

PZ-HIST-23-000238

Menu Reports Help

File Date: [09/12/2023](#)

Application Status: [Pending](#)

Assigned To: [Alexander Castro](#)

Description of Work: [All existing brick and cast stone masonry will be rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation and Preservation. Areas of mortar mix consistent with the original. Where masonry is too damaged for repair or brick units are cracked or missing, new cast stone or brick will match the original as close as possible will be undertaken in areas of repair and repointing. The concrete foundation walls and front concrete stair and wrought metal railings will be retained and Interior's Standards for Rehabilitation and Preservation. In limited areas where masonry is too damaged for repair, new concrete will match the existing as closely as possible; stairs, gently cleaned, and repainted black to match the existing. The painted brick on the rear and side elevations will be scraped, repaired, and repainted. Analysis of the significantly compromised and unsafe. The existing balconies will be removed, and new balconies will be constructed within the footprint of the existing. A copy of the structural footings and piers will be installed, and the existing concrete foundations will be retained and topped by a new reinforced concrete cap. The new balconies will be framed matching the existing. Vents will be installed on the side elevations to exhaust new boilers to be installed within the basement and new bathroom exhaust fans to be installed color of the surrounding brick and will be minimally visible from the public right-of-way. The windows at the front elevations will be removed and replaced with historically-correct sash with interior screens, exterior applied muntins, and non-reflective internal spacer bars. The windows at the side and rear elevations will be removed and replaced with interior screens. The proposed windows will have a one-over-one configuration, which has been approved by the National Park Service on similar residential rehabilitation basement windows. The metal storefront system at the main entrances will be removed and replaced with new historically-appropriate, lightly-colored aluminum storefront one-panel door flanked by half-light paneled sidelights and surmounted by a three-part transom. The flush metal doors in the balcony entrances on the rear elevations will be removed. The existing BUR rolled asphalt roofing systems will be removed. New fully-adhered EPDM roofing system will be installed. A ramp will be constructed between 111-133 Bedford Street to facilitate an accessible means of entry in accordance with ADA requirements. The ramp will be of wood-frame construction with a six-inch reinforced vertical galvanized steel balustrade, round galvanized steel handrails, and round galvanized steel top rails. The existing clay tile coping on the parapet walls at 119-121 Bedford Street needed, and reinstalled. The westmost window opening in bay five on the first floor of the north elevation of 119-121 Bedford Street will be lowered to accommodate a new masonry units beneath the window will be carefully removed, and a new two-panel aluminum door will be installed.](#)

Application Detail: [Detail](#)

Application Type: [Historic Preservation](#)

Documents:	File Name	Document Group	Category	Description	Type	Docun
	DSC_0001.JPG	PLNG_COA	Photos		image/jpeg	Uploac
	SHPO Part 1 Determinat...	PLNG_COA	Other	CTSHPO CTHRTC Part ...	application/pdf	Uploac
	SHPO Part 2 Conditiona...	PLNG_COA	Other	CTSHPO CTHRTC Part ...	application/pdf	Uploac
	Odeh Balcony Memo 08.1...	PLNG_COA	Other	Structural Report o...	application/pdf	Uploac
	NPS Part 1 Approvals.pdf	PLNG_COA	Other	NPS HPCA Part 1 App...	application/pdf	Uploac
	NPS Part 2 Conditional...	PLNG_COA	Other	NPS HPCA Part 2 App...	application/pdf	Uploac
	2023-08-11 Bedford Gar...	PLNG_COA	Plans	Existing and Propos...	application/pdf	Uploac
	Bedford Gardens - Base...	PLNG_COA	Product Specs	Product Specificati...	application/pdf	Uploac
	Bedford Gardens - Bath...	PLNG_COA	Product Specs	Product Specificati...	application/pdf	Uploac
	Masonry Specifications...	PLNG_COA	Other	Specifications for ...	application/pdf	Uploac
	Owner Authorization Le...	PLNG_COA	Owners Authoriz...	Owner Authorization...	application/pdf	Uploac
	2023-08-11 Bedford Gar...	PLNG_COA	Plans	Existing and Propos...	application/pdf	Uploac
	119-137 Bedford Street...	PLNG_COA	Photos	Exterior Photo Keys	application/pdf	Uploac
	119-137 Bedford Street...	PLNG_COA	Photos	Exterior Photos	application/pdf	Uploac

[Show all](#)

Address: [119 BEDFORD ST, HARTFORD, CT 06120](#)

Owner Name: [BEDFORD GARDENS 88 LLC](#)

Owner Address: [338 ASYLUM ST, HARTFORD, CT 06103](#)

Application Name:

Parcel No: [220227096](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Matthew Robayna	WinnDevelopment	Developer	Mailing_One Washingto...	Active
	Michael Fontaine	The Architectur...	Architect	Mailing_50 Commandant...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #
	Yes	MCO.0900943	MAJOR CONTRACTOR	KEITH CONSTRUCT...	KEITH CONSTRUCT...	

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$200.00](#)

Total Fee Invoiced: [\\$200.00](#)

Balance: [\\$0.00](#)

Custom Fields: [PLNG_COA_CF](#)

GIS Information	Zoning Overlay	FEMA Flood Zone	Land Use Per Assessor
Zoning District NX-1	-	-	-
NRZ CLAY ARSENAL NRZ	Neighborhood CLAY-ARSENAL	Local Historic District	
Historic District	Historic Landmark/Site	State Historic District	
-		-	
Dispersion met?	Identify Dispersion	National Historic District	
No	-	-	

General Project Information

Is this application a result of a violation notice? Zoning Enforcement Case ID #
[No](#) -

Is this a contributing building or structure?
[Yes](#)

Is this proposed work visible from the street?
[Yes](#)

Historic Review Types

New Construction/Addition Exterior Alteration
[No](#) [Yes](#)

Demolition Signage
[No](#) [No](#)

Solar Panel
[No](#)

Other
-

Does this project include a demolition?
[No](#)

If a demolition request, what alternatives have you sought?
-

Exterior Alterations

Windows Doors
[√](#) [√](#)

Porches/Walkways Siding
[√](#)

Roofs Mechanical Appurtenances
[√](#)

Other
-

Describe the existing conditions and materials

Masonry - The three-bay, Classical Revival-style apartment buildings extend three stories above raised basements and terminate at flat roofs. The façade walls are clad in yellow, running-bond brick above a cast-stone water table with inlaid brick ornamentation.

The main entrances are centered on the facades and framed by brick surrounds. They are accessed by wide concrete steps with late 20th century wrought metal railings.

Fenestration consists of regularly spaced window openings arranged in groups of two and three. Inlaid soldier brick surrounds enclose the openings.

The side and rear elevations feature minimal ornamentation. Walls are clad in red running-bond brick, though some of the windows have been painted. Window openings have segmentally arched lintels and cast stone sills. A three-story steel porch structure with wood landings is mounted to the brick at the rear elevation, providing a second means of egress from the interior.

Overall, the exterior masonry is in fair condition, with localized areas of mortar and brick deterioration, evidence of past repointing, and spalling or cracked stone. The porches are in poor condition.

Windows - The existing windows are replacement double-hung, one-over-one vinyl sash on the first through third floor and two-light sliding vinyl sash on the basement. The basement and rear elevation windows have metal security grilles.

Exterior Entrances - The main entrances consist of modern single-light flush metal door flanked by metal sidelights and surmounted by a metal transom.

Modern single-light flush metal doors provide access to the rear balconies, secondary entrance, stair hall and basement.

Roof - The buildings are topped by flat BUR rolled asphalt roofing systems with aluminum flashing. Clay camel back tile coping cap the parapets at 119-121 and 131-133 Bedford Street.

Describe the proposed materials

All existing brick and cast stone masonry will be rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation and Preservation. Areas of masonry and mortar deterioration will be repointed with a mortar mix consistent with the original. Where masonry is too damaged for repair or brick units are cracked or missing, new cast stone or brick will match the original as closely as possible. Masonry cleaning using the gentlest means possible will be undertaken in areas of repair and repointing.

The concrete foundation walls and front concrete stair and wrought metal railings will be retained and repaired in accordance with the Secretary of the Interior's Standards for Rehabilitation and Preservation. In limited areas where masonry is too damaged for repair, new concrete will match the existing as closely as possible. The wrought metal railings will be resecured to the stairs, gently cleaned, and repainted black to match the existing.

The painted brick on the rear and side elevations will be scraped, repaired, and repainted.

Analysis of the rear balconies determined that the structure is significantly compromised and unsafe. The existing balconies will be removed, and new balconies will be constructed within the footprint of the existing. A copy of the structural report is enclosed.

New reinforced concrete footings and piers will be installed, and the existing concrete foundations will be retained and topped by a new reinforced concrete cap. The new balconies will be framed with pressure treated lumber and have steel railings matching the existing.

Vents will be installed on the side elevations to exhaust new boilers to be installed within the basement and new bathroom exhaust fans to be installed within the units. Vents will be painted to match the color of the surrounding brick and will be minimally visible from the public right-of-way.

The windows at the front elevations will be removed and replaced with historically-appropriate, lightly-colored, double-pane hung aluminum sash with interior screens, exterior applied muntins, and non-reflective internal spacer bars.

The windows at the side and rear elevations will be removed and replaced with lightly-colored, double-pane hung aluminum sash with interior screens. The proposed windows will have a one-over-one configuration, which has been approved by the National Park Service on similar residential rehabilitation projects.

New security grilles will be installed at the basement windows.

The metal storefront system at the main entrances will be removed and replaced with new historically-appropriate, lightly-colored aluminum storefront systems. These will consist of a rectangular half-light, one-panel door flanked by half-light paneled sidelights and surmounted by a three-part transom.

The flush metal doors in the balcony entrances on the rear elevations will be removed and replaced with new half-light

aluminum doors.

The existing BUR rolled asphalt roofing systems will be removed.
New fully-adhered EPDM roofing system will be installed.

A ramp will be constructed between 119-120 and 123-125
Bedford Street and 127-129 and 131-133 Bedford Street to
facilitate an accessible means of entry in accordance with ADA
requirements. The ramp will be of wood-frame construction with a
six-inch reinforced concrete ramp slab at the east end. The ramp
will have a vertical galvanized steel balustrade, round galvanized
steel handrails, and round galvanized steel toprails.

The existing clay tile coping on the parapet walls at 119-121 and
131-133 Bedford Street will be retained, repaired as needed, and
reinstalled.

The westmost window opening in bay five on the first floor of the
north elevation of 119-121 Bedford Street will be lowered to
accommodate a new ADA accessible entrance. The cast stone
and brick masonry units beneath the window will be carefully
removed, and a new two-panel aluminum door will be installed.

Hardships and Reason for Hardships

Is this an owner-occupied principal residence?

No

Is this a non-owner occupied residential building containing six (6) or fewer dwelling units?

Yes

Is this a commercial and industrial building?

No

Is this a request for demolition where there is no feasible and prudent alternative to demolition?

No

Other Payment Required

Green Infrastructure Fund Amount

-

City Tree Fund Amount

-

Complete Street Fund Amount

-

Describe Reason for Payments

-

Reason for Request

Reason for Request

-

Recommendation

Recommendation

-

Adverse Impacts on Neighboring Lands Suitability as Presently Zoned

-

-

Consistency with POCD

-

This is a dynamic label.

PLNG_COA_DIGEPLAN

Enhanced Doc List

Reason for Hardship

Cost of historic preservation recommendations:

Economic circumstances of the applicant: Lack of availa

Impact of the historic preservation recommendations on the district as a whole and on property value

Dates and Notices

Application Received	Open Hearing Deadline	Close Hearing Deadline
Decision Deadline	Extensions Requested?	If yes, describe how the dates abc
Notice sent to NRZ/CRCOG	Legal Ad #1	Legal Ad #2
Sign Affidavit Received	Certificate of Mailings Returned	Notice of Decision Published
Recordation Date	Approval Expiration Date	Sign Deposit Check #
Sign Deposit Date Received	Sign Deposit Check Amount	Public Hearing Date
Public Hearing Time	Meeting Link or Location	Document Link

Certificate of Compliance

As-Built Drawing Date	Type of Bond	Escrow Account #
Bonding Company Name	Bonding Contact Name	Bonding Primary Phone #
Bonding Email	Drawings Number of Sheets	Drawings Last Revised

Prior Approvals

Type of Permit/Authorization	Issued By	Issued Date	Expiration Date
Other State Permit	CTSHPO - CTHRTC Part 1 Approvals	10/11/2022	
Other State Permit	CTSHPO - CTHRTC Part 2 Conditional Approvals	11/22/2022	
Other State Permit	NPS - HPCA Part 1 Approvals	04/22/2022	
Other State Permit	NPS - HPCA Part 2 Conditional Approvals	12/30/2022	

Resolution Clauses

Type Comment

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Intake	Alexander Castro			
	Planning and Zoning Re...				
	Public Notice				
	Historic Commission				
	Notice of Decision				
	Appeal Period				
	Permit Issuance				
	Permit Status				
	Certificate of Plannin...				
	Case Complete				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
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Application Comments:	View ID	Comment	Date
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Initiated by Product: ACA

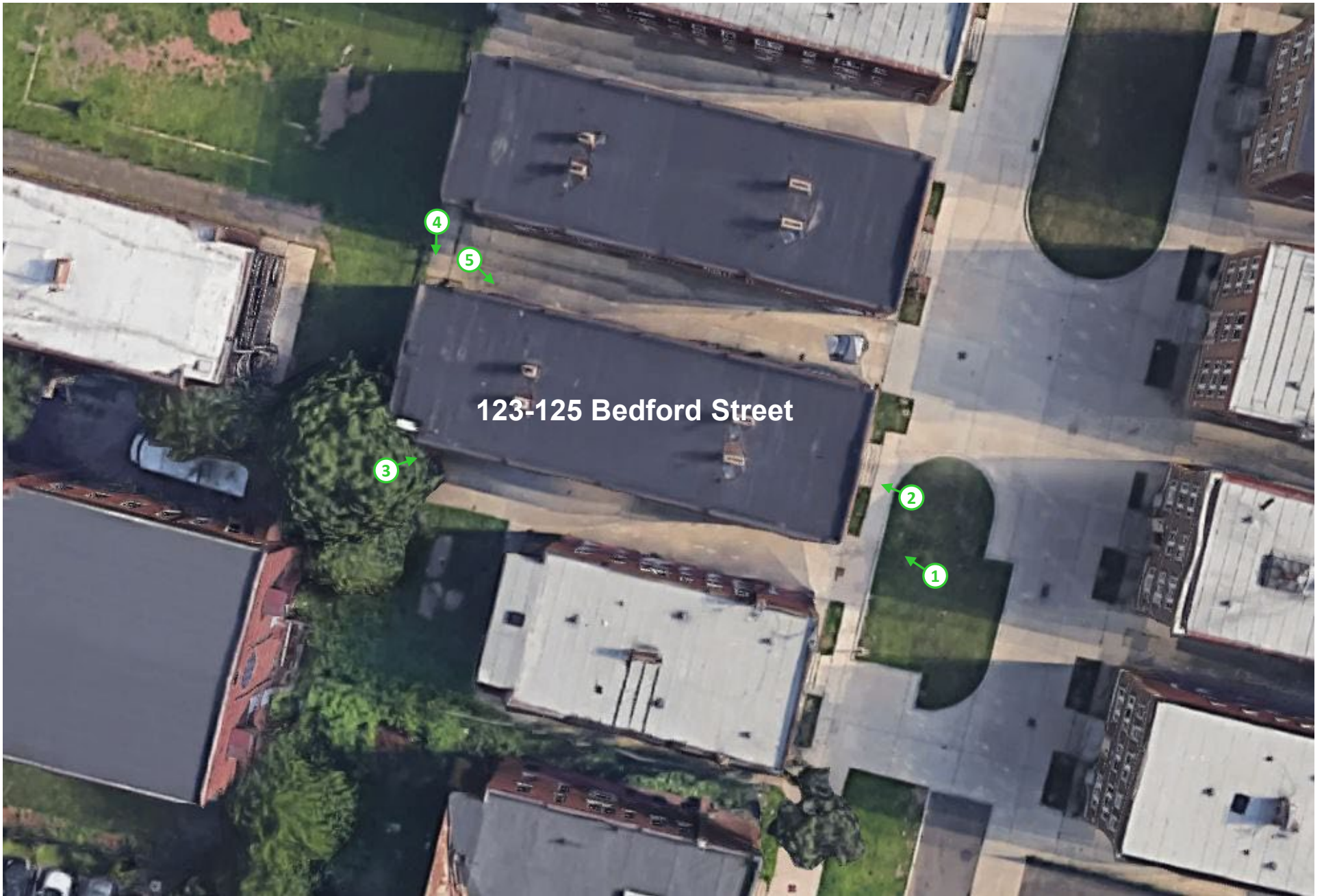
Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments
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119-121 Bedford Street, Hartford, CT 06120



123-125 Bedford Street, Hartford, CT 06120



127-129 Bedford Street, Hartford, CT 06120



131-133 Bedford Street, Hartford, CT 06120





135-137 Bedford Street, Hartford, CT 06120



1. Façade (east elevation)



2. Main entrance



3. Façade (east) and side (north) elevations



4. Side (north) elevation



5. Rear (west) elevation



6. Side (south) elevation



1. Façade (east) elevation



2. Main entrance



3. Side (south) elevation



4. Rear (west) elevation



5. Side (north) elevation



1. Façade (east) elevation



2. Main entrance



3. Facade



4. Side (south) elevation



5. Rear (west) elevation



6. Side (north) elevation



7. Side (north) and façade (east) elevations



131-133 Bedford Street

131-133 Bedford Street, Hartford, CT 06120





1. Façade (east) elevation



2. Façade (east) and side (south) elevations



3. Side (south) elevation



4. Rear (west) elevation



5. Rear (west) elevation and yard



6. Side (north) elevation



7. View towards pedestrian path along side (north) elevation

Consultant:



Revision:

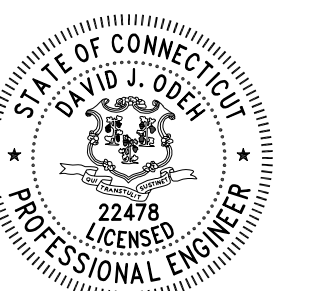
Architect of Record:

Drawn: KLM, JDZ

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
 Hartford, CT

Sheet Name:

RAMP PLANS & DETAILS

NOT FOR CONSTRUCTION
 FOR PERMIT ONLY

Project Number:

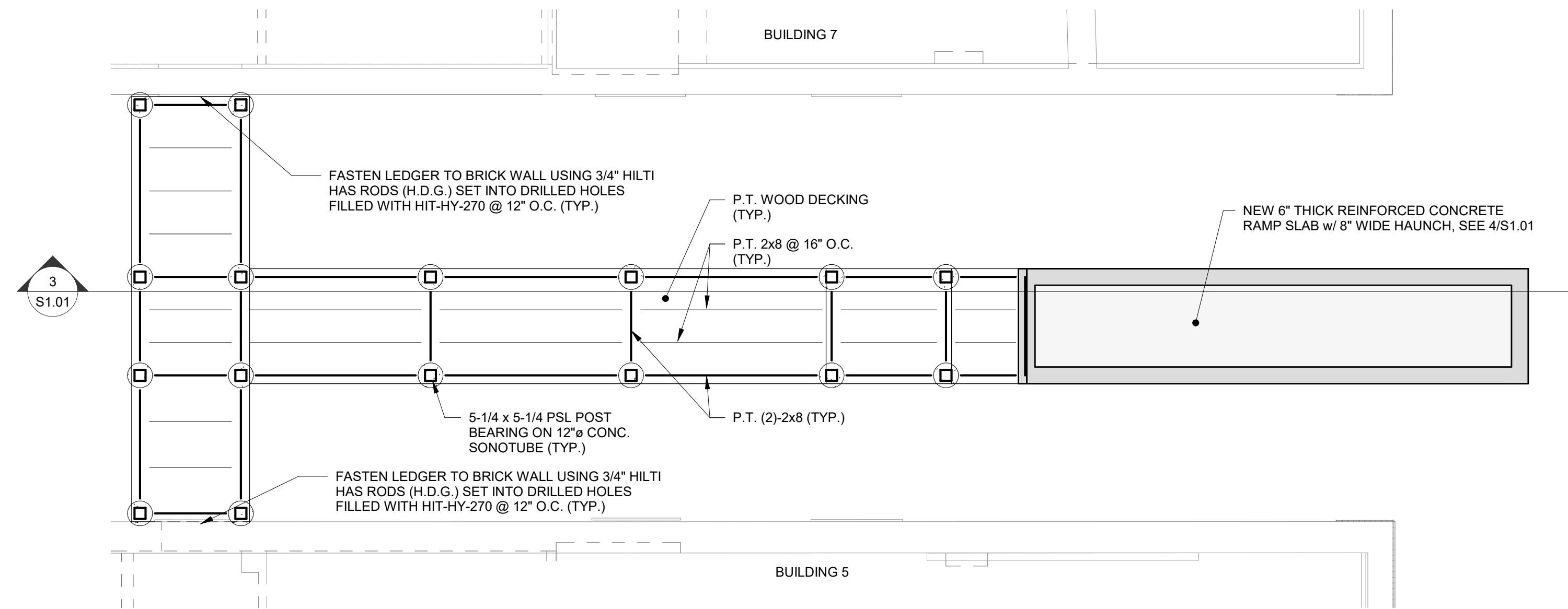
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Issue Date:

08/11/2023

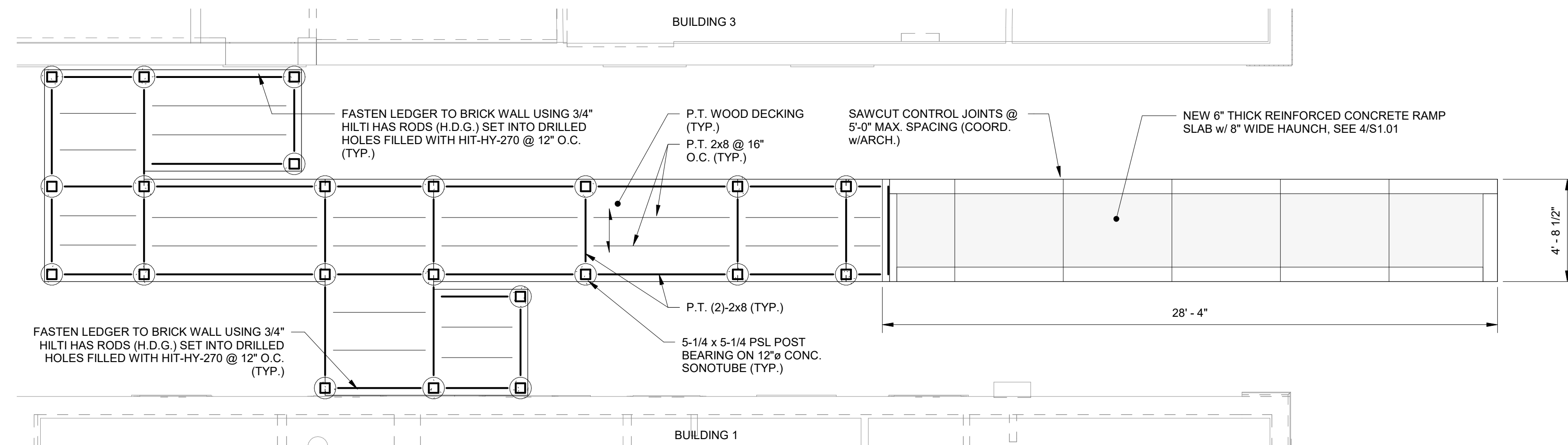
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S1.01



