCURS) NECESSARY; INSTALL CLOSED-CELL BACKER-CRACK/DISPLACEMENT LINE. INSTALL PINS ROD AND SEALANT PER "TYPICAL CRACK AT 16" O.C. HORIZONTALLY THROUGHOUT SEALANT DETAIL" ON THIS SHEET DAMAGED/DISPLACED AREA. (TYP) **EXISTING CONDITIONS NEW WORK**





TYPICAL BRICK CRACK WITH

2. BACKER ROD TO BE SIZED 25% LARGER THAN JOINT

LATERAL DISPLACEMENT REPAIR DETAIL

1. REMOVE MORTAR, LOOSE PARTICLES, AND SOIL FROM BRICK BY CLEANING WITH HAND CHISELS, BRUSHES, AND WATER.

MORTAR, DUST, AND LOOSE PARTICLES IN PREPARATION FOR PATTERN OF EXISTING BRICK. IF CUTTING IS REQUIRED. USE A

A. PATCH THE FOLLOWING MASONRY UNITS

UNITS WITH CHIPPED EDGES OR CORNERS.

3. UNITS WITH SMALL AREAS OF DEEP DETERIORATION.

C. PATCHING BRICKS:

MANUFACTURER.

EXTEND TO EDGE OF BRICK.

INCH (6 MM) OR MORE THAN 2 INCHES (50 MM) THICK. ROUGHEN SURFACE OF EACH LAYER TO PROVIDE A KEY FOR NEXT LAYER.

DETERMINED BY TESTING, TO BEST MATCH EXISTING BRICK.

EXISTING BRICK

ROUT AND RAKE OUT

EXISTING JOINT

OTHER THAN MORTAR.

TYPICAL BRICK MASONRY REPAIR NOTES

* - CONTRACTOR MAY PROVIDE NEW BRICKS TO MATCH EXISTING WITH WRITTEN APPROVAL FROM THE OWNER AND ARCHITECT

— THICKNESS = X/2

WIDTH = X

· NEW SIKA'S "SIKAFLEX

2C NS" SEALANT

FOR USE AT CRACK LOCATIONS - VERIFY LOCATIONS

IN FIELD (COORDINATE w/ARCHITECT, TYP.)

TYPICAL CRACK

SEALANT DETAIL

REMOVE ANY EXISTING SEALANT RESIDUE FROM JOINT

REQUIRED TO EXPOSE SOUND, UN-WEATHERED MORTAR. 2. REMOVE MORTAR FROM MASONRY SURFACES WITHIN RAKED-OUT

REMOVE REMAINING MORTAR BY HAND WITH CHISEL AND MALLET AND PREVENTING DAMAGE DUE TO WORKER FATIGUE.

DEMOLISH AND REMOVE

EXISTING DAMAGE BRICK

₩•

EXISTING CONDITIONS

XISTING UNDAMAGED -

BRICK TO REMAIN

EXIST. CRACK

(AS OCCURS)

E. POINT JOINTS AS FOLLOWS:

1. RINSE MASONRY-JOINT SURFACES WITH WATER TO REMOVE DUST AND MORTAR PARTICLES. TIME RINSING APPLICATION SO, AT TIME OF

WATER. IF RINSE WATER DRIES, DAMPEN MASONRY-JOINT SURFACES 2. APPLY POINTING MORTAR FIRST TO AREAS WHERE EXISTING MORTAR

APPLYING NEXT LAYER. LAYERS NOT GREATER THAN 1/4 INCH (9 MM). FULLY COMPACT EACH BELOW FACE OF MASONRY TO AVOID WIDENED JOINT FACES. TAKE

MASONRY SURFACES OR TO FEATHEREDGE MORTAR.

CURE MORTAR BY MAINTAINING IN THOROUGHLY DAMP CONDITION FOR AT

2. ADJUST CURING METHODS TO ENSURE THAT POINTING MORTAR IS

G. WHERE RE-POINTING WORK PRECEDES CLEANING OF EXISTING MASONRY, ALLOW MORTAR TO HARDEN AT LEAST 30 DAYS BEFORE

TYPICAL BRICK

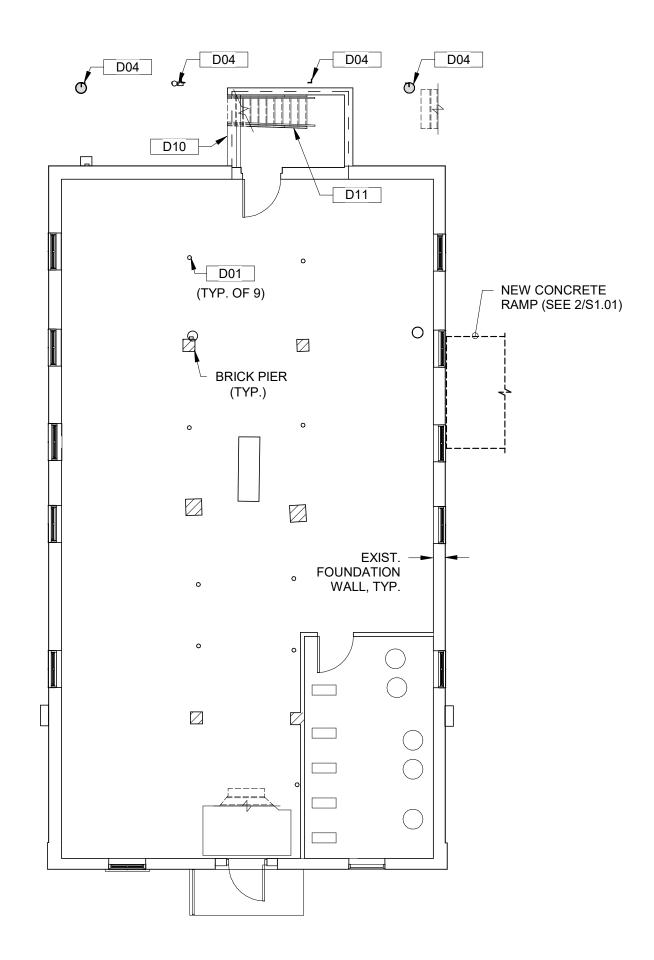


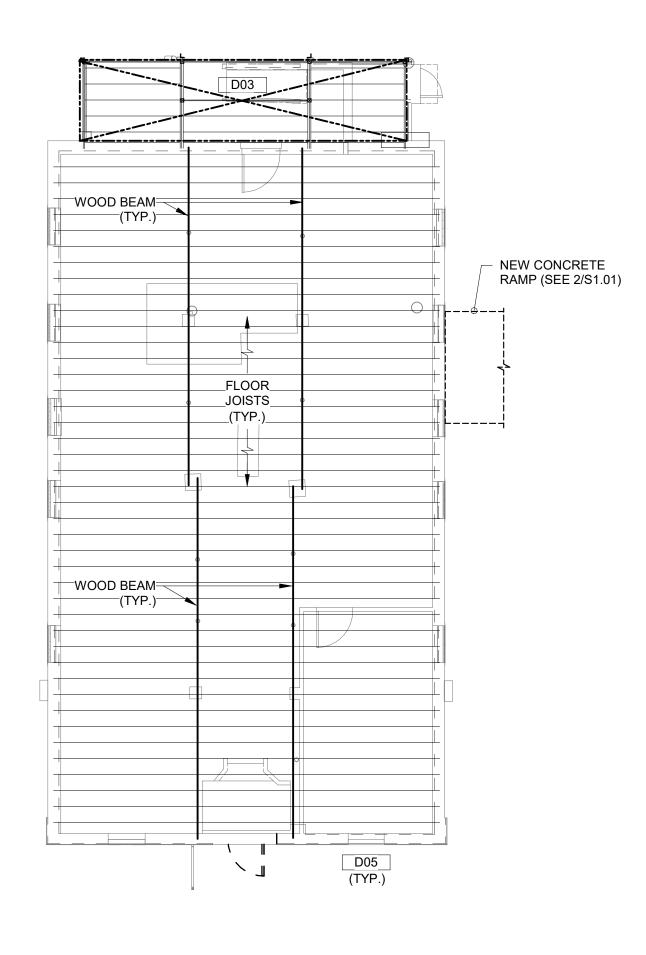
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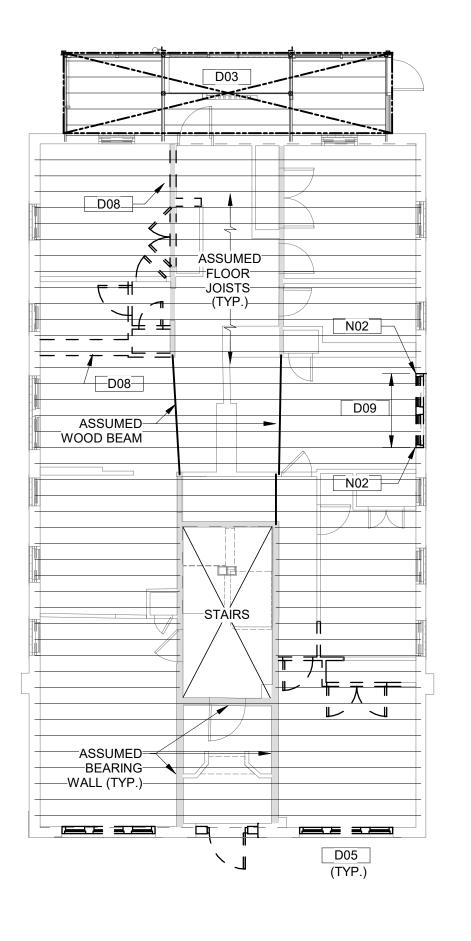
'HELIFIX' PINS SHALL BE STAINLESS STEEL AND SHALL BE INSTALLED TO

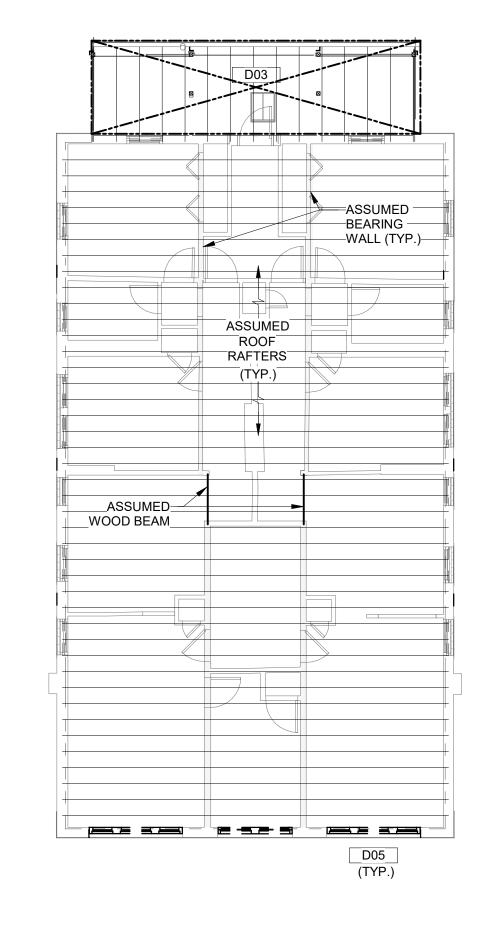
ARCHITECTURAL DRAWINGS AND DETAILS

DETERIORATED - VERIFY LOCATIONS IN FIELD AND COORDINATE ALL RESTORATION WORK WITH TYPICAL BRICK **RE-POINTING DETAIL**











EXISTING 1st

PLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

EXISTING 2nd & 3rd

FLOOR FRAMING PLAN

SCALE: 1/8" = 11:0"



STRUCTURAL DEMO NOTES Key Value **Keynote Text** EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL". EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF. EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS. EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED. PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR. EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

ALL DETAILS WITH THE ARCHITECT.

	NEW CONDITIONS NOTES	
	Key Value	Keynote Text
N02		PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".
N03		PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

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Drawn: BJL, KLM

Checked: DJO

Key Plan:

Scale: As indicated



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 1 EXISTING STRUCTURAL PLANS

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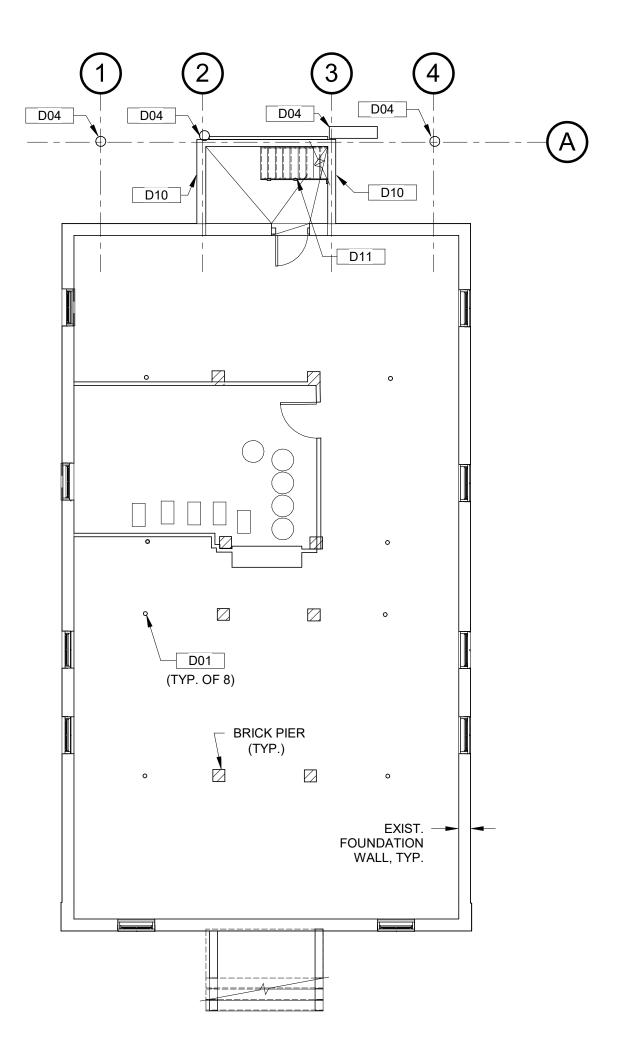
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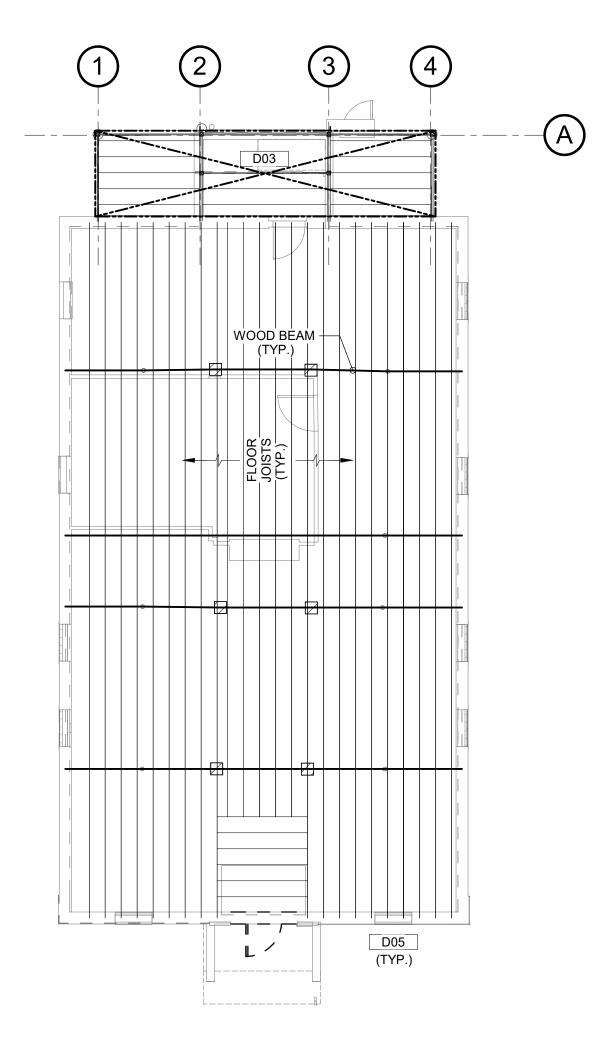
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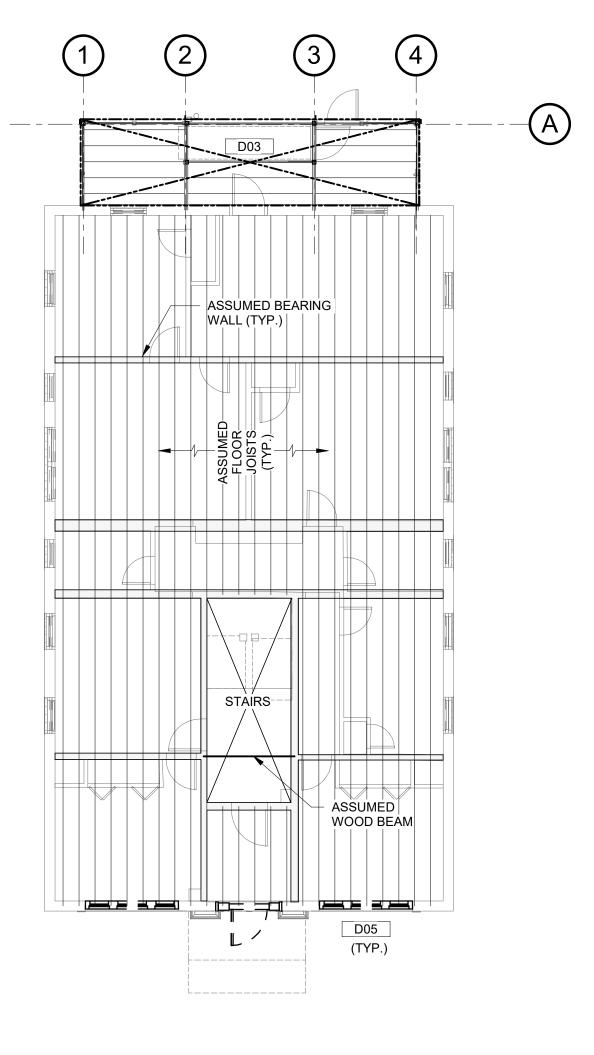
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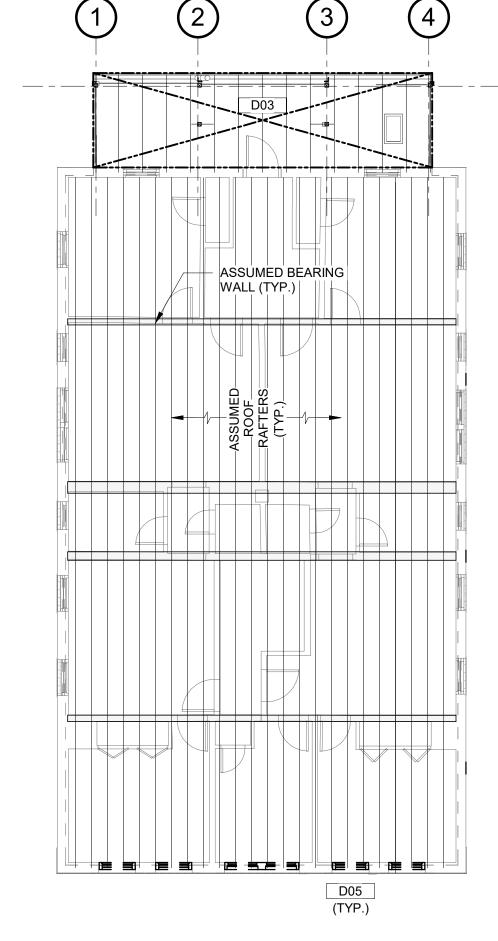
FEBRUARY 24, 2023

Sheet Number:











EXISTING
BASEMENT PLAN

SCALE: 1/8" = 1'-0"

EXISTING 1st

Property of the second scale: 1/8" = 1'-0"

EXISTING 2nd & 3rd

FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES	
Key Value	Keynote Text
D01	EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL".
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D09	PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR.
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Revision:

Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

OF CONNECTION AND J. OD. C.

Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 2 EXISTING STRUCTURAL PLANS

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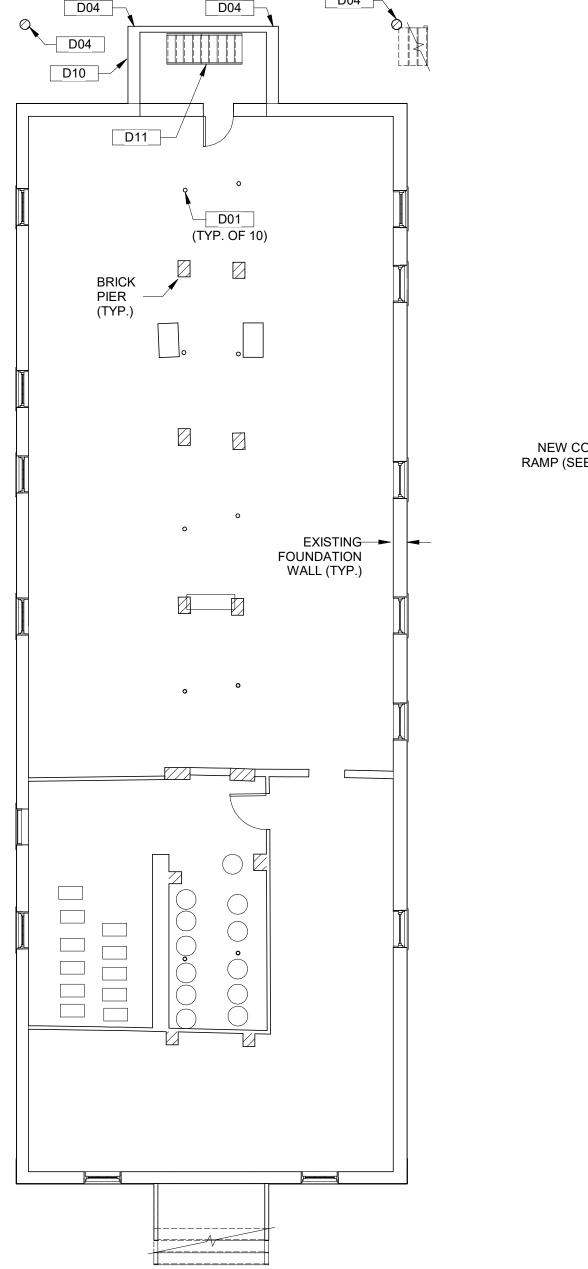
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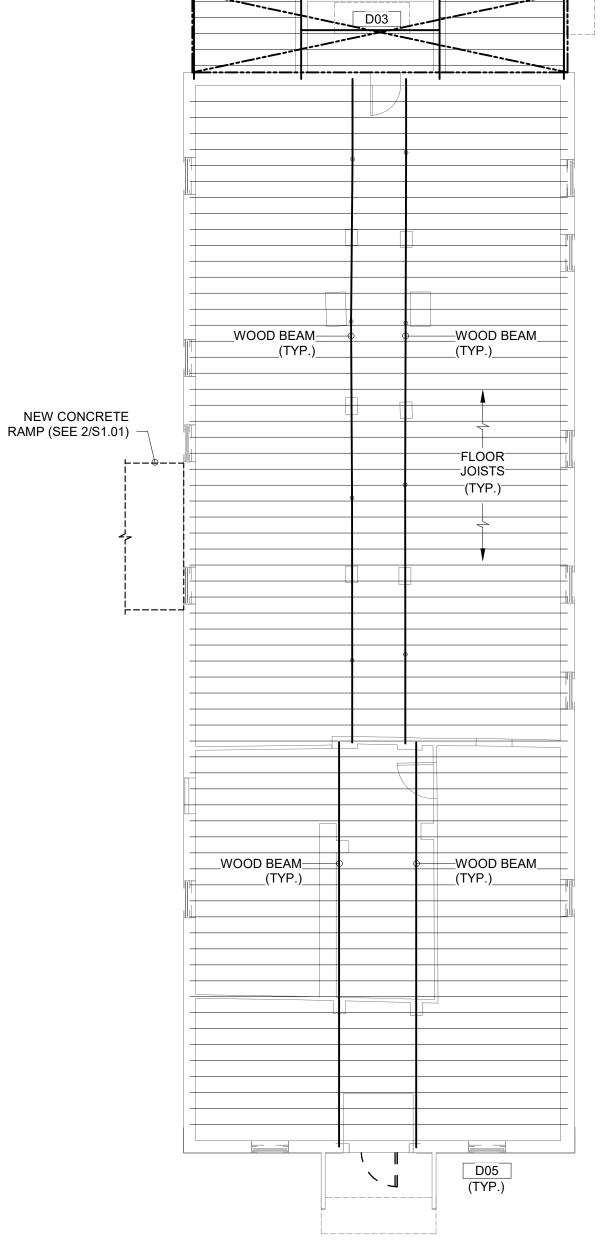
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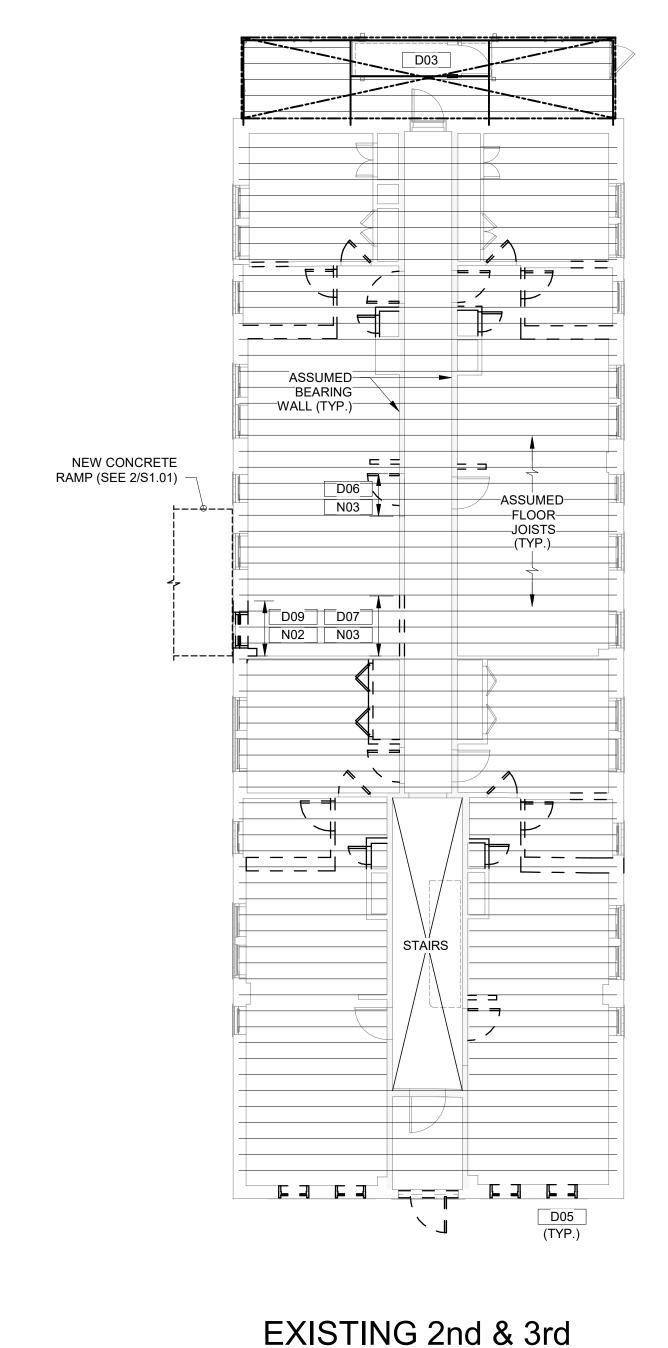
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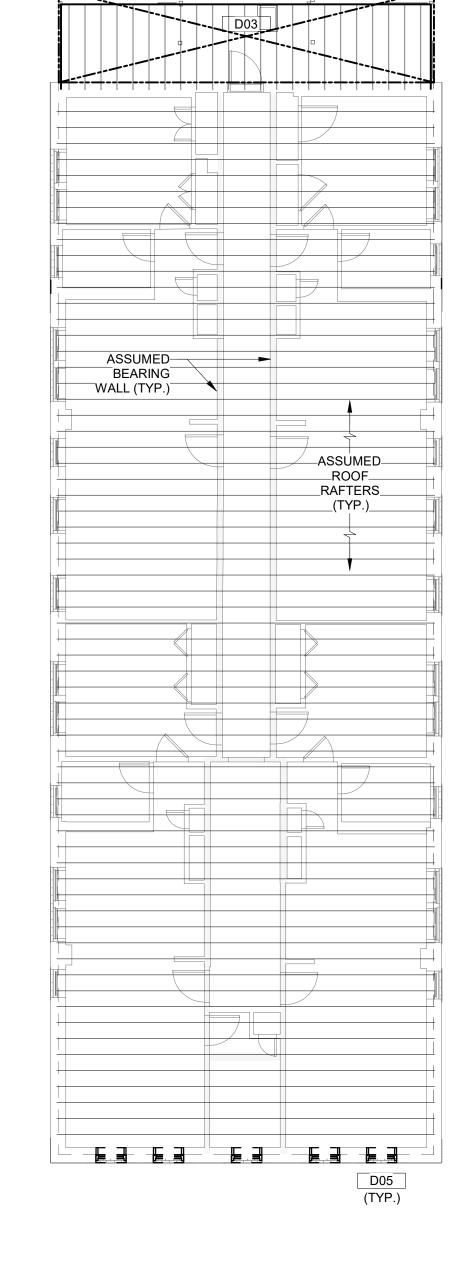
FEBRUARY 24, 2023

Sheet Number:









EXISTING 4 ROOF FRAMING PLAN

EXISTING BASEMENT PLAN

EXISTING 1st 2 FLOOR FRAMING PLAN

3 FLOOR FRAMING PLAN

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Revision:

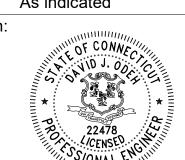
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

As indicated Scale:

Key Plan:



Project Name:

BEDFORD **GARDENS**

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 3 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

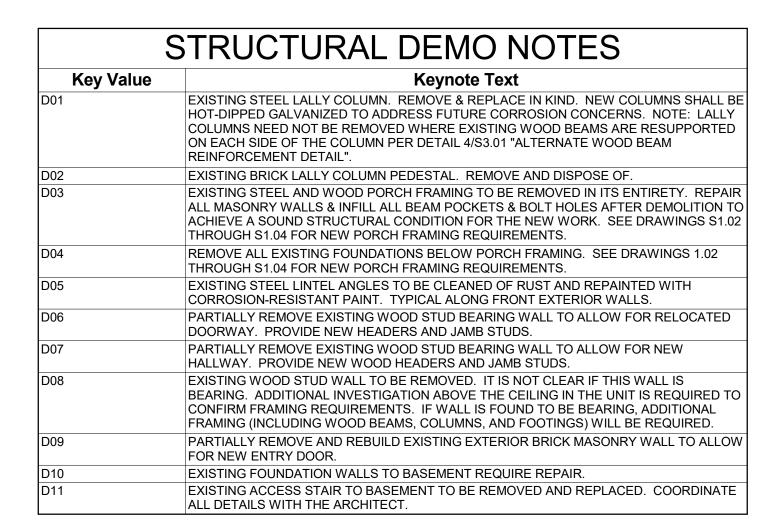
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Issue Date:

FEBRUARY 24, 2023

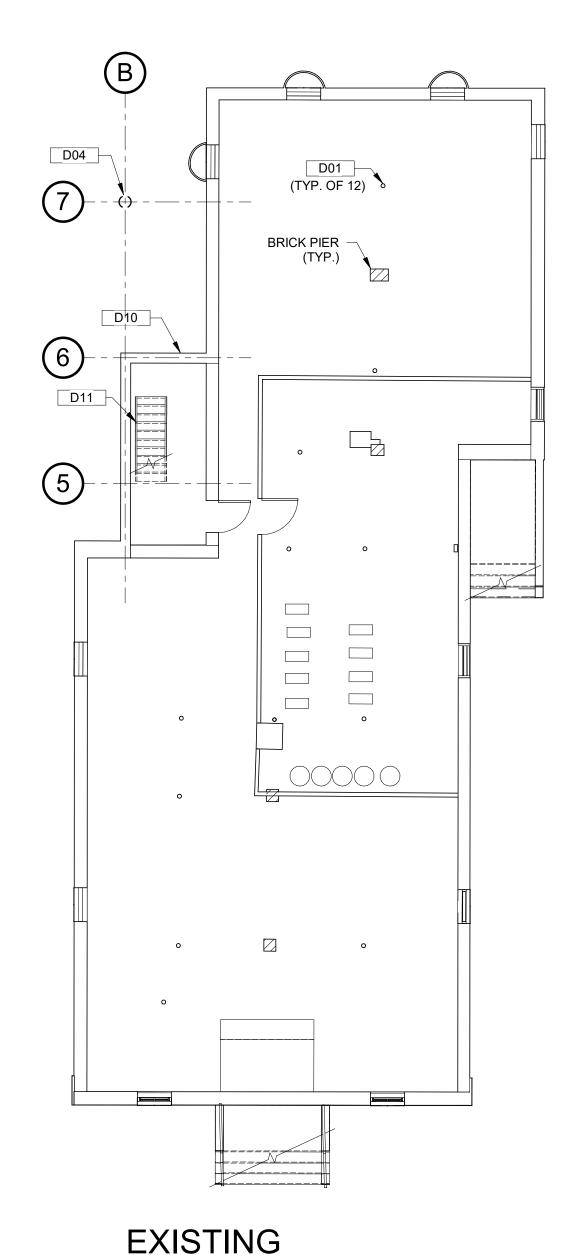
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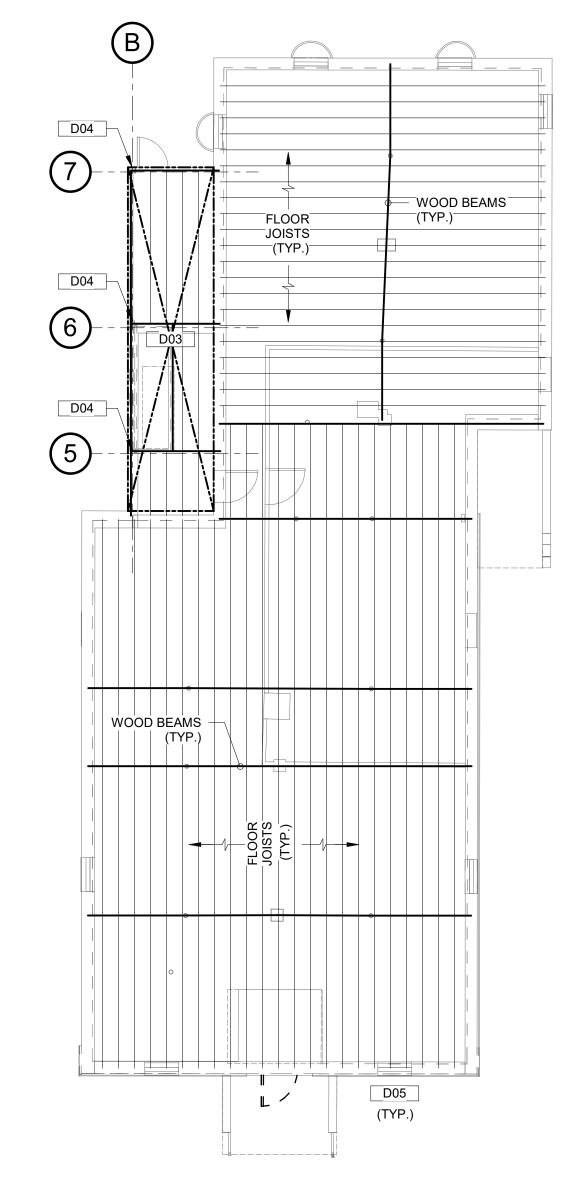


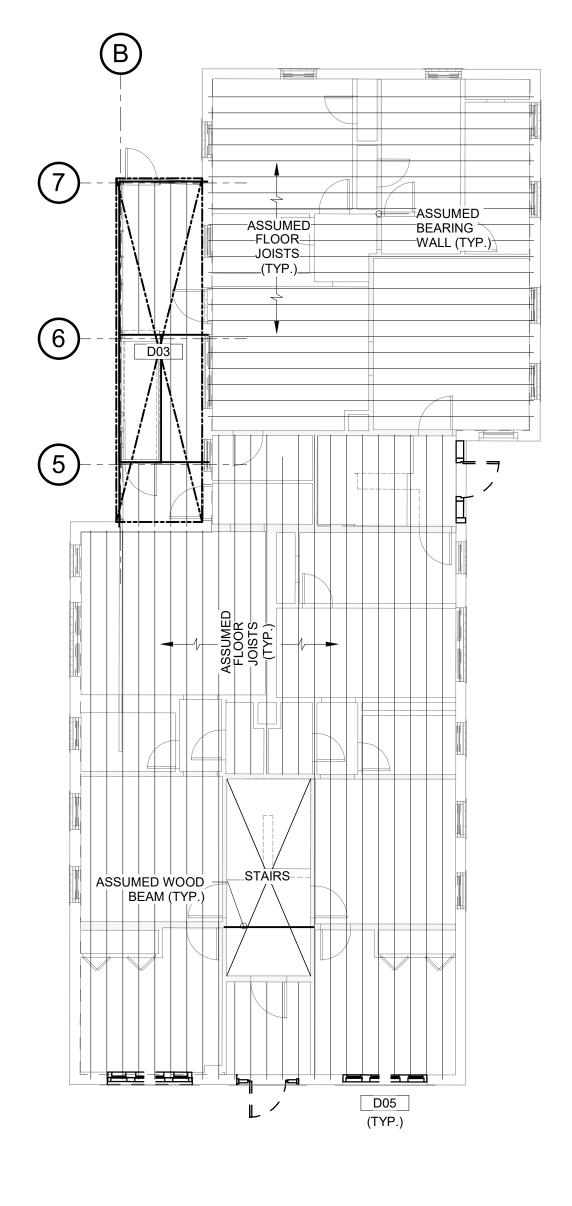
NEW CONDITIONS NOTES Key Value **Keynote Text** PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0''. PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

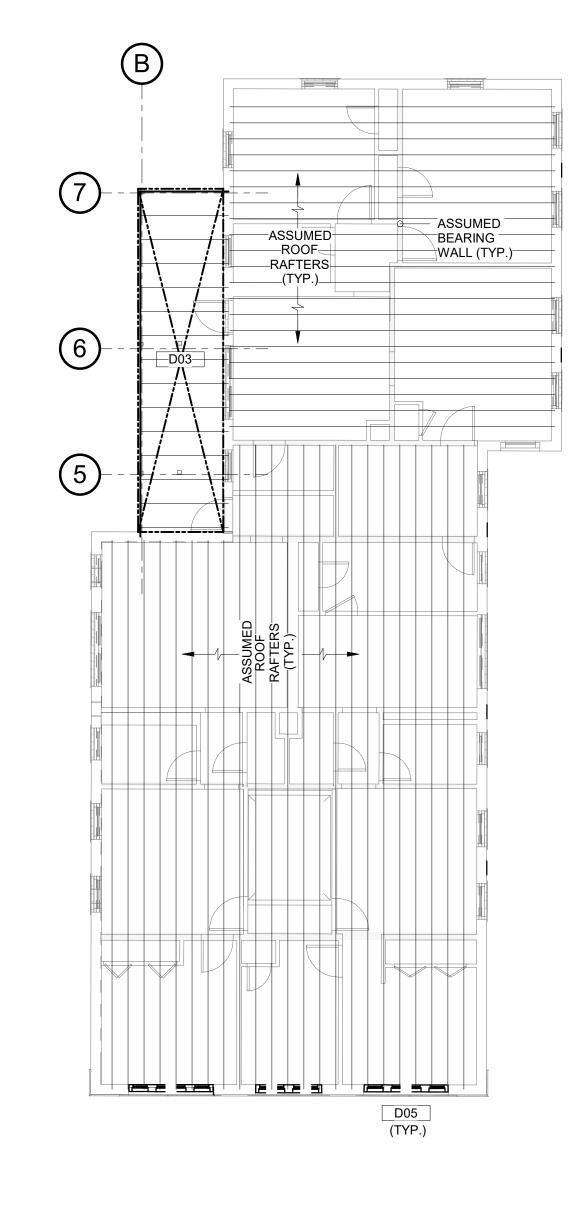
PROVIDED BY A MASONRY RESTORATION SPECIALIST.



BASEMENT PLAN







EXISTING 1st FLOOR FRAMING PLAN

EXISTING 2nd & 3rd FLOOR FRAMING PLAN

EXISTING ROOF FRAMING PLAN

STRUCTURAL DEMO NOTES Key Value Keynote Text EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL". EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF. EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS. EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED. PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR. EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE ALL DETAILS WITH THE ARCHITECT.

		NEW CONDITIONS NOTES
	Key Value	Keynote Text
	N02	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".
	N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.
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Architect of Record:

Drawn: BJL, KLM

Checked: DJO

As indicated Scale: Key Plan:



Project Name:

BEDFORD **GARDENS**

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 4 EXISTING STRUCTURAL PLANS

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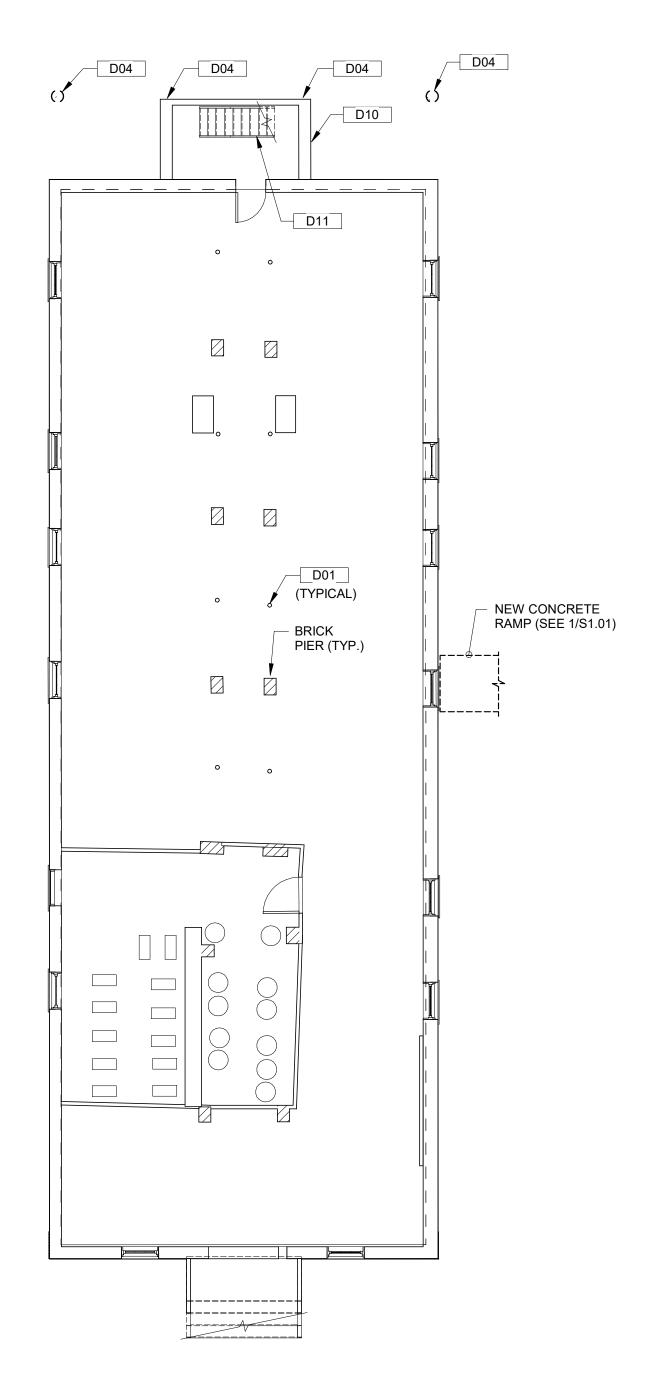
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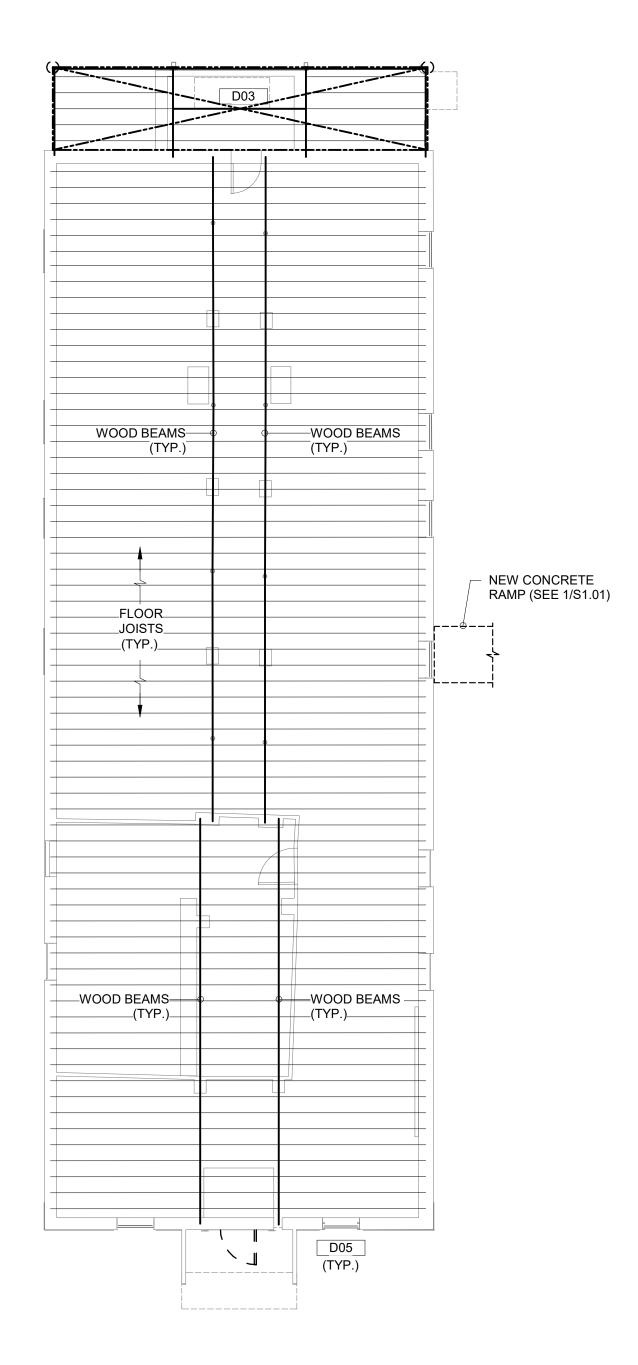
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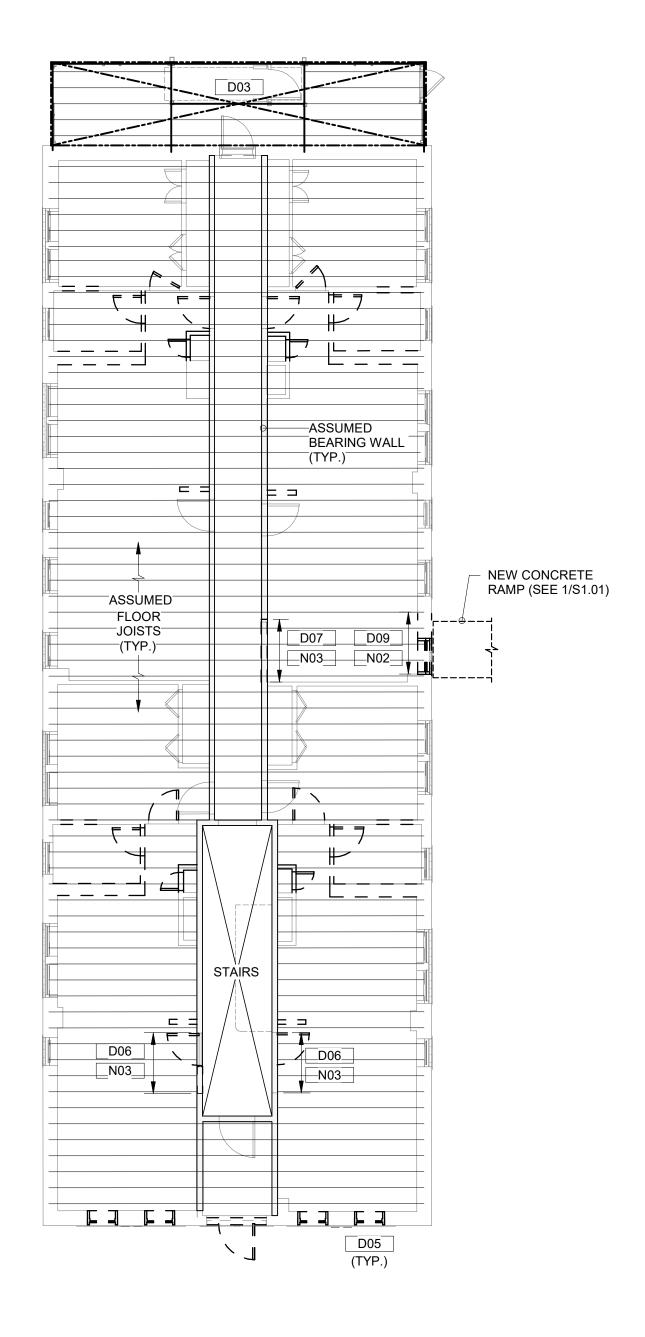
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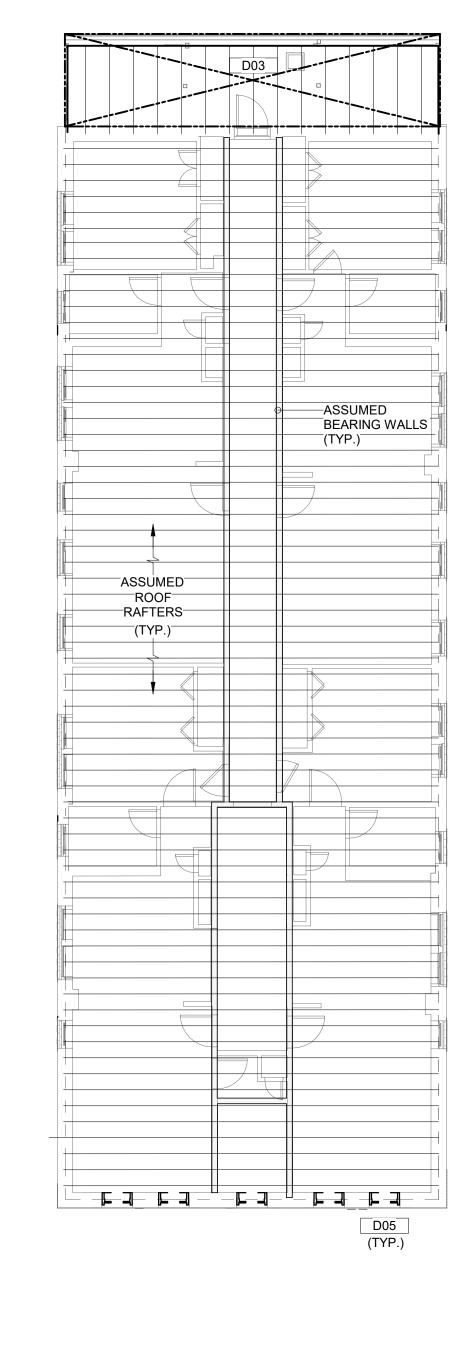
FEBRUARY 24, 2023

Sheet Number:









EXISTING BASEMENT PLAN SCALE: 1/8" = 1'-0"

REINFORCEMENT DETAIL".

FOR NEW ENTRY DOOR.

ALL DETAILS WITH THE ARCHITECT.

STRUCTURAL DEMO NOTES

Keynote Text

EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE

HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY

COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED

EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO

ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02

REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02

PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED

BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO

PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW

EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL

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EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH

PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW

EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS

CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.

ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM

EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.

THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.

THROUGH \$1.04 FOR NEW PORCH FRAMING REQUIREMENTS.

HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.

EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.

DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.

NEW CONDITIONS NOTES Key Value Keynote Text PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0". PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB

EXISTING 1st

2 FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

STUDS ON EACH SIDE.

EXISTING 2nd & 3rd FLOOR FRAMING PLAN SCALE: 1/8" = 11 0"

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IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

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EXISTING ROOF FRAMING PLAN

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BEDFORD GARDENS

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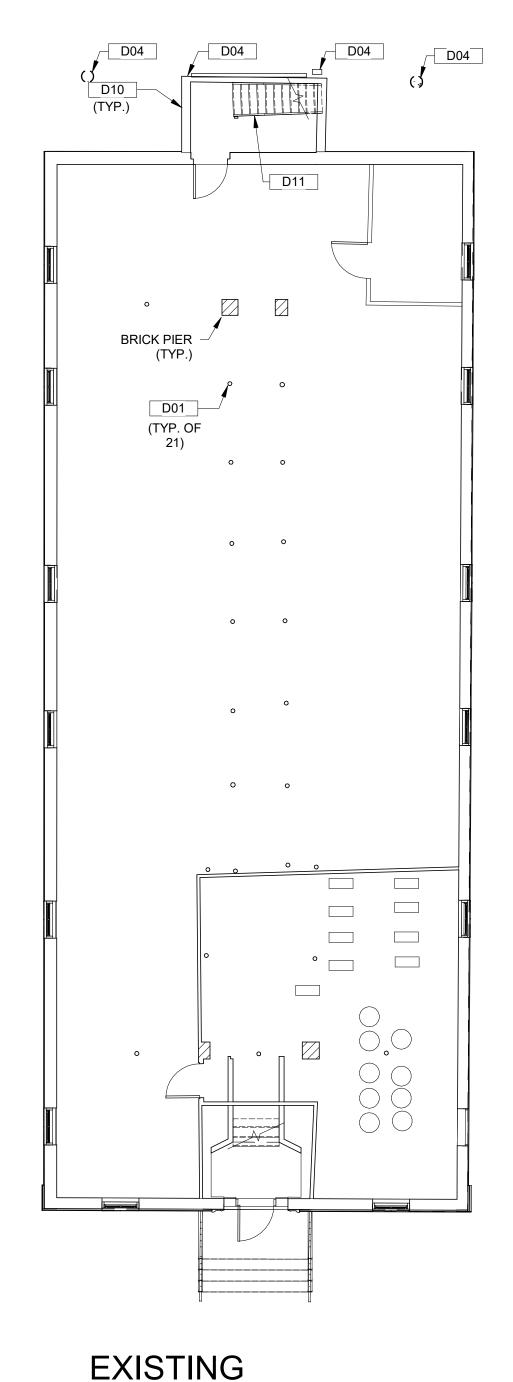
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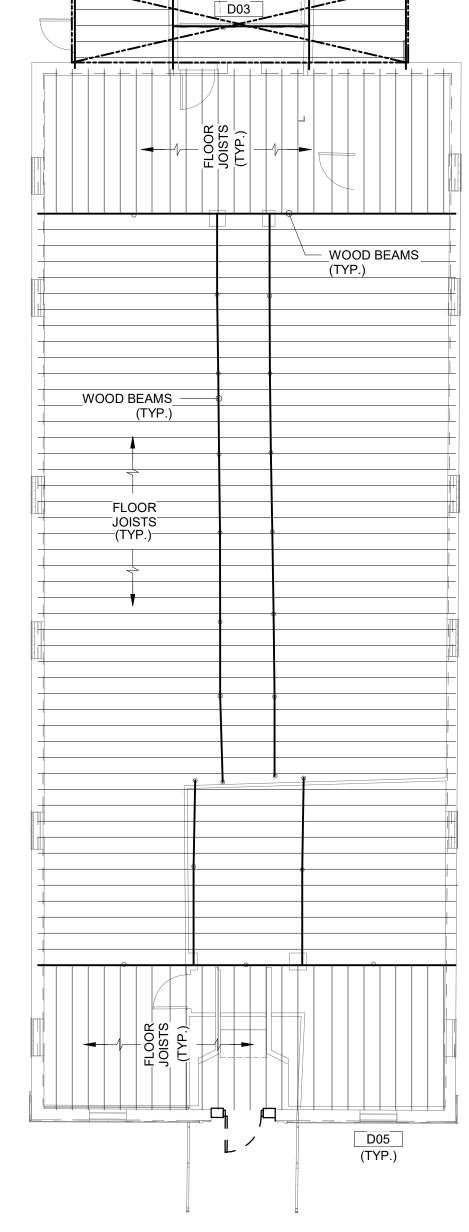
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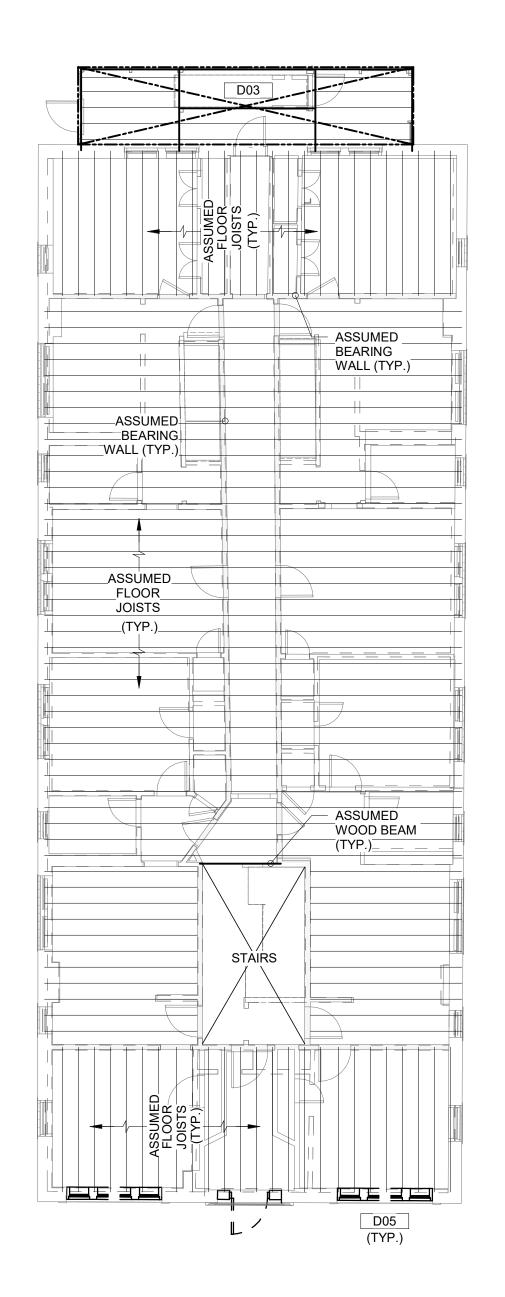


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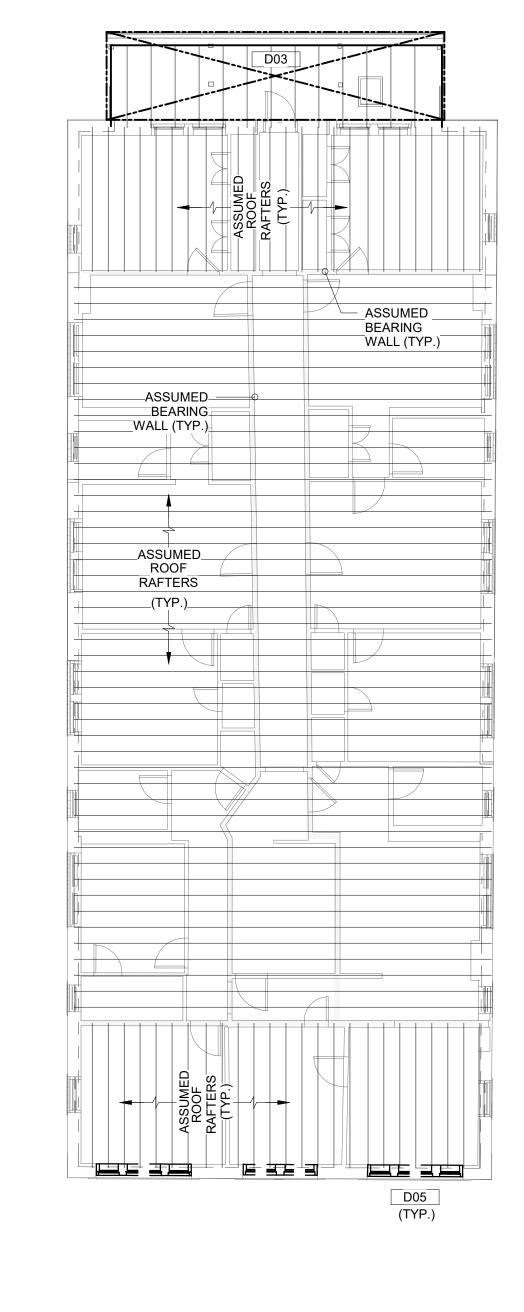














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BASEMENT PLAN

NEW CONDITIONS NOTES		
Key Value	Keynote Text	
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	01050 011 2701 0152.	

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PLANNING PURPOSES.

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MOST UNITS WERE OCCUPIED DURING THE INVESTIGATION PHASE AND NO ACCESS TO VIEW THE FRAMING WAS POSSIBLE. MOST OF THE FLOOR FRAMING IN THE BASEMENT AREAS WAS COVERED WITH A GYPSUM CEILING, PREVENTING DIRECT OBSERVATION OF THE FRAMING, WITH THE EXCEPTION OF THE FLOOR BEAMS, COLUMNS, AND CONCRETE PIERS, IN MOST CASES. FOR THIS REASON, THE FRAMING PLANS INCLUDED IN THIS SET OF DRAWINGS ARE SCHEMATIC AND ARE BASED UPON THESE LIMITED VISUAL OBSERVATIONS. ALL FRAMING AREAS MUST BE FIELD-VERIFIED WHERE NEW WORK WILL BE PERFORMED TO EITHER CONFIRM OR TO CORRECT THE ASSUMPTIONS SHOWN HEREIN.

EXISTING LALLY COLUMN NOTE —

DUE TO THE EXTENT OF DETERIORATION OBSERVED AROUND THE BASES OF MOST LALLY COLUMNS IN THE VARIOUS BUILDINGS, THIS OFFICE RECOMMENDS THE REMOVAL AND REPLACEMENT OF ALL EXISTING STEEL LALLY COLUMNS IN-KIND.

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EXISTING BUILDINGS SHALL BE INSPECTED TO QUANTIFY THE EXTENT OF MASONRY REPAIR REQUIRED. FOR PLANNING PURPOSES, ASSUME FOUR EXISTING BRICK ARCH WINDOW HEADERS WILL REQUIRE STRUCTURAL REPAIR. REPAIR DETAILS SHALL BE PROVIDED BY A MASONRY RESTORATION SPECIALIST.