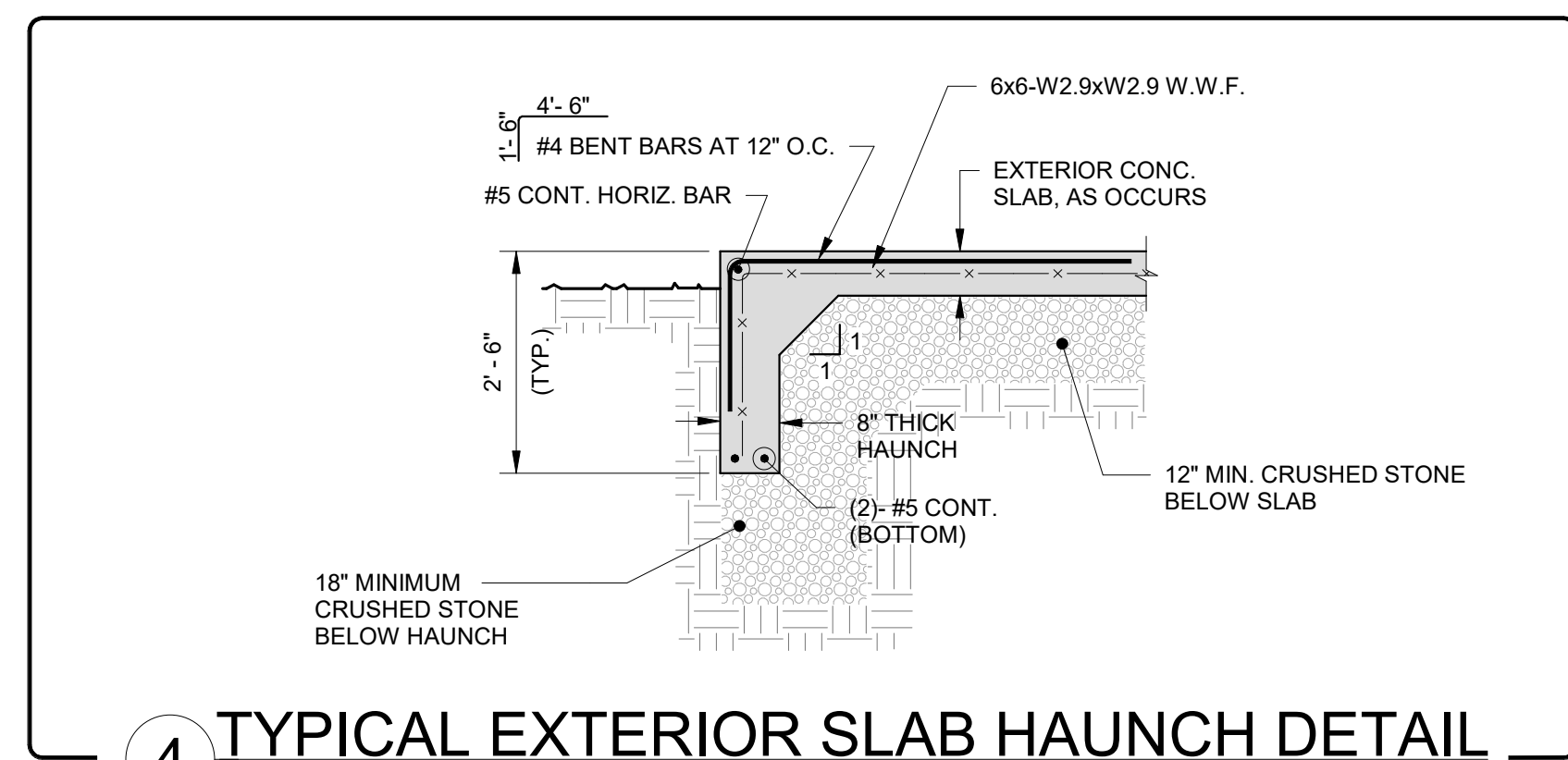
1 PROPOSED EXTERIOR RAMP BETWEEN BUILDINGS 5 & 7

SCALE: 1/4" = 1'-0"



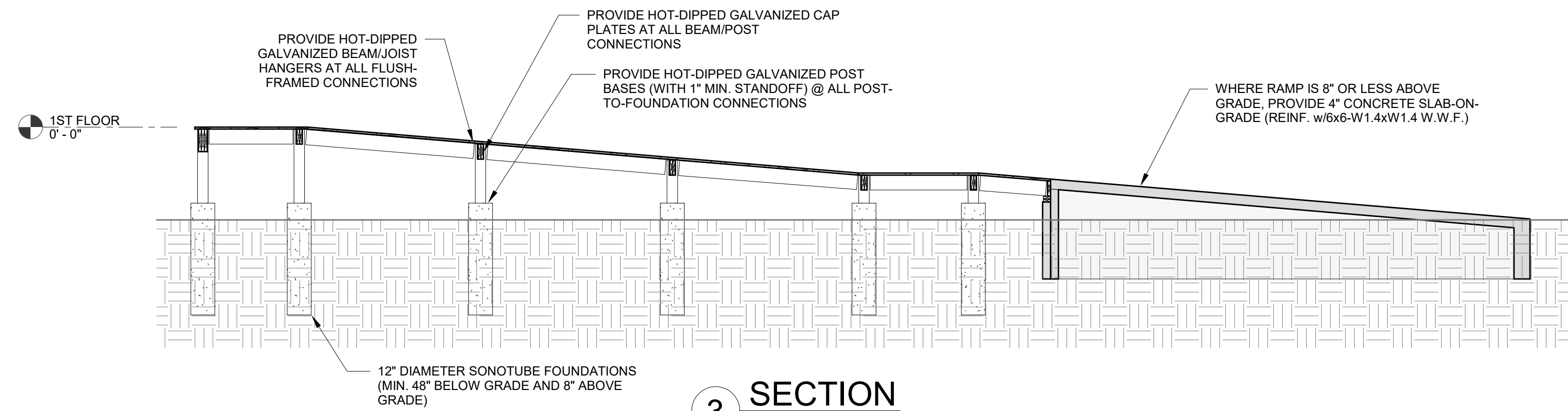
2 PROPOSED EXTERIOR RAMP BETWEEN BUILDINGS 1 & 3

SCALE: 1/4" = 1'-0"



4 TYPICAL EXTERIOR SLAB HAUNCH DETAIL

NO SCALE



3 SECTION

SCALE: 1/4" = 1'-0"

COORDINATE ALL RAILING DETAILS & REQUIREMENTS WITH THE ARCHITECT

Consultant:



Revision:

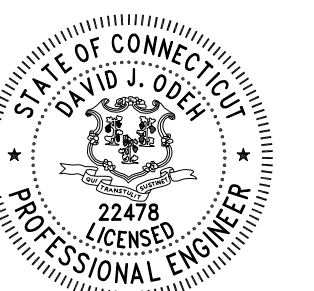
Architect of Record:

Drawn: KLM, AS

Checked: DJO

Scale: 1/4" = 1'-0"

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

TYPICAL BALCONY STRUCTURAL FRAMING PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

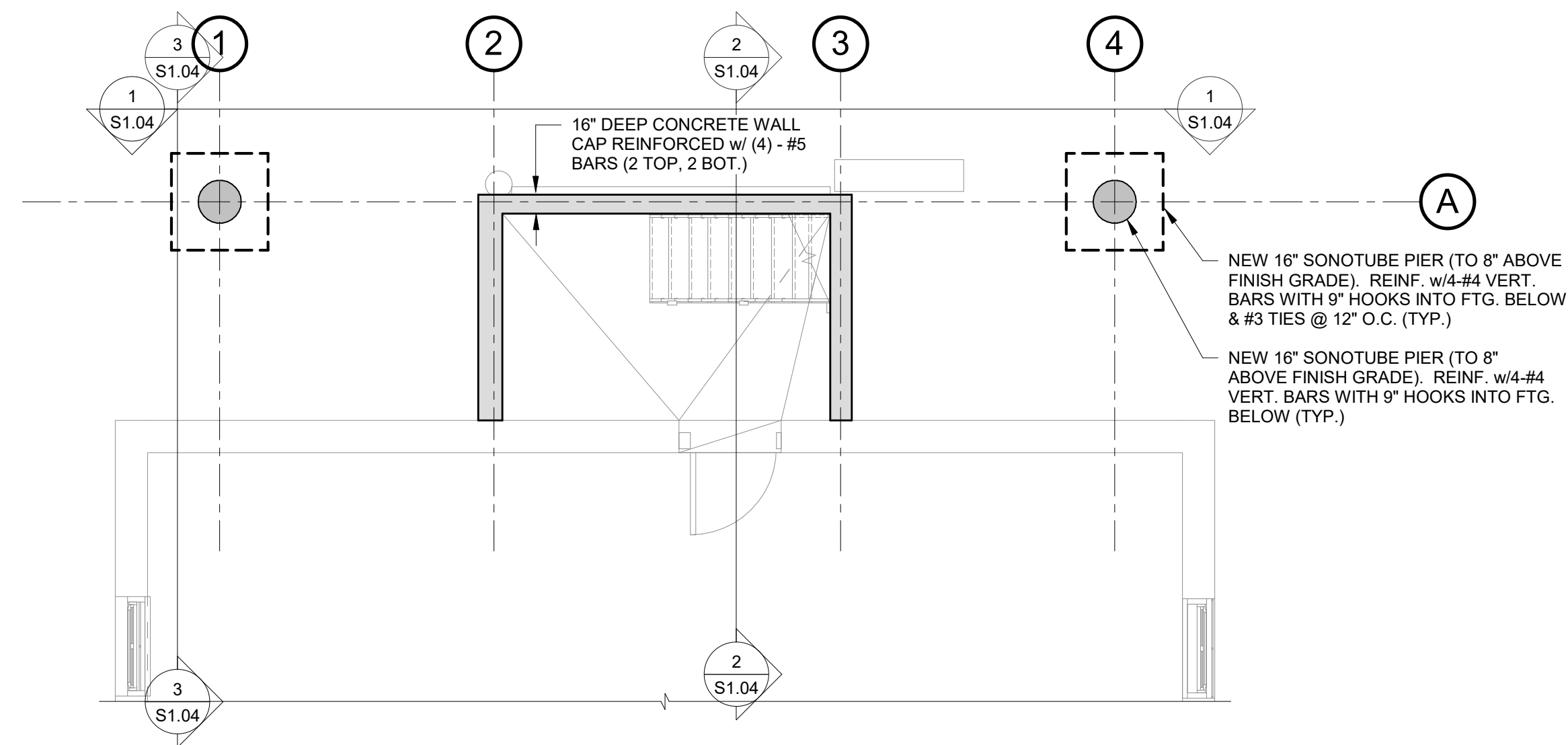
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Issue Date:

MM/DD/YY

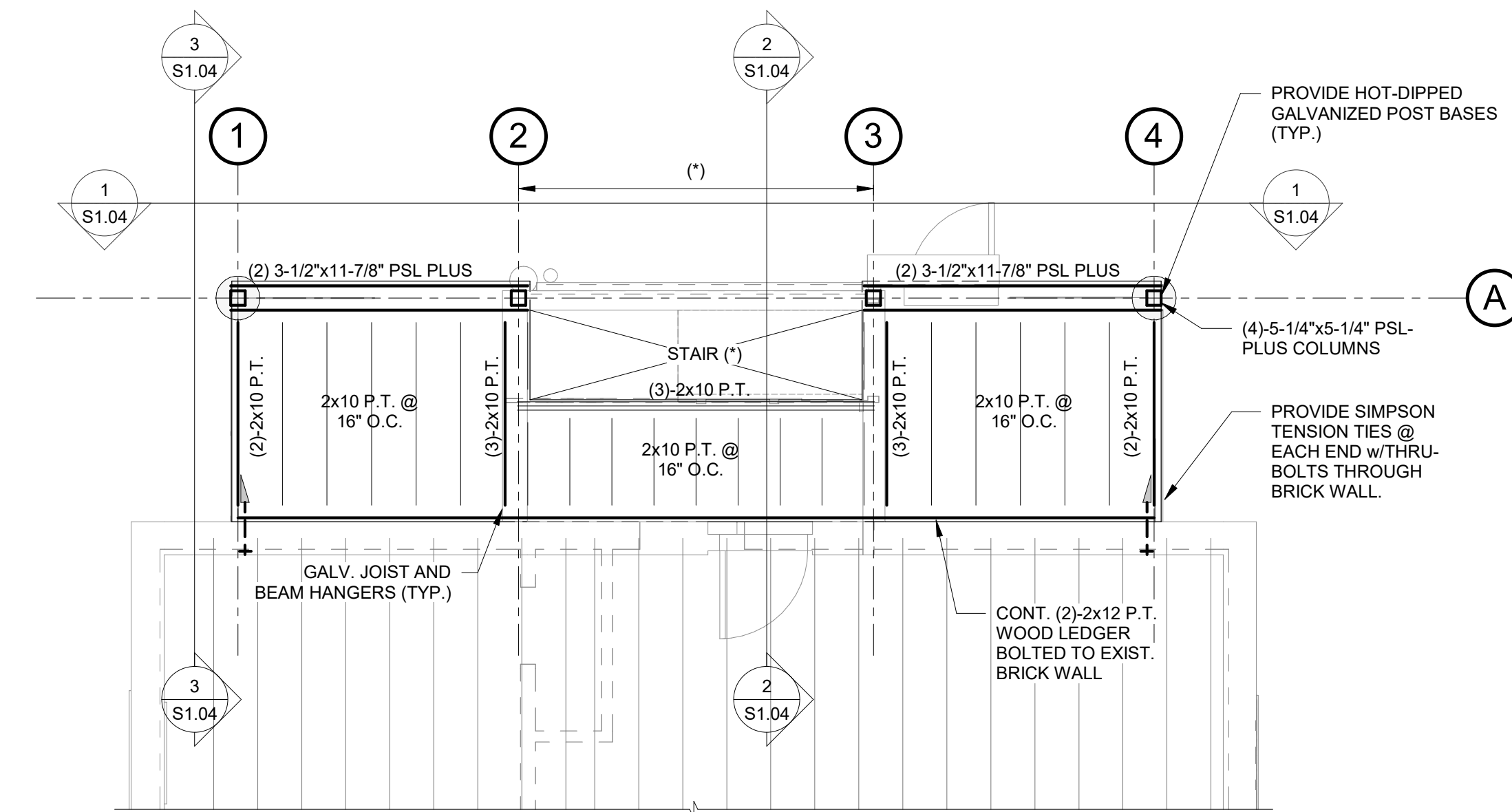
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S1.02



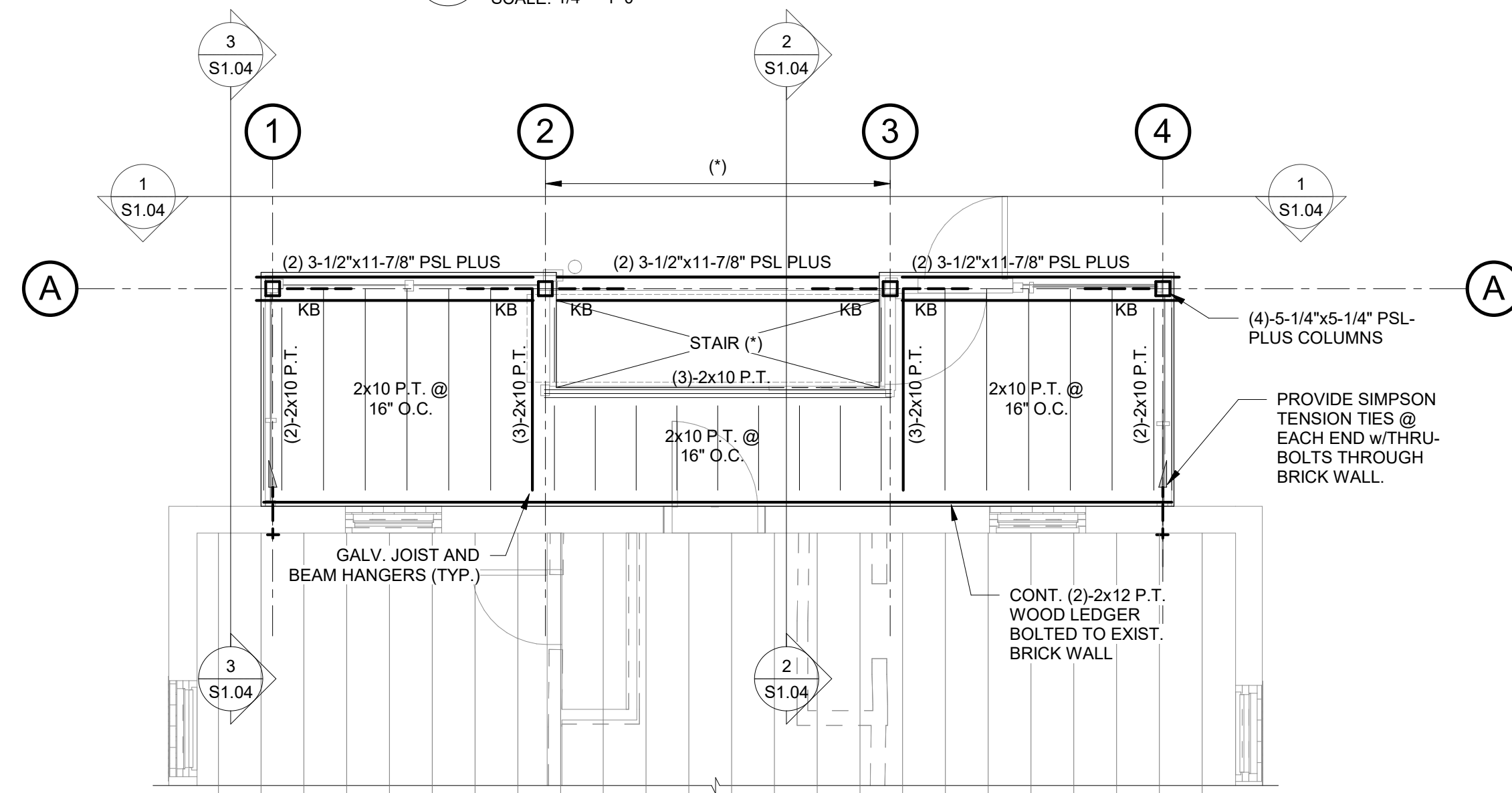
1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"



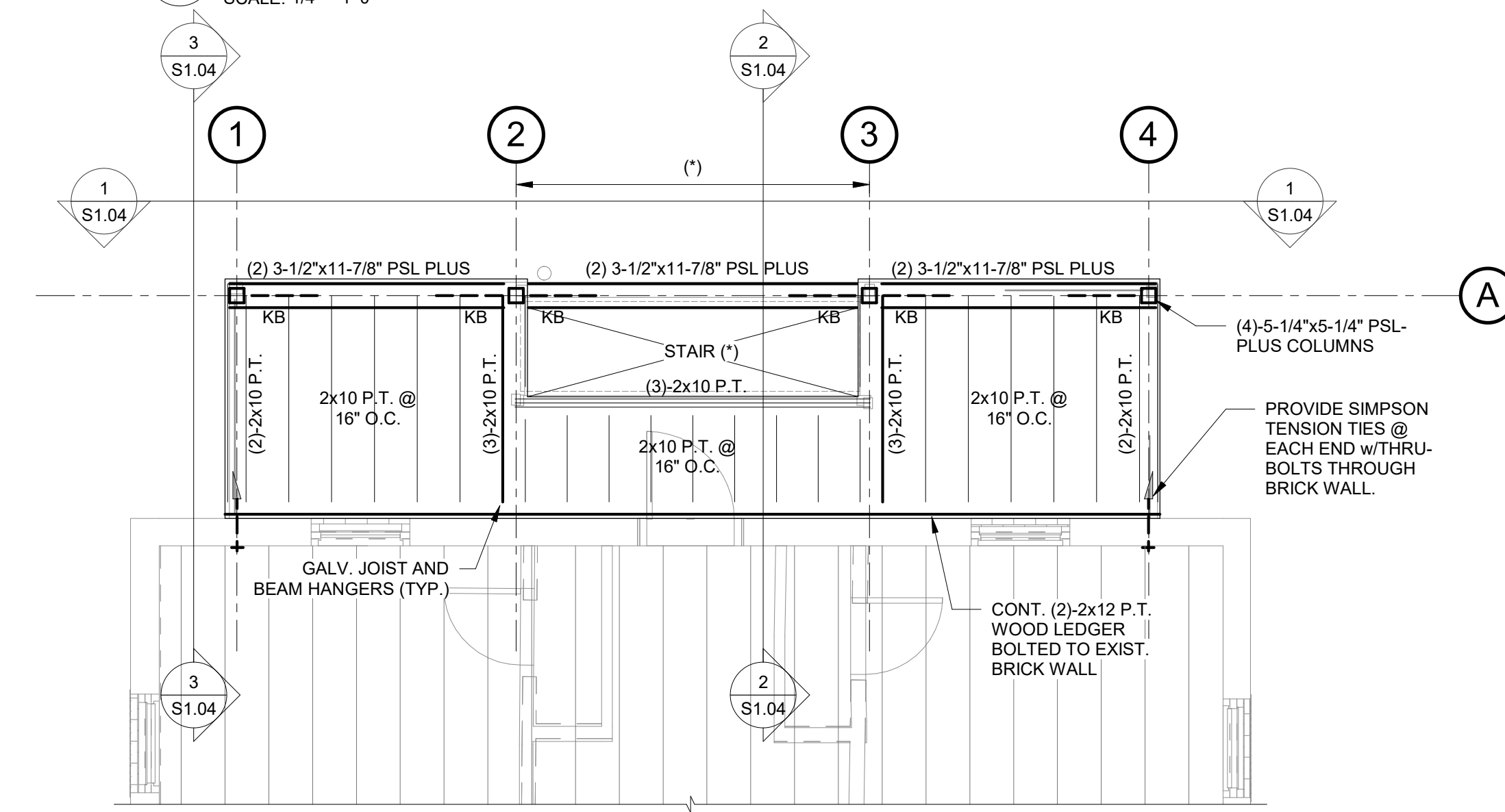
2 BALCONY GROUND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