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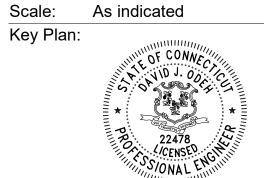
North Prov Phone: Fax:	al Spring Avenu idence, RI 0290 401.724.177 401.724.198 nengineers.com
	North Prov Phone: Fax:

structural engineers	www.odehengineers.com
Revision:	

Consultant:

Architect of Record:

Drawn: BJL, KLM Checked: DJO



Project Name:

BEDFORD

GARDENS

Scale:

Bedford & Brook Streets

Sheet Name:

Hartford, CT

BUILDING 6 EXISTING STRUCTURAL PLANS

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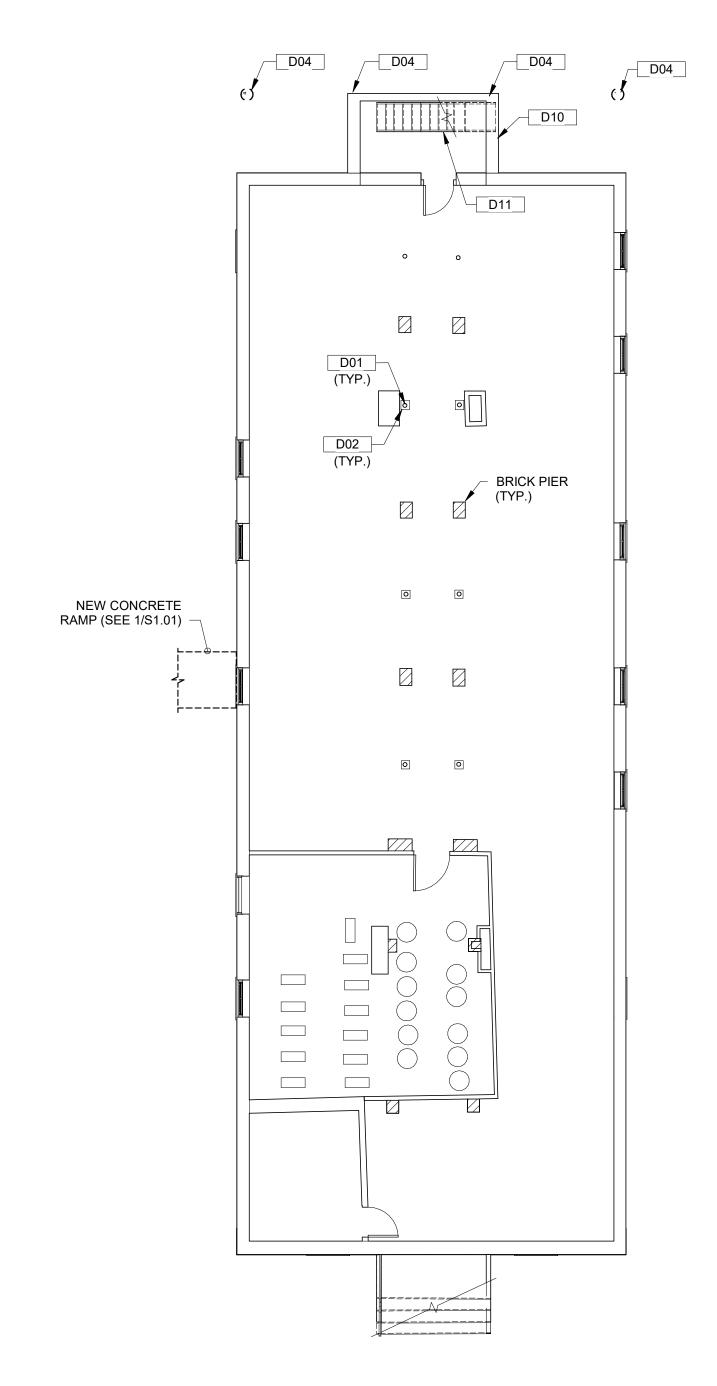
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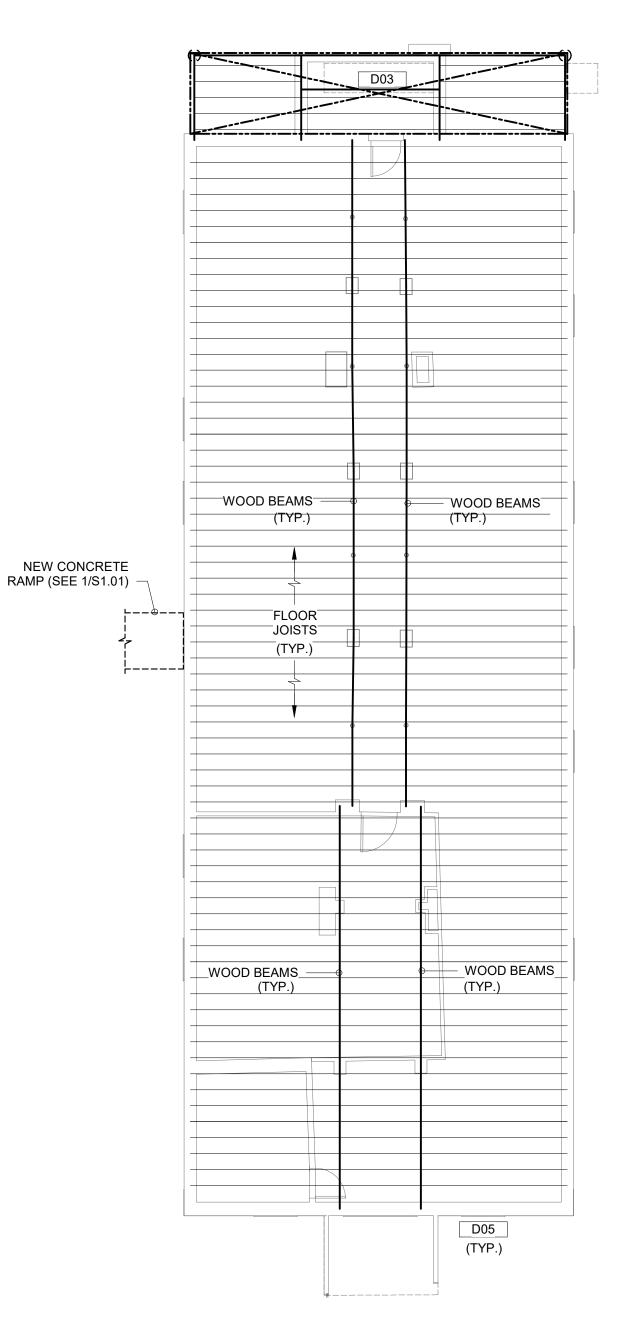
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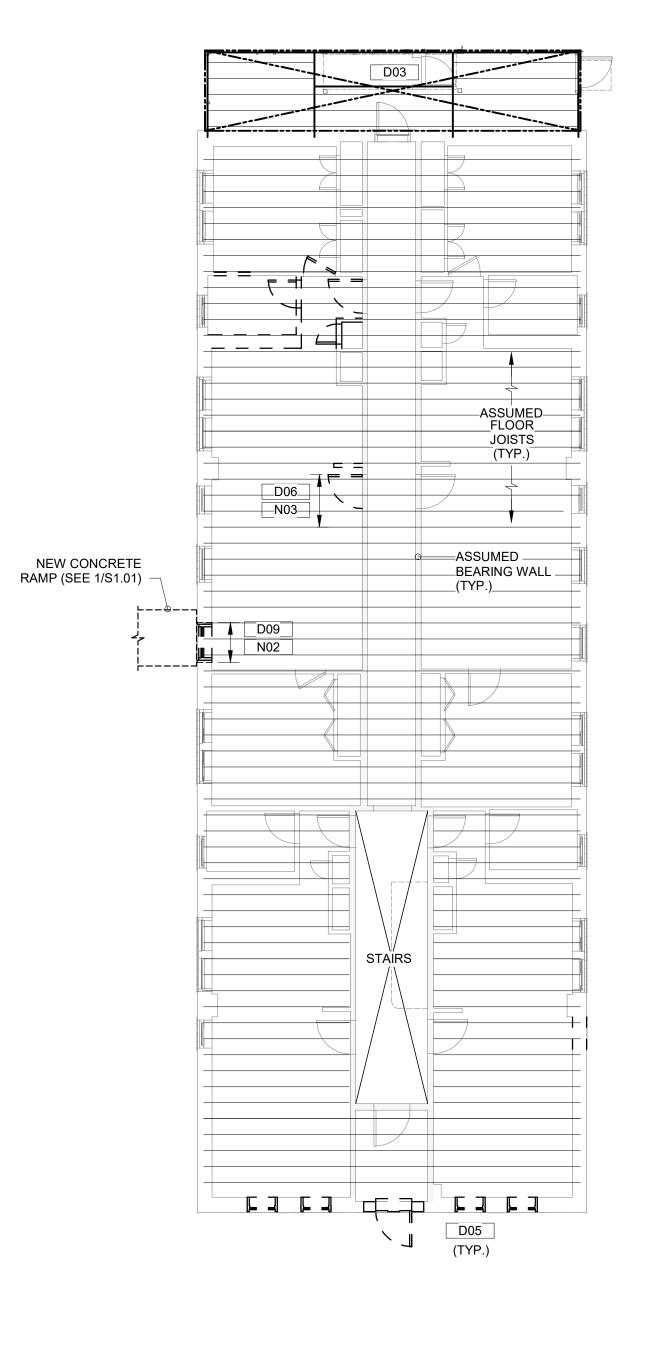
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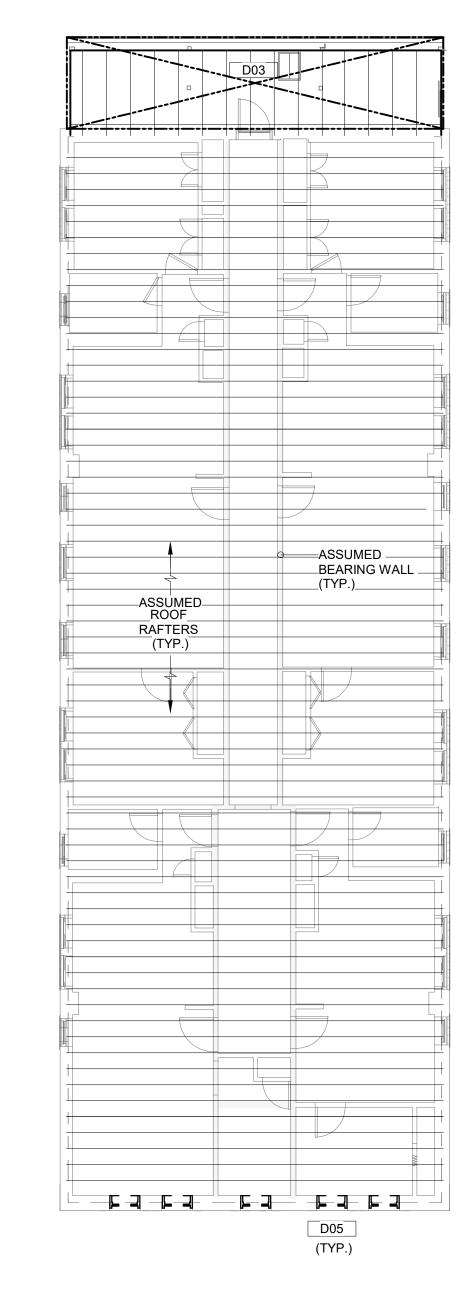
FEBRUARY 24, 2023

Sheet Number:









EXISTING BASEMENT PLAN

STRUCTURAL DEMO NOTES

REINFORCEMENT DETAIL".

FOR NEW ENTRY DOOR.

ALL DETAILS WITH THE ARCHITECT.

Keynote Text

EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE

HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY

COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED

EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO

ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02

REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02

PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED

BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO

PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW

EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL

FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED.

EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH

PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW

EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS

CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.

ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM

EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.

THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.

THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.

HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.

EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.

DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.

EXISTING 1st PLOOR FRAMING PLAN SCALE: 1/0" - 1/0"

NEW CONDITIONS NOTES		
Key Value	Keynote Text	
N02	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".	
N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.	

EXISTING 2nd & 3rd FLOOR FRAMING PLAN SCALE: 1/8" = 1/2"

——TYPICAL BRICK MASONRY PIER NOTE—

IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

—TYPICAL WOOD PORCH STAIR NOTE—

THE EXISTING WOOD STRINGERS IN THE PORCH AREAS WERE NOT FOUND TO BE POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

—TYPICAL INTERIOR FOOTING NOTE—

DUE TO THE BASEMENT SLAB ON GRADE, THE EXISTING SIZES & CONDITIONS OF THE EXISTING CONCRETE FOUNDATIONS BELOW THE EXISTING STEEL LALLY COLUMNS AND BRICK PIERS WERE NOT VISIBLE. EXISTING FOOTING SIZES MUST BE VERIFIED PRIOR TO INSTALLING NEW COLUMNS. IF NO FOOTING IS FOUND (I.E., IF COLUMNS ARE BEARING DIRECTLY UPON THE EXISTING SLAB ON GRADE), NEW CONCRETE FOOTINGS SHALL BE PROVIDED. MINIMUM COLUMN SIZES SHALL BE 3 FT x 3 FT x 12", REINFORCED WITH 8-#5 BOTTOM BARS (4 BARS, EACH WAY). FOOTINGS MAY BE SET ATOP BASEMENT SLABS IF SOILS BELOW ARE SUITABLE FOR BEARING.

EXISTING 4 ROOF FRAMING PLAN

GENERAL FRAMING NOTE

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Consultant:

structural engine

Revision:

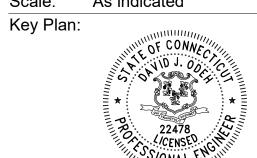
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	North Providence, RI 0290		
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9	Fax:	401.724.1981	
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Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 7 EXISTING STRUCTURAL PLANS

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Project Number:

22020

Issue Date:

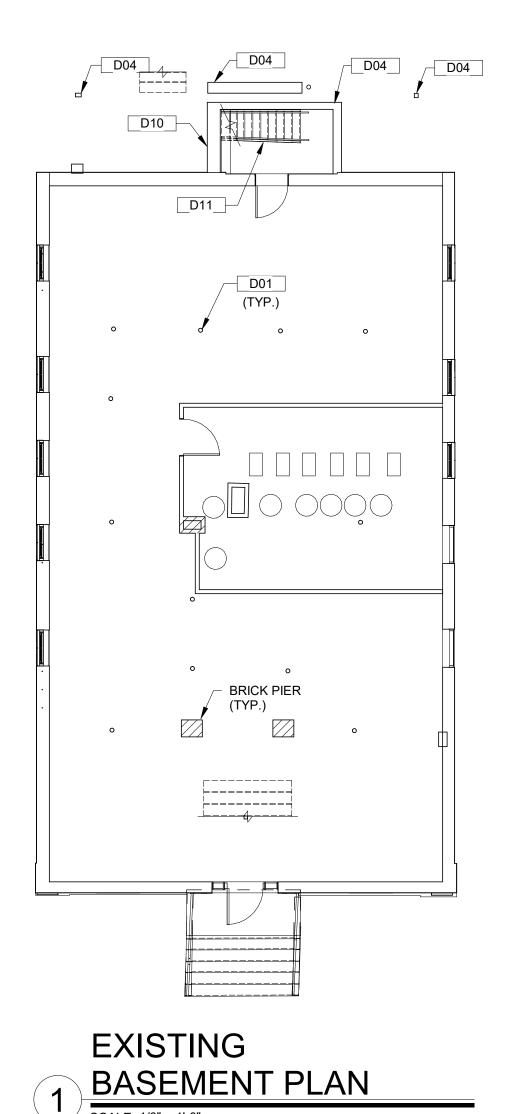
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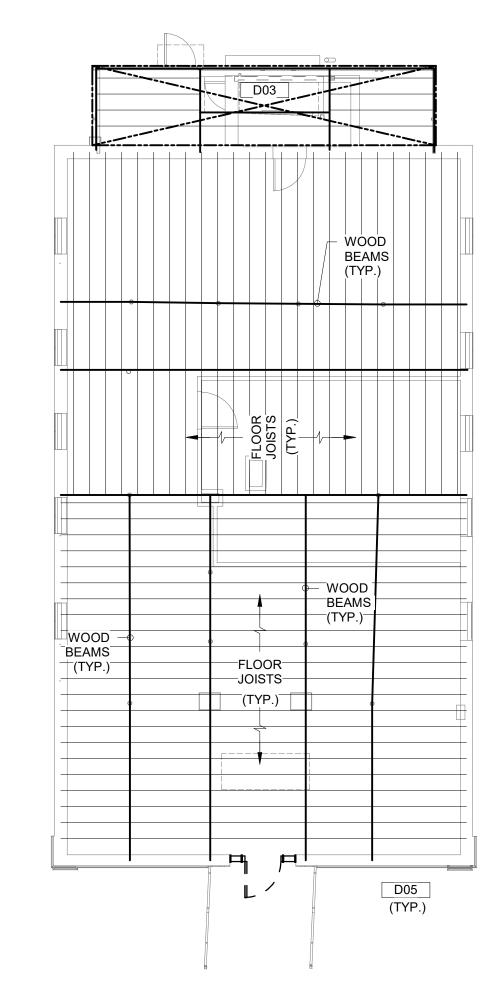
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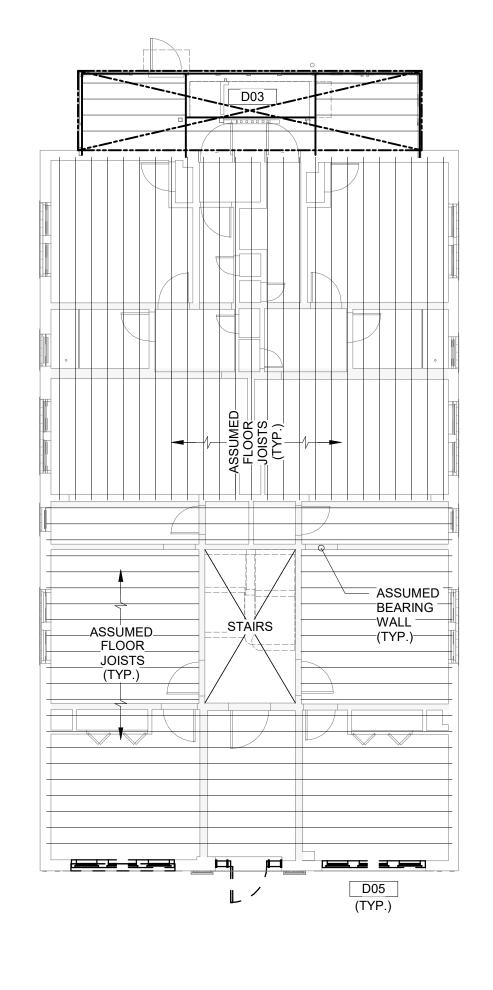
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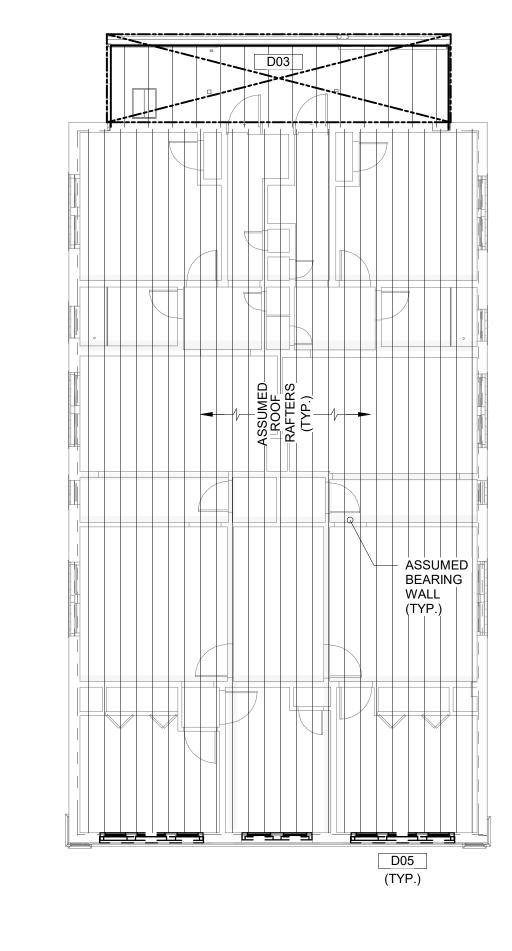


Key Value











EXISTING 1st

PLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

EXISTING 2nd & 3rd

FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES Key Value Keynote Text EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL". EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF. EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS \$1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS. EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS. PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS. EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED. PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR. EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.

ALL DETAILS WITH THE ARCHITECT.

EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE

NEW CONDITIONS NOTES		
Key Value	Keynote Text	
B A	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".	
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ngineers	Fax:	401.724.1981
ructural engineers	www.odel	nengineers.com

Revision:

Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Key Plan:

Scale: As indicated

OF CONNEC

Project Name:

BEDFORD GARDENS

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 8 EXISTING STRUCTURAL PLANS

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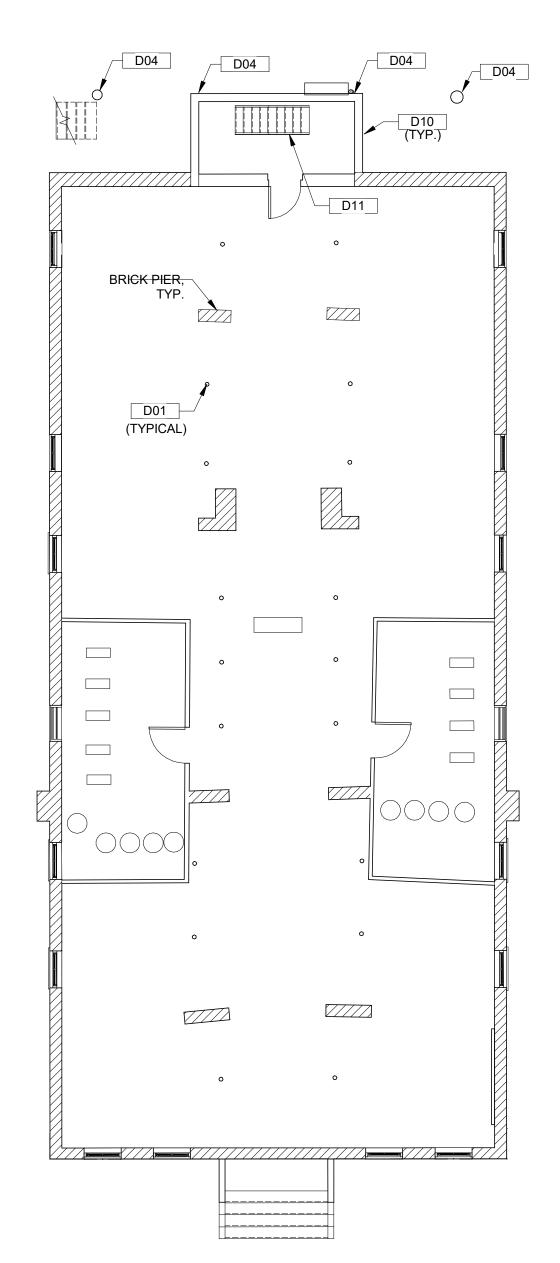
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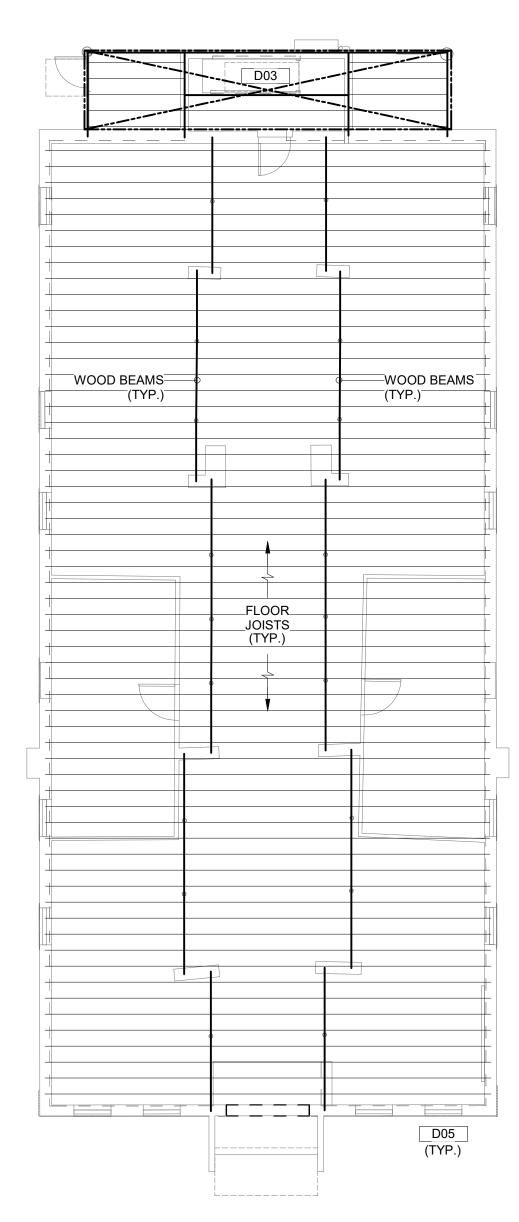
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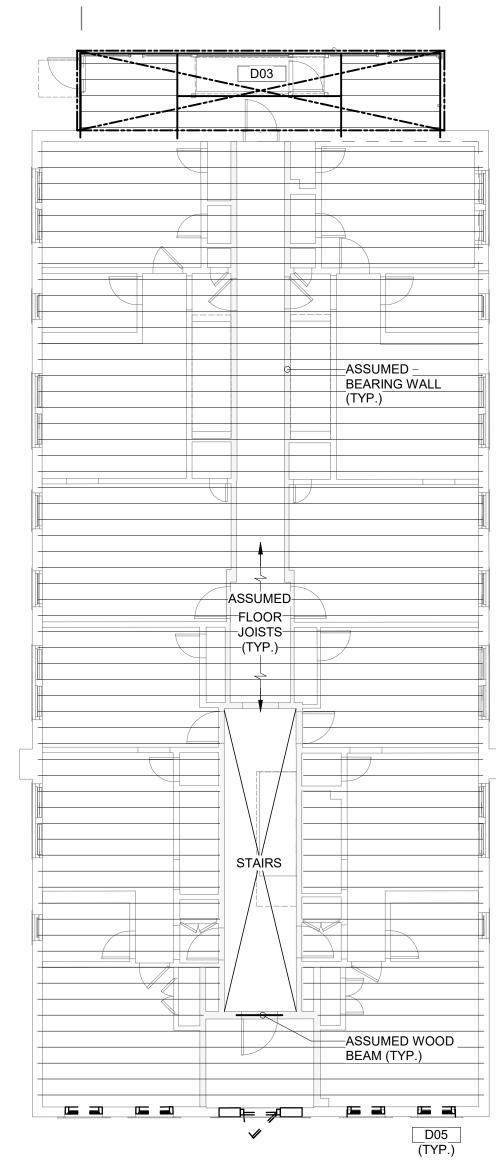
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EXISTING 1st 2 FLOOR FRAMING PLAN



EXISTING 2nd & 3rd 3 FLOOR FRAMING PLAN



—TYPICAL BRICK MASONRY PIER NOTE——— IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED

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BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR

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EXISTING LALLY COLUMN NOTE —

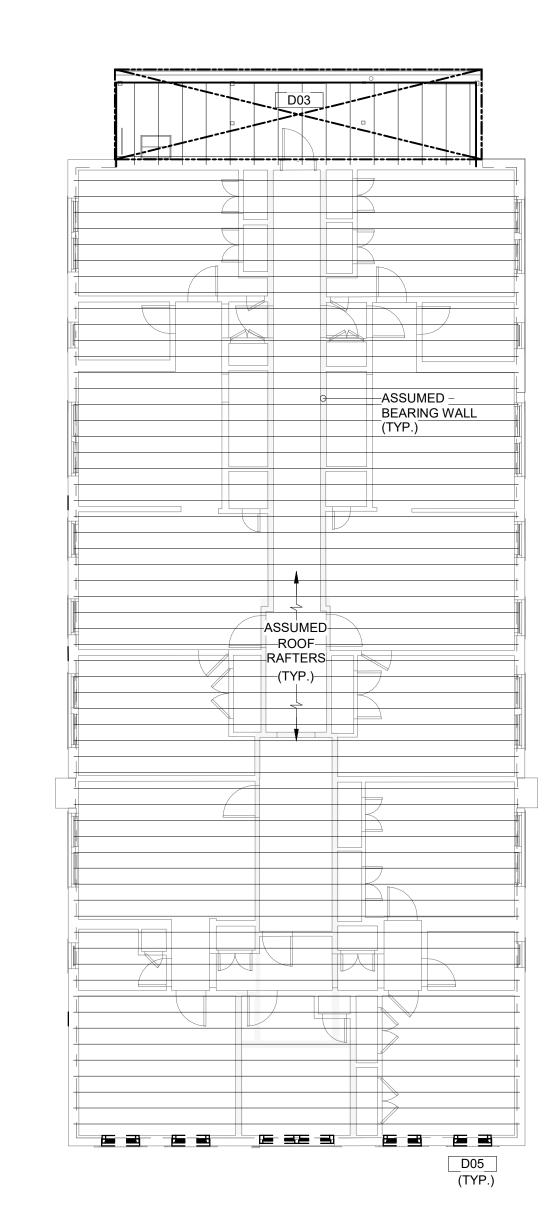
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EXISTING 4 ROOF FRAMING PLAN

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Architect of Record:

Drawn: BJL, KLM

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Project Name:

BEDFORD **GARDENS**

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 9 EXISTING STRUCTURAL PLANS

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Project Number:

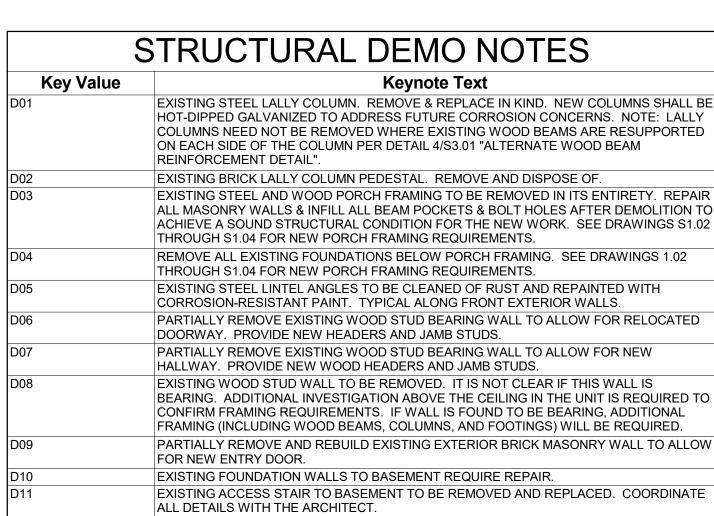
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FEBRUARY 24, 2023