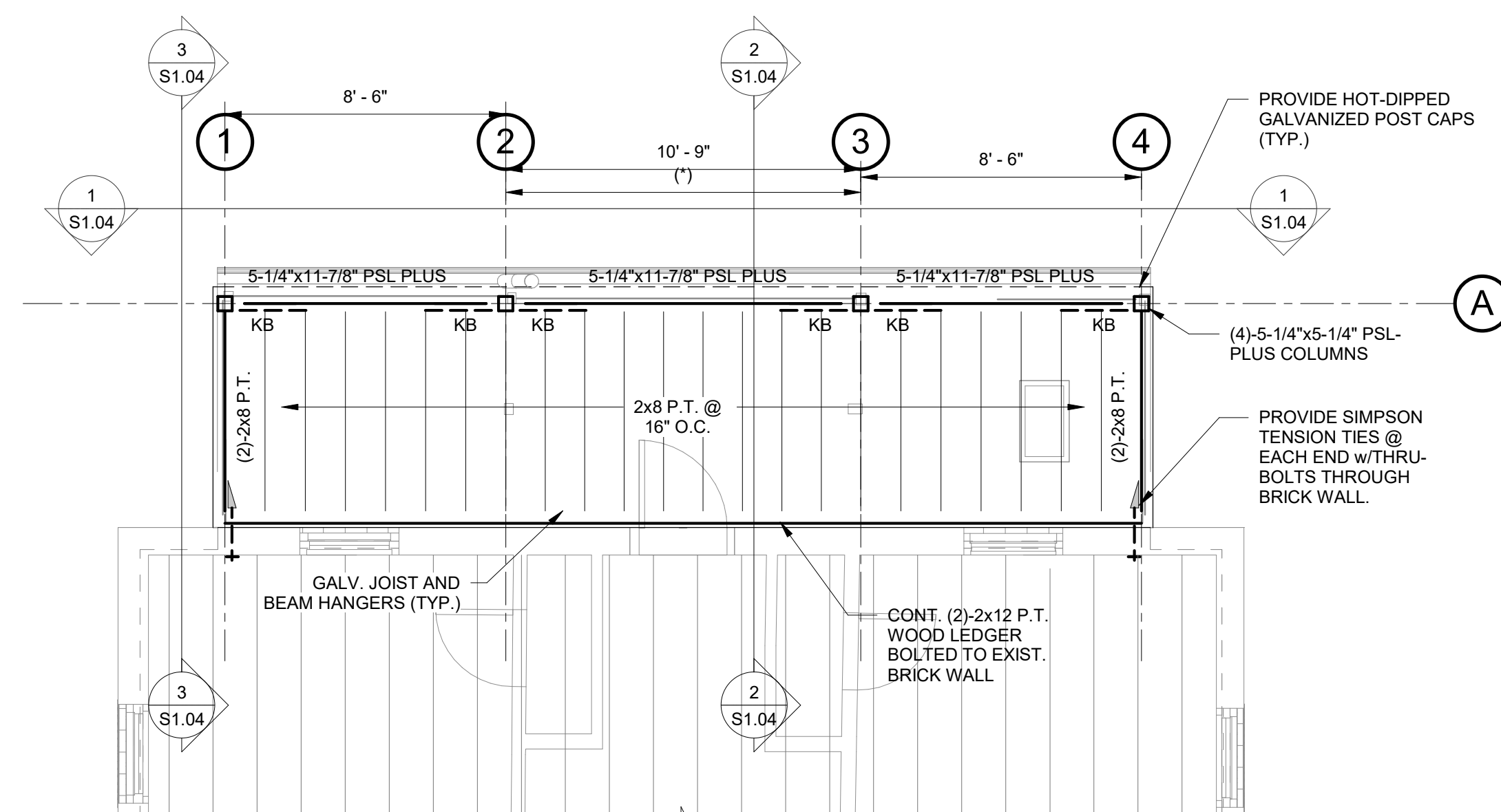
3 BALCONY SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



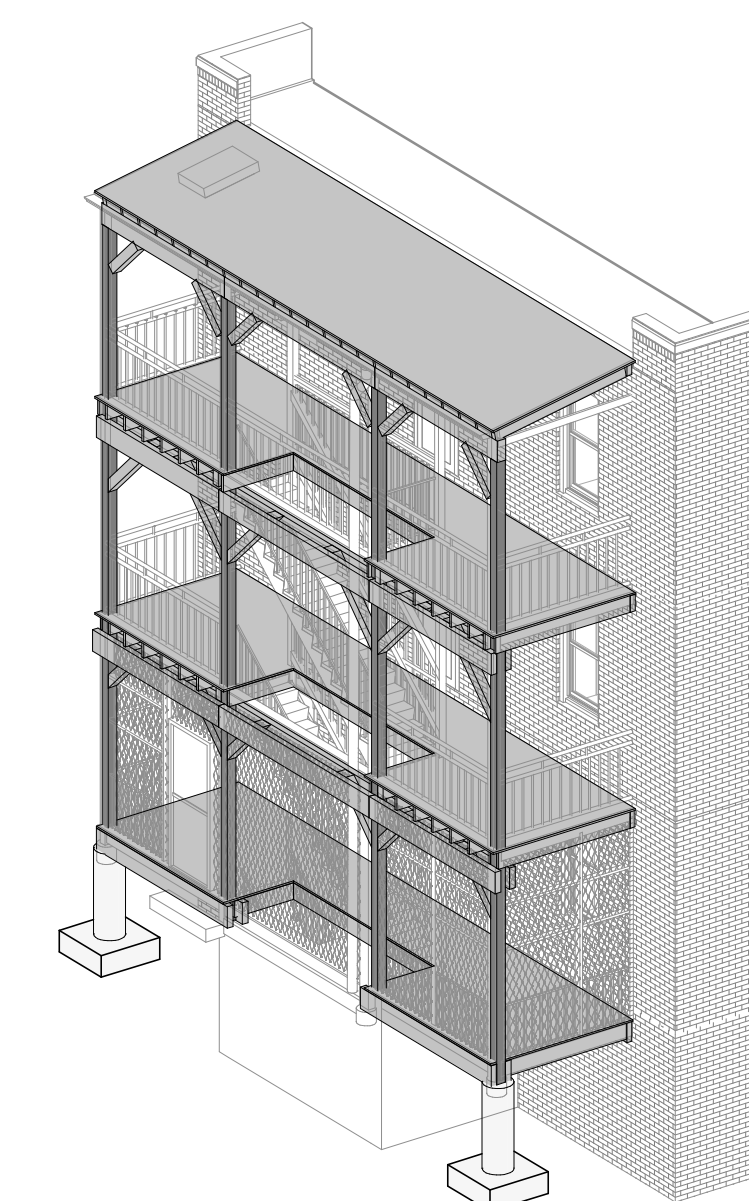
4 BALCONY THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



5 BALCONY ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



6 3D VIEW

N.T.S.

NOTES:

- (*) - STAIR CLEAR OPENING BY ARCH. SPACING BETWEEN GRIDS 2 AND 3 IS DEPENDENT ON STAIR WIDTH
- - - INDICATES 5 1/4" x 5 1/4" PSL PLUS KICKER BRACE

Consultant:

odeh
engineers
structural engineers | www.odehengineers.com

1223 Mineral Spring Avenue
North Providence, RI 02904
Phone: 401.724.1771
Fax: 401.724.1981

Revision:

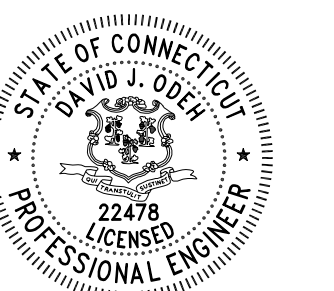
Architect of Record:

Drawn: KLM, AS

Checked: DJO

Scale: 1/4" = 1'-0"

Key Plan:



Project Name:
BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BALCONY FRAMING PLANS - BLDG 4

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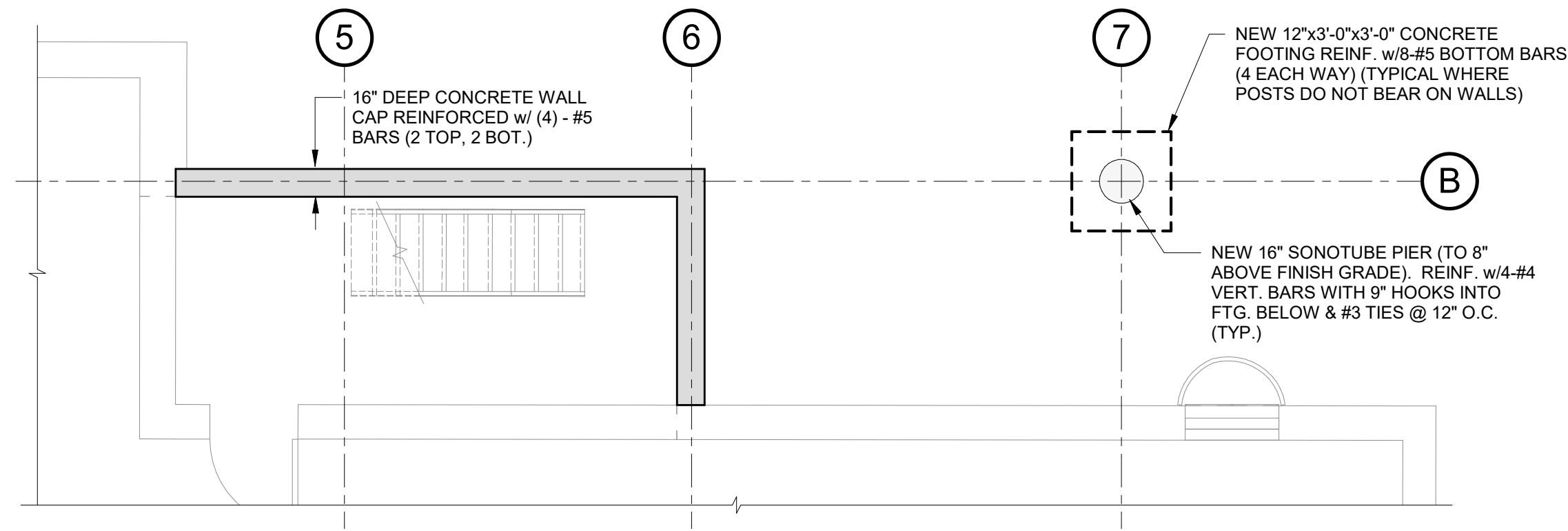
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Issue Date:

08/09/23

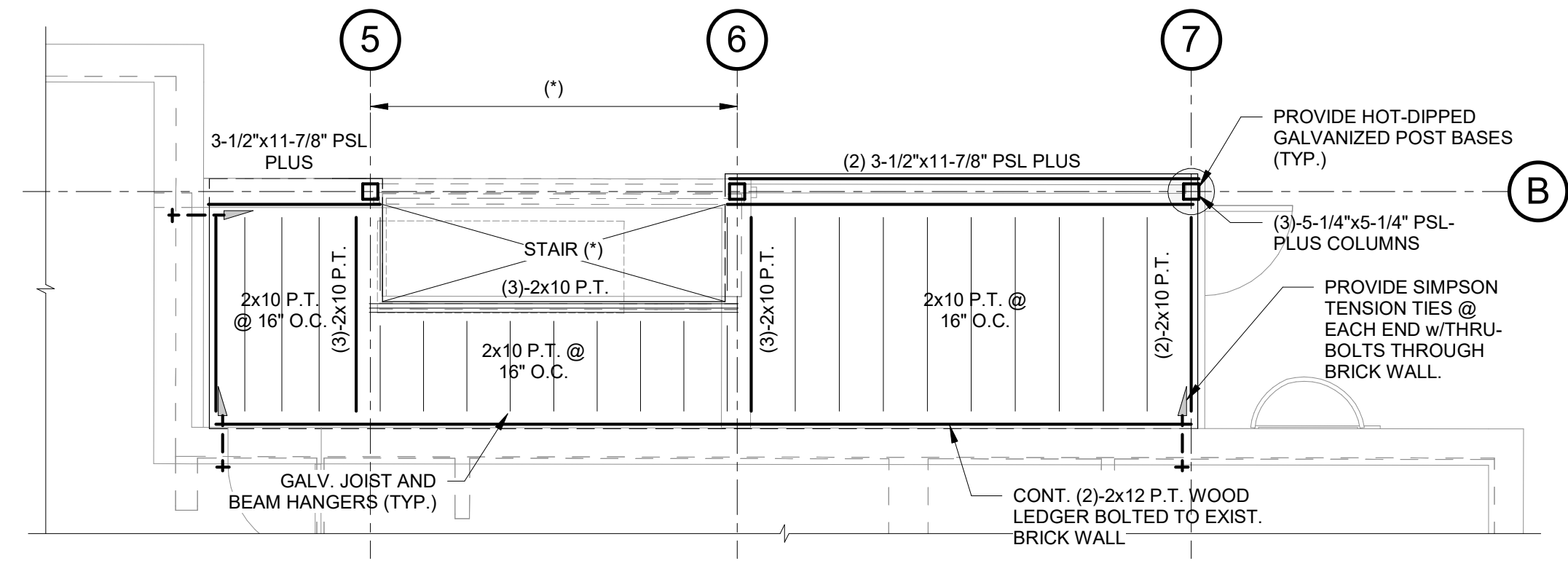
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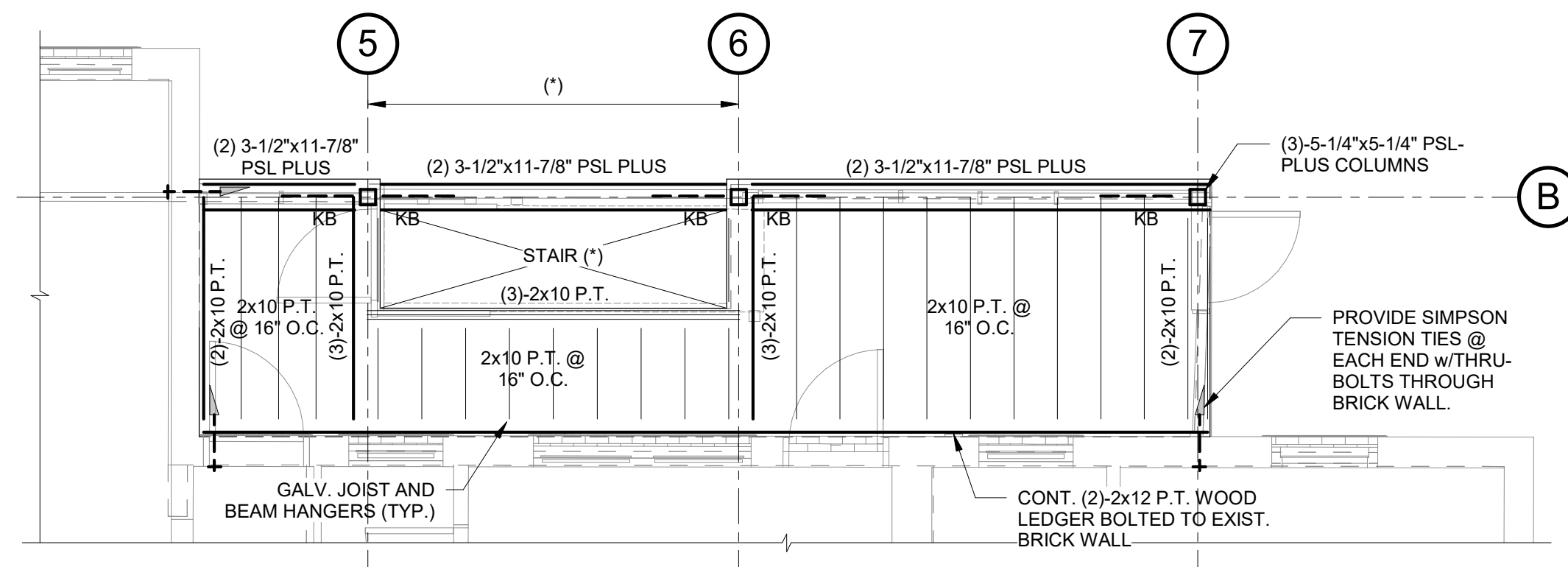
5 BASEMENT PLAN

SCALE: 1/4" = 1'-0"



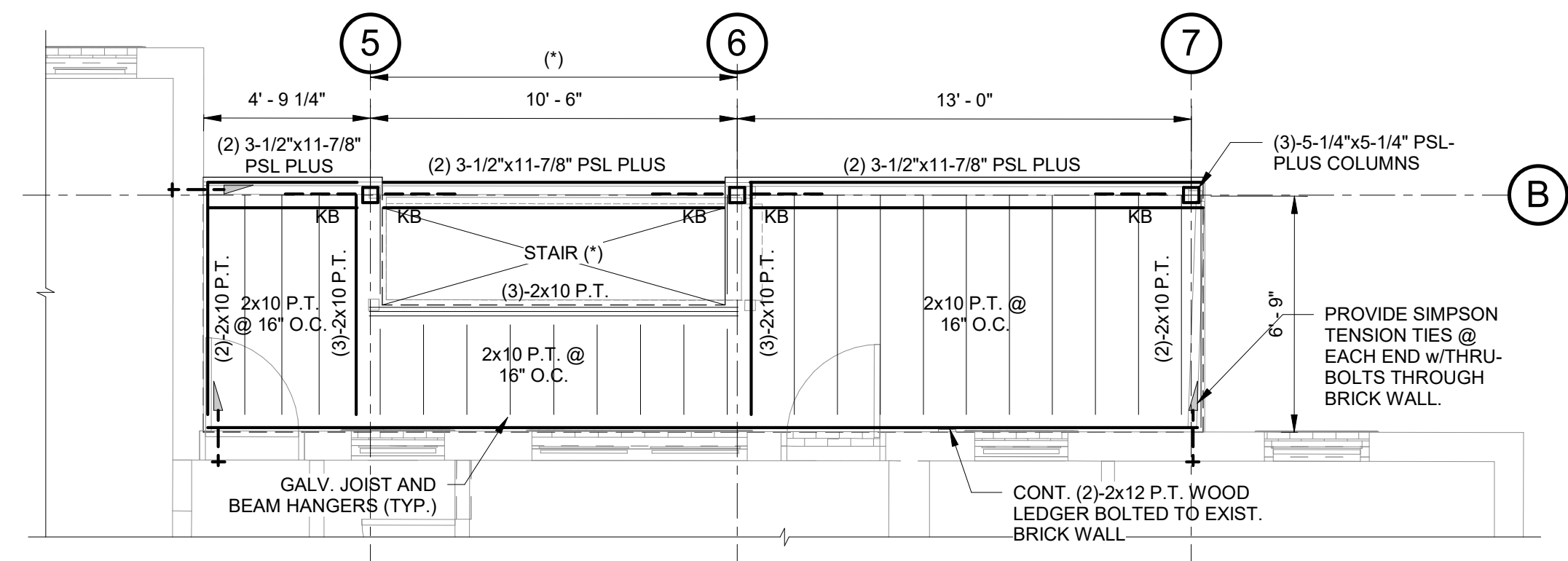
4 BALCONY GROUND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



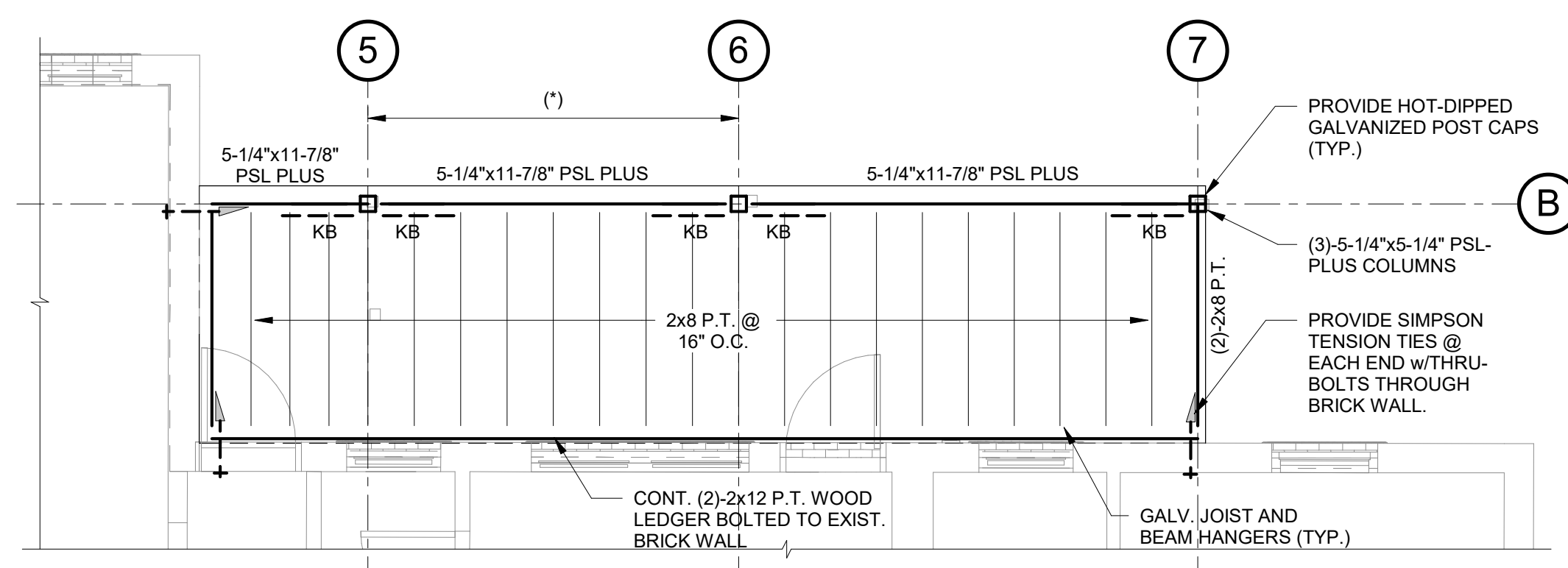
1 BALCONY SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



2 BALCONY THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

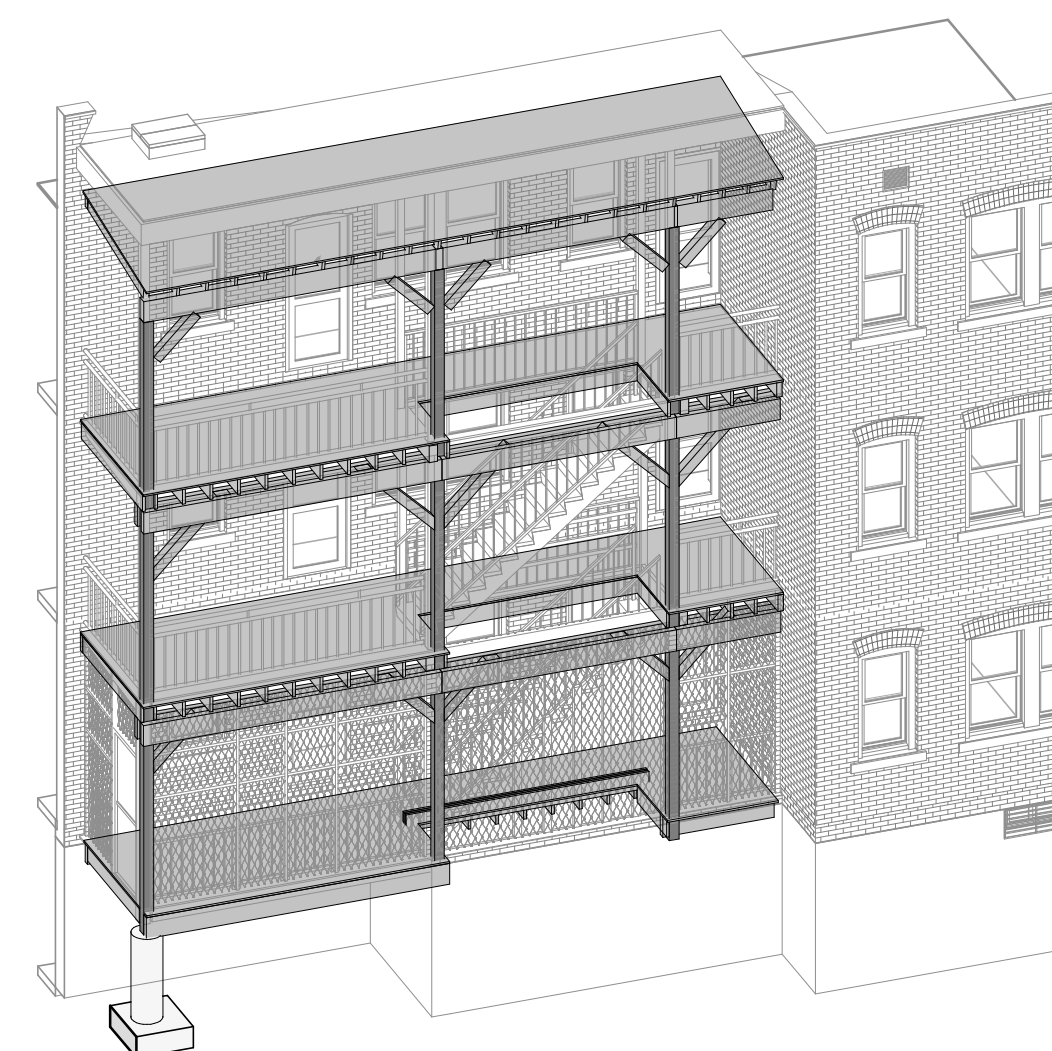


3 BALCONY ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

- (*) - STAIR CLEAR OPENING BY ARCH. SPACING BETWEEN GRIDS 5 AND 6 IS DEPENDENT ON STAIR WIDTH
- - - INDICATES 5 1/4 x 5 1/4 PSL PLUS KICKER BRACE