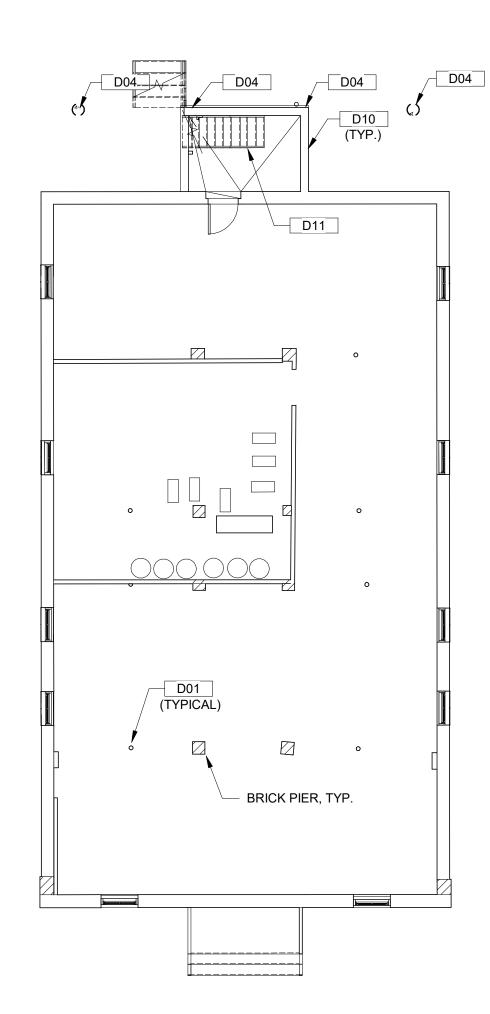
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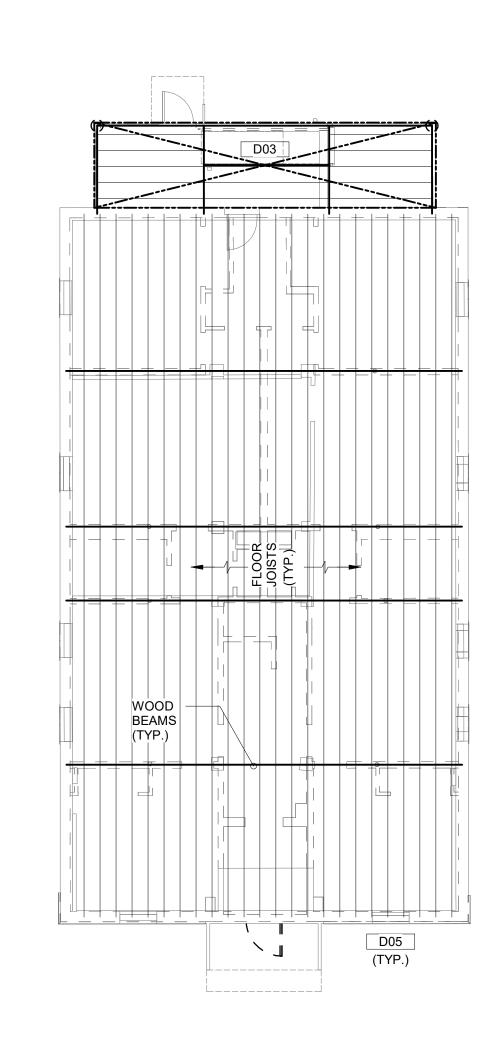


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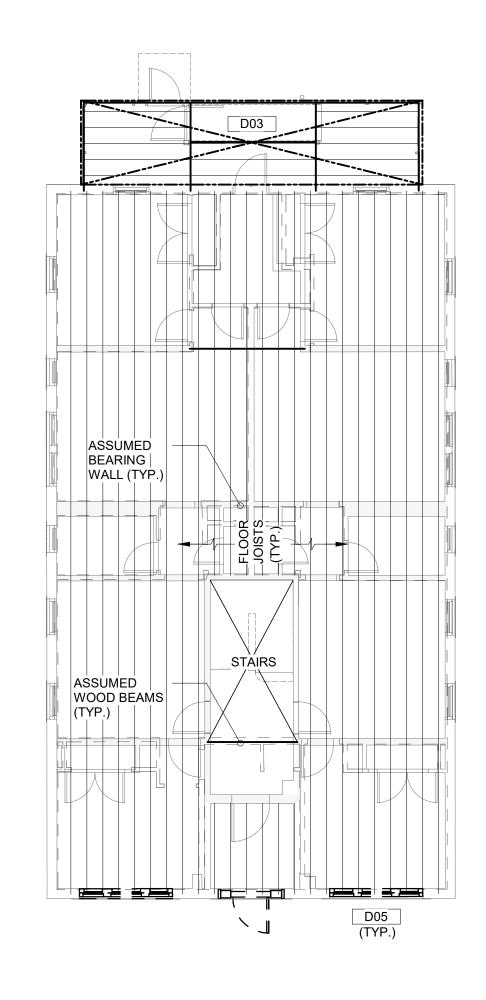
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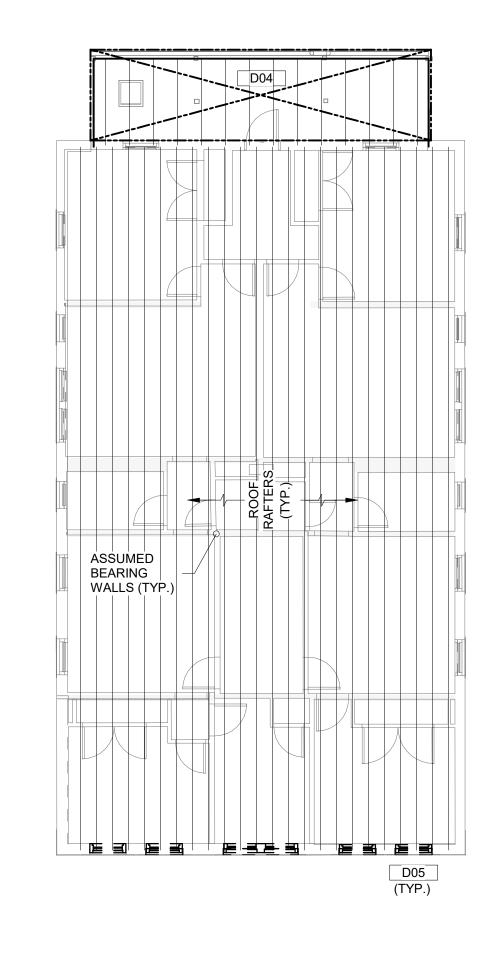














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Key Value N02 PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8' BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVAN ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0". PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR
BEARING ON SOLID BRICK MASONRY PER SIDE: ONE L4x4x5/16 HOT-DIPPED GALVAN ANGLE FOR EACH 4" WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".
N03 PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR
PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAN STUDS ON EACH SIDE.

—TYPICAL BRICK MASONRY PIER NOTE————

IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

—TYPICAL WOOD PORCH STAIR NOTE——

THE EXISTING WOOD STRINGERS IN THE PORCH AREAS WERE NOT FOUND TO BE POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

——TYPICAL INTERIOR FOOTING NOTE—

DUE TO THE BASEMENT SLAB ON GRADE, THE EXISTING SIZES & CONDITIONS OF THE EXISTING CONCRETE FOUNDATIONS BELOW THE EXISTING STEEL LALLY COLUMNS AND BRICK PIERS WERE NOT VISIBLE. EXISTING FOOTING SIZES MUST BE VERIFIED PRIOR TO INSTALLING NEW COLUMNS. IF NO FOOTING IS FOUND (I.E., IF COLUMNS ARE BEARING DIRECTLY UPON THE EXISTING SLAB ON GRADE), NEW CONCRETE FOOTINGS SHALL BE PROVIDED. MINIMUM COLUMN SIZES SHALL BE 3 FT x 3 FT x 12", REINFORCED WITH 8-#5 BOTTOM BARS (4 BARS, EACH WAY). FOOTINGS MAY BE SET ATOP BASEMENT SLABS IF SOILS BELOW ARE SUITABLE FOR BEARING.

GENERAL FRAMING NOTE

MOST UNITS WERE OCCUPIED DURING THE INVESTIGATION PHASE AND NO ACCESS TO VIEW THE FRAMING WAS POSSIBLE. MOST OF THE FLOOR FRAMING IN THE BASEMENT AREAS WAS COVERED WITH A GYPSUM CEILING, PREVENTING DIRECT OBSERVATION OF THE FRAMING, WITH THE EXCEPTION OF THE FLOOR BEAMS, COLUMNS, AND CONCRETE PIERS, IN MOST CASES. FOR THIS REASON, THE FRAMING PLANS INCLUDED IN THIS SET OF DRAWINGS ARE SCHEMATIC AND ARE BASED UPON THESE LIMITED VISUAL OBSERVATIONS. ALL FRAMING AREAS MUST BE FIELD-VERIFIED WHERE NEW WORK WILL BE PERFORMED TO EITHER CONFIRM OR TO CORRECT THE ASSUMPTIONS SHOWN HEREIN.

EXISTING LALLY COLUMN NOTE —

DUE TO THE EXTENT OF DETERIORATION OBSERVED AROUND THE BASES OF MOST LALLY COLUMNS IN THE VARIOUS BUILDINGS, THIS OFFICE RECOMMENDS THE REMOVAL AND REPLACEMENT OF ALL EXISTING STEEL LALLY COLUMNS IN-KIND.

EXISTING WOOD BEAM REINFORCEMENT NOTE

VARIOUS WOOD BEAMS WERE FOUND TO BE SPLIT ALONG THEIR LENGTHS. FOR PLANNING PURPOSES, ASSUME THAT FOUR WOOD BEAMS IN EACH BUILDING WILL REQUIRE REINFORCEMENT. BEAM REINFORCEMENT WILL REQUIRE THE REMOVAL AND REATTACHMENT OF ANY ELECTRICAL WIRING THAT IS CURRENTLY FASTENED TO EACH SIDE OF THE BEAM. REPAIR FROM ONE SIDE ONLY MAY BE POSSIBLE IF AN ADDITIONAL COLUMN AND FOOTING IS PROVIDED ALONG THE SPAN OF THE BEAM OR IF A NEW BEAM IS INSTALLED DIRECTLY BELOW THE CRACKED BEAM. DETAILS AND SUPPORT CONDITIONS TO BE DETERMINED BASED UPON THE CHOSEN REINFORCEMENT METHOD.

EXTERIOR BRICK MASONRY REPAIR NOTE

EXISTING BUILDINGS SHALL BE INSPECTED TO QUANTIFY THE EXTENT OF MASONRY REPAIR REQUIRED. FOR PLANNING PURPOSES, ASSUME FOUR EXISTING BRICK ARCH WINDOW HEADERS WILL REQUIRE STRUCTURAL REPAIR. REPAIR DETAILS SHALL BE PROVIDED BY A MASONRY RESTORATION SPECIALIST.

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Revision:

Architect of Record:

Drawn: BJL, KLM Checked: DJO

As indicated Scale:

Key Plan:

Project Name:

BEDFORD **GARDENS**

Bedford & Brook Streets Hartford, CT

Sheet Name:

BUILDING 10 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

22020

Issue Date:

FEBRUARY 24, 2023

Sheet Number:





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Search by keyword, part #, etc.



/ OEM Boiler Parts - Lochinvar





_ochinvar 100157610

Termination Vent Sidewall 3 Inch

\$108.05 / ea

Add to Cart

Currently out of stock. Will ship once available.



Standard Construction

Frame	Heavy gauge extruded 6063-T5 aluminum, 4 in. (102 mm) x 0.125 in. (3 mm) nominal wall thickness					
Blades	Heavy gauge extruded 6063-T5 aluminum, 0.125 in. (3 mm) nominal wall thickness, positioned 45°					
Louver Depth	4 in. (102 mm)					
Construction	Mechanically fastened					
Finish	204-R1 Clear Anodized					
Available Size	8 1/8 in. W x 2 3/8 in. H (206 mm W x 60 mm H)					
	8 1/8 in. W x 4 3/4 in. H (206 mm W x 121 mm H)					
	8 1/8 in. W x 7 3/4 in. H (206 mm W x 197 mm H)					
	12 in. W x 2 3/8 in. H (305 mm W x 60 mm H)					
	12 in. W x 4 3/4 in. H (305 mm W x 121 mm H)					
	12 in. W x 7 3/4 in. H (305 mm W x 197 mm H)					
	12 in. W x 11 3/4 in. H (305 mm W x 298 mm H)					
	15 5/8 in. W x 7 3/4 in. H (397 mm W x 197 mm H)					
	15 5/8 in. W x 15 3/4 in. H (397mm W x 400 mm H)					
	16 1/2 in. W x 2 3/8 in. H (419 mm W x 60 mm H)					
	16 1/2 in. W x 4 3/4 in. H (419 mm W x 121 mm H)					
	16 1/2 in. W x 7 3/4 in. H (419 mm W x 197 mm H)					
	16 1/2 in. W x 15 3/4 in. H (419 mm W x 400 mm H)					
	24 in. W x 2 3/8 in. H (610 mm W x 60 mm H)					
	24 in. W x 4 3/4 in. H (610 mm W x 121 mm H)					
	24 in. W x 7 3/4 in. H (610 mm W x 197 mm H)					
	32 in. W x 7 3/4 in. H (813 mm W x 197 mm H)					
	48 in. W x 7 3/4 in. H (1219 mm W x 197 mm H)					

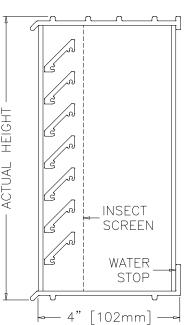


- Opposed Blade Damper
- Straight Duct (0.063 in. (2 mm) aluminum for up to 18 in. (457 mm) wall thickness)
- Variety of Architectural Finishes



Louver Finishes & Colors
Louver Product Selection Guide
Louver Products Catalog
Louver Warranty Statement







Free Area Chart

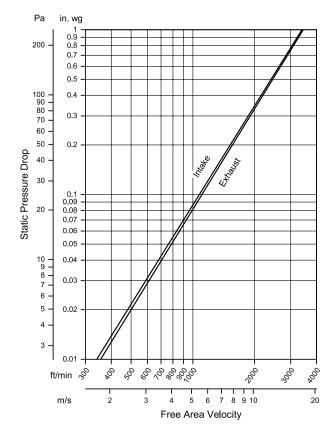
Free Area Chart shows free area in square feet and square meters.

Louver	Louver Width in Inches (Meters)							
Height Inches	8	12	15.63	16.5	24	32	48	
(Meters)	0.20	0.30	0.40	0.42	0.61	0.81	1.22	
2.38	0.029	0.044	na	0.060	0.088	na	na	
0.06	0.003	0.004	na	0.006	0.008	na	na	
4.75	0.080	0.120	na	0.196	0.271	na	na	
0.12	0.007	0.011	na	0.018	0.025	na	na	
7.75	0.136	0.204	0.263	0.280	0.408	0.543	0.678	
0.20	0.013	0.019	0.024	0.026	0.038	0.050	0.063	
11.75	na	0.310	na	na	na	na	na	
0.30	na	0.029	na	na	na	na	na	
15.75	na	na	0.540	0.575	na	na	na	
0.40	na	na	0.050	0.053	na	na	na	

Airflow Resistance

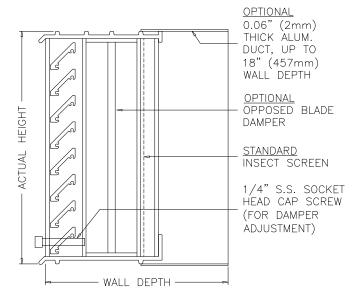
Standard Air - 0.075 lb/ft3 (1.2 kg/m3)

Test size 48 in. x 48 in. (1219 mm x 1219 mm)



Model BVE resistance to airflow (pressure drop) varies depending on louver application (air intake or air exhaust). Free area velocities (shown) are higher than average velocity through the overall louver size. See louver selection information. (Test Figure 5.5-6.5)

Option Drawing





SECTION 040120 - MAINTENANCE OF UNIT MASONRY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes maintenance of unit masonry consisting of brick masonry restoration and cleaning as follows:
 - 1. Unused anchor removal.
 - 2. Repairing unit masonry, including replacing units.
 - 3. Reanchoring veneers.
 - 4. Repointing joints.
 - 5. Preliminary cleaning, including removing plant growth.
 - 6. Cleaning exposed unit masonry surfaces.

B. Related Sections:

- Division 01 Section "Historic Treatment Procedures."
- 2. Division 04 Section "Maintenance of Stone Assemblies."
- 3. Division 07 Section "Sheet Metal Flashing and Trim" for metal flashing installed in or on restored clay masonry.
- 4. Division 07 Section "Joint Sealants."
- 5. Division 09 Section "Maintenance of Painting and Coating" for specific requirements for stripping and repainting of decorative paint finishes.

1.3 DEFINITIONS

- A. Very Low-Pressure Spray: Under 100 psi.
- B. Low-Pressure Spray: 100 to 400 psi; 4 to 6 gpm.
- C. Medium-Pressure Spray: 400 to 800 psi; 4 to 6 gpm.
- D. High-Pressure Spray: 800 to 1200 psi; 4 to 6 gpm.
- E. Saturation Coefficient: Ratio of the weight of water absorbed during immersion in cold water to weight absorbed during immersion in boiling water; used as an indication of resistance of masonry units to freezing and thawing.

1.4 PRECONSTRUCTION TESTING

- A. Preconstruction Testing Service: Owner will engage a qualified testing agency to perform preconstruction testing on masonry units as follows. All work must conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.
 - Provide test specimens as indicated and representative of proposed materials and construction.

- Existing Brick and Stone: Test each type of existing masonry unit indicated for replacement, according to testing methods in ASTM C 67 for compressive strength, 24hour cold-water absorption, 5-hour boil absorption, saturation coefficient, and initial rate of absorption (suction). Carefully remove five existing units from locations designated by Architect. Take testing samples from these units.
- 3. Existing Mortar: Test according to ASTM C 295, modified as agreed by testing service and Architect for Project requirements, to determine proportional composition of original ingredients, sizes and colors of aggregates, and approximate strength. Use X-ray diffraction, infrared spectroscopy, and differential thermal analysis as necessary to supplement microscopical methods. Carefully remove existing mortar from within joints at five locations designated by Architect or testing service with approval of Architect.
- 4. Temporary Patch: As directed by Architect, provide temporary materials at locations from which existing samples were taken.
- 5. Replacement Brick: Test each proposed type of replacement masonry unit, according to sampling and testing methods in ASTM C 67 for compressive strength, 24-hour coldwater absorption, 5-hour boil absorption, saturation coefficient, and initial rate of absorption (suction).

1.5 SUBMITTALS

- A. Product Data: For each type of product indicated. Include recommendations for application and use. Include test data substantiating that products comply with requirements.
- B. Shop Drawings: For the following:
 - 1. Full-size patterns with complete dimensions for new brick shapes and brick arches and their jointing, showing relation of existing to new units.
 - 2. Provisions for expansion joints or other sealant joints.
 - 3. Provisions for flashing, lighting fixtures, conduits, and weep holes as required.
 - 4. Replacement and repair anchors. Include details of anchors within individual masonry units, with locations of anchors and dimensions of holes and recesses in units required for anchors.
- C. Samples for Initial Selection: For the following:
 - Pointing Mortar: Submit sets of mortar for pointing in the form of sample mortar strips, 6 inches (150 mm) long by width of existing mortar joints, set in aluminum or plastic channels.
 - a. Have each set contain a close color range of at least six Samples of different mixes of colored sands and cements that produce a mortar matching the cleaned masonry when cured and dry.
 - b. Submit with precise measurements on ingredients, proportions, gradations, and sources of colored sands from which each Sample was made.
 - Patching Compound: Submit sets of patching compound Samples in the form of plugs (patches in drilled holes) in sample units of masonry representative of the range of masonry colors on the building.
 - Have each set contain a close color range of at least six Samples of different mixes of patching compound that matches the variations in existing masonry when cured and dry.
 - 3. Sealant Materials: See Division 07 Section "Joint Sealants."
 - 4. Include similar Samples of accessories involving color selection.
- D. Samples for Verification: For the following:

- 1. Each type of masonry unit to be used for replacing existing units. Include sets of Samples as necessary to show the full range of shape, color, and texture to be expected.
 - a. For each brick type, provide straps or panels containing at least four bricks. Include multiple straps for brick with a wide range.
- 2. Each type of sand used for pointing mortar; minimum 1 lb. of each in plastic screw-top jars.
 - a. For blended sands, provide Samples of each component and blend.
 - b. Identify sources, both supplier and quarry, of each type of sand.
- 3. Each type, color, and texture of pointing mortar in the form of sample mortar strips, 6 inches long by width of existing mortar joints, set in aluminum or plastic channels.
 - a. Include with each Sample a list of ingredients with proportions of each. Identify sources, both supplier and quarry, of each type of sand and brand names of cementitious materials and pigments if any.
- 4. Each type of masonry patching compound in the form of briquettes, at least 3 inches long by 1-1/2 inches wide. Document each Sample with manufacturer and stock number or other information necessary to order additional material.
- 5. Sealant Materials: See Division 07 Section "Joint Sealants."
- 6. Accessories: Each type of anchor, accessory, and miscellaneous support.
- E. Qualification Data: For restoration specialists including field supervisors and restoration workers, and testing service.
- F. Preconstruction Test Reports: For existing and replacement masonry units.
- G. Quality-Control Program.
- H. Restoration Program.
- I. Cleaning Program.

1.6 QUALITY ASSURANCE

- A. Restoration Specialist Qualifications: Engage an experienced, preapproved masonry restoration and cleaning firm to perform work of this Section. Firm shall have completed work similar in material, design, and extent to that indicated for this Project with a record of successful in-service performance. Experience installing standard unit masonry is not sufficient experience for masonry restoration work.
 - 1. At Contractor's option, work may be divided between two specialist firms: one for cleaning work and one for repair work.
 - 2. Field Supervision: Restoration specialist firms shall maintain experienced full-time supervisors on Project site during times that clay masonry restoration and cleaning work is in progress. Supervisors shall not be changed during Project except for causes beyond the control of restoration specialist firm.
 - 3. Restoration Worker Qualifications: Persons who are experienced and specialize in restoration work of types they will be performing. When masonry units are being patched, assign at least one worker among those performing patching work who is trained and certified by manufacturer of patching compound to apply its products.

- B. Chemical-Cleaner Manufacturer Qualifications: A firm regularly engaged in producing masonry cleaners that have been used for similar applications with successful results, and with factory-trained representatives who are available for consultation and Project-site inspection and assistance at no additional cost.
- C. Source Limitations: Obtain each type of material for masonry restoration (face brick, cement, sand, etc.) from one source with resources to provide materials of consistent quality in appearance and physical properties.
- D. Quality-Control Program: Prepare a written quality-control program for this Project to systematically demonstrate the ability of personnel to properly follow methods and use materials and tools without damaging masonry. Include provisions for supervising performance and preventing damage due to worker fatigue.
- E. Restoration Program: Prepare a written, detailed description of materials, methods, equipment, and sequence of operations to be used for each phase of restoration work including protection of surrounding materials and Project site.
 - 1. Include methods for keeping pointing mortar damp during curing period.
 - 2. If materials and methods other than those indicated are proposed for any phase of restoration work, add to the Quality-Control Program a written description of such materials and methods, including evidence of successful use on comparable projects, and demonstrations to show their effectiveness for this Project and worker's ability to use such materials and methods properly.
- F. Cleaning Program: Prepare a written cleaning program that describes cleaning process in detail, including materials, methods, and equipment to be used, protection of surrounding materials, and control of runoff during operations.
 - If materials and methods other than those indicated are proposed for any phase of restoration work, add to the Quality-Control Program a written description of such materials and methods, including evidence of successful use on comparable projects, and demonstrations to show their effectiveness for this Project and worker's ability to use such materials and methods properly.
- G. Cleaning and Repair Appearance Standard: Cleaned and repaired surfaces are to have a uniform appearance as viewed from 20 feet away by Architect. Perform additional paint and stain removal, general cleaning, and spot cleaning of small areas that are noticeably different, so that surface blends smoothly into surrounding areas.
- H. Mockups: Prepare mockups of restoration and cleaning to demonstrate aesthetic effects and set quality standards for materials and execution and for fabrication and installation.
 - Masonry Repair: Prepare sample areas for each type of masonry material indicated to have repair work performed. If not otherwise indicated, size each mockup not smaller than 2 adjacent whole units or approximately 48 inches in least dimension. Erect sample areas in existing walls unless otherwise indicated, to demonstrate quality of materials, workmanship, and blending with existing work. Include the following as a minimum:
 - a. Replacement:
 - 1) Five brick units replaced.
 - b. Re-anchoring Veneers: Install three masonry repair anchors in mockup wall assembly of each anchor type required.
 - c. Patching: Three small holes as directed for each type of masonry material indicated to be patched, so as to leave no evidence of repair.

- d. Widening Joints: Widen a joint in 2 separate locations, each approximately 12 inches long.
- 2. Repointing: Rake out joints in 2 separate areas, each approximately 36 inches high by 48 inches wide for each type of repointing required and repoint one of the areas.
- 3. Cleaning: Clean an area approximately 25 sq. ft. for each type of masonry and surface condition.
 - Test cleaners and methods on samples of adjacent materials for possible adverse reactions. Do not use cleaners and methods known to have deleterious effect.
 - b. Allow a waiting period of not less than seven days after completion of sample cleaning to permit a study of sample panels for negative reactions.
- 4. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
- 5. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.
- I. Preinstallation Conference: Conduct conference at Project site.
 - 1. Review methods and procedures related to masonry restoration and cleaning including, but not limited to, the following:
 - a. Construction schedule. Verify availability of materials, Restoration Specialist's personnel, equipment, and facilities needed to make progress and avoid delays.
 - b. Materials, material application, sequencing, tolerances, and required clearances.
 - c. Protection of persons, motor vehicles, surrounding surfaces of building, building site, plants, shrubs and trees, and surrounding buildings from harm resulting from historic treatment procedures. Refer to Section 013591.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Deliver masonry units to Project site strapped together in suitable packs or pallets or in heavy-duty cartons.
- B. Deliver other materials to Project site in manufacturer's original and unopened containers, labeled with manufacturer's name and type of products.
- C. Store cementitious materials on elevated platforms, under cover, and in a dry location. Do not use cementitious materials that have become damp.
- D. Store hydrated lime in manufacturer's original and unopened containers. Discard lime if containers have been damaged or have been opened for more than two days.
- E. Store lime putty covered with water in sealed containers.
- F. Store sand where grading and other required characteristics can be maintained and contamination avoided.

1.8 PROJECT CONDITIONS

A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit masonry restoration and cleaning work to be performed according to manufacturers' written instructions and specified requirements.

- B. Repair masonry units and repoint mortar joints only when air temperature is between 40 and 90 deg F and is predicted to remain so for at least 7 days after completion of the Work unless otherwise indicated.
- C. Cold-Weather Requirements: Comply with the following procedures for masonry repair and mortar-joint pointing unless otherwise indicated:
 - 1. When air temperature is below 40 deg F, heat mortar ingredients, masonry repair materials, and existing masonry walls to produce temperatures between 40 and 120 deg F.
 - 2. When mean daily air temperature is below 40 deg F, provide enclosure and heat to maintain temperatures above 32 deg F within the enclosure for 7 days after repair and pointing.
- D. Hot-Weather Requirements: Protect masonry repair and mortar-joint pointing when temperature and humidity conditions produce excessive evaporation of water from mortar and repair materials. Provide artificial shade and wind breaks and use cooled materials as required to minimize evaporation. Do not apply mortar to substrates with temperatures of 90 deg F and above unless otherwise indicated.
- E. For manufactured repair materials, perform work within the environmental limits set by each manufacturer.
- F. Clean masonry surfaces only when air temperature is 40 deg F and above and is predicted to remain so for at least 7 days after completion of cleaning.

1.9 COORDINATION

A. Coordinate masonry restoration and cleaning with public circulation patterns at Project site. Some work is near public circulation patterns. Public circulation patterns cannot be closed off entirely, and in places can be only temporarily redirected around small areas of work. Plan and execute the Work accordingly. Refer to Section 013591 for specific requirements.

1.10 SEQUENCING AND SCHEDULING

- A. Order replacement materials at earliest possible date to avoid delaying completion of the Work.
- B. Order sand and portland cement for pointing mortar immediately after approval of mockups. Take delivery of and store at Project site a sufficient quantity to complete Project.
- C. Perform masonry restoration work in the following sequence:
 - 1. Remove plant growth.
 - 2. Inspect for open mortar joints and repair before cleaning to prevent the intrusion of water and other cleaning materials into the wall.
 - 3. Remove paint.
 - 4. Clean masonry surfaces.
 - 5. Rake out mortar from joints surrounding masonry to be replaced and from joints adjacent to masonry repairs along joints.
 - 6. Repair masonry, including replacing existing masonry with new masonry materials.
 - 7. Rake out mortar from joints to be repointed.
 - 8. Point mortar and sealant joints.
 - 9. After repairs and repointing have been completed and cured, perform a final cleaning to remove residues from this work.
 - 10. Inspect for open mortar joints and repair before cleaning to prevent the intrusion of water and other cleaning materials into the wall.
 - 11. Remove paint.

- 12. Clean masonry surfaces.
- D. As scaffolding is removed, patch anchor holes used to attach scaffolding. Patch holes in masonry units to comply with "Masonry Unit Patching" Article. Patch holes in mortar joints to comply with "Repointing Masonry" Article.

PART 2 - PRODUCTS

2.1 MASONRY MATERIALS

- A. Face Brick: Provide face brick, including specially molded, ground, cut, or sawed shapes where required to complete masonry restoration work.
 - 1. Provide units with colors, color variation within units, surface texture, size, and shape to match existing brickwork and with physical properties within 10 percent of those determined from preconstruction testing of selected existing units.
 - a. For existing brickwork that exhibits a range of colors or color variation within units, provide brick that proportionally matches that range and variation rather than brick that matches an individual color within that range.
 - 2. Tolerances as Fabricated: Comply with tolerance requirements in ASTM C 216, Type FBS.
 - 3. Identification: Manufacturer may emboss name in the clay body on an interior surface of each unit in easily read 1/2-inch-high characters.
- B. Building Brick: Provide building brick complying with ASTM C 62, of same vertical dimension as face brick, for masonry work concealed from view.
 - 1. Grade SW where in contact with earth.
 - 2. Grade SW, MW, or NW for concealed backup.
 - 3. Identification: Manufacturer may emboss name in the clay body on an interior surface of each unit in easily read 1/2-inch-high characters.

2.2 MORTAR MATERIALS

- A. Portland Cement: ASTM C 150, Type I or Type II, white or gray or both where required for color matching of exposed mortar.
 - Provide cement containing not more than 0.60 percent total alkali when tested per ASTM C 114.
- B. Hydrated Lime: ASTM C 207, Type S.
- C. Factory-Prepared Lime Putty: ASTM C 1489.
- D. Quicklime: ASTM C 5, pulverized lime.
- E. Mortar Sand: ASTM C 144 unless otherwise indicated.
 - 1. Color: Provide natural sand or ground marble, granite, or other sound stone of color necessary to produce required mortar color.
 - 2. For pointing mortar, provide sand with rounded edges.
 - 3. Match size, texture, and gradation of existing mortar sand as closely as possible. Blend several sands if necessary to achieve suitable match.

- F. Mortar Pigments: Natural and synthetic iron oxides, compounded for mortar mixes. Use only pigments with a record of satisfactory performance in masonry mortars.
- G. Water: Potable.

2.3 MANUFACTURED REPAIR MATERIALS

- A. Masonry Patching Compound: Factory-mixed cementitious product that is custom manufactured for patching masonry.
 - 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Cathedral Stone Products, Inc.; Jahn M100 Brick Repair Mortar.
 - b. Edison Coatings, Inc.; Custom System 45.
 - c. Conproco Corporation.
 - 1.) Mimic for natural stone.
 - 2.) Matrix for natural stone.
 - 2. Use formulation that is vapor- and water permeable (equal to or more than the masonry unit), exhibits low shrinkage, has lower modulus of elasticity than the masonry units being repaired, and develops high bond strength to all types of masonry.
 - 3. Use formulation having working qualities and retardation control to permit forming and sculpturing where necessary.
 - 4. Formulate patching compound used for patching brick and stone in colors and textures to match each masonry unit being patched. Provide sufficient number of colors to enable matching the color, texture, and variation of each unit.

2.4 PAINT REMOVERS

- A. Low-Odor, Solvent-Type Paint Remover: Manufacturer's standard low-odor, water-rinsable solvent-type gel formulation, containing no methanol or methylene chloride, for removing paint coatings from masonry.
 - 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. ABR Products, Inc.; Super Bio Strip Gel.
 - b. Cathedral Stone Products, Inc.; S-301, S-303, or S-305.
 - c. Dumond Chemicals, Inc.; Peel Away 6, Peel Away 7, or Peel Away 21.
 - d. PROSOCO; Enviro Klean Safety Peel 1 or Enviro Klean Safety Peel 3.

2.5 CLEANING MATERIALS

- A. Refer to and follow recommendations of National Park Service Preservation Brief 1 for masonry.
- B. Water: Potable.
- C. Hot Water: Water heated to a temperature of 140 to 160 deg F.
- D. Job-Mixed Detergent Solution: 1/2 cup of non-ionic detergents, and 20 quarts of hot water for every 5 gal. of solution required.

- 1. Products: Subject to compliance with requirements, available products that may be incorporated into the work include, but are not limited to, the following:
 - a. GAF; Igepal
 - b. Union Carbide; Tergitol
 - c. Rohm and Haas; Triton
- E. Mold, Mildew, and Algae Remover: Non-mutagenic biological solution that contains no carcinogenic compounds.
- F. Nonacidic Gel Cleaner (for marble flooring in Vestibule, Lobby, Offices, and East Corridor): Manufacturer's standard gel formulation, with pH between 6 and 9, that contains detergents with chelating agents and is specifically formulated for cleaning masonry surfaces.
 - 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Price Research, Ltd.; Price Marble Cleaner-Gel.
 - b. PROSOCO; Sure Klean 942 Limestone and Marble Cleaner.

2.6 ACCESSORY MATERIALS

- A. Liquid Strippable Masking Agent: Manufacturer's standard liquid, film-forming, strippable masking material for protecting glass, metal, and polished stone surfaces from damaging effects of acidic and alkaline masonry cleaners.
 - 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. ABR Products, Inc.; Rubber Mask.
 - b. Price Research, Ltd.: Price Mask.
 - c. PROSOCO; Sure Klean Strippable Masking.
- B. Masonry Repair Anchors, Spiral Type: Type 304 stainless-steel spiral rods designed to anchor to backing and veneer. Anchors are flexible in plane of veneer but rigid perpendicular to it.
 - 1. Provide driven-in anchors designed to be installed in drilled holes and relying on screw effect rather than adhesive to secure them to backup and veneer.
 - 2. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. BLOK-LOK Limited; Spira-Lok.
 - b. Dur-O-Wal, a division of Dayton Superior; Dur-O-Flex Friction Pin Anchor.
 - c. Heckmann Building Products Inc.; #391 Remedial Tie.
 - d. Hohmann & Barnard, Inc.; Helix Spiro-Ties.

C. Sealant Materials:

- 1. Provide manufacturer's standard chemically curing, elastomeric sealant(s) of base polymer and characteristics that comply with applicable requirements in Division 07 Section "Joint Sealants."
- Colors: Provide colors of exposed sealants to match colors of masonry adjoining installed sealant unless otherwise indicated.
- 3. Ground-Mortar Aggregate: Custom crushed and ground pointing mortar sand or existing mortar retrieved from joints. Grind to a particle size that matches the adjacent mortar aggregate and color. Remove all fines passing the 100 sieve.

D. Joint-Sealant Backing:

- 1. Cylindrical Sealant Backings: ASTM C 1330, Type C (closed-cell material with a surface skin), and of size and density to control sealant depth and otherwise contribute to producing optimum sealant performance.
- 2. Bond-Breaker Tape: Polyethylene tape or other plastic tape recommended by sealant manufacturer for preventing sealant from adhering to rigid, inflexible joint-filler materials or joint surfaces at back of joint where such adhesion would result in sealant failure. Provide self-adhesive tape where acceptable.
- E. Setting Buttons: Resilient plastic buttons, nonstaining to masonry, sized to suit joint thicknesses and bed depths of masonry units without intruding into required depths of pointing materials.
- F. Masking Tape: Nonstaining, nonabsorbent material, compatible with pointing mortar, joint primers, sealants, and surfaces adjacent to joints; that will easily come off entirely, including adhesive.
- G. Antirust Coating for Ornamental Balconies: Fast-curing, lead- and chromate-free, self-curing, universal modified-alkyd primer complying with SSPC-Paint 29 zinc-rich coating.
 - 1. Use coating requiring no better than SSPC-SP 3, "Power Tool Cleaning" surface preparation according to manufacturer's literature or certified statement.
 - 2. Use coating with a VOC content of 420 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- H. Miscellaneous Products: Select materials and methods of use based on the following, subject to approval of a mockup:
 - 1. Previous effectiveness in performing the work involved.
 - 2. Little possibility of damaging exposed surfaces.
 - 3. Consistency of each application.
 - 4. Uniformity of the resulting overall appearance.
 - 5. Do not use products or tools that could do the following:
 - a. Remove, alter, or in any way harm the present condition or future preservation of existing surfaces, including surrounding surfaces not in contract.
 - b. Leave a residue on surfaces.

2.7 MORTAR MIXES

- A. Preparing Lime Putty: Slake quicklime and prepare lime putty according to appendix to ASTM C 5 and manufacturer's written instructions.
- B. Measurement and Mixing: Measure cementitious materials and sand in a dry condition by volume or equivalent weight. Do not measure by shovel; use known measure. Mix materials in a clean, mechanical batch mixer.
 - Mixing Pointing Mortar: Thoroughly mix cementitious materials and sand together before adding any water. Then mix again adding only enough water to produce a damp, unworkable mix that will retain its form when pressed into a ball. Maintain mortar in this dampened condition for 15 to 30 minutes. Add remaining water in small portions until mortar reaches desired consistency. Use mortar within one hour of final mixing; do not retemper or use partially hardened material.
- C. Colored Mortar: Produce mortar of color required by using specified ingredients. Do not alter specified proportions without Architect's approval.

- 1. Mortar Pigments: Where mortar pigments are indicated, do not exceed a pigment-tocement ratio of 1:10 by weight.
- D. Do not use admixtures in mortar unless otherwise indicated.
- E. Mortar Proportions: Mix mortar materials in the following proportions:
 - 1. Pointing Mortar for Brick: Type S.
 - a. Add mortar pigments to produce mortar colors required.
 - 2. Rebuilding (Setting) Mortar: Comply with ASTM C 270, Proportion Specification, Type N unless otherwise indicated; with cementitious material limited to portland cement and lime.

PART 3 - EXECUTION

3.1 PROTECTION

- A. Protect persons, motor vehicles, surrounding surfaces of building being restored, building site, plants, shrubs and trees, and surrounding buildings from harm resulting from masonry restoration work.
 - Erect temporary protective covers over walkways and at points of pedestrian and vehicular entrance and exit that must remain in service during course of restoration and cleaning work.
- B. Comply with chemical-cleaner manufacturer's written instructions for protecting building and other surfaces against damage from exposure to its products. Prevent chemical-cleaning solutions from coming into contact with people, motor vehicles, landscaping, buildings, and other surfaces that could be harmed by such contact.
 - Cover adjacent surfaces with materials that are proven to resist chemical cleaners used unless chemical cleaners being used will not damage adjacent surfaces. Use materials that contain only waterproof, UV-resistant adhesives. Apply masking agents to comply with manufacturer's written instructions. Do not apply liquid masking agent to painted or porous surfaces. When no longer needed, promptly remove masking to prevent adhesive staining.
 - 2. Keep wall wet below area being cleaned to prevent streaking from runoff.
 - Do not clean masonry during winds of sufficient force to spread cleaning solutions to unprotected surfaces.
 - 4. Neutralize and collect alkaline and acid wastes for disposal off Owner's property.
 - 5. Dispose of runoff from cleaning operations by legal means and in a manner that prevents soil erosion, undermining of paving and foundations, damage to landscaping, and water penetration into building interiors.
- C. Prevent mortar from staining face of surrounding masonry and other surfaces.
 - 1. Cover sills, ledges, and projections to protect from mortar droppings.
 - 2. Keep wall area wet below rebuilding and pointing work to discourage mortar from adhering.
 - 3. Immediately remove mortar in contact with exposed masonry and other surfaces.
 - 4. Clean mortar splatters from scaffolding at end of each day.

3.2 UNUSED ANCHOR REMOVAL

- A. Remove masonry anchors, brackets, wood nailers, and other extraneous items no longer in use unless identified as historically significant or indicated to remain.
 - 1. Remove items carefully to avoid spalling or cracking masonry.
 - 2. Where directed, if an item cannot be removed without damaging surrounding masonry, do the following:
 - a. Cut or grind off item approximately 3/4 inch beneath surface and core drill a recess of same depth in surrounding masonry as close around item as practical.
 - b. Immediately paint exposed end of item with two coats of antirust coating, following coating manufacturer's written instructions and without exceeding manufacturer's recommended dry film thickness per coat. Keep paint off sides of recess.
 - 3. Patch the hole where each item was removed unless directed to remove and replace the masonry unit.

3.3 BRICK REMOVAL AND REPLACEMENT

- A. At locations indicated, remove bricks that are damaged, spalled, or deteriorated or are to be reused. Carefully demolish or remove entire units from joint to joint, without damaging surrounding masonry, in a manner that permits replacement with full-size units.
 - 1. When removing single bricks, remove material from center of brick and work toward outside edges.
- B. Support and protect remaining masonry that surrounds removal area. Maintain flashing, reinforcement, lintels, and adjoining construction in an undamaged condition.
- C. Notify Architect of unforeseen detrimental conditions including voids, cracks, bulges, and loose units in existing masonry backup, rotted wood, rusted metal, and other deteriorated items.
- D. Remove in an undamaged condition as many whole bricks as possible.
 - 1. Remove mortar, loose particles, and soil from brick by cleaning with hand chisels, brushes, and water.
 - 2. Remove sealants by cutting close to brick with utility knife and cleaning with solvents.
 - 3. Store brick for reuse. Store off ground, on skids, and protected from weather.
 - Deliver cleaned brick not required for reuse to Owner unless otherwise indicated.
- E. Clean bricks surrounding removal areas by removing mortar, dust, and loose particles in preparation for replacement.
- F. Replace removed damaged brick with other removed brick in good quality, where possible, or with new brick matching existing brick, including size. Do not use broken units unless they can be cut to usable size.
- G. Install replacement brick into bonding and coursing pattern of existing brick. If cutting is required, use a motor-driven saw designed to cut masonry with clean, sharp, unchipped edges.
 - 1. Maintain joint width for replacement units to match existing joints.
 - 2. Use setting buttons or shims to set units accurately spaced with uniform joints.
- H. Lay replacement brick with completely filled bed, head, and collar joints. Butter ends with sufficient mortar to fill head joints and shove into place. Wet both replacement and

surrounding bricks that have ASTM C 67 initial rates of absorption (suction) of more than 30 g/30 sq. in. per min. Use wetting methods that ensure that units are nearly saturated but surface is dry when laid.

- Tool exposed mortar joints in repaired areas to match joints of surrounding existing brickwork.
- 2. Rake out mortar used for laying brick before mortar sets and point new mortar joints in repaired area to comply with requirements for repointing existing masonry, and at same time as repointing of surrounding area.
- 3. When mortar is sufficiently hard to support units, remove shims and other devices interfering with pointing of joints.

3.4 REANCHORING VENEERS

- A. Install masonry repair anchors in horizontal mortar joints and according to manufacturer's written instructions. Install at not more than 16 inches o.c. vertically and 32 inches o.c. horizontally unless otherwise indicated. Install at locations to avoid penetrating flashing.
- B. Recess anchors at least 5/8 inch from surface of mortar joint and fill recess with pointing mortar.

3.5 MASONRY UNIT PATCHING

- A. Patch the following masonry units unless another type of replacement or repair is indicated:
 - 1. Units indicated to be patched.
 - 2. Units with holes.
 - Units with chipped edges or corners.
 - 4. Units with small areas of deep deterioration.
- B. Remove and replace existing patches unless otherwise indicated or approved by Architect.

C. Patching Bricks:

- 1. Remove loose material from masonry surface. Carefully remove additional material so patch will not have feathered edges but will have square or slightly undercut edges on area to be patched and will be at least 1/4 inch thick, but not less than recommended by patching compound manufacturer.
- 2. Mask adjacent mortar joint or rake out for repointing if patch will extend to edge of masonry unit.
- 3. Mix patching compound in individual batches to match each unit being patched. Combine one or more colors of patching compound, as needed, to produce exact match.
- 4. Rinse surface to be patched and leave damp, but without standing water.
- 5. Brush-coat surfaces with slurry coat of patching compound according to manufacturer's written instructions.
- 6. Place patching compound in layers as recommended by patching compound manufacturer, but not less than 1/4 inch or more than 2 inches thick. Roughen surface of each layer to provide a key for next layer.
- 7. Trowel, scrape, or carve surface of patch to match texture and surrounding surface plane or contour of the masonry unit. Shape and finish surface before or after curing, as determined by testing, to best match existing masonry unit.
- 8. Keep each layer damp for 72 hours or until patching compound has set.

3.6 WIDENING JOINTS

- A. Do not widen a joint, except where indicated or approved by Architect.
- B. Location Guideline: Where an existing masonry unit abuts another or the joint is less than 1/8 inch (3 mm), widen the joint for length indicated and to depth required for repointing after obtaining Architect's approval.
- C. Carefully perform widening by cutting, grinding, routing, or filing procedures demonstrated in an approved mockup.
- D. Widen joint to width equal to or less than predominant width of other joints on building. Make sides of widened joint uniform and parallel. Ensure that edges of units along widened joint are in alignment with joint edges at unaltered joints.

3.7 CLEANING MASONRY, GENERAL

- A. Proceed with cleaning program in an orderly manner; work from bottom to top, as recommended by National Parks Service Preservation Brief 1, of each scaffold width and from one end of each elevation to the other. Ensure that dirty residues and rinse water will not wash over cleaned, dry surfaces.
- B. Use only those cleaning methods indicated for each masonry material and location.
 - Do not use wire brushes or brushes that are not resistant to chemical cleaner being used. Do not use plastic-bristle brushes if natural-fiber brushes will resist chemical cleaner being used.
 - 2. Use spray equipment that provides controlled application at volume and pressure indicated, measured at spray tip. Adjust pressure and volume to ensure that cleaning methods do not damage masonry.
 - a. Equip units with pressure gages.
 - 3. For chemical-cleaner spray application, use low-pressure tank or chemical pump suitable for chemical cleaner indicated, equipped with cone-shaped spray tip.
 - 4. For water-spray application, use fan-shaped spray tip that disperses water at an angle of 25 to 50 degrees.
 - 5. For high-pressure water-spray application, use fan-shaped spray tip that disperses water at an angle of at least 40 degrees.
 - 6. For heated water-spray application, use equipment capable of maintaining temperature between 140 and 160 deg F at flow rates indicated.
 - 7. For steam application, use steam generator capable of delivering live steam at nozzle.
- C. Perform each cleaning method indicated in a manner that results in uniform coverage of all surfaces, including corners, moldings, and interstices, and that produces an even effect without streaking or damaging masonry surfaces.
- D. Water Application Methods:
 - Water-Soak Application: Soak masonry surfaces by applying water continuously and uniformly to limited area for time indicated. Apply water at low pressures and low volumes in multiple fine sprays using perforated hoses or multiple spray nozzles. Erect a protective enclosure constructed of polyethylene sheeting to cover area being sprayed.
 - 2. Water-Spray Applications: Unless otherwise indicated, hold spray nozzle at least 6 inches from surface of masonry and apply water in horizontal back and forth sweeping motion, overlapping previous strokes to produce uniform coverage.

- E. Steam Cleaning: Apply steam to masonry surfaces at the very low pressures indicated for each type of masonry material. Hold nozzle at least 6 inches from surface of masonry and apply steam in horizontal back and forth sweeping motion, overlapping previous strokes to produce uniform coverage.
- F. Rinse off chemical residue and soil by working upward from bottom to top of each treated area at each stage or scaffold setting. Periodically during each rinse, test pH of rinse water running off of cleaned area to determine that chemical cleaner is completely removed.
 - 1. Apply neutralizing agent and repeat rinse if necessary to produce tested pH of between 6.7 and 7.5.
- G. After cleaning is complete, remove protection no longer required. Remove tape and adhesive marks.

3.8 PRELIMINARY CLEANING

- A. Removing Plant Growth: Completely remove visible plant, moss, and shrub growth from masonry surfaces. Carefully remove plants, creepers, and vegetation by cutting at roots and allowing to dry as long as possible before removal. Remove loose soil and debris from open masonry joints to whatever depth they occur.
- B. Preliminary Cleaning: Before beginning general cleaning, **protect surrounding materials**, remove extraneous substances that are resistant to cleaning methods being used. Extraneous substances include paint, calking, asphalt, and tar.
 - 1. Carefully remove heavy accumulations of material from surface of masonry with a sharp chisel. Do not scratch or chip masonry surface.
 - 2. Remove paint and calking with alkaline paint remover.
 - Comply with requirements in "Paint Removal" Article.
 - Repeat application up to two times if needed.
 - 3. Remove asphalt and tar with solvent-type paint remover.
 - a. Comply with requirements in "Paint Removal" Article.
 - b. Apply paint remover only to asphalt and tar by brush without prewetting.
 - c. Allow paint remover to remain on surface for 10 to 30 minutes.
 - d. Repeat application if needed.

3.9 PAINT REMOVAL

- A. Paint Removal with Solvent-Type Paint Remover:
 - 1. Remove loose and peeling paint using low-pressure spray, scrapers, stiff brushes, or a combination of these. Do not scratch or chip masonry surface. Let surface dry thoroughly.
 - 2. Apply thick coating of paint remover to painted masonry with natural-fiber cleaning brush, deep-nap roller, or large paint brush.
 - 3. Allow paint remover to remain on surface for period recommended by manufacturer. Agitate periodically with stiff-fiber brush, in accordance with paint remover manufacturer's recommendations.
 - 4. Rinse with cold or hot water, as recommended by paint remover manufacturer, applied by low-pressure spray to remove chemicals and paint residue.

3.10 CLEANING BRICKWORK

A. Detergent Cleaning:

- 1. Protect surrounding materials.
- 2. Wet masonry with hot water applied by low-pressure spray.
- 3. Scrub masonry with detergent solution using medium-soft brushes until soil is thoroughly dislodged and can be removed by rinsing. Use small brushes to remove soil from mortar joints and crevices. Dip brush in solution often to ensure that adequate fresh detergent is used and that masonry surface remains wet.
- 4. Rinse with hot water applied by low-pressure spray to remove detergent solution and
- 5. Repeat cleaning procedure above where required to produce cleaning effect established by mockup.

B. Mold, Mildew, and Algae Removal:

- 1. Protect surrounding materials.
- 2. Wet marble flooring with hot water applied by low-pressure spray.
- 3. Apply mold, mildew, and algae remover by brush.
- 4. Scrub masonry with medium-soft brushes until mold, mildew, and algae are thoroughly dislodged and can be removed by rinsing. Use small brushes for mortar joints and crevices. Dip brush in mold, mildew, and algae remover often to ensure that adequate fresh cleaner is used and that masonry surface remains wet.
- 5. Rinse with hot water applied by low-pressure spray to remove mold, mildew, and algae remover and soil.
- 6. Repeat cleaning procedure above where required to produce cleaning effect established by mockup.

C. Nonacidic Gel Cleaning:

1. Protect surrounding materials.

- 2. Wet marble flooring with hot water applied by low-pressure spray.
- 3. Apply nonacidic gel cleaner in 1/8-inch (3-mm) thickness by brush, working into joints and crevices. Apply quickly and do not brush out excessively so area will be uniformly covered with fresh cleaner and dwell time will be uniform throughout area being cleaned.
- 4. Let cleaner remain on surface for period indicated below:
 - a. As established by mockup.
- 5. Remove bulk of nonacidic gel cleaner by squeegeeing into containers for disposal.
- 6. Rinse with hot water applied by low-pressure spray to remove chemicals and soil.
- 7. Repeat cleaning procedure above where required to produce cleaning effect established by mockup. Do not repeat more than once. If additional cleaning is required, use steam cleaning.

3.11 REPOINTING MASONRY

- A. Rake out and repoint joints to the following extent:
 - 1. All joints in areas indicated.
 - 2. Joints where mortar is missing or where they contain holes.
 - Cracked joints where cracks can be penetrated at least 1/4 inch by a knife blade 0.027 inch thick.
 - 4. Cracked joints where cracks are 1/16 inch or more in width and of any depth.
 - 5. Joints where they sound hollow when tapped by metal object.

- 6. Joints where they are worn back 1/4 inch or more from surface.
- 7. Joints where they are deteriorated to point that mortar can be easily removed by hand, without tools.
- 8. Joints where they have been filled with substances other than mortar.
- 9. Joints indicated as sealant-filled joints.
- B. Do not rake out and repoint joints where not required.
- C. Rake out joints as follows, according to procedures demonstrated in approved mockup:
 - 1. Remove mortar from joints to depth of 2 times joint width, but not less than ¾ inch or not less than that required to expose sound, unweathered mortar.
 - 2. Remove mortar from masonry surfaces within raked-out joints to provide reveals with square backs and to expose masonry for contact with pointing mortar. Brush, vacuum, or flush joints to remove dirt and loose debris.
 - 3. Do not spall edges of masonry units or widen joints. Replace or patch damaged masonry units as directed by Architect.
 - a. Cut out mortar by hand with chisel and resilient mallet. Do not use poweroperated grinders without Architect's written approval based on approved quality-control program.
 - b. Cut out center of mortar bed joints using angle grinders with diamond-impregnated metal blades. Remove remaining mortar by hand with chisel and resilient mallet. Strictly adhere to approved quality-control program.
- D. Notify Architect of unforeseen detrimental conditions including voids in mortar joints, cracks, loose masonry units, rotted wood, rusted metal, and other deteriorated items.
- E. Pointing with Mortar:
 - 1. Rinse joint surfaces with water to remove dust and mortar particles. Time rinsing application so, at time of pointing, joint surfaces are damp but free of standing water. If rinse water dries, dampen joint surfaces before pointing.
 - 2. Apply pointing mortar first to areas where existing mortar was removed to depths greater than surrounding areas. Apply in layers not greater than ¼ inch lifts until a uniform depth is formed. Fully compact each layer thoroughly and allow it to become thumbprint hard before applying next layer.
 - 3. After low areas have been filled to same depth as remaining joints, point all joints by placing mortar in layers not greater than 3/8 inch. Fully compact each layer and allow to become thumbprint hard before applying next layer. Where existing masonry units have worn or rounded edges, slightly recess finished mortar surface below face of masonry to avoid widened joint faces. Take care not to spread mortar beyond joint edges onto exposed masonry surfaces or to featheredge the mortar.
 - 4. When mortar is thumbprint hard, tool joints to match original appearance of joints as demonstrated in approved mockup. Remove excess mortar from edge of joint by brushing.
 - 5. Cure mortar by maintaining in thoroughly damp condition for at least 72 consecutive hours including weekends and holidays.
 - Acceptable curing methods include covering with wet burlap and plastic sheeting, periodic hand misting, and periodic mist spraying using system of pipes, mist heads, and timers.
 - b. Adjust curing methods to ensure that pointing mortar is damp throughout its depth without eroding surface mortar.
 - 6. Hairline cracking within the mortar or mortar separation at edge of a joint is unacceptable. Completely remove such mortar and repoint.

F. Pointing with Sealant:

- 1. After raking out, keep joints dry and free of mortar and debris.
- 2. Clean and prepare joint surfaces according to Division 07 Section "Joint Sealants." Prime joint surfaces unless sealant manufacturer recommends against priming. Do not allow primer to spill or migrate onto adjoining surfaces.
- 3. Fill sealant joints with specified joint sealant according to Division 07 Section "Joint Sealants" and the following:
 - Install cylindrical sealant backing beneath the sealant, except where space is insufficient. There, install bond-breaker tape.
 - b. Install sealant using only proven installation techniques that will ensure that sealant will be deposited in a uniform, continuous ribbon, without gaps or air pockets, and with complete wetting of the joint bond surfaces equally on both sides. Fill joint flush with surrounding masonry and matching the contour of adjoining mortar joints.
 - c. Install sealant as recommended by sealant manufacturer but within the following general limitations, measured at the center (thin) section of the bead:
 - 1) Fill joints to a depth equal to joint width, but not more than ¾ inch deep or less than 1/4 inch deep.
 - d. Immediately after first tooling, apply ground-mortar aggregate to sealant, gently pushing aggregate into the surface of sealant. Retool sealant to form smooth, uniform beads, slightly concave. Remove excess sealant and aggregate from surfaces adjacent to joint.
 - e. Do not allow sealant to overflow or spill onto adjoining surfaces, or to migrate into the voids of adjoining surfaces, particularly rough textures. Remove excess and spillage of sealant promptly as the work progresses. Clean adjoining surfaces by the means necessary to eliminate evidence of spillage, without damage to adjoining surfaces or finishes, as demonstrated in an approved mockup.
- 4. Cure sealant according to Division 07 Section "Joint Sealants."
- G. Where repointing work precedes cleaning of existing masonry, allow mortar to harden at least 30 days before beginning cleaning work.

3.12 FINAL CLEANING

- A. After mortar has fully hardened, **protect surrounding materials**, thoroughly clean exposed masonry surfaces of excess mortar and foreign matter; use wood scrapers, stiff-nylon or -fiber brushes, and clean water, spray applied at low pressure.
 - 1. Do not use metal scrapers or brushes.
 - 2. Do not use acidic or alkaline cleaners.
- B. Wash adjacent non-masonry surfaces. Use detergent and soft brushes or cloths.
- C. Clean mortar and debris from roof. Rinse off roof.
- D. Sweep and rake adjacent pavement and grounds to remove mortar and debris. Where necessary, pressure wash pavement surfaces to remove mortar, dust, dirt, and stains.

3.13 FIELD QUALITY CONTROL

- A. Inspectors: Owner will engage qualified independent inspectors to perform inspections and prepare test reports. Allow inspectors use of lift devices and scaffolding, as needed, to perform inspections.
- B. Notify inspectors and Architect in advance of times when lift devices and scaffolding will be relocated. Do not relocate lift devices and scaffolding until inspectors have had reasonable opportunity to make inspections of work areas at lift device or scaffold location.