Consultant:



Revision:

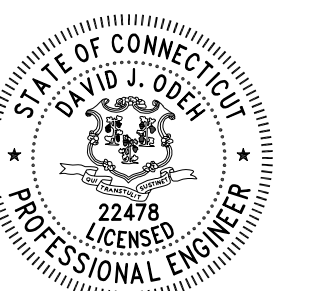
Architect of Record:

Drawn: KLM, AS

Checked: DJO

Scale: 1/4" = 1'-0"

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
 Hartford, CT

Sheet Name:

TYPICAL BALCONY FRAMING ELEVATIONS

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Project Number:

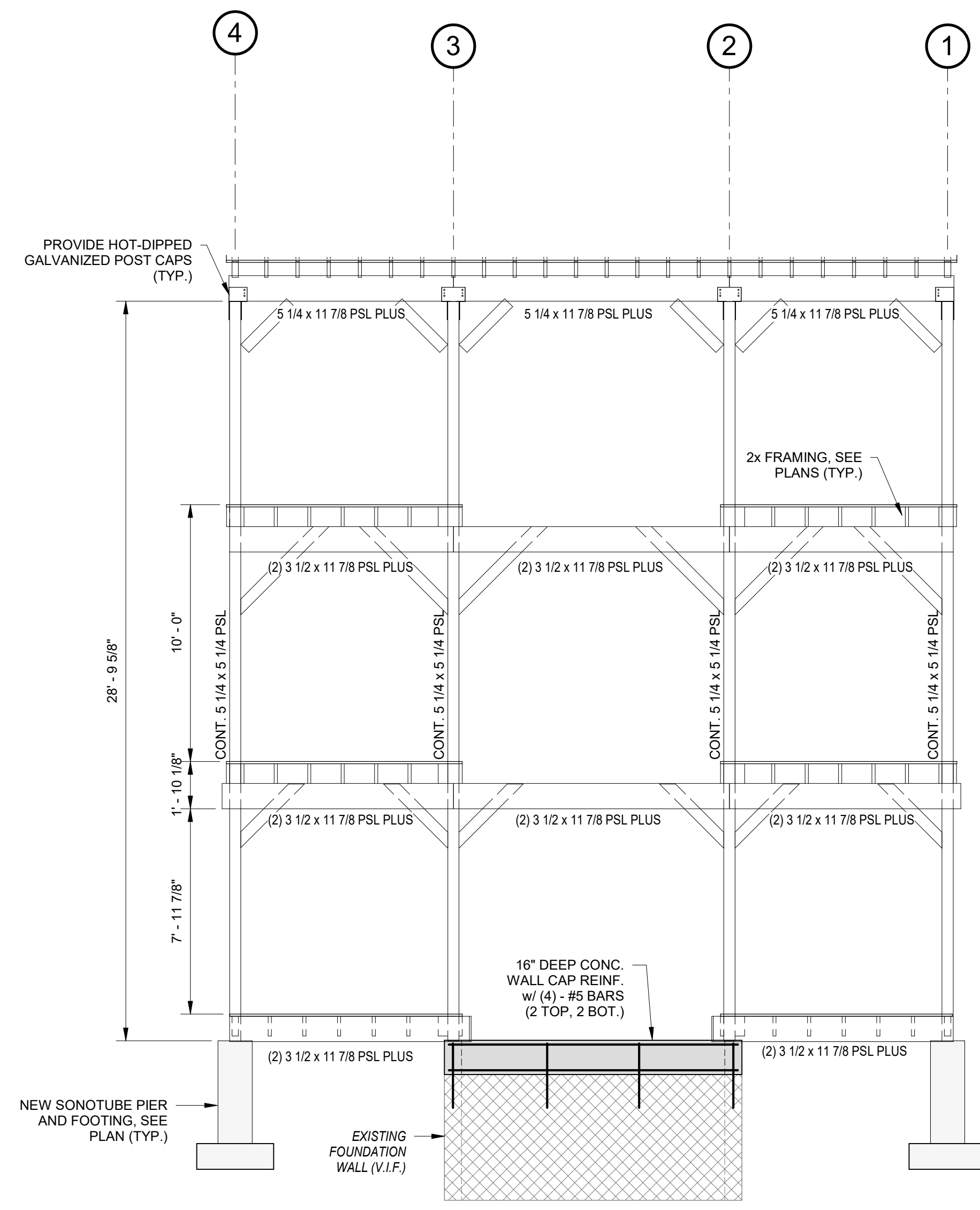
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Issue Date:

08/05/23

Sheet Number:

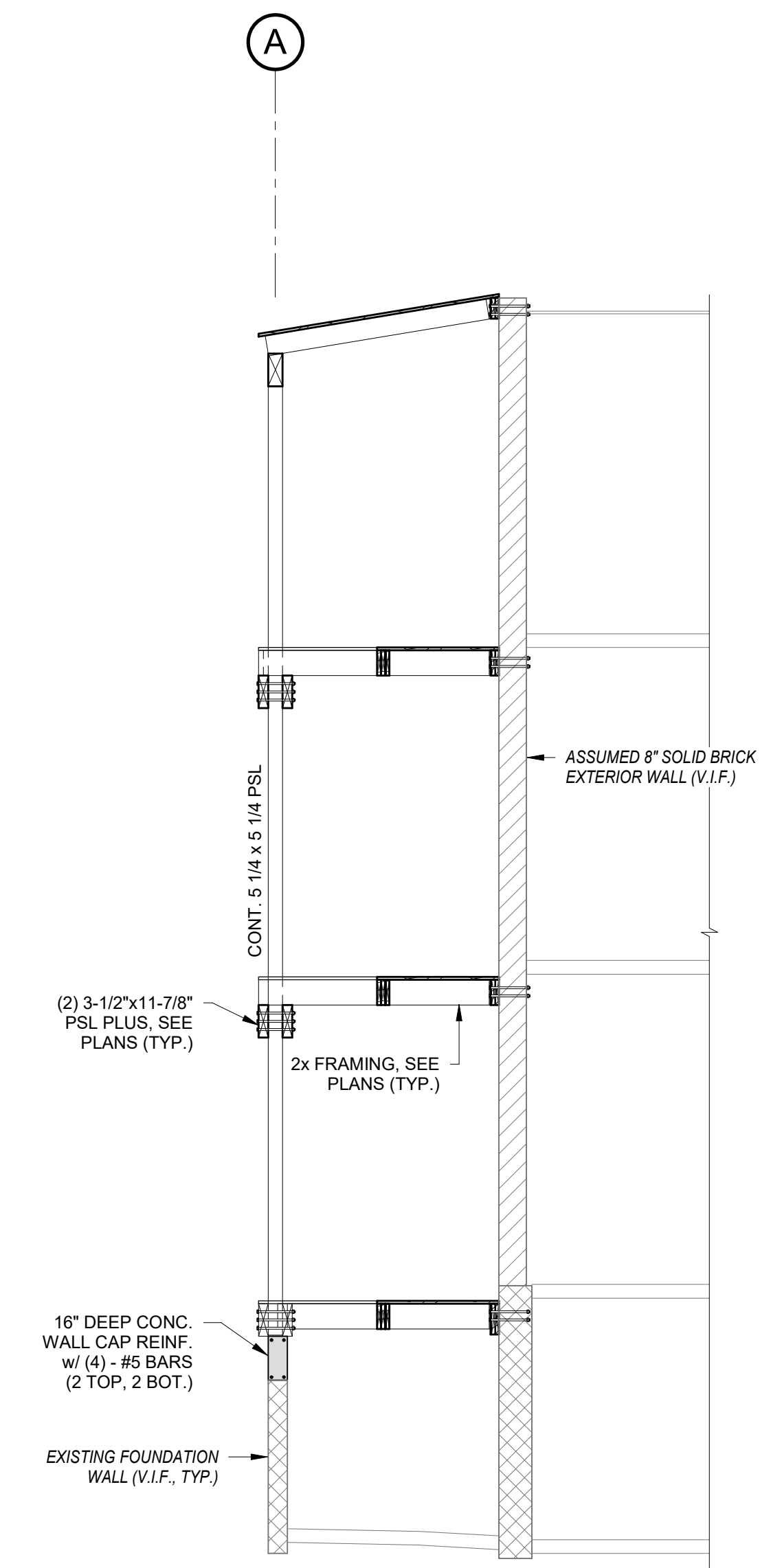
S1.04



TYPICAL PORCH FRAMING ELEVATION

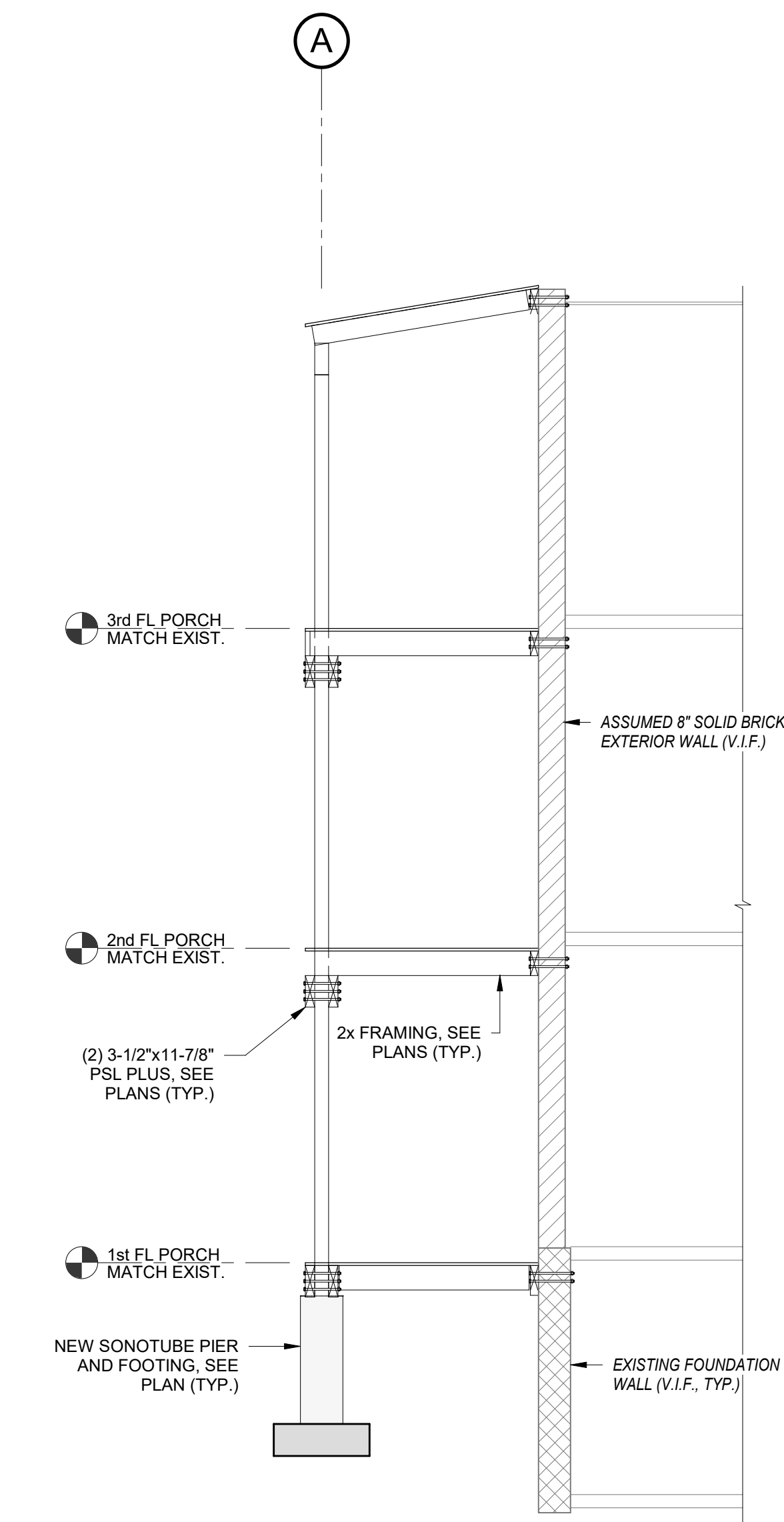
1 SECTION
 SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL LUMBER SHALL BE PRESSURE TREATED.
 2. ALL FOOTINGS SHALL BE SET A MINIMUM OF 48" BELOW GRADE.
 3. ALL FASTENERS AND CONNECTORS SHALL BE HOT-DIPPED GALVANIZED.
 4. ALL DIMENSIONS MUST BE COORDINATED WITH THE ARCHITECT AND EXISTING CONDITIONS.
 5. MINIMUM BEAM-TO-COLUMN CONNECTION SHALL BE (3)-3/4" THRU-BOLTS.
 6. MINIMUM KNEE BRACE TO COLUMN & KNEE BRACE TO BEAM CONNECTION SHALL BE (2)-3/4" THRU-BOLTS.
 7. ALL WORK INDICATED ON THIS DRAWING IS TYPICAL. ADJUSTMENTS SHALL BE MADE TO SUIT EACH BUILDING. COORDINATE WITH THE ARCHITECT.
 8. SEE ARCHITECTURAL DRAWINGS FOR ALL HANDRAIL, STAIR, AND ENCLOSURE REQUIREMENTS AND/OR DETAILS.



TYPICAL PORCH FRAMING SECTION

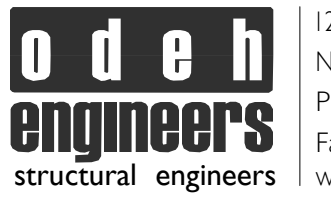
2 SECTION
 SCALE: 1/4" = 1'-0"



TYPICAL PORCH FRAMING END ELEVATION

3 SECTION
 SCALE: 1/4" = 1'-0"

Consultant:



1223 Mineral Spring Avenue
North Providence, RI 02904
Phone: 401.724.1771
Fax: 401.724.1981
www.odehengineers.com

Revision:

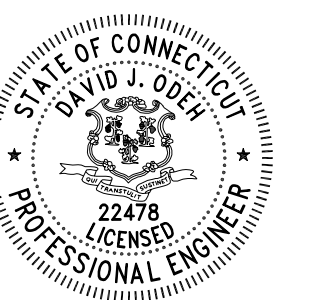
Architect of Record:

Drawn: Author

Checked: Checker

Scale:

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

TYPICAL STRUCTURAL DETAILS

FOR PERMIT ONLY

Project Number:

22020

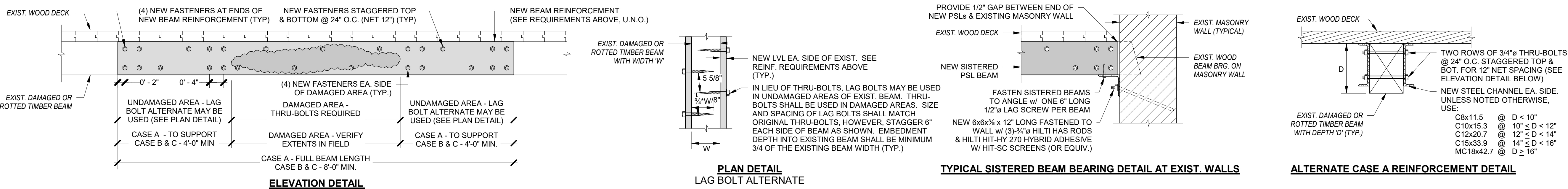
Issue Date:

08/11/23

Sheet Number:

S3.01

CASE	EXTENT OF DAMAGE	EXISTING BEAM TYPE I SINGLE JOIST LESS THAN 2 1/2" WIDE	EXISTING BEAM TYPE II JOIST OR BEAM 2 1/2" TO LESS THAN 6" WIDE	EXISTING BEAM TYPE III BEAM 6" TO LESS THAN 8" WIDE	EXISTING BEAM TYPE IV BEAM 8" TO LESS THAN 10" WIDE	EXISTING BEAM TYPE V BEAM 10" TO 14" WIDE
A <small>(USE FOR MAJOR DAMAGE OR FAILED BEAM)</small>	TYPICAL @ BEAM W/ GREATER THAN 50% LOSS IN STRUCTURAL CAPACITY					
	or					
	or FAILED END OF BEAM					
B <small>(USE FOR MODERATE DAMAGE)</small>	TYPICAL @ BEAM W/ 25% TO 50% LOSS IN STRUCTURAL CAPACITY					
	or					
	or FAILED END OF BEAM					
C <small>(USE FOR MINOR DAMAGE)</small>	TYPICAL @ BEAM W/ 10% TO 25% LOSS IN STRUCTURAL CAPACITY					
	or					
	or FAILED END OF BEAM					

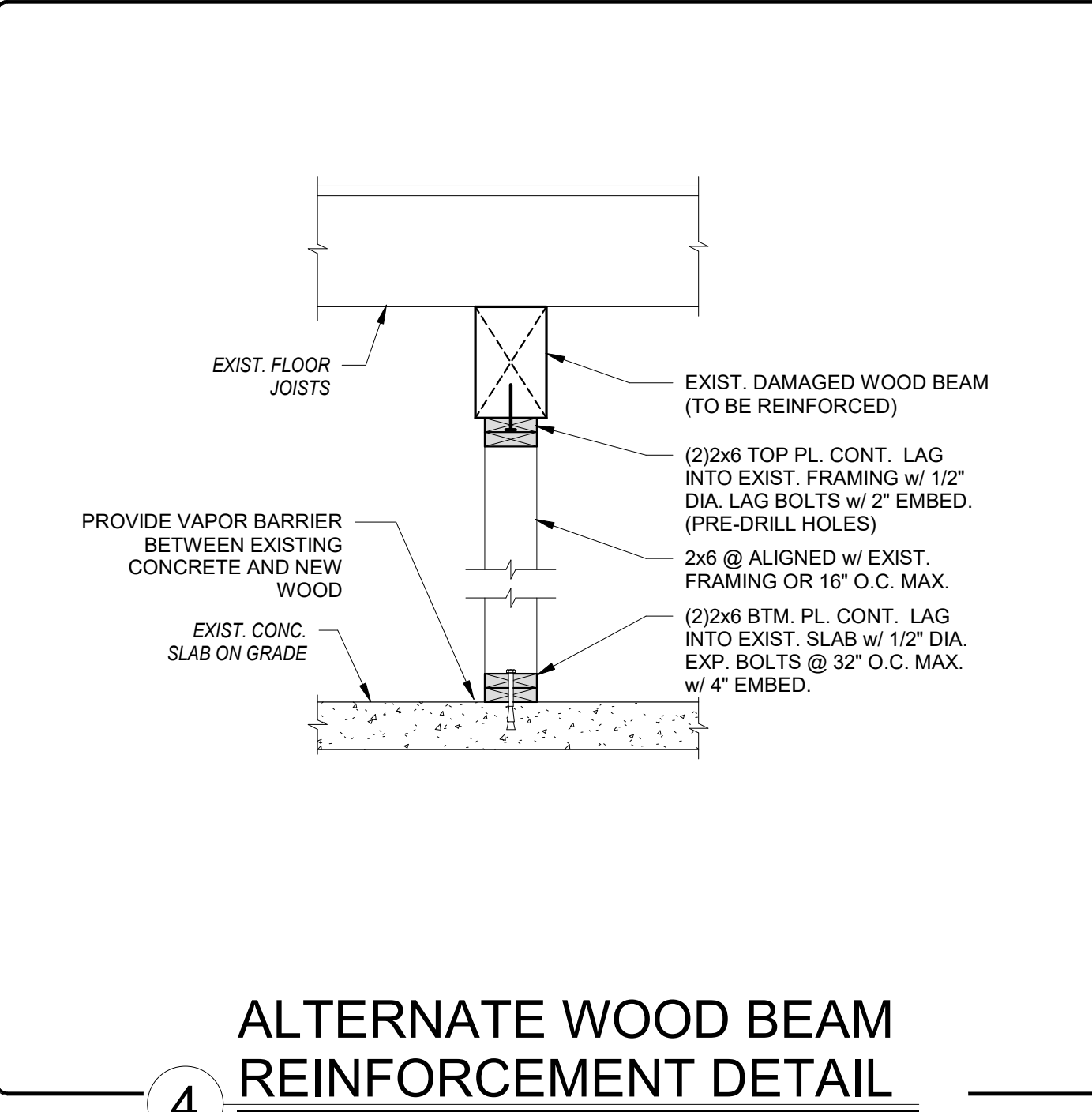


1 TYPICAL BEAM REINFORCEMENT DETAILS

NO SCALE

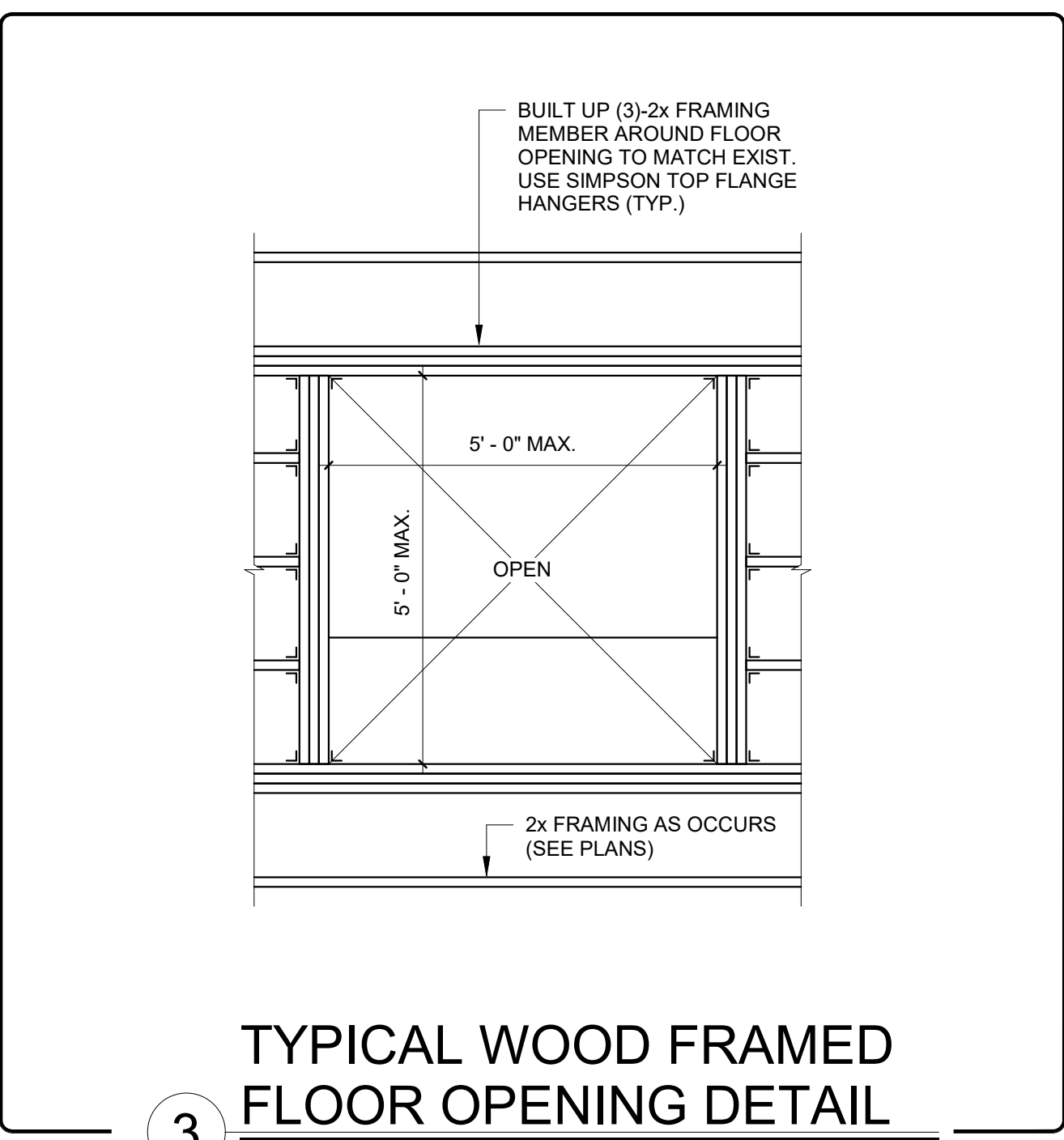
NOTES:

- REMOVE OR SANDBLAST ALL ROTTED WOOD MATERIAL AND SUBSTITUTE W/ LVL FILLER PIECES AS REQUIRED. BEAMS NOTED AS CASE 'A' MAY BE REMOVED AND REPLACED IN THEIR ENTIRETY WITH THE REINFORCEMENT SHOWN BASED ON THE EXISTING BEAM WIDTH.
- FOR BEAMS GREATER THAN 14" IN WIDTH, CONSULT THE STRUCTURAL ENGINEER FOR REINFORCEMENT DETAILS.