END OF SECTION 040120

HISTORIC PRESERVATION CERTIFICATION APPLICATION OCT 1 7 7022 PART 1 – EVALUATION OF SIGNIFICANCE

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 119-121 Bedford Street
	Street 119-121 Bedford Street
	City Hartford State CT Zip 06120-2579
	Name of Historic District or National Register property
	□ National Register district □ certified state or local district □ potential district □ National Register property
2.	Nature of Request (check only one box) certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes. certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes, certification that the building does not contribute to the significance of the above-named district or National Register property. preliminary determination for individual listing in the National Register. preliminary determination that a building located within a potential historic district contributes to the significance of the district. preliminary determination that a building outside the period or area of significance contributes to the significance of the district.
3.	Project Contact (if different from applicant)
	Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
	Street 26 Main Street City Pawtucket State RI
	Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com
4.	Applicant I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]: I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
	Name Adam Stein Signature (Sign in ink) Date 04/22/2022
	Applicant Entity WinnDevelopment Company LP SSN or TIN
	Street One Washington Mall, Suite 500 City Boston State MA
	Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
NPS	6 Official Use Only
	National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property: contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes. contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes. does not contribute to the significance of the above-named district or National Register property.
Preli	minary Determinations:
Ш	appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
	does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register. appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer. appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer. does not appear to qualify as a certified historic structure.
Date	11/2/2 National Park Service Authorized Signature (Sign in ink)
	NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes

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Street 26 Main Street		Company	The Dubit 1	
			THE PUDITC ATCHAEC	ology Laboratory, Inc.
in 02860 Telephone (401) 29		_ City Pawtucket		State RI
Telephone (401) 20	38-6333	Email Address aau	ugenstein@palinc.co	m
if I am not the fee simple owner of the above des objection, as noted in a written statement from the previously submitted, and (ii) meets the requirem for purposes of this attestation, the singular shall inclu- his application may subject me to fines and imprisonm	scribed property, the owner, a copy of nents of 36 CFR § 6 ude the plural when ment under 18 U.S.	ne fee simple owner is aw f which (i) either is attach 67.3(a)(1) (2011). rever appropriate. I under C. § 1001, which, under	rare of the action I am taking related to this application form and in stand that knowing and willful falls.	accorporated herein, or has been distinction of factual representations in for imprisonment of up to 8 years.
		Signature (Sign in ink)	ACE DE	Date 04/22/2022
	1000020000	611 B. I	SSN	or TIN
	The state of the s		***************************************	State MA
Telephone (617) 74	12-4500	Email Address mrok	payna@WINNCO.com	
Official Use Only				
contributes to the significance of the above-named dis- contributes to the significance of the above-named dis- loes not contribute to the significance of the above-na-	strict or National Re strict and is a "certifi	egister property and is a " fied historic structure" for	certified historic structure" for ref	nabilitation purposes.
	luation and will like	ly be listed in the Nationa	al Register of Historic Places if n	ominated by the State Historic
Preservation Officer according to the procedures set for	orth in 36 CFR Part	t 60.		
appears to contribute to the significance of a potential distoric Preservation Officer.	historic district, whi	ich will likely be listed in	the National Register of Historic	
ocumentation on file with the NPS is expanded by the	e State Historic Pre	the period or area of signeservation Officer.	ificance as documented in the N	ational Register nomination or district
11/1/22	9	te Authorized Signature (Sign in ink)	
	I am the owner of the above-described property if I am not the fee simple owner of the above described projection, as noted in a written statement from the previously submitted, and (ii) meets the requirement of this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject me to fines and imprison this application may subject to the significance of the above-named discontributes to the significance of a potential dispersion to appear to meet the National Register Criteria appears to contribute to the significance of a registere documentation on file with the NPS is expanded by the	I hereby attest that the information I have provided is, to the best of my kind the meaning of the above-described property within the meaning if I am not the fee simple owner of the above described property, the objection, as noted in a written statement from the owner, a copy of previously submitted, and (ii) meets the requirements of 36 CFR § For purposes of this attestation, the singular shall include the plural when this application may subject me to fines and imprisonment under 18 U.S. Name Adam Stein Applicant Entity WinnDevelopment Company LP Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Official Use Only ational Park Service has reviewed the Historic Preservation Certification contributes to the significance of the above-named district or National Recontributes to the significance of the above-named district and is a "certification of the contribute to the significance of the above-named district or National Represervation Officer according to the procedures set forth in 36 CFR Paradoes not appears to meet the National Register Criteria for Evaluation and will like Preservation Officer according to the procedures set forth in 36 CFR Paradoes not appears to meet the National Register Criteria for Evaluation and appears to contribute to the significance of a potential historic district, whilstoric Preservation Officer. 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For purposes of this attestation, the singular shall include the plural wherever appropriate. I under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under this application of the above ment the first of the above ment of the first of the above ment district of National Register property and is a "certified historic structure" for does not appear to meet the National Register Criteria for Evaluation and will likely be listed in the procedures set forth in 36 CFR Part 60. I appears to contribute to the significance of a potential historic district, which will likely be listed in the papears to contribute to the significance of a registered historic district if the period o	Thereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or if I am not the fee simple owner of the above described property, the fee simple owner of the action I am taking relation objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and in previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestantion, the singular shall include the plural wherever appropriate. I understand that knowing and willful faithis application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumsiances, provides application may subject me to fine application may subjec

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 - EVALUATION OF SIGNIFICANCE

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NATIONAL PARK SERVICE Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

Pi	Social Co. A soby of all of the Will and Provided to the Internal New York				
1.	Historic Property Name 123-125 Bedford Street				
Street 123-125 Bedford Street					
	City Hartford County Hartford State CT Zip 06120-2579				
	Name of Historic District or National Register property				
	□ National Register district □ certified state or local district □ potential district □ National Register property				
2.	Nature of Request (check only one box)				
	certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.				
	certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.				
	certification that the building does not contribute to the significance of the above-named district or National Register property. preliminary determination for individual listing in the National Register.				
	preliminary determination that a building located within a potential historic district contributes to the significance of the district.				
	preliminary determination that a building outside the period or area of significance contributes to the significance of the district.				
3.	Project Contact (if different from applicant)				
	Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.				
	Street 26 Main Street City Pawtucket State RI				
	Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com				
4	Applicant				
	I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:				
	I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or				
	if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been				
	previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in				
	this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain programs for imprisonment of up to 8 years.				
	Name Adam Stein Signature (Sign in ink) Date 04/22/2022				
	Applicant Entity WinnDevelopment Company LP SSN or TIN				
	Street One Washington Mall, Suite 500 City Boston State MA				
	Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com				
NP	S Official Use Only				
	National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:				
	contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.				
	contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.				
	does not contribute to the significance of the above-named district or National Register property.				
Prel	iminary Determinations:				
- 🔲	appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.				
	dues not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.				
D	appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.				
	appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.				
	does not appear to qualify as a certified historic structure.				
	11/6/2 (7 4/)				
Date	Mational Park Service Authorized Signature (Sign in ink)				
	NPS Comments Attached				

HISTORIC PRESERVATION CERTIFICATION APPLICATION OF 1 7 7072 PART 1 – EVALUATION OF SIGNIFICANCE NATIONAL DARK CO

CATION OCT 1 7 7022

NATIONAL PARK SERVICE
TAX INCENTIVE PROGRAM

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 124-126 Bedford Street			
	Street 124-126 Bedford Street			
	City Hartford County Hart	ford	State CT Zip 0	6120-2579
	Name of Historic District or National Register property			
	National Register district certified state or local district	potential district N	ational Register property	
2.	Nature of Request (check only one box)			
2	certification that the building contributes to the significance of the above certification that the building contributes to the significance of the above certification that the building does not contribute to the significance of preliminary determination for individual listing in the National Register preliminary determination that a building located within a potential his preliminary determination that a building outside the period or area of	ove-named historic district for a charital of the above-named district or National l or. storic district contributes to the significa	ole contribution for conservation Register property.	
2				
3.	Project Contact (if different from applicant)			
	Name Alisa M. Augenstein		ic Archaeology Lab	Victoria (1971)
	Street 26 Main Street	City Pawtucket		State RI
	Zip 02860 Telephone (401) 288-6333	Email Address aaugenstein	palinc.com	
8	I am the owner of the above-described property within the meaning of if I am not the fee simple owner of the above described property, the objection, as noted in a written statement from the owner, a copy of v previously submitted, and (ii) meets the requirements of 36 CFR § 67 For purposes of this attestation, the singular shall include the plural where this application may subject me to fines and imprisonment under 18 U.S.C	fee simple owner is aware of the action which (i) either is attached to this applied 7.3(a)(1) (2011). ver appropriate. I understand that know § 1001, which, under certain or cumst	n I am taking relative to this ap ation form and incorporated he ing and willful falsification of fa ances, provides for imprisonm	erein, or has been actual representations in ent of up to 8 years.
	Name Adam Stein Sig			04/22/2022
	Applicant Entity WinnDevelopment Company LP	SSN .	or TIN	
	Street One Washington Mall, Suite 500	_ City Boston		State MA
	Zip 02108 Telephone (617) 742-4500	Email Address mrobayna@WINI	ICO.com	
NP	S Official Use Only			
The	e National Park Service has reviewed the Historic Preservation Certification A	application – Part 1 for the above-name	d property and has determined	that the property:
	contributes to the significance of the above-named district or National Regi	ister property and is a *certified historic	structure" for rehabilitation pu	rposes.
	contributes to the significance of the above-named district and is a "certifie		tribution for conservation purp	oses
Ш	does not contribute to the significance of the above-named district or Natio			
_		onal Register property.		
Pre	eliminary Determinations:			
Pre	eliminary Determinations: appears to meet the National Register Criteria for Evaluation and will likely Preservation Officer according to the procedures set forth in 36 CFR Part 6	be listed in the National Register of Hi	storic Places if nominated by t	
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NPS Comments Attached

PART 1 – EVALUATION OF SIGNIFICANCE



NATIONAL PARK SERVICE TAX INCENTIVE PROGRAM

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 127–129 Bedford Street							
	Street 127-129 Bedford Street	County Univi	ford		Ot-t- Cm	120	06100 05	
	City Hartford	County Hart	21010		State CT	Zip	06120-25	19
	Name of Historic District or National Register proper	and the second second	-					
	National Register district certified s	state or local district	potential district		ational Registe	r property		
	Nature of Request (check only one box) certification that the building contributes to the certification that the building contributes to the certification that the building does not contribute preliminary determination for individual listing preliminary determination that a building located preliminary determination that a building outside	significance of the about to the significance of the National Register within a potential his	ove-named historic district of the above-named district. Storic district contributes to the contributes to	ct for a charital ct or National I to the significa	ble contribution Register proper	for conservaty.		
	Project Contact (if different from applicant)							
	Name Alisa M. Augenstein		Company	The Publ	ic Archae	ology I	Laborator	y, Inc
	Street 26 Main Street		City Pawtucket			5/45 5	State	RI
	Zip 02860 Telephone (401)	288-6333	Email Address aau	genstein(palinc.c	om		
			owledge, correct. I further					
	I am the owner of the above-described proper if I am not the fee simple owner of the above objection, as noted in a written statement from previously submitted, and (ii) meets the requirements for purposes of this attestation, the singular shall in this application may subject me to fines and imprison. Name Adam Stein Applicant Entity WinnDevelopment Compostreet One Washington Mall, Suited Zip 02108 Telephone (617)	ty within the meaning of described property, the tothe owner, a copy of the the owner, a copy of the comment of 36 CFR § 6 colude the plural where the nament under 18 U.S.C. Signary LP e 500	of "owner" set forth in 36 of fee simple owner is awa which (i) either is attached 7.3(a)(1) (2011).	CFR § 67.2 (2 re of the action d to this application of the train circumst SSN	011), and/or n I am taking re ation form and ing and willful f ances, provides	incorporated alsification of for imprison	of factual representation of factual representation of up to the term of the t	s been sentations 8 years.
	if I am not the fee simple owner of the above objection, as noted in a written statement from previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall in this application may subject me to fines and impriso Name Adam Stein Applicant Entity WinnDevelopment Compostreet One Washington Mall, Suited Zip 02108 Telephone (617)	ty within the meaning of described property, the in the owner, a copy of the owner, a copy of the owner of 36 CFR § 6 clude the plural where inment under 18 U.S.C. Signary LP e 500 742-4500	of "owner" set forth in 36 of fee simple owner is awa which (i) either is attached 7.3(a)(1) (2011). In the set of the se	CFR § 67.2 (2 re of the action d to this application circumst SSN	011), and/or n I am taking re ation form and ing and willful f ances, provides	incorporated alsification of a for impriso Da or Ti	d herein, or has of factual representation of the factual represen	sentations 8 years.
	if I am not the fee simple owner of the above objection, as noted in a written statement from previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall in this application may subject me to fines and imprison. Name Adam Stein Applicant Entity WinnDevelopment Compostreet One Washington Mall, Suited Zip 02108 Telephone (617)	ty within the meaning of described property, the the owner, a copy of the ements of 36 CFR § 6 center of the owner, a copy of the ements of 36 CFR § 6 center of the first of the center of the ement of	of "owner" set forth in 36 of fee simple owner is awa which (i) either is attached 7.3(a)(1) (2011). Ver appropriate. I under our set of the se	CFR § 67.2 (2 re of the action d to this application of the action of the thin application of the comment of th	011), and/or n I am taking re ation form and ing and willful f ances, provides	alsification of for imprison Da or Ti	of factual representation of factual representation of up to the the tension of t	sentations 8 years. 2022 MA
he	if I am not the fee simple owner of the above objection, as noted in a written statement from previously submitted, and (ii) meets the requirement. For purposes of this attestation, the singular shall in this application may subject me to fines and impriso Name Adam Stein Applicant Entity WinnDevelopment Compostreet One Washington Mall, Suite Zip 02108 Telephone (617) S Official Use Only National Park Service has reviewed the Historic Prescontributes to the significance of the above-named of contributes to the significance of the above-named of the contributes to the significance of the above-named of the above	ty within the meaning of described property, the the owner, a copy of the ements of 36 CFR § 6 center of the owner, a copy of the ements of 36 CFR § 6 center of the first of the center of the ement of	of "owner" set forth in 36 of fee simple owner is awa which (i) either is attached 7.3(a)(1) (2011). Ver appropriate. I under our set of the se	CFR § 67.2 (2 re of the action d to this application of the action of the thin application of the comment of th	011), and/or n I am taking re ation form and ing and willful f ances, provides	alsification of for imprison Da or Ti	of factual representation of factual representation of up to the the tension of t	sentations 8 years.
he	if I am not the fee simple owner of the above objection, as noted in a written statement from previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall in this application may subject me to fines and impriso Name Adam Stein Applicant Entity WinnDevelopment Compostreet One Washington Mall, Suite Zip 02108 Telephone (617) S Official Use Only National Park Service has reviewed the Historic Prescontributes to the significance of the above-named of does not contribute to the significance of the above-iminary Determinations: appears to meet the National Register Criteria for Example 1.	ty within the meaning of described property, the the owner, a copy of the the owner, a copy of the condition	of "owner" set forth in 36 of fee simple owner is away which (i) either is attached 7.3(a)(1) (2011). When the set of the	CFR § 67.2 (2 re of the action	011), and/or In I am taking relation form and ing and willful fances, provides ICCO. COM d property and structure" for relatibution for con	alsification of for imprison or Ti	d herein, or has of factual representation of the factual represen	sentations 8 years. 2022 MA
he	if I am not the fee simple owner of the above objection, as noted in a written statement from previously submitted, and (ii) meets the requir. For purposes of this attestation, the singular shall in this application may subject me to fines and impriso Name Adam Stein Applicant Entity WinnDevelopment Comp. Street One Washington Mall, Suite Zip 02108 Telephone (617) S Official Use Only National Park Service has reviewed the Historic Pres contributes to the significance of the above-named of contributes to the significance of the above-named of does not contribute to the significance of the above-named of the above-named of the significance of the above-named of the above-named of the significance of the above-	ty within the meaning of described property, the the owner, a copy of the the owner, a copy of the the owner, a copy of the the plural where t	of "owner" set forth in 36 of fee simple owner is away which (i) either is attached 7.3(a)(1) (2011). It is a set of the	CFR § 67.2 (2 re of the action of the action of the this applied that know arrain circumst SSN ayna@WIND above-name entified historic charitable correspondence of Hi	011), and/or in I am taking relation form and ing and willful fances, provides ICO. com diproperty and structure" for relativistic for constribution for constribution for constribution Places if	alsification of for imprison or Ti	d herein, or has of factual representation of the factual represen	sentations 8 years. 2022 MA
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The Prel	if I am not the fee simple owner of the above objection, as noted in a written statement from previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall in this application may subject me to fines and impriso Name Adam Stein Applicant Entity WinnDevelopment Comp Street One Washington Mall, Suite Zip 02108 Telephone (617) S Official Use Only National Park Service has reviewed the Historic Prescontributes to the significance of the above-named contributes to the significance of the above-named does not contribute to the significance of the above-iminary Determinations: appears to meet the National Register Criteria for Expreservation Officer according to the procedures service appears to contribute to the significance of a potenti Historic Preservation Officer. appears to contribute to the significance of a register to the significance of a register.	ty within the meaning of described property, the the owner, a copy of the the plural where the plural where the the plural where the the the the the the the the the th	of "owner" set forth in 36 of fee simple owner is away which (i) either is attached 7.3(a)(1) (2011). We appropriate. I under set it is \$1001, which, under construction of the set is set in the period or area of signification.	CFR § 67.2 (2 re of the action	011), and/or in I am taking relation form and ing and willful fances, provides NCO. com I d property and structure" for relativistic places if egister. gister of Historic	alsification of for imprison particular or Tile par	of factual representation of up to state of 4/22/2 State of that the property of the State of t	sentations 8 years. 2022 MA Opperty:
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NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 - EVALUATION OF SIGNIFICANCE

NATIONAL PARK SERVIC

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as ambited type department of a part of the supplementary material submitted with it (such as ambited type department of a part of the supplementary material submitted with it (such as ambited type department of the supplementary material submitted with it (such as ambited type department of the supplementary material submitted with it (such as ambited type department of the supplementary material submitted with it (such as a problem). supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 128-130 Bedford Street					
	Street 128-130 Bedford Street					
	City Hartford County Hartford State CT zip 06120-2579					
	Name of Historic District or National Register property					
	□ National Register district □ certified state or local district □ potential district □ National Register property					
2.	Nature of Request (check only one box) certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.					
	certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes. certification that the building does not contribute to the significance of the above-named district or National Register property. preliminary determination for individual listing in the National Register.					
	preliminary determination that a building located within a potential historic district contributes to the significance of the district. preliminary determination that a building outside the period or area of significance contributes to the significance of the district.					
323	The state of the second control of the secon					
3.	Project Contact (if different from applicant)					
	Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.					
	Street 26 Main Street City Pawtucket State RI					
	Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com					
4.	Applicant I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:					
	I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years. Name Adam Stein Signature (Sign in ink) Date 04/22/2022					
	Applicant Entity WinnDevelopment Company LP SSN or TIN 27-0293200					
	Street One Washington Mall, Suite 500 City Boston State MA					
	Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com					
	National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property: contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes. contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes. does not contribute to the significance of the above-named district or National Register property.					
Prel	minary Determinations:					
	appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.					
	bes not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.					
1	appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.					
	appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.					
	does not appear to qualify as a certified historic structure.					
	10/21/22 000					
Date	National Park Service Authorized Signature (Sign in ink)					

NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 131-133 Bedford Street				
	Street 131-133 Bedford Street				
	City Hartford State CT Zip 06120-2579				
	Name of Historic District or National Register property				
	National Register district □ certified state or local district □ potential district □ National Register property				
2.	Nature of Request (check only one box) certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes. certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes. certification that the building does not contribute to the significance of the above-named district or National Register property. preliminary determination for individual listing in the National Register. preliminary determination that a building located within a potential historic district contributes to the significance of the district. preliminary determination that a building outside the period or area of significance contributes to the significance of the district.				
3.	Project Contact (if different from applicant)				
	Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.				
	Street 26 Main Street City Pawtucket State RI				
	Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com				
	I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years. Name Adam Stein Signature (Sign in ink) Date 04/22/2022 Applicant Entity WinnDevelopment Company LP SSN or TIN Street One Washington Mall, Suite 500 City Boston State MA				
	Zip 02108 Telephone (617) 742-4500 Emeil Address mrobayna@WINNCO.com				
	National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes. contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes. does not contribute to the significance of the above-named district or National Register property.				
Preli	minary Determinations:				
	appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.				
	does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register. Appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer. Appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer. does not appear to qualify as a certified historic structure.				
Date	///27 National Park Service Authorized Signature (Sign in ink)				

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 131-133 Brook Street				
	Street 131-133 Brook Street				
	City <u>Hartford</u> County <u>Hartford</u> State CT zip 06120-2579				
	Name of Historic District or National Register property				
	□ National Register district □ certified state or local district □ potential district □ National Register property				
2.	Nature of Request (check only one box) certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.				
	certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes. certification that the building does not contribute to the significance of the above-named district or National Register property.				
	preliminary determination for individual listing in the National Register.				
	preliminary determination that a building located within a potential historic district contributes to the significance of the district. preliminary determination that a building outside the period or area of significance contributes to the significance of the district.				
3.	Project Contact (if different from applicant)				
	Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.				
	Street 26 Main Street City Pawtucket State RI				
	Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com				
4.	Applicant I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]: I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or				
	If I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).				
	For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.				
	Name Adam Stein Signature (Sign in ink) Date 04/22/2022				
	Applicant Entity WinnDevelopment Company LP SSN or TIN				
	Street One Washington Mall, Suite 500 City Boston State MA				
	Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com				
NDS	2 Official Use Only				
	6 Official Use Only National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:				
	contributes to the significance of the above-named district or National Register property and is a *certified historic structure" for rehabilitation purposes.				
	contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.				
	does not contribute to the significance of the above-named district or National Register property.				
Preli	minary Determinations:				
	appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.				
	does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.				
	appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.				
	appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer				
	does not appear to qualify as a certified historic structure.				
	11/2/22				
Date	National Eark Service Authorized Signature (Sign in ink)				
	NPS Comments Attached				

NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE

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NATIONAL PARK SERVICE

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision

NPS Project Number

is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

45623

1.	Historic Property Name 132-134 Bedford Street
	Street 132-134 Bedford Street
	City Hartford State CT Zip 06120-2579
	Name of Historic District or National Register property
	□ National Register district □ certified state or local district □ potential district □ National Register property
2.	Nature of Request (check only one box) certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes. certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes. certification that the building does not contribute to the significance of the above-named district or National Register property. preliminary determination for individual listing in the National Register. preliminary determination that a building located within a potential historic district contributes to the significance of the district. preliminary determination that a building outside the period or area of significance contributes to the significance of the district.
3.	Project Contact (if different from applicant)
	Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
	Street 26 Main Street City Pawtucket State RI
	Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com
4.	Applicant I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]: I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or If I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain provides for imprisonment of up to 8 years. Name Adam Stein Signature (Sign in ink) Date 04/22/2022
	Applicant Entity WinnDevelopment Company LP SSN or TIN
	Street One Washington Mall, Suite 500 City Boston State MA
	Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
	National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes. contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes, does not contribute to the significance of the above-named district or National Register property.
Preli	appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60. does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register. appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer. appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer. does not appear to qualify as a certified historic structure.
Date	1/2/22 National Park Service Authorized Signature (Sign in ink)

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service

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pr	ecedence. A copy of this form will be provided to the Internal Revenue Service.	73619		
1.	Historic Property Name 135-137 Bedford Street			
	Street 135-137 Bedford Street	A CONTRACTOR OF THE CONTRACTOR		
	City Hartford County Hartford State CT	Zip 06120-2579		
	Name of Historic District or National Register property			
	□ National Register district □ certified state or local district □ potential district □ National Register prop	perty		
2.	Nature of Request (check only one box)			
	certification that the building contributes to the significance of the above-named historic district or National Register property for certification that the building contributes to the significance of the above-named historic district for a charitable contribution for contribution that the building does not contribute to the significance of the above-named district or National Register property. preliminary determination for individual listing in the National Register. preliminary determination that a building located within a potential historic district contributes to the significance of the district.	rehabilitation purposes.		
3.	Project Contact (if different from applicant)			
	Name Alisa M. Augenstein Company The Public Archaeolo	gy Laboratory, Inc		
	Street 26 Main Street City Pawtucket	State RI		
	Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com	Otate It1		
4	Applicant			
	previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for in Name Adam Stein Signature (Sign in ink)	ation of factual representations in nprisonment of up to 8 years. Date 04/22/2022		
	Applicant Entity WinnDevelopment Company LP SSN	or TIN		
	Street One Washington Mall, Suite 500 City Boston	State MA		
	Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com			
NPS	Official Use Only			
٦	National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has de contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehability	termined that the property:		
Ħ	contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conserva-	tation purposes.		
	does not contribute to the significance of the above-named district or National Register property.	tion purposes.		
Prelin	ninary Determinations:			
	appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if some	ated by the State Historic		
٦,	Preservation Officer according to the procedures set forth in 36 CFR Part 60. Abose not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.			
3	appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Place	es if nominated by the State		
	appears to contribute to the significance of a registered historic district if the period or area of significance as decumented in the National Building			
	documentation on file with the NPS is expanded by the State Historic Preservation Officer. does not appear to qualify as a certified historic structure.			
	20			
l	0/31/27			
Date	National Park Service Authorized Signature (Sign in ink)			
٦	NPS Comments Attached			

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

DEC 0 1 2022



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 120-122 Bedford Stre	et			
	Street 120-122 Bedford Street				
	City Hartford County	Hartford	State CT	Zip 06	5120-2579
	Name of Historic District or National Register property				
	Listed individually in the National Register of Historic Place	s; date of listing			
	Located in a Registered Historic District; name of district				
	Part 1 – Evaluation of Significance submitted?	Date submitted <u>7/11/2022</u>	Date of certific	ation	
2.	Project Data (for phased projects, data entered in this s	ection must be totals for entire project)			
	Date of building 1922	Estimated total rehabilitation costs (Q	RE) \$745,647		
	Number of buildings in project 1	Floor area before / after rehabilitation	7,377	<u> 17,37</u>	77sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after rehabilitation	Resi.	/ Resi	
	Completion date (estimated) 04/01/2024	Number of housing units before / after	rehabilitation 5	/ 5	
	Application includes phase(s)1 of1 phases	Number of low-moderate income house	ing units before / after	rehabilitation	<u>5</u> / <u>5</u>
	Intend to elect IRS 60-month phased rehabilitation				
3.	Project Contact (if different from applicant)				
	Name Eryn Boyce	Company The Pu	blic Archaeo	logy Lab	oratory, Inc.
	Street 26 Main Street	City Pawtucket			State RI
	Zip 02860 Telephone (401) 288-6318	Email Address eboyce@pali	nc.com		
4.	Applicant I hereby attest that the information I have provided is, to the best	of my knowledge, correct. I further attest that	t [check one or both I	ooxes, as app	licable]:
4.	• •	meaning of "owner" set forth in 36 CFR § 67.2 perty, the fee simple owner is aware of the ac a copy of which (i) either is attached to this ap CFR § 67.3(a)(1) (2011). ral wherever appropriate. I understand that kr	2 (2011), and/or ction I am taking relat plication form and in nowing and willful fals	tive to this app corporated he sification of fac or imprisonme	olication and has no rein, or has been ctual representations in
4.	I hereby attest that the information I have provided is, to the best I am the owner of the above-described property within the r if I am not the fee simple owner of the above described pro objection, as noted in a written statement from the owner, a previously submitted, and (ii) meets the requirements of 36 For purposes of this attestation, the singular shall include the plut this application may subject me to fines and imprisonment under Name Adam Stein	meaning of "owner" set forth in 36 CFR § 67.2 perty, the fee simple owner is aware of the accept of which (i) either is attached to this ap CFR § 67.3(a)(1) (2011). ral wherever appropriate. I understand that kn 18 U.S.C. § 1001, which, under certain circui	2 (2011), and/or ction I am taking relatiplication form and in mowing and willful falmstances, provides f	tive to this app corporated he sification of fac or imprisonme	olication and has no rein, or has been ctual representations in ent of up to 8 years.
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	I hereby attest that the information I have provided is, to the best I am the owner of the above-described property within the r if I am not the fee simple owner of the above described pro objection, as noted in a written statement from the owner, a previously submitted, and (ii) meets the requirements of 36 For purposes of this attestation, the singular shall include the plut this application may subject me to fines and imprisonment under Name Adam Stein Applicant Entity Bedford Gardens Redevelopme Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submit	meaning of "owner" set forth in 36 CFR § 67.2 perty, the fee simple owner is aware of the act a copy of which (i) either is attached to this ap CFR § 67.3(a)(1) (2011). ral wherever appropriate. I understand that kr 18 U.S.C. § 1001, which, under certain circuit Signature (Sign in ink)	2 (2011), and/or ction I am taking relation I am taking relation plication form and in mowing and willful falsestances, provides for the control of the cont	corporated he sification of factor imprisonme Date (olication and has no rein, or has been ctual representations in ent of up to 8 years.
NP	I hereby attest that the information I have provided is, to the best I am the owner of the above-described property within the r if I am not the fee simple owner of the above described pro objection, as noted in a written statement from the owner, a previously submitted, and (ii) meets the requirements of 36 For purposes of this attestation, the singular shall include the plut this application may subject me to fines and imprisonment under Name Adam Stein Applicant Entity Bedford Gardens Redevelopme Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submits of the state of the state of the submits of the state of the st	meaning of "owner" set forth in 36 CFR § 67.2 perty, the fee simple owner is aware of the accept of which (i) either is attached to this ap CFR § 67.3(a)(1) (2011). ral wherever appropriate. I understand that know the set of the se	2 (2011), and/or ction I am taking relation form and in plication form and in mowing and willful falmstances, provides for the community of th	tive to this appropriated he sification of factor imprisonme Date (olication and has no rein, or has been ctual representations in ent of up to 8 years. 09/13/2022 88-3903626 State MA
NP	I hereby attest that the information I have provided is, to the best I am the owner of the above-described property within the r if I am not the fee simple owner of the above described pro objection, as noted in a written statement from the owner, a previously submitted, and (ii) meets the requirements of 36 For purposes of this attestation, the singular shall include the plut this application may subject me to fines and imprisonment under Name Adam Stein Applicant Entity Bedford Gardens Redevelopme Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submit	meaning of "owner" set forth in 36 CFR § 67.2 perty, the fee simple owner is aware of the accept of which (i) either is attached to this ap CFR § 67.3(a)(1) (2011). ral wherever appropriate. I understand that kr 18 U.S.C. § 1001, which, under certain circuit Signature (Sign in ink) City Boston Email Address mrobayna@inited application. iffication Application – Part 2 for the above-natharacter of the property and, where applicable. This letter is a preliminary determination only	2 (2011), and/or ction I am taking relation I am taking relation form and in mowing and willful falting taken to the community of the communit	ive to this appropriated he sification of factor imprisonme Date (or TIN or TIN as determined which it is local content of the sification of the sific	olication and has no rein, or has been ctual representations in the of up to 8 years. 09/13/2022 88-3903626 State MA
NP The	I hereby attest that the information I have provided is, to the best I am the owner of the above-described property within the rif I am not the fee simple owner of the above described propection, as noted in a written statement from the owner, a previously submitted, and (ii) meets the requirements of 36 For purposes of this attestation, the singular shall include the plut this application may subject me to fines and imprisonment under Name Adam Stein Applicant Entity Bedford Gardens Redevelopme. Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submits of the rehabilitation described herein is consistent with the historic comeets the Secretary of the Interior's Standards for Rehabilitation.	meaning of "owner" set forth in 36 CFR § 67.2 perty, the fee simple owner is aware of the accept of which (i) either is attached to this ap CFR § 67.3(a)(1) (2011). ral wherever appropriate. I understand that know the set of the se	2 (2011), and/or etion I am taking relar plication form and in mowing and willful fals mstances, provides for a surface of the	or TIN s determined which it is location of reh	blication and has no rein, or has been ctual representations in the of up to 8 years. 09/13/2022 88-3903626 State MA that: ated and that the project labilitation can be issued
NF The	I hereby attest that the information I have provided is, to the best I am the owner of the above-described property within the rif I am not the fee simple owner of the above described propection, as noted in a written statement from the owner, a previously submitted, and (ii) meets the requirements of 36 For purposes of this attestation, the singular shall include the plut this application may subject me to fines and imprisonment under Name Adam Stein Applicant Entity Bedford Gardens Redevelopme Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submitted the plut this provided in the	meaning of "owner" set forth in 36 CFR § 67.2 perty, the fee simple owner is aware of the act a copy of which (i) either is attached to this ap CFR § 67.3(a)(1) (2011). ral wherever appropriate. I understand that known is 18 U.S.C. § 1001, which, under certain circuit Signature (Sign in ink) City Boston Email Address mrobayna@inited application. Signature of the property and, where application is a preliminary determination only into work is complete.	2 (2011), and/or ction I am taking relation I am taking relation form and in mowing and willful falsimstances, provides for a second of the company of the c	corporated he sification of factor imprisonme or TIN	blication and has no rein, or has been ctual representations in ent of up to 8 years. 09/13/2022 88-3903626 State MA that: ated and that the project labilitation can be issued to



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	120-122 Bedford Street	Project Number 45624
Property Address, City, State	120-122 Bedford Street, Hartford, CT	·
	perty as described in the Historic Preservati r Rehabilitation provided that the following o	on Certification Application will meet the Secretary condition(s) is/are met:
proposed windows replacement window review and approval 2. Main Entrance: Prior materials, and profil 3. Flooring: General No and individual kitcher hardwood flooring was replaced to the Building. Subjectives.	meet the Standards, detailed dimensioned ws, showing them in relation to the wall as prior to installation. If review and approval by the SHPO of the res, is required. In the Mon the proposed drawings provides the and baths per the unit matrix. The SHPO with LVT. IF THERE ARE AREAS WHE	equired prior to approval. In order to ensure the drawings of both the existing and any proposed sembly, must be submitted to the SHPO for main entrance design, including dimensions, for new LVT flooring throughout dwelling units a does not approve any plan to replace the historic for the historic flooring throughout is present, with the historic character of the with th
Photographs documenting that	the conditions have been met must be submitte	ed with the Request for Certification of Completed Work.
Preservation Office and the Nati	vork as described in the application should be to lonal Park Service in writing, using the Amendra to continues to meet the Standards.	prought to the attention of the State Historic nent/Advisory Determination form, prior to execution to
November 23, 2022 Date	Man Histor	ric Preservation Office Signature
540	Clate Histor	
The National Park Service has if the condition(s) listed above		Secretary of the Interior Standards for Rehabilitation