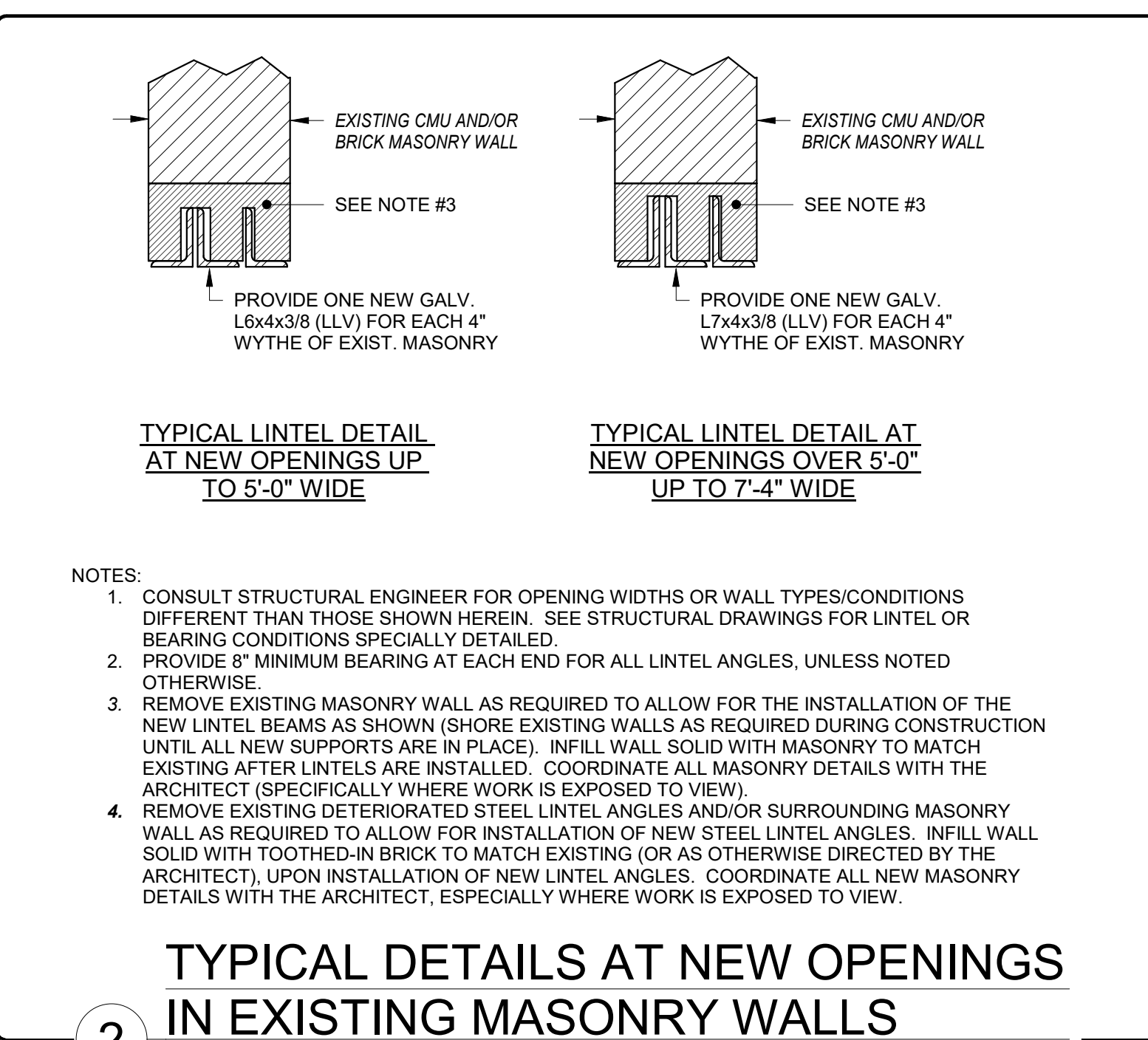
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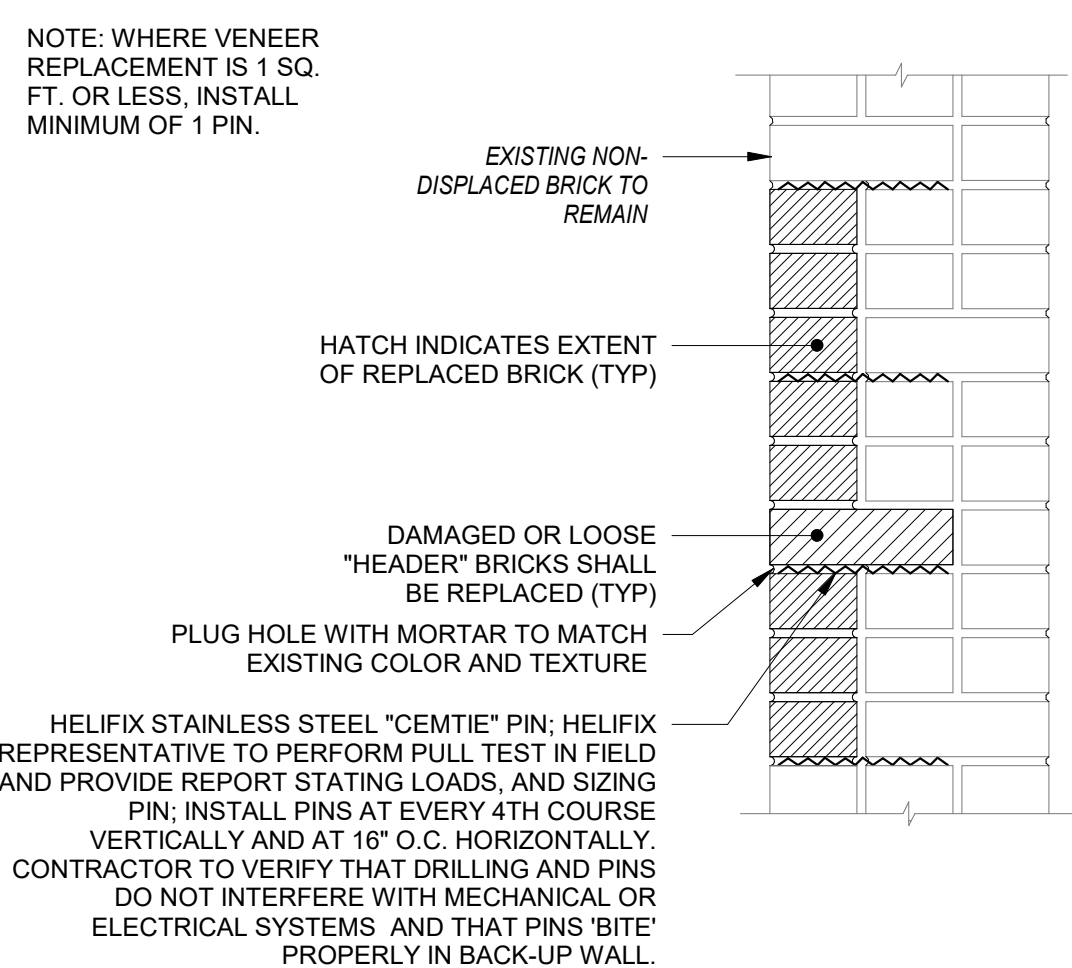
2

NO SCALE

- ALL REPAIR MORTAR LIME CONTENT SHALL MATCH EXISTING. PERFORM LIME CONTENT TEST PRIOR TO CONSTRUCTION.
- BRICK REMOVAL AND REPLACEMENT
 - REMOVE BRICKS THAT ARE DAMAGED, SPALLED, OR DETERIORATED. CAREFULLY DEMOLISH OR REMOVE ENTIRE UNITS FROM JOINT TO JOINT, WITHOUT DAMAGING SURROUNDING MASONRY, IN A MANNER THAT PERMITS REPLACEMENT WITH FULL-SIZE UNITS.
 - WHEN REMOVING SINGLE BRICKS, REMOVE MATERIAL FROM CENTER OF BRICK AND WORK TOWARD OUTSIDE EDGES.
 - SUPPORT AND PROTECT REMAINING MASONRY THAT SURROUNDS REMOVAL AREA. MAINTAIN FLASHING, REINFORCEMENT, LINTELS, AND ADJOINING CONSTRUCTION IN AN UNDAMAGED CONDITION.
 - NOTIFY ENGINEER OF UNFORESEEN DETRIMENTAL CONDITIONS INCLUDING VOIDS, CRACKS, BULGES, AND LOOSE MASONRY UNITS IN EXISTING MASONRY BACKUP, ROTTED WOOD, RUSTED METAL, AND OTHER DETERIORATED ITEMS.
 - REMOVE IN AN UNDAMAGED CONDITION AS MANY WHOLE BRICKS AS POSSIBLE*.
 - REMOVE MORTAR, LOOSE PARTICLES, AND SOIL FROM BRICK BY CLEANING WITH HAND CHISELS, BRUSHES, AND WATER.
 - STORE BRICK FOR REUSE, AS INDICATED.
 - DELIVER CLEANED BRICK NOT REQUIRED FOR REUSE TO OWNER, UNLESS OTHERWISE DIRECTED.
 - CLEAN BRICKS SURROUNDING REMOVAL AREAS BY REMOVING MORTAR, DUST, AND LOOSE PARTICLES IN PREPARATION FOR REPLACEMENT.
 - INSTALL REPLACEMENT BRICK INTO BONDING AND COURSE PATTERN OF EXISTING BRICK. IF CUTTING IS REQUIRED, USE A MOTOR-DRIVEN SAW DESIGNED TO CUT MASONRY WITH CLEAN, SHARP, UNCHIPPED EDGES.
 - LAY REPLACEMENT BRICK WITH COMPLETELY FILLED BED, HEAD, AND COLLAR JOINTS. BUTTER ENDS WITH SUFFICIENT MORTAR TO FILL HEAD JOINTS AND SHOVE INTO PLACE. WET BOTH REPLACEMENT AND SURROUNDING BRICKS THAT HAVE ASTM C 67 INITIAL RATES OF ABSORPTION (SUCTION) OF MORE THAN 30 G/30 SQ. IN. PER MIN. (30 G/194 SQ. CM PER MIN.). USE WETTING METHODS THAT ENSURE THAT UNITS ARE NEARLY SATURATED BUT SURFACE IS DRY WHEN LAID. MAINTAIN JOINT WIDTH FOR REPLACEMENT UNITS TO MATCH EXISTING JOINTS.
 - TOOL EXPOSED MORTAR JOINTS IN REPAIRED AREAS TO MATCH JOINTS OF SURROUNDING EXISTING BRICKWORK.
 - RAKE OUT MORTAR USED FOR LAYING BRICK BEFORE MORTAR SETS AND POINT NEW MORTAR JOINTS IN REPAIRED AREA TO COMPLY WITH REQUIREMENTS FOR RE-POINTING EXISTING MASONRY, AND AT SAME TIME AS RE-POINTING OF SURROUNDING AREA.
- MASONRY UNIT PATCHING
 - PATCH THE FOLLOWING MASONRY UNITS:
 - UNITS WITH HOLES.
 - UNITS WITH CHIPPED EDGES OR CORNERS.
 - UNITS WITH SMALL AREAS OF DEEP DETERIORATION.
 - REMOVE AND REPLACE EXISTING PATCHES, UNLESS OTHERWISE INDICATED OR APPROVED BY ARCHITECT.
 - PATCHING BRICKS:
 - REMOVE LOOSE MATERIAL FROM BRICK SURFACE. REMOVE ADDITIONAL MATERIAL SO PATCH WILL NOT HAVE FEATHERED EDGES AND WILL BE AT LEAST 1/4 INCH (6 MM) THICK, BUT NOT LESS THAN RECOMMENDED BY PATCHING COMPOUND MANUFACTURER.
 - MASK OR REMOVE SURROUNDING MORTAR JOINTS IF PATCH WILL EXTEND TO EDGE OF BRICK.
 - MIX PATCHING COMPOUND IN INDIVIDUAL BATCHES TO MATCH EACH UNIT BEING PATCHED. COMBINE ONE OR MORE COLORS OF PATCHING COMPOUND, AS NEEDED, TO PRODUCE EXACT MATCH.
 - RINSE SURFACE TO BE PATCHED AND LEAVE DAMP, BUT WITHOUT STANDING WATER.
 - BRUSH-COAT SURFACES WITH SLURRY COAT OF PATCHING COMPOUND ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PLACE PATCHING COMPOUND IN LAYERS AS RECOMMENDED BY PATCHING COMPOUND MANUFACTURER, BUT NOT LESS THAN 1/4 INCH (6 MM) OR MORE THAN 2 INCHES (50 MM) THICK. ROUGHEN SURFACE OF EACH LAYER TO PROVIDE A KEY FOR NEXT LAYER.
 - TROWEL, SCRAPE, OR CARVE SURFACE OF PATCH TO MATCH TEXTURE AND SURFACE PLANE OF SURROUNDING BRICK. SHAPE AND FINISH SURFACE BEFORE OR AFTER CURING, AS DETERMINED BY TESTING, TO BEST MATCH EXISTING BRICK.
 - KEEP EACH LAYER DAMP FOR 72 HOURS OR UNTIL PATCHING COMPOUND HAS SET.
- REPOINTING MASONRY - VERIFY AND COORDINATE WITH ARCH. DWGS.
 - RAKE OUT AND RE-POINT MORTAR JOINTS TO THE FOLLOWING EXTENT:
 - ALL JOINTS IN AREAS INDICATED.
 - JOINTS WHERE MORTAR IS MISSING OR WHERE THEY CONTAIN HOLES.
 - CRACKED JOINTS WHERE CRACKS CAN BE PENETRATED AT LEAST 1/4 INCH (6 MM) BY A KNIFE BLADE 0.027 INCH (0.7 MM) THICK.
 - CRACKED JOINTS WHERE CRACKS ARE 1/8 INCH (3 MM) OR MORE IN WIDTH AND OF ANY DEPTH.
 - JOINTS WHERE THEY SOUND HOLLOW WHEN TAPPED BY METAL OBJECT.
 - JOINTS WHERE THEY ARE WORN BACK 1/4 INCH (6 MM) OR MORE FROM SURFACE.
 - JOINTS WHERE THEY ARE DETERIORATED TO POINT THAT MORTAR CAN BE EASILY REMOVED BY HAND.
 - JOINTS, OTHER THAN THOSE INDICATED AS SEALANT-FILLED JOINTS, WHERE THEY HAVE BEEN FILLED WITH SUBSTANCES OTHER THAN MORTAR.
 - DO NOT RAKE OUT AND RE-POINT JOINTS WHERE NOT REQUIRED.
 - RAKE OUT JOINTS AS FOLLOWS:
 - REMOVE MORTAR FROM JOINTS TO DEPTH OF 2 TIMES JOINT WIDTH, BUT NOT LESS THAN 1/2 INCH (13 MM) OR NOT LESS THAN THAT REQUIRED TO EXPOSE SOUND, UNWEATHERED MORTAR.
 - REMOVE MORTAR FROM MASONRY SURFACES WITHIN RAKED-OUT JOINTS TO PROVIDE REVEALS WITH SQUARE BACKS AND TO EXPOSE MASONRY FOR CONTACT WITH POINTING MORTAR. BRUSH, VACUUM, OR FLUSH JOINTS TO REMOVE DIRT AND LOOSE DEBRIS.
 - DO NOT SPALL EDGES OF MASONRY UNITS OR WIDEN JOINTS. REPLACE OR PATCH DAMAGED MASONRY UNITS AS DIRECTED BY ARCHITECT.
 - CUT OUT CENTER OF MORTAR BED JOINTS USING ANGLE GRINDERS WITH DIAMOND-IMPREGNATED METAL BLADES. REMOVE REMAINING MORTAR BY HAND WITH CHISEL AND MALLET. STRICTLY ADHERE TO WRITTEN QUALITY-CONTROL PROGRAM. QUALITY-CONTROL PROGRAM SHALL INCLUDE PROVISIONS FOR DEMONSTRATING ABILITY OF OPERATORS TO USE TOOLS WITHOUT DAMAGING MASONRY, SUPERVISING PERFORMANCE, AND PREVENTING DAMAGE DUE TO WORKER FATIGUE.
- NOTIFY ENGINEER OF UNFORESEEN DETRIMENTAL CONDITIONS INCLUDING VOIDS IN MORTAR JOINTS, CRACKS, LOOSE MASONRY UNITS, ROTTED WOOD, RUSTED METAL, AND OTHER DETERIORATED ITEMS.
- POINT JOINTS AS FOLLOWS:
 - RINSE MASONRY-JOINT SURFACES WITH WATER TO REMOVE DUST AND MORTAR PARTICLES. TIME RINSING APPLICATION SO, AT TIME OF POINTING, JOINT SURFACES ARE DAMP BUT FREE OF STANDING WATER. IF RINSE WATER DRIES, DAMPEN MASONRY-JOINT SURFACES BEFORE POINTING.
 - APPLY POINTING MORTAR FIRST TO AREAS WHERE EXISTING MORTAR WAS REMOVED TO DEPTHS GREATER THAN SURROUNDING AREAS. APPLY IN LAYERS NOT GREATER THAN 3/8 INCH (9 MM) UNTIL A UNIFORM DEPTH IS FORMED. FULLY COMPACT EACH LAYER THOROUGHLY AND ALLOW IT TO BECOME THUMBPRINT HARD BEFORE APPLYING NEXT LAYER.
 - AFTER LOW AREAS HAVE BEEN FILLED TO SAME DEPTH AS REMAINING JOINTS, POINT ALL JOINTS BY PLACING MORTAR IN LAYERS NOT GREATER THAN 1/4 INCH (9 MM), FULLY COMPACT EACH LAYER AND ALLOW TO BECOME THUMBPRINT HARD BEFORE APPLYING NEXT LAYER. WHERE EXISTING BRICKS HAVE WORN OR ROUNDED EDGES, SLIGHTLY RECESS FINISHED MORTAR SURFACE BELOW FACE OF MASONRY TO AVOID WIDENED JOINT FACES. TAKE CARE NOT TO SPREAD MORTAR OVER EDGES ONTO EXPOSED MASONRY SURFACES OR TO FEATHER EDGE MORTAR.
 - WHEN MORTAR IS THUMBPRINT HARD, TOOL JOINTS TO MATCH ORIGINAL APPEARANCE OF JOINTS. REMOVE EXCESS MORTAR FROM EDGE OF JOINT BY BRUSHING.
- CURE MORTAR BY MAINTAINING IN THOROUGHLY DAMP CONDITION FOR AT LEAST 72 HOURS INCLUDING WEEKENDS AND HOLIDAYS.
 - ACCEPTABLE CURING METHODS INCLUDE COVERING WITH WET BURLAP AND PLASTIC SHEETING, PERIODIC HAND MISTING, AND PERIODIC MIST SPRAYING USING SYSTEM OF PIPES, MIST HEADS, AND TIMERS.
 - ADJUST CURING METHODS TO ENSURE THAT POINTING MORTAR IS DAMP THROUGHOUT ITS DEPTH WITHOUT ERODING SURFACE MORTAR.
- WHERE RE-POINTING WORK PRECEDES CLEANING OF EXISTING MASONRY, ALLOW MORTAR TO HARDEN AT LEAST 30 DAYS BEFORE BEGINNING CLEANING WORK.

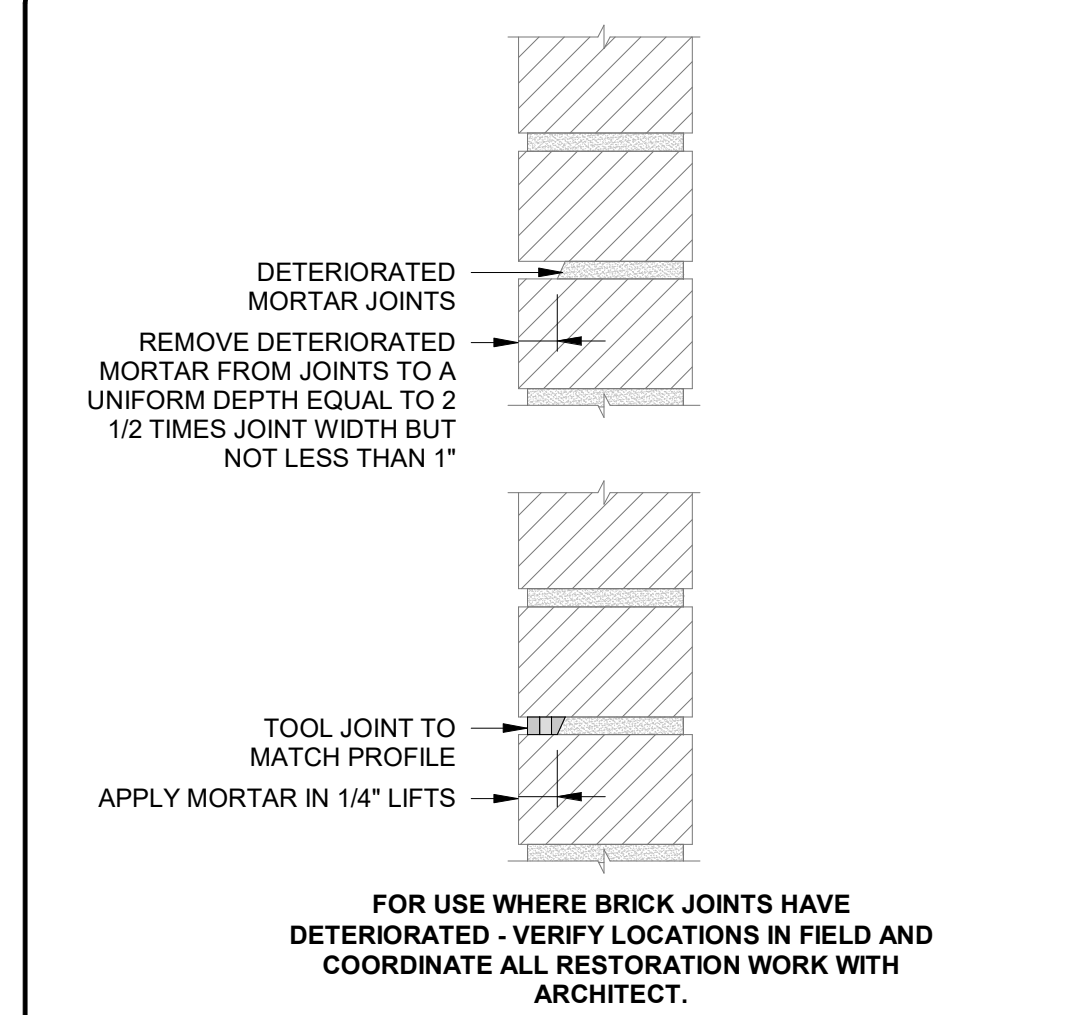
1 TYPICAL BRICK MASONRY REPAIR NOTES

NO SCALE
 * - CONTRACTOR MAY PROVIDE NEW BRICKS TO MATCH EXISTING WITH WRITTEN APPROVAL FROM THE OWNER AND ARCHITECT.