National Park Service Signature

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 119-121 Bedford Street			
	Street 119-121 Bedford Street			
	City Hartford County E	Martford	State CT Zip 06	120-2579
	Name of Historic District or National Register property			
	Listed individually in the National Register of Historic Places; da	ate of listing	_	
	Located in a Registered Historic District; name of district			
	Part 1 – Evaluation of Significance submitted?	te submitted 7/11/2022	Date of certification	
2.	Project Data (for phased projects, data entered in this secti	on must be totals for entire project)		
	Date of building 1922	Estimated total rehabilitation costs (QRE	\$745,647	
	Number of buildings in project 1	Floor area before / after rehabilitation	7,106 / 7,10	6 sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after rehabilitation	Resi. / Resi	•
	Completion date (estimated) 04/01/2024	Number of housing units before / after re	habilitation 5 / 5	
	Application includes phase(s) of phases	Number of low-moderate income housing		
	Intend to elect IRS 60-month phased rehabilitation			
,	Broket Contact (if different from applicant)			
3.	Project Contact (if different from applicant) Name Eryn Boyce	Company The Publ	ic Archaeology Labo	oratory. Inc.
	Street 26 Main Street			
	Zip 02860 Telephone (401) 288-6318	Email Address eboyce@palin		
	100000			
4.	Applicant	and the end of the artists of the other than the ot	haal ann an haith bayes as annii	nahlali
4.	Applicant I hereby attest that the information I have provided is, to the best of many attest that the information I have provided is, to the best of many attention I have provided is, to the best of many attention I have provided is, to the best of many attention I have provided in a many attention I have provided in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF for purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 to	ning of "owner" set forth in 36 CFR § 67.2 (2 y, the fee simple owner is aware of the actio by of which (i) either is attached to this appli R § 67.3(a)(1) (2011). Thereyer appropriate. I understand that know	011), and/or n I am taking relative to this appl cation form and incorporated here ring and willful falsification of fac	ication and has no ein, or has been tual representations in
4.	I hereby attest that the information I have provided is, to the best of m I am the owner of the above-described property within the meat if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a cop previously submitted, and (ii) meets the requirements of 36 CFI For purposes of this attestation, the singular shall include the plural w	ning of "owner" set forth in 36 CFR § 67.2 (2 y, the fee simple owner is aware of the actio by of which (i) either is attached to this appli R § 67.3(a)(1) (2011). Thereyer appropriate. I understand that know	011), and/or n I am taking relative to this appleation form and incorporated here ring and willful falsification of fact lances, provides for imprisonmer	ication and has no ein, or has been tual representations in
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4.	I hereby attest that the information I have provided is, to the best of many in the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF for purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 to Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500	ning of "owner" set forth in 36 CFR § 67.2 (2 y, the fee simple owner is aware of the action of which (i) either is attached to this applied \$67.3(a)(1) (2011). Therever appropriate. I understand that known J.S.C. § 1001, which, under certain circums a Signature (Sign in ink) LLC SSN City Boston Email Address mrobayna@WI	2011), and/or In I am taking relative to this application form and incorporated here ring and willful falsification of fact ances, provides for imprisonment Date 0 or TIN	ication and has no ein, or has been tual representations in it of up to 8 years. 9/13/2022 88-3903626
	I hereby attest that the information I have provided is, to the best of many in the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF for purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 to Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submitted	ning of "owner" set forth in 36 CFR § 67.2 (2 y, the fee simple owner is aware of the action of which (i) either is attached to this applied \$67.3(a)(1) (2011). Therever appropriate. I understand that known J.S.C. § 1001, which, under certain circums a Signature (Sign in ink) LLC SSN City Boston Email Address mrobayna@WI	2011), and/or In I am taking relative to this application form and incorporated here ring and willful falsification of fact ances, provides for imprisonment Date 0 or TIN	ication and has no ein, or has been tual representations in it of up to 8 years. 9/13/2022 88-3903626
NP	I hereby attest that the information I have provided is, to the best of many lam the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF for purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 to Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500	ning of "owner" set forth in 36 CFR § 67.2 (2 y, the fee simple owner is aware of the action by of which (i) either is attached to this appliar § 67.3(a)(1) (2011). Therever appropriate. I understand that known J.S.C. § 1001, which, under certain circums Signature (Sign in ink) LLC SSN City Boston Email Address mrobayna@WI application.	on I am taking relative to this application form and incorporated here ing and willful falsification of fact lances, provides for imprisonment Date 0 or TIN NNCO.com	ication and has no ein, or has been tual representations in the of up to 8 years. 9/13/2022 88-3903626 State MA
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NP The	I hereby attest that the information I have provided is, to the best of many in the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF For purposes of this attestation, the singular shall include the plural within application may subject me to fines and imprisonment under 18 to Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submitted the rehabilitation described herein is consistent with the historic charameets the Secretary of the Interior's Standards for Rehabilitation. This only to the owner of a "certified historic structure" after rehabilitation of the content of the storic structure of the Interior's Standards for Rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner of a "certified historic structure" after rehabilitation of the owner	ning of "owner" set forth in 36 CFR § 67.2 (2), the fee simple owner is aware of the action by of which (i) either is attached to this applier. S 67.3(a)(1) (2011). Therever appropriate. I understand that known J.S.C. § 1001, which, under certain circums. Signature (Sign in ink) LLC SSN City Boston Email Address mrobayna@WI displication. Storm Application — Part 2 for the above-name acter of the property and, where applicable, is letter is a preliminary determination only, swork is complete.	d property and has determined the district in which it is locationed a formal certification of relative to this application form and incorporated here in and willful falsification of fact tances, provides for imprisonment in a certification of TIN in a certification of relative a formal certification of relative attached conditions are met.	ication and has no ein, or has been tual representations in the of up to 8 years. 9/13/2022 88-3903626 State MA hat: ted and that the project abilitation can be issued



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	119-121 Bedford Street	Project Number 45616
Property Address, City, State	119-121 Bedford Street, Hartford,	СТ
	perty as described in the Historic Preserv r Rehabilitation provided that the following	ation Certification Application will meet the Secretary ng condition(s) is/are met:
proposed windows replacement window review and approva 2. Main Entrance: Prior materials, and profil 3. Flooring: General No and individual kitche hardwood flooring with the subsection of th	meet the Standards, detailed dimension ws, showing them in relation to the wall prior to installation. If review and approval by the SHPO of thes, is required. In the proposed drawings providen and baths per the unit matrix. The Shorth LVT. IF THERE ARE AREAS WHE	s required prior to approval. In order to ensure the ed drawings of both the existing and any proposed assembly, must be submitted to the SHPO for the main entrance design, including dimensions, the main entrance design, including dimensions, the series of the listoric that the proposed and prove any plan to replace the historic of the HATTURE CHARACTER OF THE BUILDING. SPECIFICATIONS INCLUDING MATERIAL,
Any substantive change in the v Preservation Office and the Nat	vork as described in the application should t	nitted with the Request for Certification of Completed Work. be brought to the attention of the State Historic andment/Advisory Determination form, prior to execution to
November 23, 2022 Date		storic Preservation Office Signature
if the condition(s) listed above		e Secretary of the Interior Standards for Rehabilitation

12/30/2022

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 - DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 123-125 Bedford Street			
	Street 123-125 Bedford Street			
	City Hartford County H	artford	State CT	Zip 06120-2579
	Name of Historic District or National Register property			
	Listed individually in the National Register of Historic Places; dar	te of listing		
	Located in a Registered Historic District; name of district			
	Part 1 – Evaluation of Significance submitted?	e submitted <u>7/11/2022</u>	Date of certifi	cation
2.	Project Data (for phased projects, data entered in this section	on must be totals for entire p	roject)	
	Date of building 1924	Estimated total rehabilitation	costs (QRE) \$1,640,4	24
	Number of buildings in project 1	Floor area before / after rehal	ilitation 10,567	/ 10,567 sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after rehabilita	tion Resi.	/ Resi.
	Completion date (estimated) 04/01/2024	Number of housing units befo	re / after rehabilitation 11	/ <u>11</u>
	Application includes phase(s) of phases	Number of low-moderate incom	ne housing units before / afte	r rehabilitation 11 / 11
	Intend to elect IRS 60-month phased rehabilitation			
3.	Project Contact (if different from applicant)			
	Name Eryn Boyce	Company Th	ne Public Archaec	logy Laboratory, Inc.
	Street 26 Main Street	City Pawtucket		State RI
	Zip 02860 Telephone (401) 288-6318	Email Address eboyce	@palinc.com	
4.	Applicant I hereby attest that the information I have provided is, to the best of m	y knowledge, correct. I further a	ttest that [check one or both	boxes, as applicable]:
4.	I hereby attest that the information I have provided is, to the best of m I am the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a cop previously submitted, and (ii) meets the requirements of 36 CFR For purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 U	ing of "owner" set forth in 36 CF, the fee simple owner is aware y of which (i) either is attached to § 67.3(a)(1) (2011). herever appropriate. I understar .S.C. § 1001, which, under cert	R § 67.2 (2011), and/or of the action I am taking rela o this application form and in d that knowing and willful fal	tive to this application and has no corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years.
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12/30/2022



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	123-125 Bedford Street	Project Number	45615
Property Address, City, State	123-125 Bedford Street, Hartford, C	T	· .
The rehabilitation of this prop of the Interior's Standards for	perty as described in the Historic Preserva r Rehabilitation provided that the following	tion Certification Application will m condition(s) is/are met:	eet the Secretary
proposed windows replacement window review and approval 2. Main Entrance: Prior materials, and profil 3. Flooring: General No and individual kitche hardwood flooring was a surplance.	primation about the proposed windows is meet the Standards, detailed dimensione ws, showing them in relation to the wall all prior to installation. In review and approval by the SHPO of the es, is required. In the proposed drawings provides an and baths per the unit matrix. The SHP with LVT. IF THERE ARE AREAS WAT FOREIUS WITH FOR REVIEW PROPOSED FLOOR IN THE PROPOSED	d drawings of both the existing and issembly, must be submitted to the main entrance design, including of for new LVT flooring throughout of does not approve any plan to reflect up HARPWARD FLOORING WITH THE WINTERLA CHAN	d any proposed e SHPO for dimensions, dwelling units place the historic was a present
Any substantive change in the v Preservation Office and the Nat	the conditions have been met must be submit work as described in the application should be ional Park Service in writing, using the Amend at continues to meet the Standards.	brought to the attention of the State I	Historic
November 23, 2022 Date		oric Preservation Office Signature	
The National Park Service has if the condition(s) listed above	s determined that this project will meet the e are met.	Secretary of the Interior Standards	for Rehabilitation

National Park Service Signature

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 124-126 Bedford Street		
	Street 124-126 Bedford Street		
	City Hartford County I	Hartford State CT	Zip 06120-2579
	Name of Historic District or National Register property		
	Listed individually in the National Register of Historic Places; da	ate of listing	
	Located in a Registered Historic District; name of district		
	Part 1 Evaluation of Significance submitted?	ite submitted 7/11/2022 Date of cert	fication
2.	Project Data (for phased projects, data entered in this secti	ion must be totals for entire project)	
	Date of building 1924	Estimated total rehabilitation costs (QRE) \$1,342,	165
	Number of buildings in project 1	Floor area before / after rehabilitation 9,386	/ 9,386 sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after rehabilitation Resi.	/ Resi.
	Completion date (estimated) 04/01/2024	Number of housing units before / after rehabilitation 9	1 9
	Application includes phase(s) of phases	Number of low-moderate income housing units before / af	
	Intend to elect IRS 60-month phased rehabilitation	Number of low-moderate income flousing units before 7 at	er remabilitation 5 , 5 , 5 , 5 , 5 , 5 , 5 , 5 , 5 , 5
	Intelled to elect ING co-filoritis phased feliabilitation		
3.	Project Contact (if different from applicant)		
	Name Eryn Boyce	Company The Public Archae	
	Street 26 Main Street	City Pawtucket	State RI
	Zip 02860 Telephone (401) 288-6318	Email Address eboyce@palinc.com	
	Applicant I hereby attest that the information I have provided is, to the best of n	ny knowledge, correct. I further attest that [check one or bot	n boxes, as applicable]:
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Date



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	124-126 Bedford Street	Project Number <u>45617</u>
Property Address, City, State	124-126 Bedford Street, Hartford, C	Γ
The rehabilitation of this prop of the Interior's Standards for	perty as described in the Historic Preservat r Rehabilitation provided that the following	ion Certification Application will meet the Secretary condition(s) is/are met:
proposed windows replacement window and approval prior to and approval prior to materials, and profil 3. Flooring: General No individual kitchen are hardwood flooring with 4. Skylight: The existing skylight must be subgenerally to the proposed windows and profile with the profile windows and profile with the profile with the profile windows and profile with the profile with the profile with the profile windows and profile with the p	meet the Standards, detailed dimensioners, showing them in relation to the wall as o installation. It review and approval by the SHPO of the es, is required. In the M on the proposed drawings provides and baths per the unit matrix. The SHPO do with LVT. It is skylight must be preserved and not cover in the with the Part 4 Application — Required with the Part 4 App	required prior to approval. In order to ensure the d drawings of both the existing and any proposed seembly, must be submitted to the SHPO for review main entrance design, including dimensions, for new LVT flooring throughout dwelling units and less not approve any plan to replace the historic ered by new roofing. Photos of the preserved est for Final Certification of Completed IN PRESENT, ANY REPLACEMENT FUNCTIONS. MAC, LOUR, PATIEND, EVALUE AND SIDNES.
		ed with the Request for Certification of Completed Work.
Preservation Office and the Nat	vork as described in the application should be ional Park Service in writing, using the Amend at continues to meet the Standards.	ment/Advisory Determination form, prior to execution to
November 23, 2022 Date	State History	oric Preservation Office Signature
The National Park Service has if the condition(s) listed above		Secretary of the Interior Standards for Rehabilitation
12/30/2022		Tabe-

National Park Service Signature

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.



1.	Historic Property Name 127-129 Bedford	Street		
	Street 127-129 Bedford Street			
	City Hartford	County Hartford	State CT	Zip 06120-2579
	Name of Historic District or National Register property			
	Listed individually in the National Register of Histor	ic Places; date of listing		
	Located in a Registered Historic District; name of d	istrict		
	Part 1 – Evaluation of Significance submitted?	Date submitted 7/11/2022	Date of certific	cation
2.	Project Data (for phased projects, data entered i	n this section must be totals for entire pr	oject)	
	Date of building 1924	Estimated total rehabilitation of	osts (QRE) \$1,789,55	53
	Number of buildings in project 1		itation 10,506	/ <u>10,506</u> sqft
	Start date (estimated) 04/01/2023		on <u>Resi</u> .	/ Resi.
	Completion date (estimated) 04/01/2024	Number of housing units before	a / after rehabilitation 12	/ 12
	Application includes phase(s) of1pr	nases Number of low-moderate incom	e housing units before / after	rehabilitation 12 / 12
	Intend to elect IRS 60-month phased rehabilitation		-	
3.	Project Contact (if different from applicant)			
•	Name Eryn Boyce	Company The	e Public Archaeo	logy Laboratory, Inc.
	Street 26 Main Street	City Pawtucket		
	Zip 02860 Telephone (401) 288		•	
	I am the owner of the above-described property with if I am not the fee simple owner of the above described projection, as noted in a written statement from the previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall include this application may subject me to fines and imprisonment.	bed property, the fee simple owner is aware of owner, a copy of which (i) either is attached to its of 36 CFR § 67.3(a)(1) (2011). The plural wherever appropriate. I understand it under 18 U.S.C. § 1001, which, under certain	f the action I am taking relat this application form and in that knowing and willful fals	corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years.
	if I am not the fee simple owner of the above described objection, as noted in a written statement from the previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall include this application may subject me to fines and imprisonment Name Adam Stein	bed property, the fee simple owner is aware of owner, a copy of which (i) either is attached to its of 36 CFR § 67.3(a)(1) (2011). the plural wherever appropriate. I understand it under 18 U.S.C. § 1001, which, under ow	f the action I am taking relat this application form and in- that knowing and willful fals n circumstances, provides for	corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years. Date 09/13/2022
	if I am not the fee simple owner of the above described objection, as noted in a written statement from the previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall include this application may subject me to fines and imprisonment Name Adam Stein Applicant Entity Bedford Gardens Redevel	bed property, the fee simple owner is aware of owner, a copy of which (i) either is attached to its of 36 CFR § 67.3(a)(1) (2011). The plural wherever appropriate. I understand it under 18 U.S.C. § 1001, which, under certain Signature (Sign in ink)	f the action I am taking relat this application form and in that knowing and willful fals	corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years. Date 09/13/2022 or TIN 88-3903626
	if I am not the fee simple owner of the above described objection, as noted in a written statement from the previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall include this application may subject me to fines and imprisonment Name Adam Stein Applicant Entity Bedford Gardens Redevel Street One Washington Mall, Suite 5	bed property, the fee simple owner is aware of owner, a copy of which (i) either is attached to its of 36 CFR § 67.3(a)(1) (2011). the plural wherever appropriate. I understand it under 18 U.S.C. § 1001, which, under certain Signature (Sign in ink)	f the action I am taking relat this application form and in- that knowing and willful fals n circumstances, provides for SSN	corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years. Date 09/13/2022 or TIN 88-3903626
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NP	if I am not the fee simple owner of the above described objection, as noted in a written statement from the previously submitted, and (ii) meets the requirement for purposes of this attestation, the singular shall include this application may subject me to fines and imprisonment. Name Adam Stein Applicant Entity Bedford Gardens Redevel Street One Washington Mall, Suite 5 Zip 02108 Telephone (617) 742	bed property, the fee simple owner is aware of owner, a copy of which (i) either is attached to its of 36 CFR § 67.3(a)(1) (2011). The plural wherever appropriate. I understand it under 18 U.S.C. § 1001, which, under cartain Signature (Sign in ink)	f the action I am taking relat this application form and in- that knowing and willful fals n circumstances, provides for SSN	corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years. Date 09/13/2022 or TIN 88-3903626
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	if I am not the fee simple owner of the above described objection, as noted in a written statement from the previously submitted, and (ii) meets the requirement. For purposes of this attestation, the singular shall include this application may subject me to fines and imprisonment. Name Adam Stein Applicant Entity Bedford Gardens Redevel Street One Washington Mall, Suite 5 Zip 02108 Telephone (617) 742: Applicant, SSN, or TIN has changed since previous. SOfficial Use Only National Park Service has reviewed the Historic Preservat the rehabilitation described herein is consistent with the freets the Secretary of the Interior's Standards for Rehability.	bed property, the fee simple owner is aware of owner, a copy of which (i) either is attached to its of 36 CFR § 67.3(a)(1) (2011). The plural wherever appropriate. I understand it under 18 U.S.C. § 1001, which, under certain Signature (Sign in ink) Opment LLC OO City Boston -4500 Email Address mrobay and submitted application. On Certification Application — Part 2 for the abitistoric character of the property and, where a probabilitation. This letter is a preliminary determinationabilitation work is complete.	f the action I am taking relations application form and incommend that knowing and willful falsin circumstances, provides for SSN The GWINNCO, com Ove-named property and happlicable, with the district in ion only, since a formal cert	corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years. Date 09/13/2022 or TIN 88-3903626 State MA s determined that: which it is located and that the project ification of rehabilitation can be issued
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NPS conditions or comments attached

Date



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	127-129 Bedford Street	Project Number 45620
Property Address, City, State	127-129 Bedford Street, Hartford, CT	
	perty as described in the Historic Preservation r Rehabilitation provided that the following co	n Certification Application will meet the Secretary andition(s) is/are met:
proposed windows replacement window review and approva 2. Main Entrance: Priomaterials, and profil 3. Flooring: General Notand individual kitche hardwood flooring was and profil ANY PEPLACHEM BUILDING. SUB-	meet the Standards, detailed dimensioned dows, showing them in relation to the wall assed prior to installation. If review and approval by the SHPO of the major is required. If the major is required, and on the proposed drawings provides for and baths per the unit matrix. The SHPO could be the series of the	
Any substantive change in the v Preservation Office and the Nat	work as described in the application should be bro ional Park Service in writing, using the Amendme	with the Request for Certification of Completed Work. ought to the attention of the State Historic ent/Advisory Determination form, prior to execution to
November 23, 2022 Date	et continues to meet the Standards.	Preservation Office Signature
The National Park Service has if the condition(s) listed above		cretary of the Interior Standards for Rehabilitation

National Park Service Signature

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number 456 21

1.	Historic Property Name 128-130 Bedford Street				
	Street 128-130 Bedford Street				
	City Hartford County H	artford	State CT	Zip 06	120-2579
	Name of Historic District or National Register property				
	Listed individually in the National Register of Historic Places; da	te of listing			
	Located in a Registered Historic District; name of district				
	Part 1 – Evaluation of Significance submitted?	te submitted 7/11/2022	Date of ce	ertification	
2.	Project Data (for phased projects, data entered in this section	on must be totals for entire	e project)		
	Date of building 1923	Estimated total rehabilitation	on costs (QRE) \$1,342	,165	
	Number of buildings in project 1	Floor area before / after re	nabilitation 11,444	/ 11,4	44sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after rehab	ilitation Resi.	/ Resi	
	Completion date (estimated) 04/01/2024	Number of housing units be	efore / after rehabilitation	9 / 9	
	Application includes phase(s)1 of1 phases	Number of low-moderate in	come housing units before /	after rehabilitation	9 19
	Intend to elect IRS 60-month phased rehabilitation				
3.	Project Contact (if different from applicant)				
-	Name Eryn Boyce	Company	The Public Archa	eology Lab	oratory, Inc.
	Street 26 Main Street	City Pawtucket			State RI
	Zip 02860 Telephone (401) 288-6318	Email Address eboy	ce@palinc.com		
4.	Applicant				
	I hereby attest that the information I have provided is, to the best of m	y knowledge, correct. I furthe	r attest that [check one or b	oth boxes, as appl	icable]:
	I am the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF for purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 L	ning of "owner" set forth in 36 the fee simple owner is away of which (i) either is attached \$ 67.3(a)(1) (2011). Therever appropriate. I undersolution J.S.C. § 1001, which, under co	CFR § 67.2 (2011), and/or tre of the action I am taking to this application form ar tand that knowing and willfu	relative to this app d incorporated he I falsification of fac les for imprisonme	dication and has no rein, or has been ctual representations in nt of up to 8 years.
	I am the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF for purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 UNAME Adam Stein	ning of "owner" set forth in 36 In the fee simple owner is away of which (i) either is attached § 67.3(a)(1) (2011). therever appropriate. I unders J.S.C. § 1001, which, under c	CFR § 67.2 (2011), and/or are of the action I am taking of the this application form are tand that knowing and willfuritain circumstances, provided	relative to this app d incorporated her I falsification of fac les for imprisonme	dication and has no rein, or has been ctual representations in int of up to 8 years.
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	I am the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF for purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 UNAME Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500	hing of "owner" set forth in 36 to the fee simple owner is away of which (i) either is attached a fee. (2 fee. 2 fee. 2 fee. (2 fee. 2	CFR § 67.2 (2011), and/or are of the action I am taking to this application form are tand that knowing and willfuertain circumstances, provided SSN	relative to this app d incorporated her I falsification of fac les for imprisonme Date (dication and has no rein, or has been ctual representations in int of up to 8 years.
	I am the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF For purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 Linemark Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742−4500 Applicant, SSN, or TIN has changed since previously submitted	hing of "owner" set forth in 36 to the fee simple owner is away of which (i) either is attached a fee. (2 fee. 2 fee. 2 fee. (2 fee. 2	CFR § 67.2 (2011), and/or are of the action I am taking to this application form are tand that knowing and willfuertain circumstances, provided SSN	relative to this app d incorporated her I falsification of fac les for imprisonme Date (dication and has no rein, or has been ctual representations in int of up to 8 years.
The	I am the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFF For purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 Linear Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500	hing of "owner" set forth in 36 to the fee simple owner is away of which (i) either is attached a \$6.7.3(a)(1) (2011). Therever appropriate. I undersolous J.S.C. § 1001, which, under consider the signal of the signal of the signal of the signal of the property and, when is letter is a preliminary determinance of the property or the character of the property or	CFR § 67.2 (2011), and/or are of the action I am taking and to this application form and tand that knowing and willfuertain circumstances, provided as SSN	relative to this app d incorporated her I falsification of fac les for imprisonme Date (or TIN d has determined at in which it is local certification of reh conditions are met	dication and has no rein, or has been citual representations in int of up to 8 years. 29/13/2022 88-3903626 State MA that: ated and that the project abilitation can be issued

12/30/2022



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	128-130 Bedford Street	P	roject Number <u>45621</u>
Property Address, City, State	128-130 Bedford Street, Ha	rtford, CT	
The rehabilitation of this prop of the Interior's Standards for	perty as described in the Historic r Rehabilitation provided that the	Preservation Certification App following condition(s) is/are n	plication will meet the Secretary net:
proposed windows replacement window review and approval 2. Main Entrance: Prior materials, and profil 3. Flooring: General No and individual kitche hardwood flooring were provided to the proposed of the p	ote M on the proposed drawing on and baths per the unit matrix	nensioned drawings of both the wall assembly, must be supposed the main entrance designation of the main entrance designation of the SHPO does not approve the walk are the more of the supposed of	the existing and any proposed ubmitted to the SHPO for agn, including dimensions, and throughout dwelling units any plan to replace the historic flowers of the characters of the special country.
Any substantive change in the v Preservation Office and the Nat	the conditions have been met must work as described in the application ional Park Service in writing, using ct continues to meet the Standards.	should be brought to the attention	
		State Historic Preservation Office	Signature erior Standards for Rehabilitation
if the condition(s) listed above	e are met.		

National Park Service Signature

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 - DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

	Historic Property Name 131-133 Bedford Street	•		
1.				
	Street 131-133 Bedford Street	Up wt Ford	State CT	7:- 06120 2570
		Hartford	_ State CT	Zip <u>06120-2579</u>
	Name of Historic District or National Register property	data of Nation		
	Listed individually in the National Register of Historic Places; o	date of listing		
	Located in a Registered Historic District; name of district		Data of and Si	
	Part 1 – Evaluation of Significance submitted?	ate submitted 7/11/2022	Date of certific	
2.	Project Data (for phased projects, data entered in this sec	tion must be totals for entire project)		
	Date of building 1924	Estimated total rehabilitation costs (QRI	E) \$1,789,55	53
	Number of buildings in project 1	Floor area before / after rehabilitation	10,582	/ <u>10,582</u> sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after rehabilitation	Resi.	/ <u>Resi.</u>
	Completion date (estimated) 04/01/2024	Number of housing units before / after re	ehabilitation 12	/ 12
	Application includes phase(s)1 of1 phases	Number of low-moderate income housing	g units before / afte	r rehabilitation 12 / 12
	Intend to elect IRS 60-month phased rehabilitation			
3.	Project Contact (if different from applicant)			
•	Name Eryn Boyce	Company The Pub	lic Archaeo	logy Laboratory, Inc.
	Street 26 Main Street	City Pawtucket		State RI
	Zip 02860 Telephone (401) 288-6318	Email Address eboyce@palir	nc.com	
4.				
7.	Applicant			
71	Applicant I hereby attest that the information I have provided is, to the best of I am the owner of the above-described property within the me if I am not the fee simple owner of the above described prope objection, as noted in a written statement from the owner, a cu previously submitted, and (ii) meets the requirements of 36 Ci	aning of "owner" set forth in 36 CFR § 67.2 orty, the fee simple owner is aware of the actiopy of which (i) either is attached to this app	(2011), and/or ion I am taking rela	tive to this application and has no
71	I hereby attest that the information I have provided is, to the best of I am the owner of the above-described property within the me if I am not the fee simple owner of the above described prope objection, as noted in a written statement from the owner, a compreviously submitted, and (ii) meets the requirements of 36 Ci For purposes of this attestation, the singular shall include the plural	aning of "owner" set forth in 36 CFR § 67.2 orty, the fee simple owner is aware of the actiopy of which (i) either is attached to this appliFR § 67.3(a)(1) (2011). wherever appropriate. I understand that kno	(2011), and/or ion I am taking rela lication form and in owing and willful fal	tive to this application and has no corporated herein, or has been sification of factual representations in
71	I hereby attest that the information I have provided is, to the best of I am the owner of the above-described property within the me if I am not the fee simple owner of the above described prope objection, as noted in a written statement from the owner, a conception previously submitted, and (ii) meets the requirements of 36 Ci. For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18	aning of "owner" set forth in 36 CFR § 67.2 orty, the fee simple owner is aware of the actiopy of which (i) either is attached to this application of the set of the	(2011), and/or ion I am taking rela lication form and in owing and willful fal	tive to this application and has no corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years.
71	I hereby attest that the information I have provided is, to the best of I am the owner of the above-described property within the me if I am not the fee simple owner of the above described prope objection, as noted in a written statement from the owner, a concept previously submitted, and (ii) meets the requirements of 36 Ci For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein	raning of "owner" set forth in 36 CFR § 67.2 orty, the fee simple owner is aware of the action opy of which (i) either is attached to this application of the set of	(2011), and/or ion I am taking rela lication form and in owing and willful fal stances, provides f	tive to this application and has no corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years.
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71	I hereby attest that the information I have provided is, to the best of I am the owner of the above-described property within the me if I am not the fee simple owner of the above described prope objection, as noted in a written statement from the owner, a concept previously submitted, and (ii) meets the requirements of 36 Ci. For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500	raning of "owner" set forth in 36 CFR § 67.2 orty, the fee simple owner is aware of the action opy of which (i) either is attached to this applicate § 67.3(a)(1) (2011). wherever appropriate. I understand that known is U.S.C. § 1001, which, under certain circum Signature (Sign in ink) LLC SSN City Boston	(2011), and/or ion I am taking rela lication form and in owing and willful fal stances, provides f	tive to this application and has no corporated herein, or has been sification of factual representations in or imprisonment of up to 8 years.
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NF The	I hereby attest that the information I have provided is, to the best of I am the owner of the above-described property within the me if I am not the fee simple owner of the above described proper objection, as noted in a written statement from the owner, a concept previously submitted, and (ii) meets the requirements of 36 Ci For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submitted the rehabilitation described herein is consistent with the historic chameets the Secretary of the Interior's Standards for Rehabilitation. To only to the owner of a "certified historic structure" after rehabilitation the rehabilitation or proposed rehabilitation will meet the Secretary of the rehabilitation described herein is not consistent with the historic	aning of "owner" set forth in 36 CFR § 67.2 orty, the fee simple owner is aware of the action opy of which (i) either is attached to this application of the fee simple owner is aware of the action opy of which (i) either is attached to this application. Wherever appropriate. I understand that know a U.S.C. § 1001, which, under certain circum signature (Sign in ink) City Boston Email Address mrobayna@Willed application. Email Address mrobayna@Willed application.	(2011), and/or ion I am taking relation I am taking relation form and in owing and willful fall stances, provides fall INNCO.com INNCO.com The property and has, with the district in since a formal certification in the attached conditions and the stance and th	tive to this application and has no corporated herein, or has been sification of factual representations in for imprisonment of up to 8 years. Date 09/13/2022 or TIN 88-3903626 State MA as determined that: which it is located and that the project diffication of rehabilitation can be issued dittions are met.



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	131-133 Bedford Street	Project Number <u>45618</u>
•	131-133 Bedford Street, Hartford,	
The rehabilitation of this prop of the Interior's Standards for	perty as described in the Historic Preserver r Rehabilitation provided that the following	ration Certification Application will meet the Secretary ng condition(s) is/are met:
proposed windows replacement window review and approval 2. Main Entrance: Prior materials, and profil 3. Flooring: General No and individual kitche hardwood flooring v	meet the Standards, detailed dimension ws, showing them in relation to the wall I prior to installation. I review and approval by the SHPO of thes, is required. The Monthe proposed drawings providen and baths per the unit matrix. The Shouth LVT. IF THERE ARE ARES WHO	s required prior to approval. In order to ensure the sed drawings of both the existing and any proposed assembly, must be submitted to the SHPO for the main entrance design, including dimensions, ses for new LVT flooring throughout dwelling units approve any plan to replace the historic see NO HARDWOOD FLOORING 13 PRESENT,
		WITH THE HISTOTIC CHARLOTOR OF THE
		ING PRODUCT SPECIFICATIONS INCLUDING
MATERIAL, LOLOK	, PATTERN, & UNIT DIMENSIONS	
en e		
	•	
Photographs documenting that	the conditions have been met must be subr	nitted with the Request for Certification of Completed Work.
Preservation Office and the Nat		be brought to the attention of the State Historic ndment/Advisory Determination form, prior to execution to
November 23, 2022		and he
Date	State H	istoric Preservation Office Signature
The National Park Service has	s determined that this project will meet the	ne Secretary of the Interior Standards for Rehabilitation

National Park Service Signature

Date

12/30/2022

if the condition(s) listed above are met.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number 45623

1.	distoric Property Name 132-134 Bedford Street				
	Street 132-134 Bedford Street				
	City Hartford County H	artford	State CT Zip	06120-2579	
	Name of Historic District or National Register property				
	Listed individually in the National Register of Historic Places; date of listing				
	Located in a Registered Historic District; name of district				
	Part 1 – Evaluation of Significance submitted?	e submitted 7/11/2022	Date of certification		
2.	Project Data (for phased projects, data entered in this section must be totals for entire project)				
	Date of building 1924	Estimated total rehabilitation costs	(QRE) \$894,777		
	Number of buildings in project 1	Floor area before / after rehabilitati	on 7,703 / 7,	703 sq ft	
	Start date (estimated) 04/01/2023	Use(s) before / after rehabilitation	Resi. / Re	si.	
	Completion date (estimated) 04/01/2024	Number of housing units before / a	fter rehabilitation 6 / 6		
	Application includes phase(s)1 of1 phases	Number of low-moderate income ho	ousing units before / after rehabilitati	ion 6 / 6	
	Intend to elect IRS 60-month phased rehabilitation			, , , , , , , , , , , , , , , , , , , ,	
3.	Project Contact (if different from applicant)				
J.	Name Eryn Boyce	Company The	Public Archaeology L	aboratory Inc	
	Street 26 Main Street	City Pawtucket	ubile mediadology 1	State RI	
	Zip 02860 Telephone (401) 288-6318	Email Address eboyce@pa	linc com	Oldio III	
	100pmono <u>(1017 200 0010</u>	Zilian / Marioto Cooy Coop S	11110,0011		
	if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years. Name Adam Stein Signature (Sign in ink) Date 09/13/2022				
	Applicant Entity Bedford Gardens Redevelopment		SSN or TII		
	Street One Washington Mall, Suite 500	City Boston	JOH JI III	State MA	
	Zip 02108 Telephone (617) 742-4500	Email Address mrobayna	@WINNCO.com		
Applicant, SSN, or TIN has changed since previously submitted application.					
	Z - Abroand cond. or in the condition of	арриодаот.			
NP	S Official Use Only				
The	National Park Service has reviewed the Historic Preservation Certification the rehabilitation described herein is consistent with the historic chara meets the Secretary of the Interior's Standards for Rehabilitation. This only to the owner of a "certified historic structure" after rehabilitation w	cter of the property and, where applicated is a preliminary determination	able, with the district in which it is	located and that the project	
Ø	the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.				
	he rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.			roject does not meet the	
12	130/2022 Challe	2			

Date

National Park Service Authorized Signature (Sign in ink)



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	132-134 Bedford Street	Project Number _45623		
Property Address, City, State	132-134 Bedford Street, Hartford, CT			
The rehabilitation of this proj of the Interior's Standards fo	perty as described in the Historic Preservation r Rehabilitation provided that the following o	on Certification Application will meet the Secretary condition(s) is/are met:		
1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation. 2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required. 3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING WEST SECONTIAL WHAT SECONTIAL SHOULD SUBJECT FOR THE BUTLOWN SUBJECT FOR THE BUTLOWN SUBJECT FOR THE BUTLOWN SUBJECT FOR THE BUTLOWN SUBJECT FOR THE BUTLOWN.				
Any substantive change in the Preservation Office and the Na	work as described in the application should be l	ed with the Request for Certification of Completed Work. brought to the attention of the State Historic nent/Advisory Determination form, prior to execution to		
November 23, 2022	- Jake	James Completion		
Date	otate Histo	ric Préservation Office Signature		
The National Park Service had if the condition(s) listed above		Secretary of the Interior Standards for Rehabilitation		
12/30/2022	$\mathcal{C}_{\mathcal{L}}$	Talee		
Date	Natio	nal Park Service Signature		

NPS Form 10-168a (Rev. 2019) National Park Service OMB Control No. 1024-0009

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 - DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 135-137 Bedford Stree	t			
	Street 135-137 Bedford Street				
	City Hartford County	Hartford	State CT	Zip 06120-2	579
	Name of Historic District or National Register property				
	Listed individually in the National Register of Historic Places;	date of listing			
	Located in a Registered Historic District; name of district				
	Part 1 – Evaluation of Significance submitted?	Date submitted 7/11/2022	Date of certifica	tion	
2.	Project Data (for phased projects, data entered in this see	ction must be totals for entire project)	•		
	Date of building 1924	Estimated total rehabilitation costs (0	RE) \$1,342,165	5	
	Number of buildings in project 1	Floor area before / after rehabilitation	11,682	/ 11,682	sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after rehabilitation	Resi.	/ Resi.	
	Completion date (estimated) 04/01/2024	Number of housing units before / after	er rehabilitation 9	/ 9	
	Application includes phase(s) of phases	Number of low-moderate income hou	sing units before / after r	ehabilitation 9	_ / <u>9</u>
	Intend to elect IRS 60-month phased rehabilitation				
3.	Project Contact (if different from applicant)				
	Name Eryn Boyce	Company The Pi	ublic Archaeol	ogy Laborato	ry, Inc.
	Street 26 Main Street	City Pawtucket		State	RI_
	Zip <u>02860</u> Telephone <u>(401)</u> <u>288-6318</u>	Email Address eboyce@pal	inc.com		
	I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.				
	objection, as noted in a written statement from the owner, a concentration of the owner, and previously submitted, and (ii) meets the requirements of 36 C For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18	copy of which (i) either is attached to this a CFR § 67.3(a)(1) (2011). I wherever appropriate. I understand that I 8 U.S.C. § 1001, which, under certain circular L	pplication form and inco	proprieted herein, or had fication of factual repre- imprisonment of up to	esentations in 8 years.
	objection, as noted in a written statement from the owner, a concentration previously submitted, and (ii) meets the requirements of 36 C. For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein	copy of which (i) either is attached to this a EFR § 67.3(a)(1) (2011). I wherever appropriate. I understand that I 8 U.S.C. § 1001, which, under certain circumstand (Sign in ink)	pplication form and inco knowing and willful falsif umstances, provides for	proprated herein, or har ication of factual representation of factual representation of up to the control of th	esentations in a 8 years.
	objection, as noted in a written statement from the owner, a concept previously submitted, and (ii) meets the requirements of 36 C. For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment	copy of which (i) either is attached to this at ER § 67.3(a)(1) (2011). If wherever appropriate. I understand that I is U.S.C. § 1001, which, under certain circum Signature (Sign in ink)	pplication form and inco	proporated herein, or har factual representation of factual representation of factual representation of the factual representa	esentations in a 8 years.
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	objection, as noted in a written statement from the owner, a corpreviously submitted, and (ii) meets the requirements of 36 C For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500	copy of which (i) either is attached to this at ER § 67.3(a)(1) (2011). If wherever appropriate. I understand that I is U.S.C. § 1001, which, under certain circum Signature (Sign in ink) LLC City Boston Email Address mrobayna@	pplication form and inco	proprated herein, or har fication of factual representation of factual representation of the factual representation of the factual representation of the factual representation of factual representation of the factual	esentations in a 8 years.
	objection, as noted in a written statement from the owner, a concept previously submitted, and (ii) meets the requirements of 36 C. For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500	copy of which (i) either is attached to this at ER § 67.3(a)(1) (2011). If wherever appropriate. I understand that I is U.S.C. § 1001, which, under certain circum Signature (Sign in ink) LLC City Boston Email Address mrobayna@	pplication form and inco	proprated herein, or har fication of factual representation of factual representation of the factual representation of the factual representation of the factual representation of factual representation of the factual	esentations in a 8 years.
NP	objection, as noted in a written statement from the owner, a corpreviously submitted, and (ii) meets the requirements of 36 C For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500	copy of which (i) either is attached to this at ER § 67.3(a)(1) (2011). If wherever appropriate. I understand that I is U.S.C. § 1001, which, under certain circum Signature (Sign in ink) LLC City Boston Email Address mrobayna@	pplication form and inco	proprated herein, or har fication of factual representation of factual representation of the factual representation of the factual representation of the factual representation of factual representation of the factual	esentations in a 8 years.
	objection, as noted in a written statement from the owner, a corpreviously submitted, and (ii) meets the requirements of 36 C For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submitted.	copy of which (i) either is attached to this at ER § 67.3(a)(1) (2011). If wherever appropriate. I understand that I is U.S.C. § 1001, which, under certain circum Signature (Sign in ink) LLC City Boston Email Address mrobayna@ ted application. Cation Application — Part 2 for the above-naracter of the property and, where application or this letter is a preliminary determination or	pplication form and incommon and incommon and willful falsitumstances, provides for SN WINNCO.COM amed property and has ble, with the district in w	proprated herein, or have incation of factual representation of factual representation of up to the properties of the pr	esentations in a 8 years. 2022 103626 MA
The	objection, as noted in a written statement from the owner, a copreviously submitted, and (ii) meets the requirements of 36 C. For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submitted the rehabilitation described herein is consistent with the historic characters the Secretary of the Interior's Standards for Rehabilitation. Telephone Telephone Constitution of the Interior's Standards for Rehabilitation.	copy of which (i) either is attached to this at ER § 67.3(a)(1) (2011). If wherever appropriate. I understand that I is U.S.C. § 1001, which, under certain circum Signature (Sign in ink) LLC City Boston Email Address mrobayna@ ted application. Cation Application – Part 2 for the above-naracter of the property and, where application in work is complete.	pplication form and incommon and incommon and willful falsiful translations. Provides for a second and property and has ble, with the district in willy, since a formal certification.	proporated herein, or have incation of factual representation of factual representation of the imprisonment of up to the properties of the	esentations in a 8 years. 2022 103626 MA
The	objection, as noted in a written statement from the owner, a copreviously submitted, and (ii) meets the requirements of 36 C. For purposes of this attestation, the singular shall include the plural this application may subject me to fines and imprisonment under 18 Name Adam Stein Applicant Entity Bedford Gardens Redevelopment Street One Washington Mall, Suite 500 Zip 02108 Telephone (617) 742-4500 Applicant, SSN, or TIN has changed since previously submitted to the rehabilitation described herein is consistent with the historic chameets the Secretary of the Interior's Standards for Rehabilitation. To only to the owner of a "certified historic structure" after rehabilitation.	copy of which (i) either is attached to this at ER § 67.3(a)(1) (2011). If wherever appropriate. I understand that I is U.S.C. § 1001, which, under certain circum Signature (Sign in ink) LLC City Boston Email Address mrobayna@ ted application — Part 2 for the above-naracter of the property and, where applicating letter is a preliminary determination or now rise complete. of the Interior's Standards for Rehabilitation.	pplication form and incommon and incommon and willful falsiful fal	proporated herein, or have incation of factual representation of factual representation of the proposed of the	esentations in a 8 years. 2 0 2 2 10 3 6 2 6 MA hat the project can be issued

NPS Form 10-168e (Rev. 2019) National Park Service OMB Control No. 1024-0009

Date



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE **CONDITIONS**

135-137 Bedford Street

Historic Property Name	135-137 Bedford Street	Project Number _45619
Property Address, City, State	_135-137 Bedford Street, Hartford, C	Ι
	perty as described in the Historic Preservat r Rehabilitation provided that the following	tion Certification Application will meet the Secretary condition(s) is/are met:
proposed windows replacement window review and approva 2. Main Entrance: Prio materials, and profil 3. Flooring: General No and individual kitche hardwood flooring vary repureus bulling. Subm	meet the Standards, detailed dimensioned ws, showing them in relation to the wall as I prior to installation. I prior to installation. I review and approval by the SHPO of the es, is required. One M on the proposed drawings provides and baths per the unit matrix. The SHPO with LVT. IF THERE ARE ARELS WE THORWAY AND WE COMPATIBLE	required prior to approval. In order to ensure the d drawings of both the existing and any proposed ssembly, must be submitted to the SHPO for main entrance design, including dimensions, for new LVT flooring throughout dwelling units O does not approve any plan to replace the historic with the instance of the with the instance of the many of the with the instance of the proposal special contact of the proposal special
WHIEDRE, WOO	CITATION, DINTI VINESSIVIOS.	
Photographs documenting that	the conditions have been met must be submitt	ted with the Request for Certification of Completed Work.
Preservation Office and the Nat	work as described in the application should be ional Park Service in writing, using the Amend at continues to meet the Standards.	brought to the attention of the State Historic Iment/Advisory Determination form, prior to execution to
N		
November 23, 2022 Date	Ante Histo	oric Preservation Office Signature
	J. 1.10.10	one receivation office dignature
The National Park Service has if the condition(s) listed above		Secretary of the Interior Standards for Rehabilitation
12/30/2022	C	Tahe

National Park Service Signature

NPS Form 10-168a (Rev. 2019) National Park Service OMB Control No. 1024-0009

HISTORIC PRESERVATION CERTIFICATION APPLICATION **PART 2 – DESCRIPTION OF REHABILITATION**



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1.	Historic Property Name 131-133 Brook Street	.,					
	Street 131-133 Brook Street				~~~		
	City Hartford County H	artford		State CT	Zip <u>0</u>	6120-257	79
	Name of Historic District or National Register property						
	Listed individually in the National Register of Historic Places; da	te of listing		_			
	Located in a Registered Historic District; name of district						
	Part 1 - Evaluation of Significance submitted?	e submitted <u>7/11/20</u>	22	_ Date of certific	ation		
2.	Project Data (for phased projects, data entered in this section	on must be totals for en	tire project)				
	Date of building 1924	Estimated total rehabilita	ition costs (QRE)	\$894,777			
	Number of buildings in project 1	Floor area before / after	rehabilitation	7,464	17,4	64	sq ft
	Start date (estimated) 04/01/2023	Use(s) before / after reh	abilitation]	Resi.	/ Res	i.	_
	Completion date (estimated) 04/01/2024	Number of housing units	before / after ref	nabilitation 6	16		
	Application includes phase(s) of phases	Number of low-moderate	income housing	units before / after	rehabilitation	1 6	16
	Intend to elect IRS 60-month phased rehabilitation		·				
2	Designat Contract (if different from applicant)						
3.	Project Contact (if different from applicant) Name Eryn Boyce	Company	The Dubl	ic Archaeo	logy Lal	noratory	Tna
	Street 26 Main Street	City Pawtucket					
	Zip 02860 Telephone (401) 288-6318	Email Address ebo		COM			<u> </u>
	2401) 200 (1014) 200 (1015)	Liliali Address ebo	yceepaline	COM			
	I am the owner of the above-described property within the mean if I am not the fee simple owner of the above described property objection, as noted in a written statement from the owner, a coppreviously submitted, and (ii) meets the requirements of 36 CFR For purposes of this attestation, the singular shall include the plural withis application may subject me to fines and imprisonment under 18 U	, the fee simple owner is a y of which (i) either is attac § 67.3(a)(1) (2011). herever appropriate. I under S.C. § 1001, which, under	ware of the action hed to this applic erstand that know	n I am taking relat ation form and ind ing and willful fals	corporated had a composite control of factors of the composite com	erein, or has actual represe ent of up to 8	entations in years.
	Name Adam Stein	Signature (Sign in ink)	1 180 130	<u> </u>		09/13/20	
	Applicant Entity Bedford Gardens Redevelopment	_	SSN _		or TIN	88-390	
	Street One Washington Mall, Suite 500	City Boston				State	MA
	Zip 02108 Telephone (617) 742-4500	Email Address mr	obaynaewii	NNCO.com			
	Applicant, SSN, or TIN has changed since previously submitted	application.					
	S Official Use Only						
		on Application — Part 2 for	the above-name	d nonnerty and ha	e determines	t that	
	National Park Service has reviewed the Historic Preservation Certificati the rehabilitation described herein is consistent with the historic chara meets the Secretary of the Interior's Standards for Rehabilitation. This only to the owner of a "certified historic structure" after rehabilitation w	cter of the property and, wi letter is a preliminary dete	nere applicable, v	vith the district in	which it is lo	cated and tha	
Ø	the rehabilitation or proposed rehabilitation will meet the Secretary of	the Interior's Standards for	Rehabilitation if	the attached cond	itions are me	et.	
	the rehabilitation described herein is not consistent with the historic ch Secretary of the Interior's Standards for Rehabilitation.	naracter of the property or t	he district in whic	th it is located and	I that the pro	ject does not	meet the
12	130/2022 CYake						
	Truce						

NPS Form 10-168e (Rev. 2019) National Park Service OMB Control No. 1024-0009

Date



HISTORIC PRESERVATION CERTIFICATION APPLICATION NATIONAL PARK SERVICE CONDITIONS

Historic Property Name	131-133 Blooks Street Project Number 45022
Property Address, City, State	131-133 Brooks Street, Hartford, CT
	perty as described in the Historic Preservation Certification Application will meet the Secretary rehabilitation provided that the following condition(s) is/are met:
proposed windows replacement windows review and approva 2. Main Entrance: Priomaterials, and profil 3. Flooring: General Notand individual kitche hardwood flooring with the properties of the	ote M on the proposed drawings provides for new LVT flooring throughout dwelling units en and baths per the unit matrix. The SHPO does not approve any plan to replace the historic with LVT. IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, AND WORLD BY CONFATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. WHEN PROPOSED FLOORING PROPOSED FLOORING PROPOSED FLOORING PROPOSED FLOORING PROPOSED FLOORING PROPOSED FLOORING.
Photographs documenting that	the conditions have been met must be submitted with the Request for Certification of Completed Work.
Preservation Office and the Nat	work as described in the application should be brought to the attention of the State Historic tional Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ct continues to meet the Standards.
Neverbor 22, 2022	
November 23, 2022 Date	ptate Historic Preservation Office Signature
The National Park Service has if the condition(s) listed above	s determined that this project will meet the Secretary of the Interior Standards for Rehabilitation e are met.
12/30/2022	Chalce

National Park Service Signature



1223 Mineral Spring Ave

North Providence, Rhode Island 02904

100 Summer Street, 13th Floor Boston, Massachusetts 02110

August 18, 2023

Matthew Robayna One Washington Mall Suite 500 Boston, MA 02108

RE: Bedford Gardens Balconies

Dear Matthew:

The condition of the existing balconies at the Bedford Gardens buildings was observed by Odeh Engineers on May 6, 2022, and May 24, 2023, to have varying degrees of structural deterioration and insufficiency which may lead to failure of the balconies.

- Several of the columns lacked adequate anchorage and/or foundations at their base (refer to photos 1 & 2).
- Several of the connections are showing deterioration and columns are not appropriately connected to girders (refer to photo 3).
- The deck, stairs, railings, and framing are showing deterioration at several locations (refer to photo 4).
- Most stair stringers are inadequately connected to the main framing (refer to photo 5).
- The foundation walls below the balconies are severely cracked and spalled at several locations (refer to photo 6).
- The railing geometry and heights throughout do not appear to conform to the requirements of the Connecticut State Building Code.
- Some of the columns appear to be bowed, indicating they are beginning to fail.

Considering these conditions, it is recommended that the balconies be demolished and rebuilt in accordance with current building code and structural design criteria.

Sincerely,

David J. Odeh

SE (CA, IL) PE, F.SEI, F.ASCE

Principal

Robert A. Bowen

Robert & Bar

PE (PA)

Structural Engineer

Phone: 401.724.1771 Fax: 401.724.1981





Photo 1: This balcony column base has no anchorage and no apparent foundation.





Photo 2: Several columns are lacking anchorage, foundations or have foundation damage.





Photo 3: The framing connections are showing signs of deterioration and columns are not sufficiently connected to the girders.





Photo 4: The deck, stairs, railings, and framing are showing signs of deterioration at several locations.





Photo 5: Most of the stair stringers are not adequately connected to the main framing.

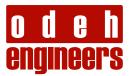




Photo 6: The foundation walls below the balconies are severely cracked and spalled at several locations.

BEDFORD GARDENS 88 LLC 338 ASYLUM STREET HARTFORD, CT 06103

September 8, 2023

RE: Bedford Gardens Apartments Portfolio

119-121, 120-122, 123-125, 124-126, 127-129, 128-130, 131-133, 132-134, 135-137 Bedford Street and 131-133 Brook Street, Hartford, Connecticut

To Whom It May Concern:

This letter confirms that the fee simple owner, Bedford Gardens 88 LLC is aware of the Historic Review Applications being submitted by WinnDevelopment Company LP to the Hartford Historic Commission for the following ten properties in Hartford, Connecticut, by the Public Archaeology Laboratory, Inc.:

- 1. 119-121 Bedford Street
- 2. 120-122 Bedford Street
- 3. 123-125 Bedford Street
- 4. 124-126 Bedford Street
- 5. 127-129 Bedford Street
- 6. 128-130 Bedford Street
- 7. 131-133 Bedford Street
- 8. 132-134 Bedford STreet
- 9. 135-137 Bedford Street
- 10. 131-133 Brook Street

Beford Gardens 88 LLC consents to this submission.

Sincerely,

Paul Khakshouri, Member Bedford Gardens 88 LLC



Property Name: 119-121 Bedford Street

Property Address: 119-121 Bedford Street, Hartford

SHPO Project Number: 12311

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For	NR/SR-Listed	Properties

☐The building qualifies as a certified historic structure ☐The building does not qualify as a certified historic structure

For Preliminary Determinations

☑The building appears to meet the National Register Criteria for Evaluation and
will likely be listed in the National Register of Historic Places if nominated by the
State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60

- ☐ The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- ☐ The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- ☐ The building does not appear to qualify as a certified historic structure

Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 120-122 Bedford Street

Property Address: 120-122 Bedford Street, Hartford

SHPO Project Number: 12312

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Prop	erties
-----------------------	--------

☐The building qualifies as a certified historic structure ☐ The building does not qualify as a certified historic structure

For Preliminary Determinations

☑The building appears to meet the National Register Criteria for Evaluation and	
will likely be listed in the National Register of Historic Places if nominated by the	
State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60	٥.

- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- ☐ The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- ☐ The building does not appear to qualify as a certified historic structure

Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 123-125 Bedford Street

Property Address: 123-125 Bedford Street, Hartford

SHPO Project Number: 12313

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of

Historic Structure Status," for the above-listed building and has determined that:		
For NR/SR-Listed Properties		
☐The building qualifies as a certified historic structure		
\Box The building does not qualify as a certified historic structure		
For Preliminary Determinations		
oxtimes The building appears to meet the National Register Criteria f	for Evaluation and	
will likely be listed in the National Register of Historic Place	es if nominated by the	
State Historic Preservation Officer according to the proced	ures set forth in 36 CFR Part 60.	
\Box The building appears to meet the State Register Criteria for E	Evaluation and will likely	
be listed in the State Register of Historic Places if approved	by the Historic Preservation Council.	
☐ The building appears to contribute to the significance of a polisted if nominated by the State Historic Preservation C	•	
\Box The building appears to contribute to the significance of a re	gistered historic district if	
the period or area of significance as documented in the Sta	ate and/or National Register nomination	
or district documentation on file is expanded		
\Box The building does not appear to qualify as a certified historic	structure	
a la familie	October 11, 2022	
A Harris and Cinner towns	Data	

Authorized Signature

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 124-126 Bedford Street

Property Address: 124-126 Bedford Street, Hartford

SHPO Project Number: 12314

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of

Historic Structure Status," for the above-listed building and has determined that:		
For NR/SR-Listed Properties		
☐The building qualifies as a certified historic structure		
☐ The building does not qualify as a certified historic structu	ure	
For Preliminary Determinations		
$\ oxtimes$ The building appears to meet the National Register Criter	ria for Evaluation and	
will likely be listed in the National Register of Historic Pl	laces if nominated by the	
State Historic Preservation Officer according to the pro-	cedures set forth in 36 CFR Part 60.	
\Box The building appears to meet the State Register Criteria for	or Evaluation and will likely	
be listed in the State Register of Historic Places if appro	ved by the Historic Preservation Council.	
☐ The building appears to contribute to the significance of a listed if nominated by the State Historic Preservation	·	
☐The building appears to contribute to the significance of a	a registered historic district if	
the period or area of significance as documented in the	State and/or National Register nomination	
or district documentation on file is expanded		
\Box The building does not appear to qualify as a certified history	oric structure	
a la familie	October 11, 2022	

Authorized Signature

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 127-129 Bedford Street

Property Address: 127-129 Bedford Street, Hartford

SHPO Project Number: 12315

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NK/SK-Listed Properties	
☐The building qualifies as a certified historic structure	9

☐The building does not qualify as a certified historic structure

For Preliminary Determinations

- ☑ The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- ☐ The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- ☐ The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- ☐ The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- ☐ The building does not appear to qualify as a certified historic structure

Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 128-130 Bedford Street

Property Address: 128-130 Bedford Street, Hartford

SHPO Project Number: 12316

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of

Historic Structure Status," for the above-listed building and has determined that:		
For NR/SR-Listed Properties		
☐The building qualifies as a certified historic structure		
☐ The building does not qualify as a certified historic structure.	cture	
For Preliminary Determinations		
$\ensuremath{\boxtimes}$ The building appears to meet the National Register Crit	eria for Evaluation and	
will likely be listed in the National Register of Historic	Places if nominated by the	
State Historic Preservation Officer according to the pr	ocedures set forth in 36 CFR Part 60.	
☐ The building appears to meet the State Register Criteria	for Evaluation and will likely	
be listed in the State Register of Historic Places if app	roved by the Historic Preservation Council.	
☐ The building appears to contribute to the significance o listed if nominated by the State Historic Preservat	•	
☐The building appears to contribute to the significance o	f a registered historic district if	
the period or area of significance as documented in the	ne State and/or National Register nomination	
or district documentation on file is expanded		
\Box The building does not appear to qualify as a certified his	storic structure	
a Camelack	October 11, 2022	
The state of the s	0000001 11) 2022	

Authorized Signature

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 131-133 Bedford Street

Property Address: 131-133 Bedford Street, Hartford

SHPO Project Number: 12317

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of

Historic Structure Status," for the above-listed building and	has determined that:
For NR/SR-Listed Properties	
☐The building qualifies as a certified historic structure	
☐ The building does not qualify as a certified historic structu	ure
For Preliminary Determinations	
☑The building appears to meet the National Register Criter will likely be listed in the National Register of Historic PI State Historic Preservation Officer according to the proc	aces if nominated by the
☐The building appears to meet the State Register Criteria for be listed in the State Register of Historic Places if approximately appears to meet the State Register Criteria for the State Register of Historic Places if approximately appears to meet the State Register Criteria for the	or Evaluation and will likely
☐ The building appears to contribute to the significance of a listed if nominated by the State Historic Preservatio	•
☐ The building appears to contribute to the significance of a the period or area of significance as documented in the or district documentation on file is expanded	_
\Box The building does not appear to qualify as a certified history	oric structure
a la familie	October 11, 2022

Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 131-133 Brook Street

Property Address: 131-133 Brook Street, Hartford

SHPO Project Number: 12318

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

Historic Structure Status," for the above-listed building and	has determined that:
For NR/SR-Listed Properties	
☐The building qualifies as a certified historic structure	
\Box The building does not qualify as a certified historic struct	ure
For Preliminary Determinations	
$\ oxtimes$ The building appears to meet the National Register Crite	ria for Evaluation and
will likely be listed in the National Register of Historic P	laces if nominated by the
State Historic Preservation Officer according to the pro	cedures set forth in 36 CFR Part 60.
\Box The building appears to meet the State Register Criteria f	for Evaluation and will likely
be listed in the State Register of Historic Places if appro	oved by the Historic Preservation Council.
☐ The building appears to contribute to the significance of a listed if nominated by the State Historic Preservation	•
\Box The building appears to contribute to the significance of α	a registered historic district if
the period or area of significance as documented in the	e State and/or National Register nomination
or district documentation on file is expanded	
\Box The building does not appear to qualify as a certified hist	oric structure
Jamele C	Ostahan 44, 2022
A Single Comment	October 11, 2022

Authorized Signature Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3.

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 132-134 Bedford Street

Property Address: 132-134 Bedford Street, Hartford

SHPO Project Number: 12319

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of

Historic Structure Status, for the above-listed building and has c	determined that:
For NR/SR-Listed Properties	
☐The building qualifies as a certified historic structure	
☐ The building does not qualify as a certified historic structure	
For Preliminary Determinations	
oxtimes The building appears to meet the National Register Criteria for	r Evaluation and
will likely be listed in the National Register of Historic Places	if nominated by the
State Historic Preservation Officer according to the procedur	es set forth in 36 CFR Part 60.
☐ The building appears to meet the State Register Criteria for Eva	aluation and will likely
be listed in the State Register of Historic Places if approved b	by the Historic Preservation Council.
☐ The building appears to contribute to the significance of a pote listed if nominated by the State Historic Preservation Off	•
☐ The building appears to contribute to the significance of a regis	stered historic district if
the period or area of significance as documented in the State or district documentation on file is expanded	e and/or National Register nomination
\Box The building does not appear to qualify as a certified historic state.	tructure
a la familia	October 11, 2022

Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Property Name: 135-137 Bedford Street

Property Address: 135-137 Bedford Street, Hartford

SHPO Project Number: 12320

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For	NR	/SR-Listed	Properties
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☐ The building does not qualify as a certified historic structure

For Preliminary Determinations

- ☑ The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- ☐ The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- ☐ The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- ☐ The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- ☐ The building does not appear to qualify as a certified historic structure

Jamele C

Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on the program's website.

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to approval of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.



Project Name: 119-121 Bedford Street **Project Address**: 119-121 Bedford Street

SHPO Project: 12311

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Authorized Signature

November 22, 2022

Date

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation..
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.

In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary





documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 120-122 Bedford Street **Project Address**: 120-122 Bedford Street

SHPO Project: 12312

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Juli ambica

November 22, 2022

Date

Authorized Signature

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.





In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 123-125 Bedford Street **Project Address**: 123-125 Bedford Street

SHPO Project: 12313

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Authorized Signature

November 22, 2022

Date

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.





In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 124-126 Bedford Street **Project Address**: 124-126 Bedford Street

SHPO Project: 12314

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Authorized Signature

November 22, 2022

Date

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

- 4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.
- Skylight: The existing skylight must be preserved and not covered by new roofing. Photos of the
 preserved skylight must be submitted with the Part 4 Application Request for Final
 Certification of Completed Rehabilitation.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment





is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.

In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 127-129 Bedford Street **Project Address**: 127-129 Bedford Street

SHPO Project: 12315

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Juli ambica

November 22, 2022

Date

Authorized Signature

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.





In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 128-130 Bedford Street **Project Address**: 128-130 Bedford Street

SHPO Project: 12316

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Authorized Signature

November 22, 2022

Date

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.





In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 131-133 Bedford Street **Project Address**: 131-133 Bedford Street

SHPO Project: 12317

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Juliamlica

November 22, 2022

Date

Authorized Signature

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.





In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 131-133 Brook Street **Project Address**: 131-133 Brook Street

SHPO Project: 12318

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Juliamilia

November 22, 2022

Date

Authorized Signature

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.





In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 132-134 Bedford Street **Project Address**: 132-134 Bedford Street

SHPO Project: 12319

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Juliamlica

November 22, 2022

Date

Authorized Signature

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation..
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.

In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary





documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.



Project Name: 135-137 Bedford Street **Project Address**: 135-137 Bedford Street

SHPO Project: 12320

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

☐ The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.

☑The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.

☐ The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.

Juli ambica

November 22, 2022

Date

Authorized Signature

CONDITIONS

The following conditions must be met **prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits**:

- 1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
- 2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
- 3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met **prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation** include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.





In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.