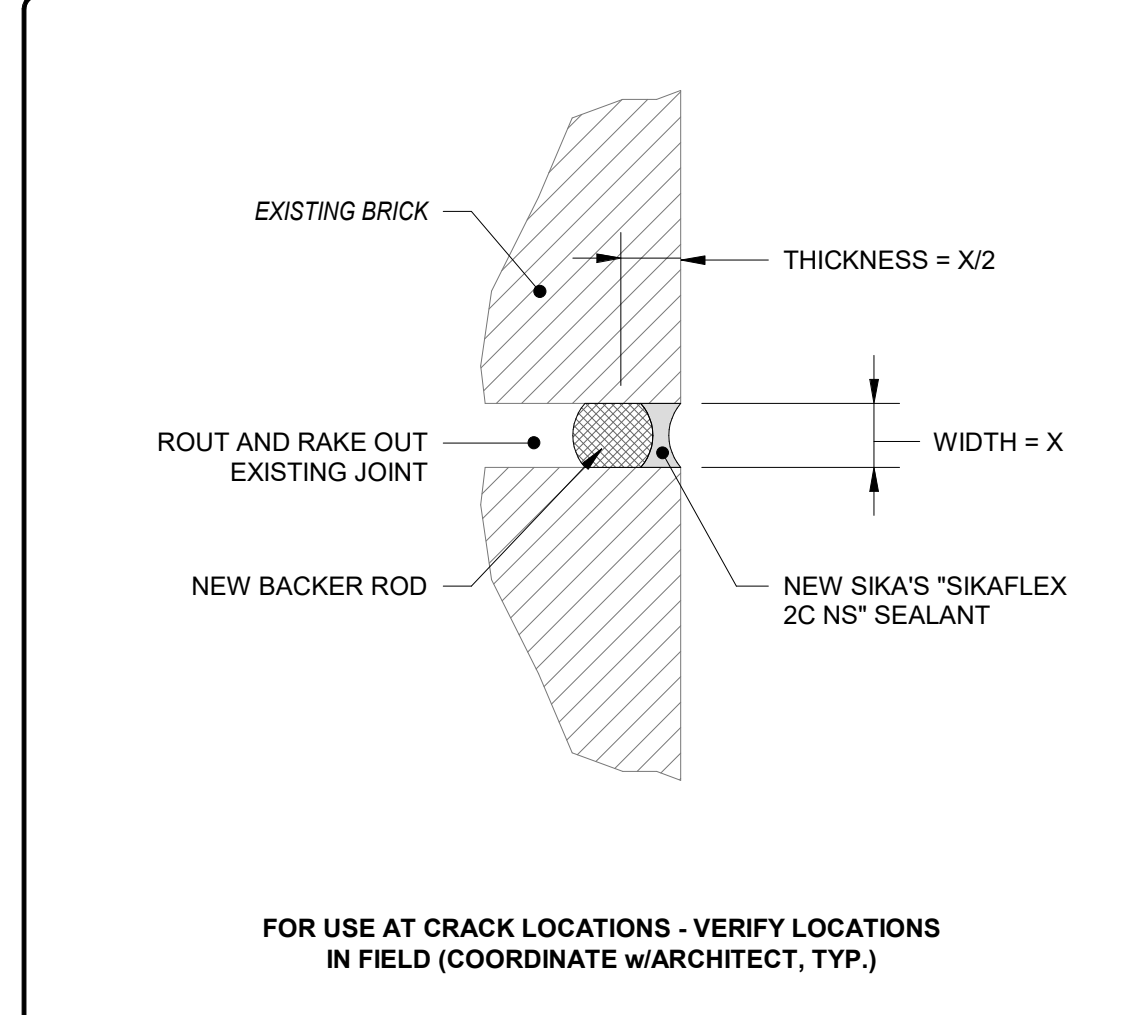
2 TYPICAL BRICK REPLACEMENT DETAIL

NO SCALE



3 TYPICAL BRICK RE-POINTING DETAIL

NO SCALE

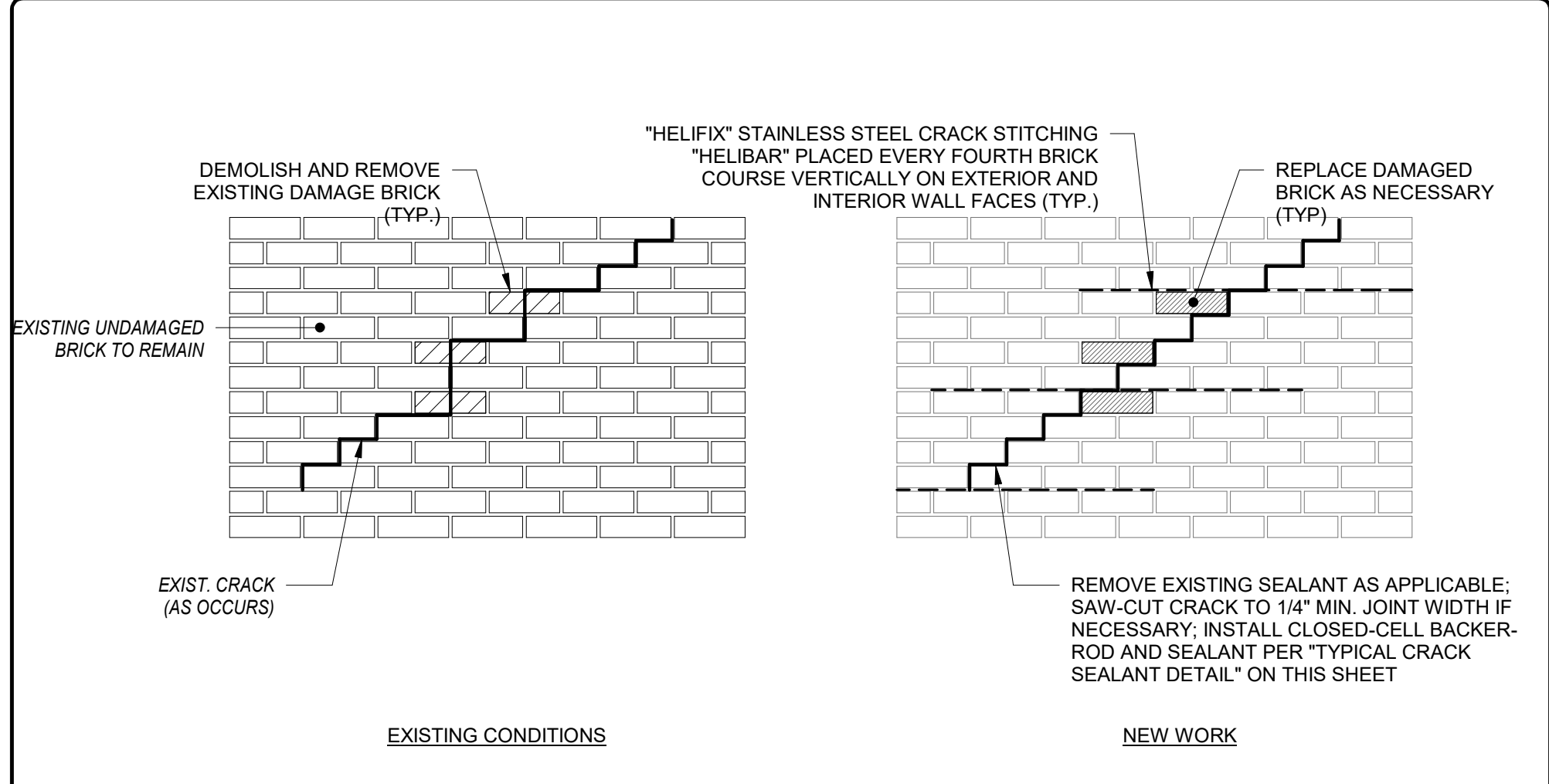


4 TYPICAL CRACK SEALANT DETAIL

NO SCALE

NOTES:

- REMOVE ANY EXISTING SEALANT RESIDUE FROM JOINT.
- BACKER ROD TO BE SIZED 25% LARGER THAN JOINT OPENING.

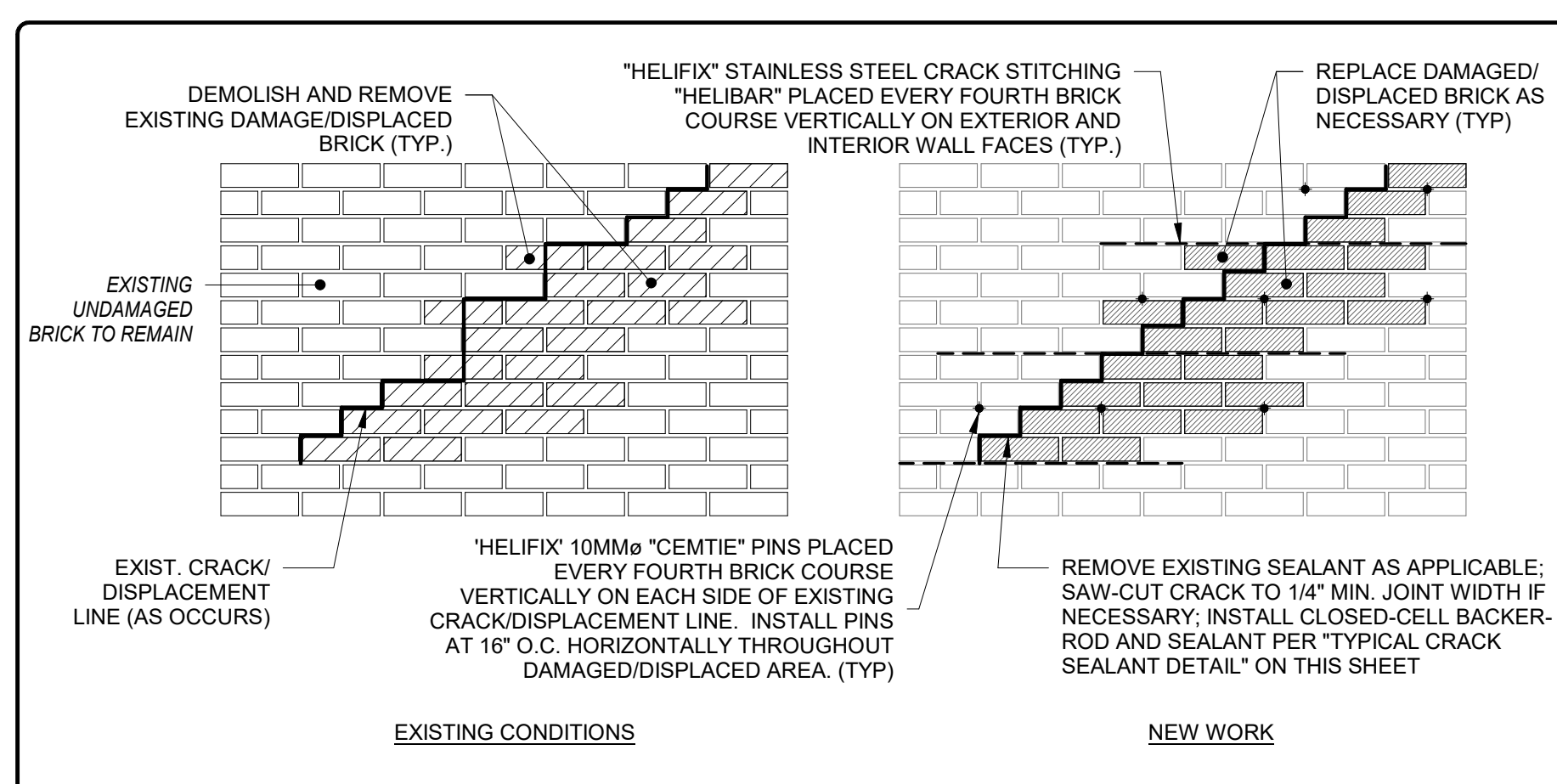


5 TYPICAL STEPPED BRICK CRACK REPAIR DETAIL

NO SCALE

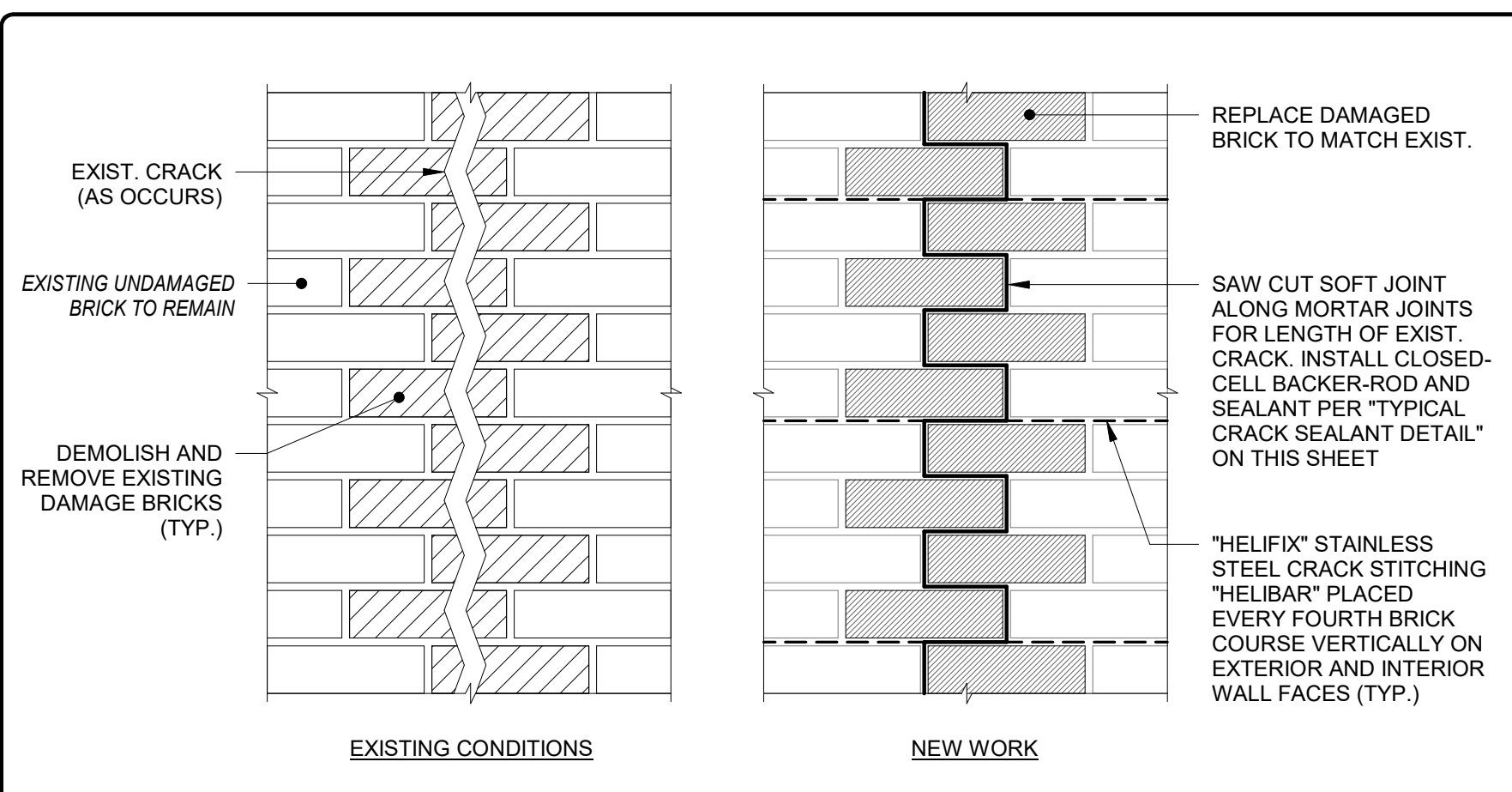
- PRODUCT SPECIFICATION NOTE
- SUBMIT PRODUCT SPECS TO BE USED FOR APPROVAL PRIOR TO START OF CONSTRUCTION.
 - ALL WORK AND PREPARATION SHALL BE TO STRICT ADHERENCE OF PRODUCT SPECIFICATIONS.
 - ALL MATERIALS NOTED AS "SIKA" SHALL BE AS MANUFACTURED BY "SIKA CORPORATION" OF LYNDHURST, NJ, OR AN APPROVED EQUAL. ALL NEW REPAIR MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS BY QUALIFIED INSTALLERS. THE CONTRACTOR SHALL PROVIDE UNIT PRICES FOR ALL WORK. A QUALIFIED REPRESENTATIVE OF REPAIR MATERIAL MANUFACTURER SHALL BE ENGAGED AT THE CONTRACTOR'S EXPENSE TO SUPERVISE PROCEDURES AND PLACEMENT OF ALL RESTORATION PRODUCTS.
 - ALL MATERIALS NOTED AS "HELIFIX" SHALL BE AS MANUFACTURED BY "HELIFIX INC." OF STREETSBORO, OH, OR AN APPROVED EQUAL. "HELIFIX" PINS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS BY QUALIFIED INSTALLERS. "HELIFIX" PINS SHALL BE STAINLESS STEEL AND SHALL BE INSTALLED TO RESIST 50 PSF WIND LOAD SUCTION. "HELIFIX" REPRESENTATIVE TO PERFORM FIELD PULL TEST AND SUBMIT REPORT STATING SIZE OF TIES TO BE USED AND ANTICIPATED PULL OUT LOADS.
- NOTE: CONTRACTOR TO VERIFY THAT INSTALLATION OF "HELIFIX" BARS DOES NOT INTERFERE WITH MECHANICAL SYSTEMS (PIPES, ELECTRIC ETC.)

NOTES REGARDING BRICK MASONRY REPAIR DETAILS - ALL BRICK MASONRY REPAIR DETAILS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND DETAILS.



6 TYPICAL BRICK CRACK WITH LATERAL DISPLACEMENT REPAIR DETAIL

NO SCALE



7 TYPICAL VERTICAL BRICK CRACK REPAIR DETAIL

NO SCALE

tat

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Revision:

Architect of Record:

Drawn: Author
 Checked: Checker
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 Key Plan:

STATE OF CONNECTICUT
 REGISTRY OF PROFESSIONAL ENGINEERS
 22476 LICENSED

Project Name:
BEDFORD GARDENS

Bedford & Brook Streets
 Hartford, CT

Sheet Name:
TYPICAL BRICK MASONRY REPAIR DETAILS
 FOR PERMIT ONLY

Project Number:
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Issue Date:
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Sheet Number:
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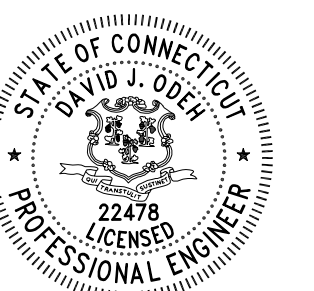
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 1 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
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Project Number:

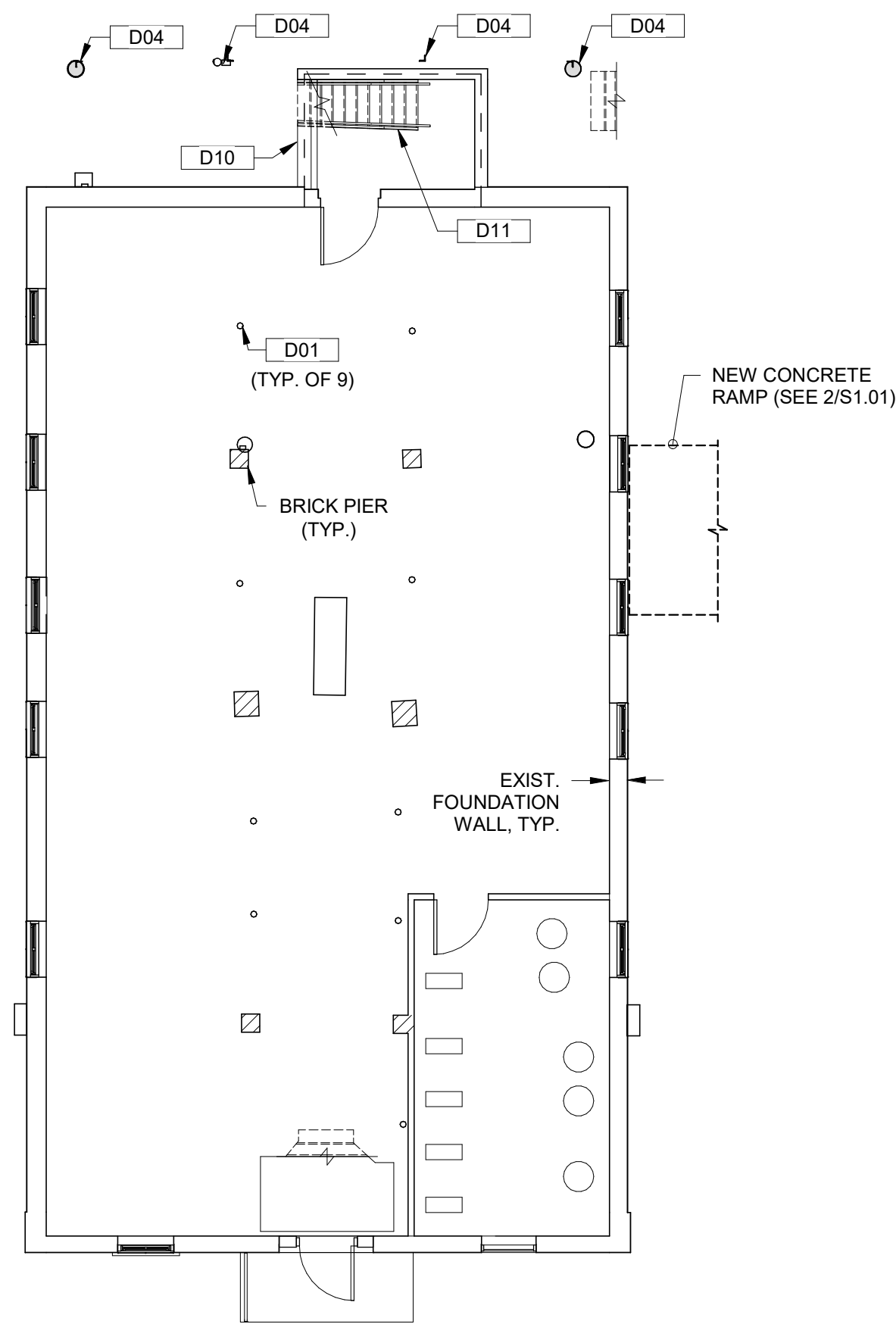
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Issue Date:

FEBRUARY 24, 2023

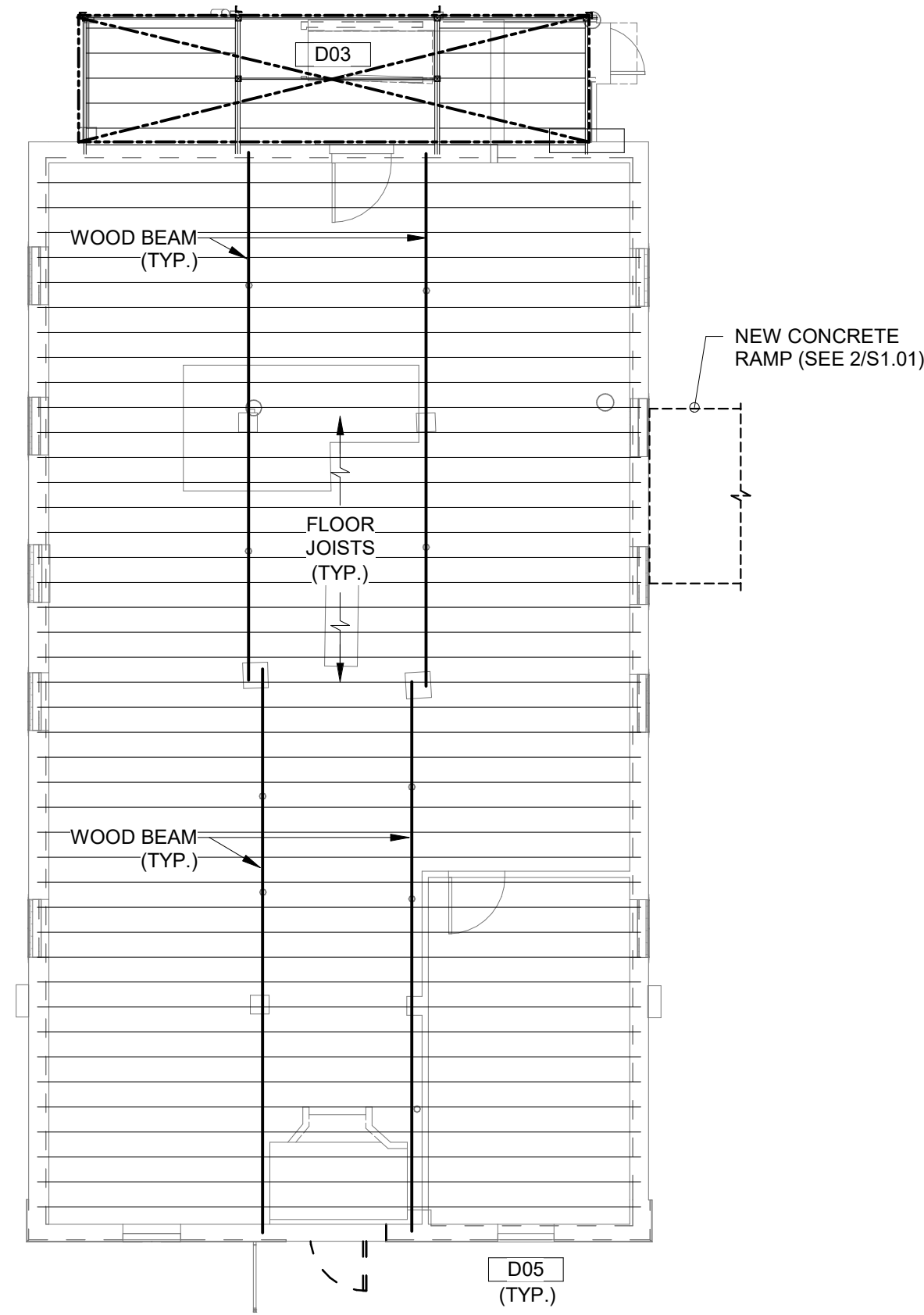
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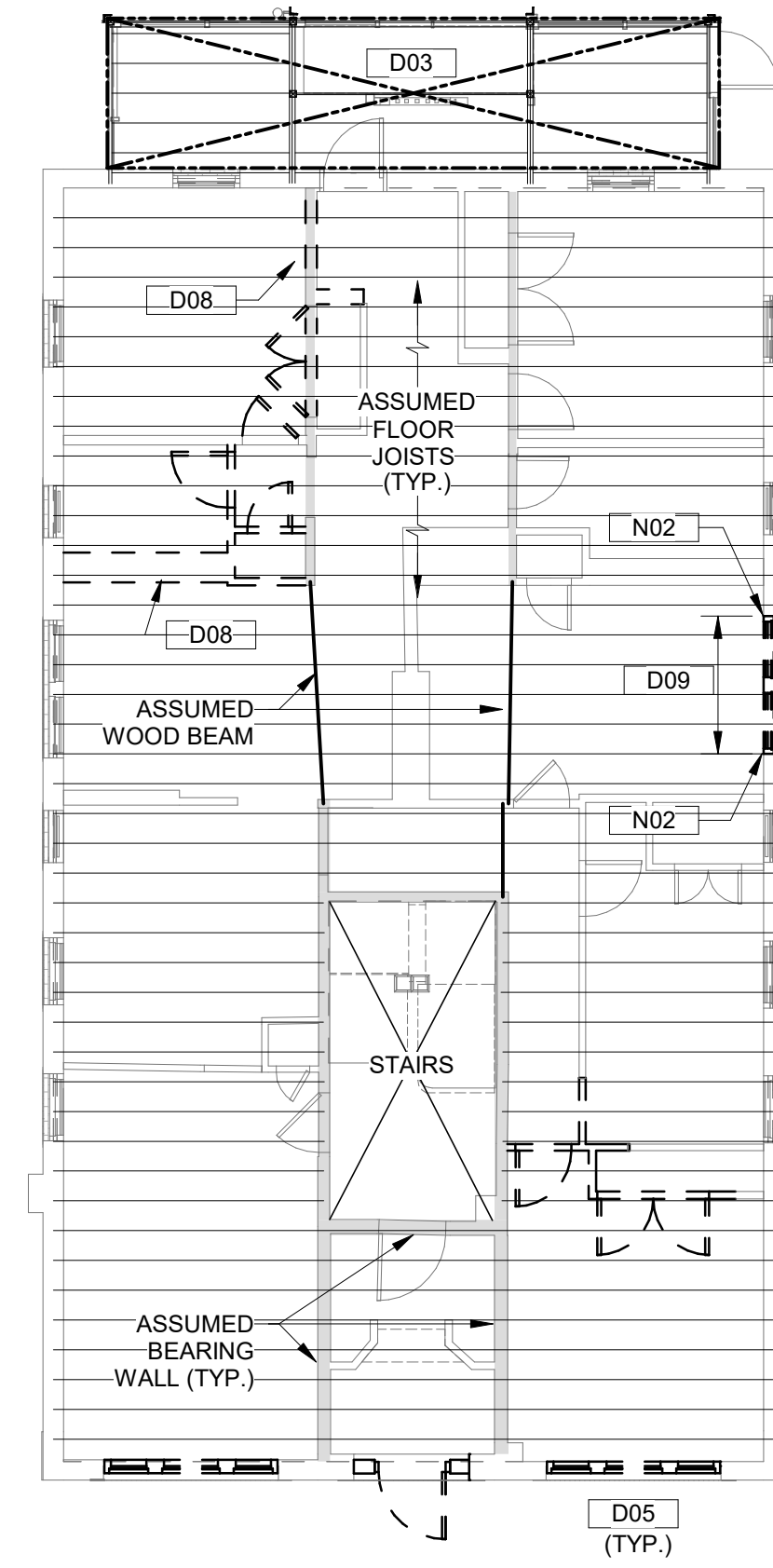
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



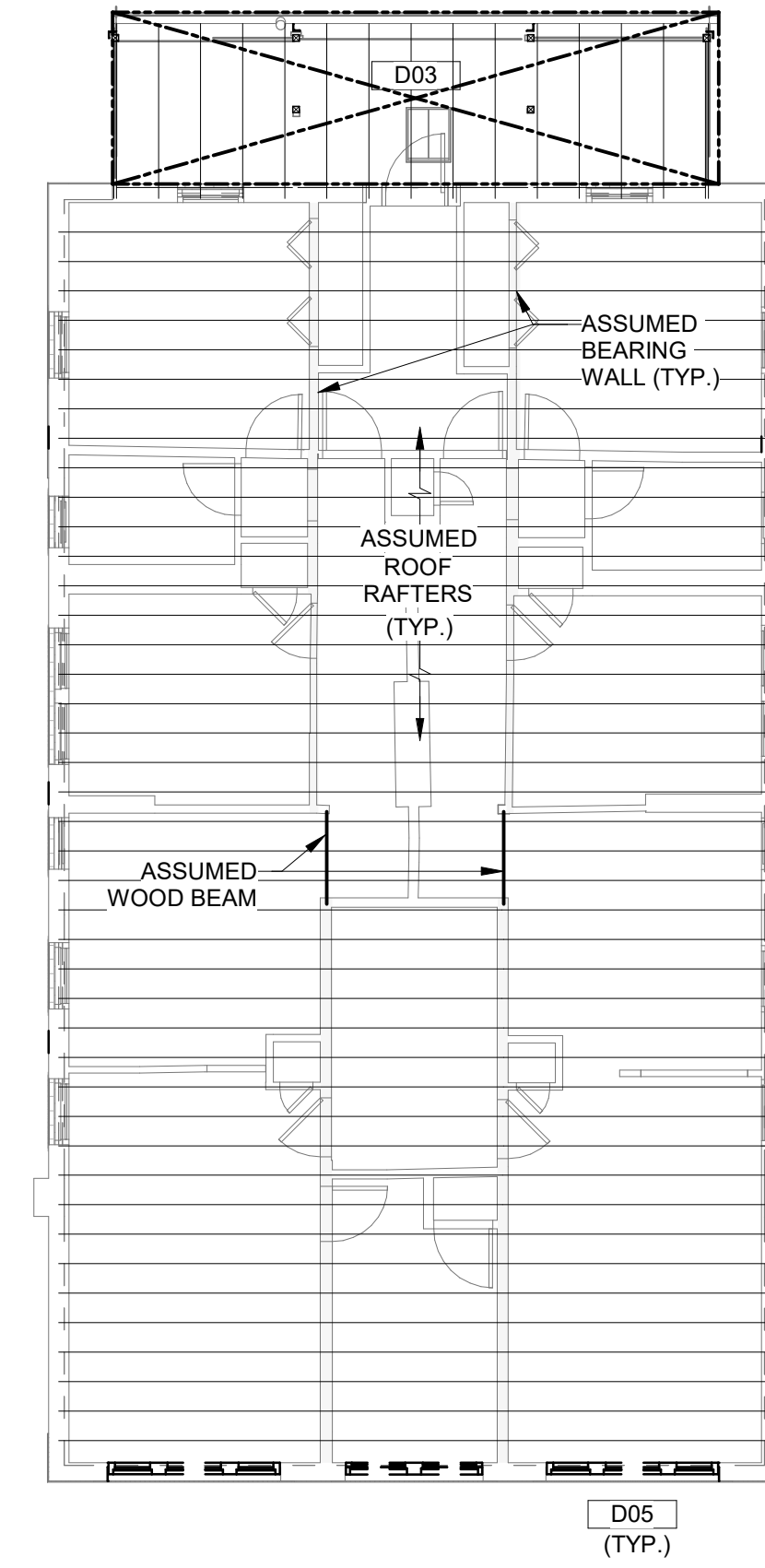
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES

Key Value	Keynote Text
D01	EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL".
D02	EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.
D03	EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS S1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D04	REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D05	EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.
D06	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.
D07	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.
D08	EXISTING WOOD STUD WALL TO BE REMOVED. IT IS NOT CLEAR IF THIS WALL IS BEARING. ADDITIONAL INVESTIGATION ABOVE THE CEILING IN THE UNIT IS REQUIRED TO CONFIRM FRAMING REQUIREMENTS. IF WALL IS FOUND TO BE BEARING, ADDITIONAL FRAMING (INCLUDING WOOD BEAMS, COLUMNS, AND FOOTINGS) WILL BE REQUIRED.
D09	PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR.
D10	EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.
D11	EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE ALL DETAILS WITH THE ARCHITECT.

NEW CONDITIONS NOTES

Key Value	Keynote Text
N02	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE. ONE L4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4' WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".
N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

TYPICAL BRICK MASONRY PIER NOTE

IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAINTING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAINTING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP, BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

TYPICAL WOOD PORCH STAIR NOTE

THE EXISTING WOOD STRINGERS IN THE PORCH AREAS WERE NOT FOUND TO BE POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

TYPICAL INTERIOR FOOTING NOTE

DUE TO THE BASEMENT SLAB ON GRADE, THE EXISTING SIZES & CONDITIONS OF THE EXISTING CONCRETE FOUNDATIONS BELOW THE EXISTING STEEL LALLY COLUMNS AND BRICK PIERS WERE NOT VISIBLE. EXISTING FOOTING SIZES MUST BE VERIFIED PRIOR TO INSTALLING NEW COLUMNS. IF NO FOOTING IS FOUND (I.E., IF COLUMNS ARE BEARING DIRECTLY UPON THE EXISTING SLAB ON GRADE), NEW CONCRETE FOOTINGS SHALL BE PROVIDED. MINIMUM COLUMN SIZES SHALL BE 3 FT x 3 FT x 12", REINFORCED WITH 8-#5 BOTTOM BARS (4 BARS, EACH WAY). FOOTINGS MAY BE SET ATOP BASEMENT SLABS IF SOILS BELOW ARE SUITABLE FOR BEARING.

GENERAL FRAMING NOTE

MOST UNITS WERE OCCUPIED DURING THE INVESTIGATION PHASE AND NO ACCESS TO VIEW THE FRAMING WAS POSSIBLE. MOST OF THE FLOOR FRAMING IN THE BASEMENT AREAS WAS COVERED WITH A GYPSUM CEILING, PREVENTING DIRECT OBSERVATION OF THE FRAMING, WITH THE EXCEPTION OF THE FLOOR BEAMS, COLUMNS, AND CONCRETE PIERS, IN MOST CASES. FOR THIS REASON, THE FRAMING PLANS INCLUDED IN THIS SET OF DRAWINGS ARE SCHEMATIC AND ARE BASED UPON THESE LIMITED VISUAL OBSERVATIONS. ALL FRAMING AREAS MUST BE FIELD-VERIFIED WHERE NEW WORK WILL BE PERFORMED TO EITHER CONFIRM OR TO CORRECT THE ASSUMPTIONS SHOWN HEREIN.

EXISTING LALLY COLUMN NOTE

DUE TO THE EXTENT OF DETERIORATION OBSERVED AROUND THE BASES OF MOST LALLY COLUMNS IN THE VARIOUS BUILDINGS, THIS OFFICE RECOMMENDS THE REMOVAL AND REPLACEMENT OF ALL EXISTING STEEL LALLY COLUMNS IN-KIND.

EXISTING WOOD BEAM REINFORCEMENT NOTE

VARIOUS WOOD BEAMS WERE FOUND TO BE SPLIT ALONG THEIR LENGTHS. FOR PLANNING PURPOSES, ASSUME THAT FOUR WOOD BEAMS IN EACH BUILDING WILL REQUIRE REINFORCEMENT. BEAM REINFORCEMENT WILL REQUIRE THE REMOVAL AND REATTACHMENT OF ANY ELECTRICAL WIRING THAT IS CURRENTLY FASTENED TO EACH SIDE OF THE BEAM. REPAIR FROM ONE SIDE ONLY MAY BE POSSIBLE IF AN ADDITIONAL COLUMN AND FOOTING IS PROVIDED ALONG THE SPAN OF THE BEAM OR IF A NEW BEAM IS INSTALLED DIRECTLY BELOW THE CRACKED BEAM. DETAILS AND SUPPORT CONDITIONS TO BE DETERMINED BASED UPON THE CHOSEN REINFORCEMENT METHOD.

EXTERIOR BRICK MASONRY REPAIR NOTE

EXISTING BUILDINGS SHALL BE INSPECTED TO QUANTIFY THE EXTENT OF MASONRY REPAIR REQUIRED. FOR PLANNING PURPOSES, ASSUME FOUR EXISTING BRICK ARCH WINDOW HEADERS WILL REQUIRE STRUCTURAL REPAIR. REPAIR DETAILS SHALL BE PROVIDED BY A MASONRY RESTORATION SPECIALIST.

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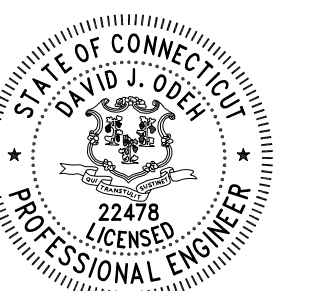
Architect of Record:

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Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 2 EXISTING STRUCTURAL PLANS

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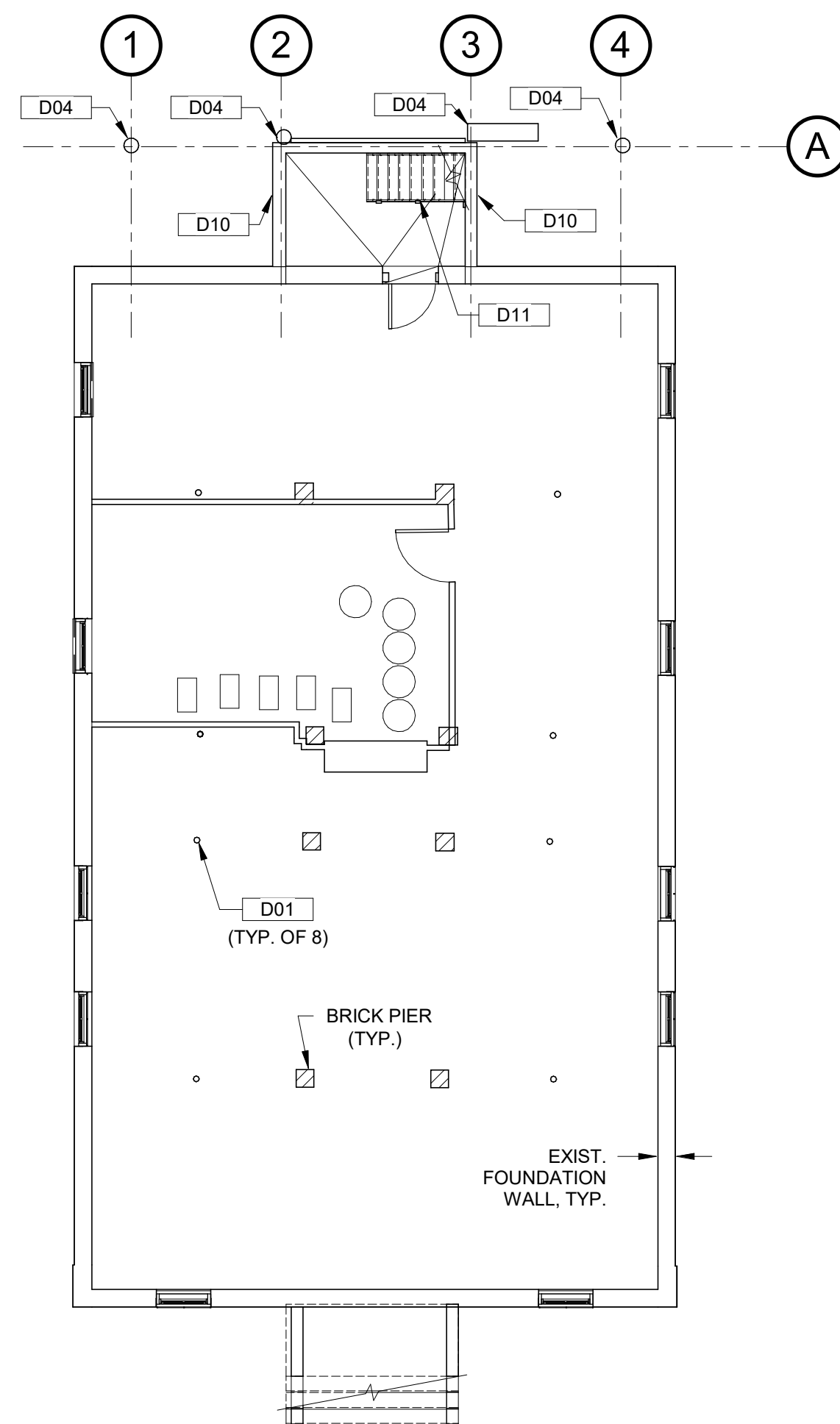
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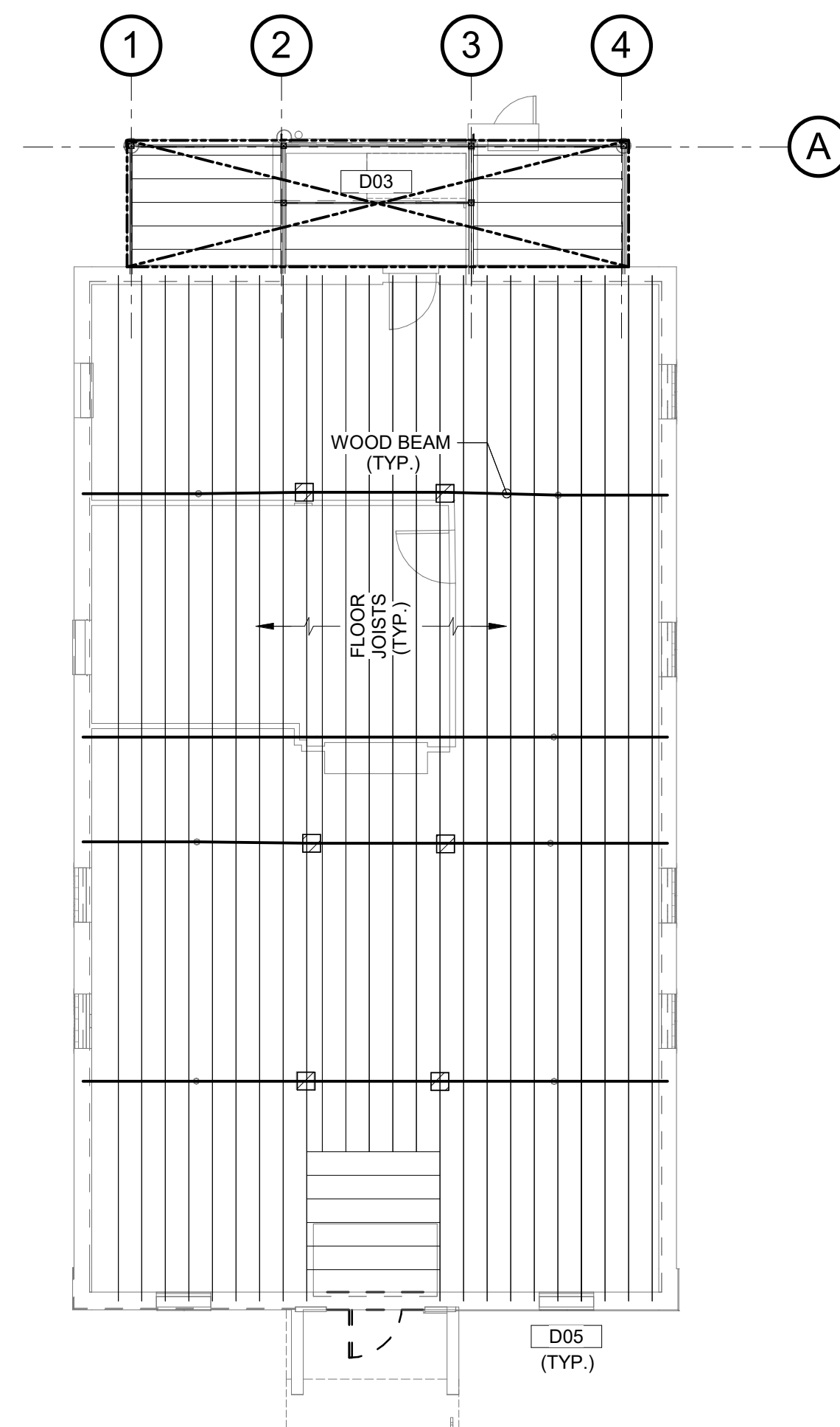
Sheet Number:

SE1.02



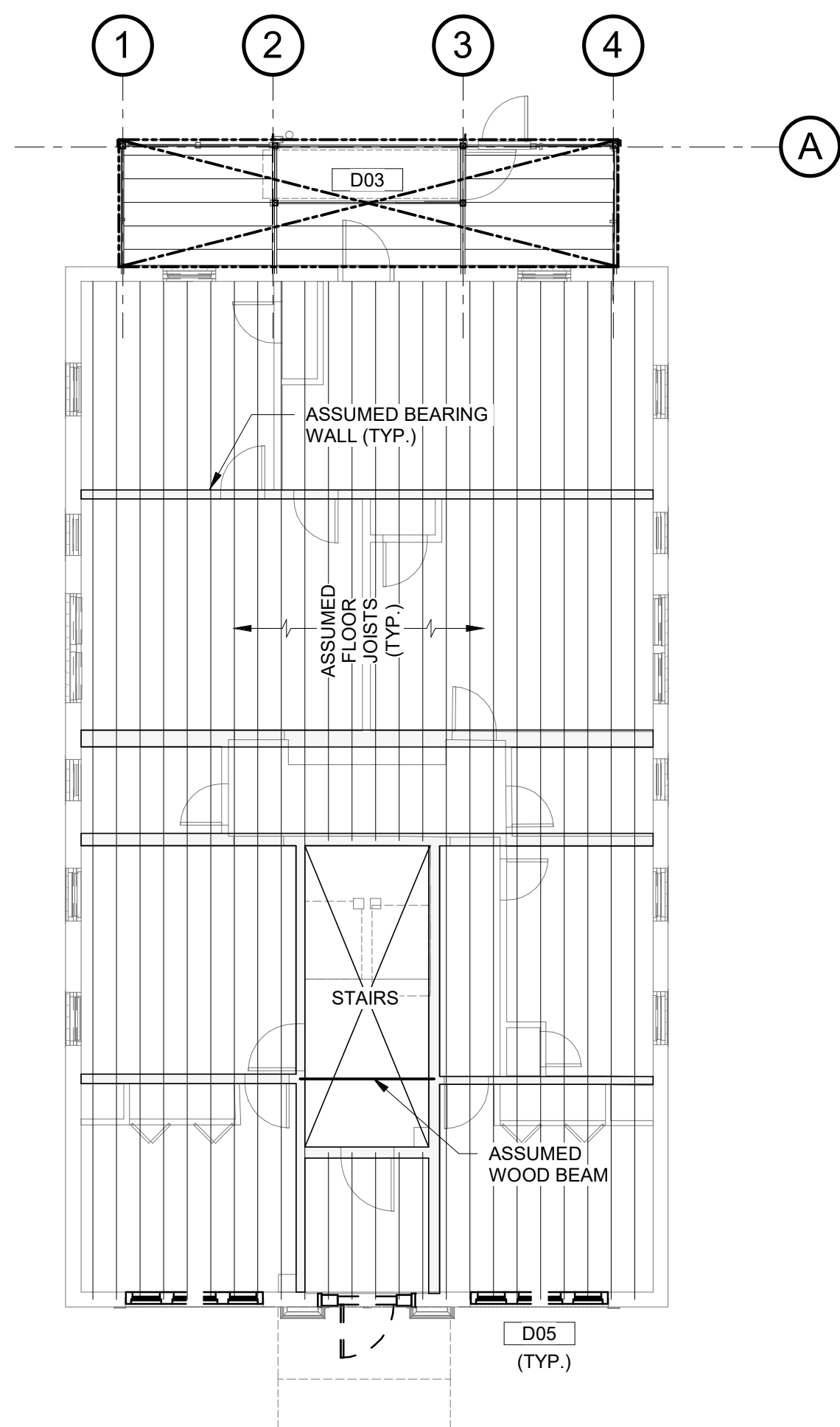
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



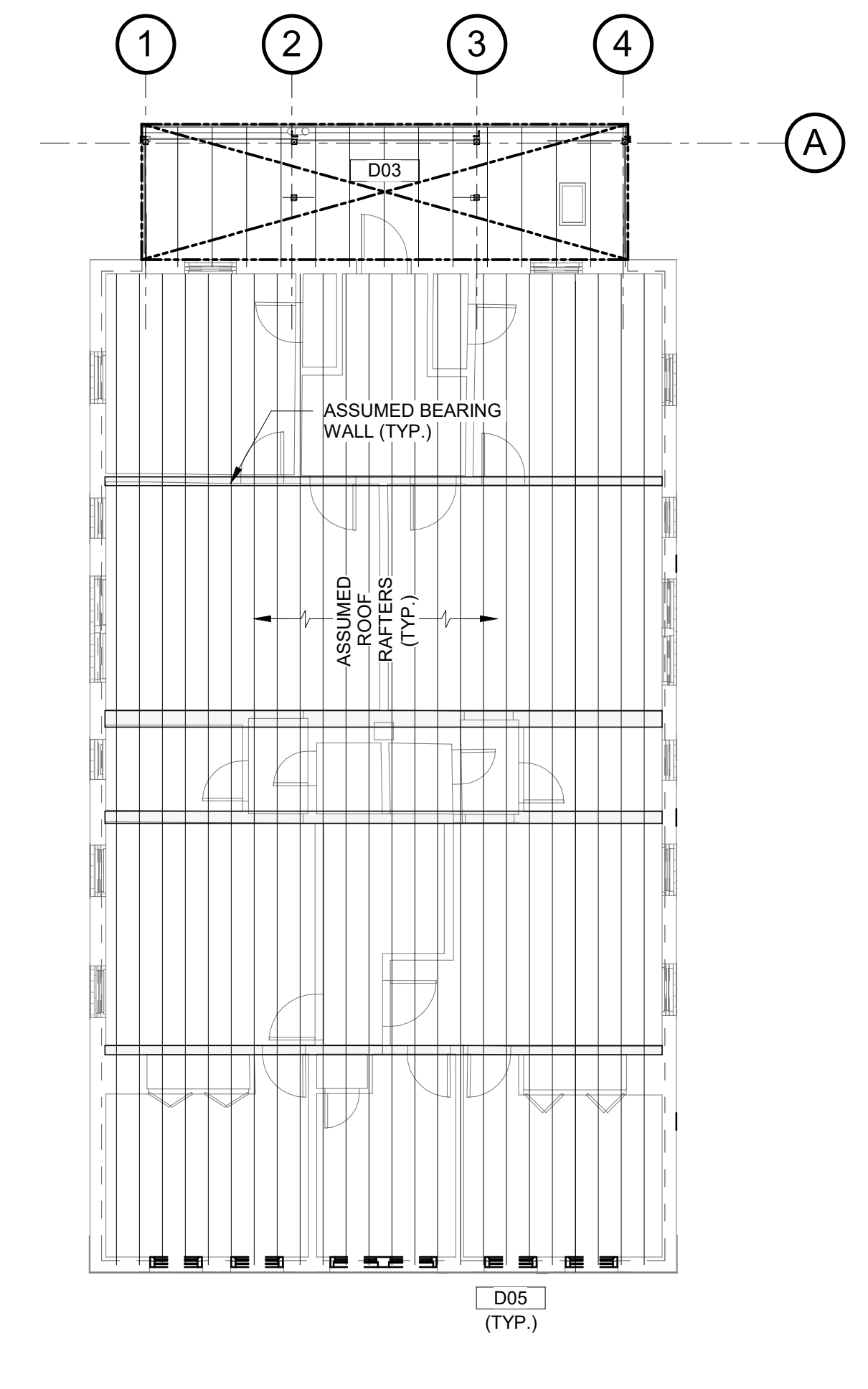
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES

Key Value	Keynote Text
D01	EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL".
D02	EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.
D03	EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS S1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D04	REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D05	EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.
D06	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.
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D09	PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR.
D10	EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.
D11	EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE ALL DETAILS WITH THE ARCHITECT.

NEW CONDITIONS NOTES

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N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

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Consultant:



Revision:

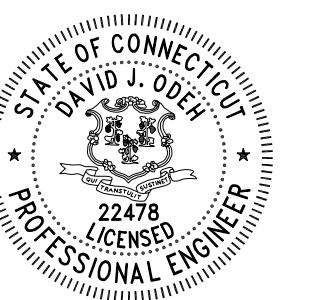
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 3 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

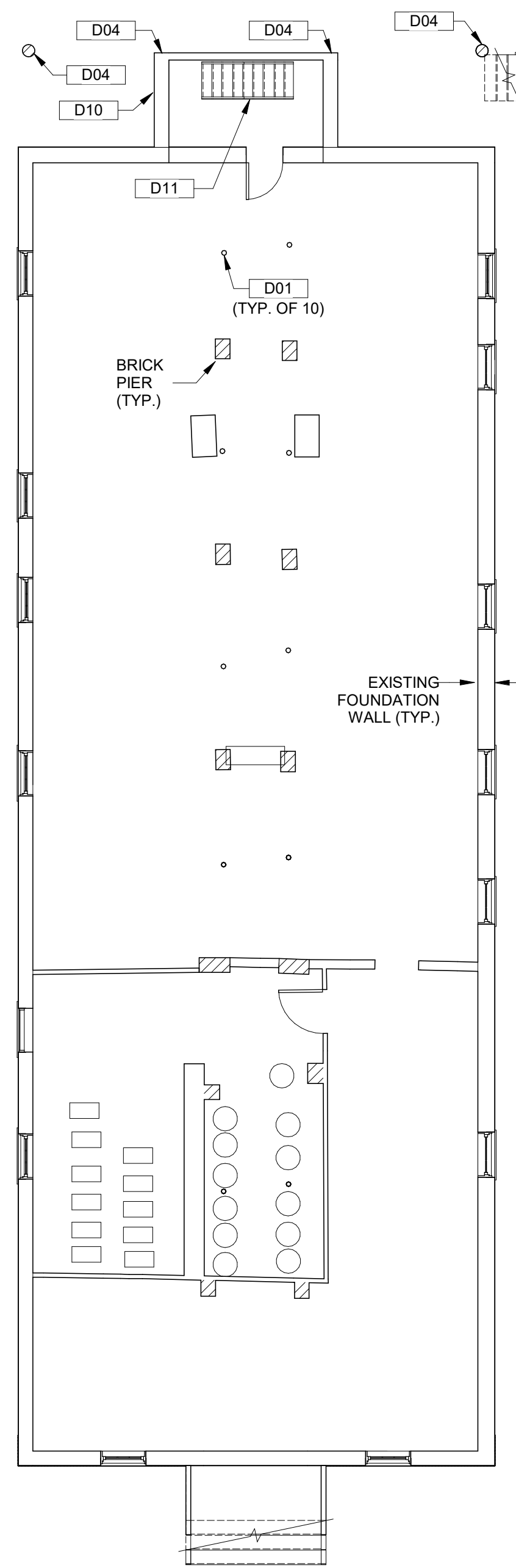
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Issue Date:

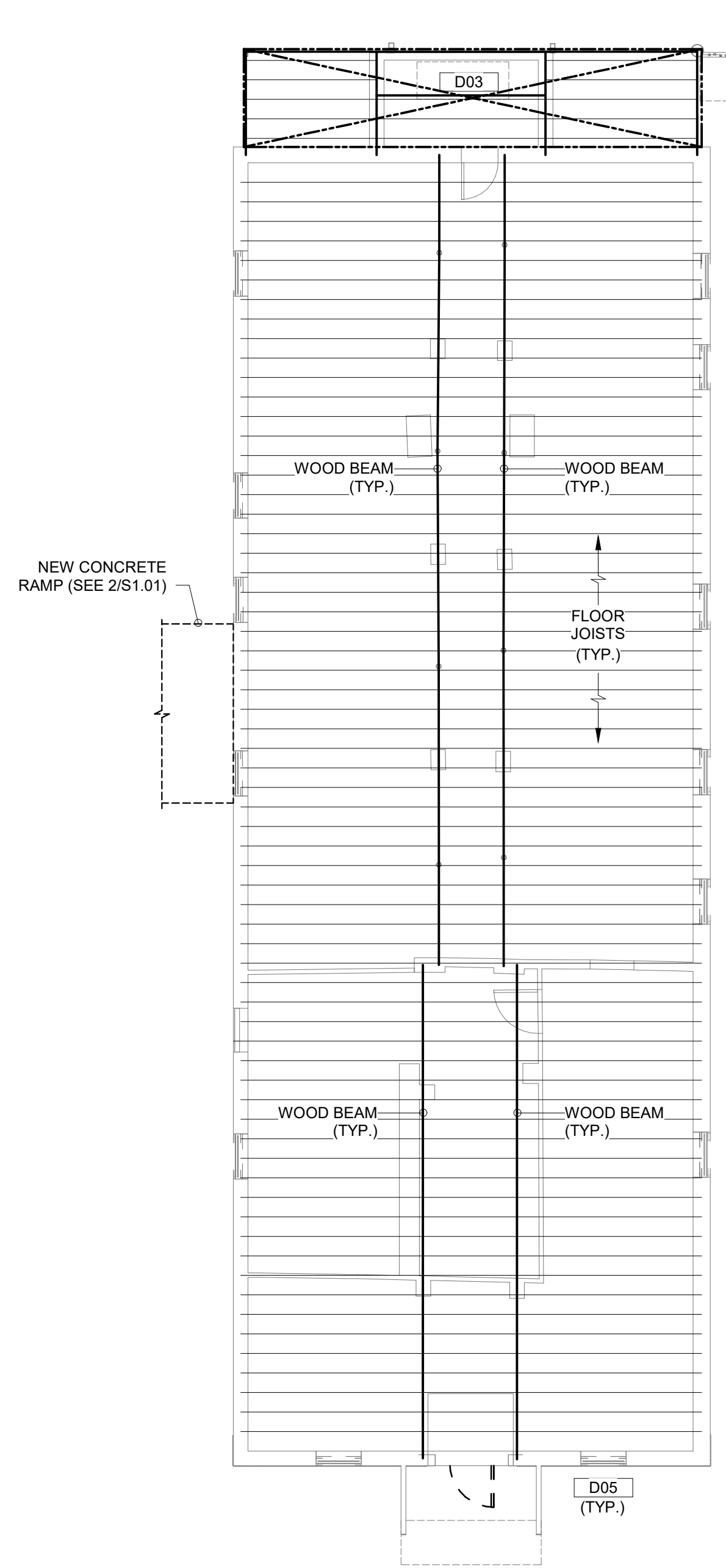
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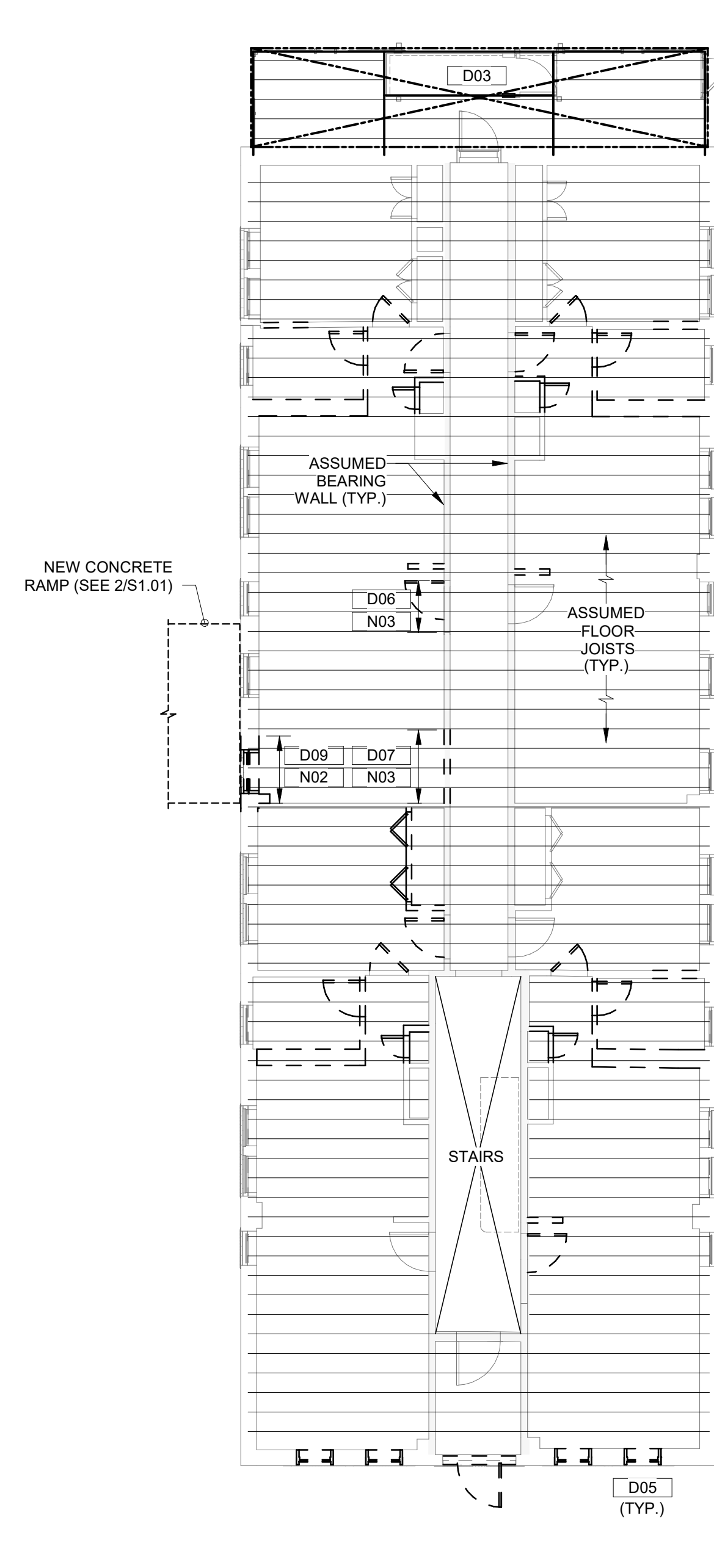
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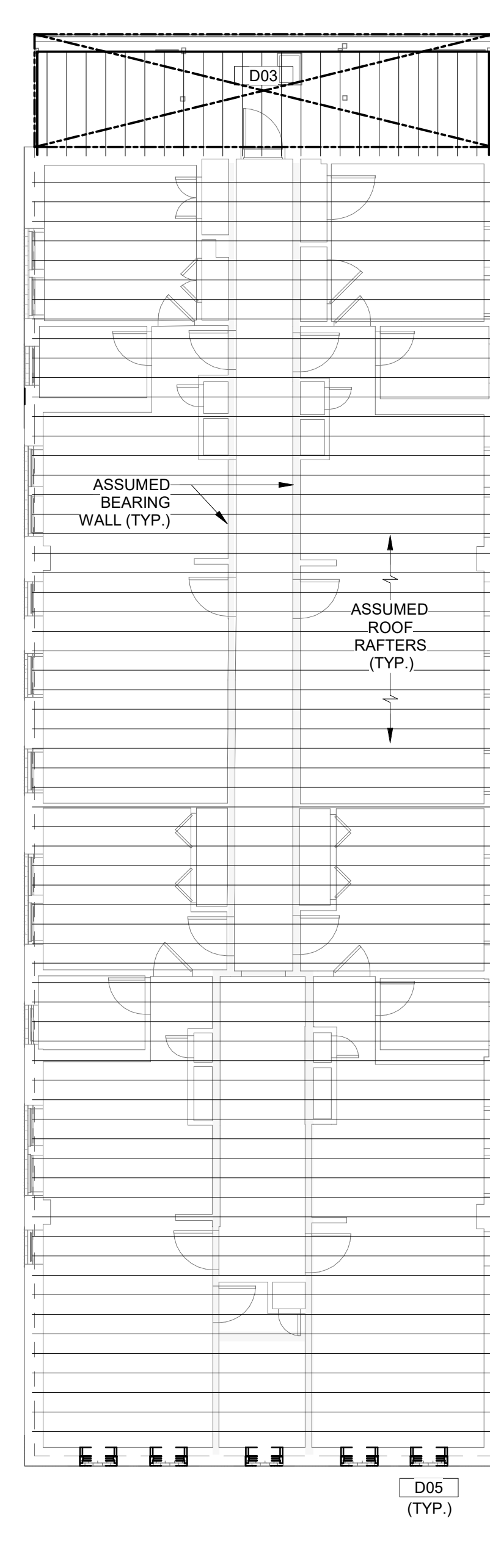
1 EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING 1st FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN
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Consultant:



1223 Mineral Spring Avenue
North Providence, RI 02904
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Fax: 401.724.1981
www.odebengineers.com

Revision:

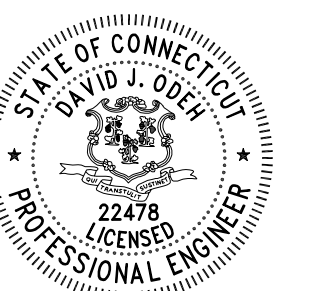
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 4 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

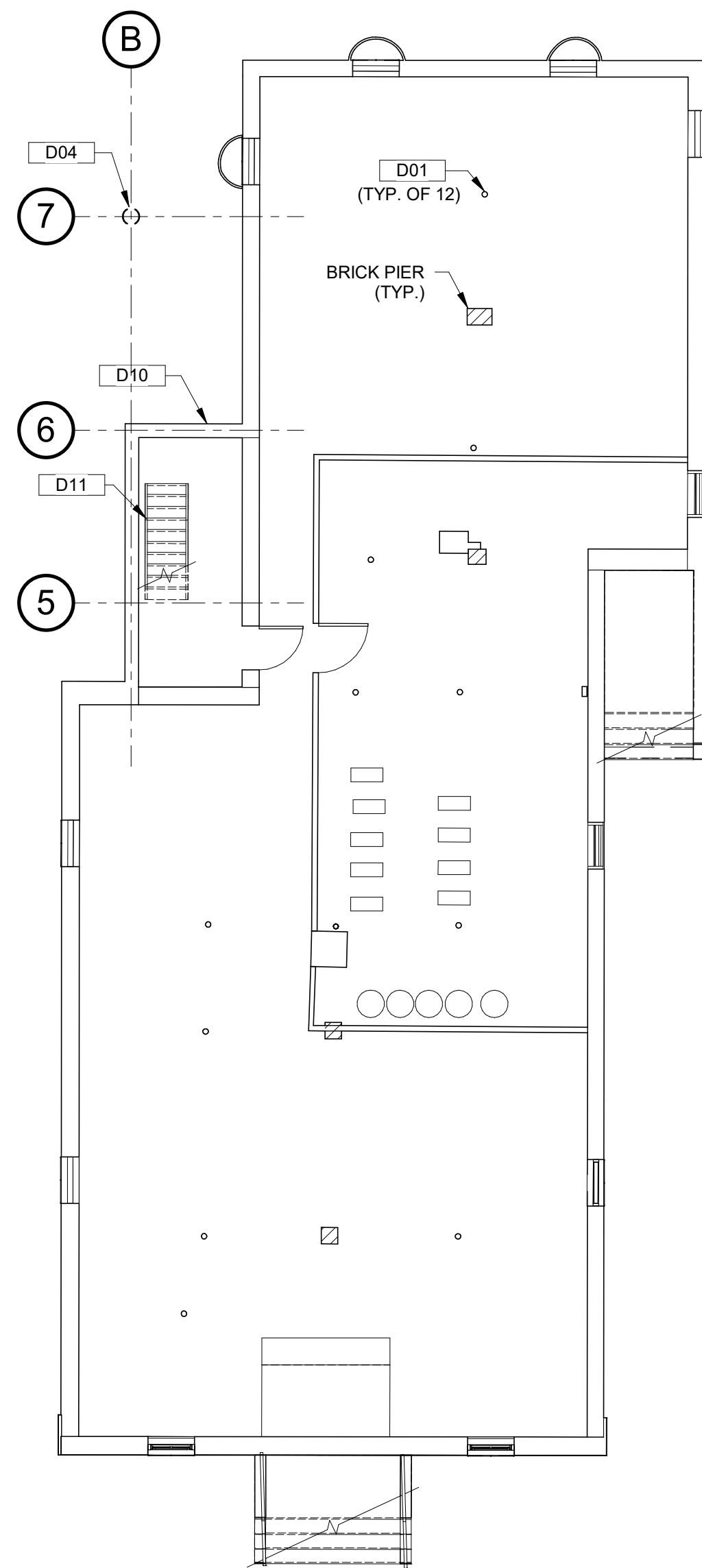
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Issue Date:

FEBRUARY 24, 2023

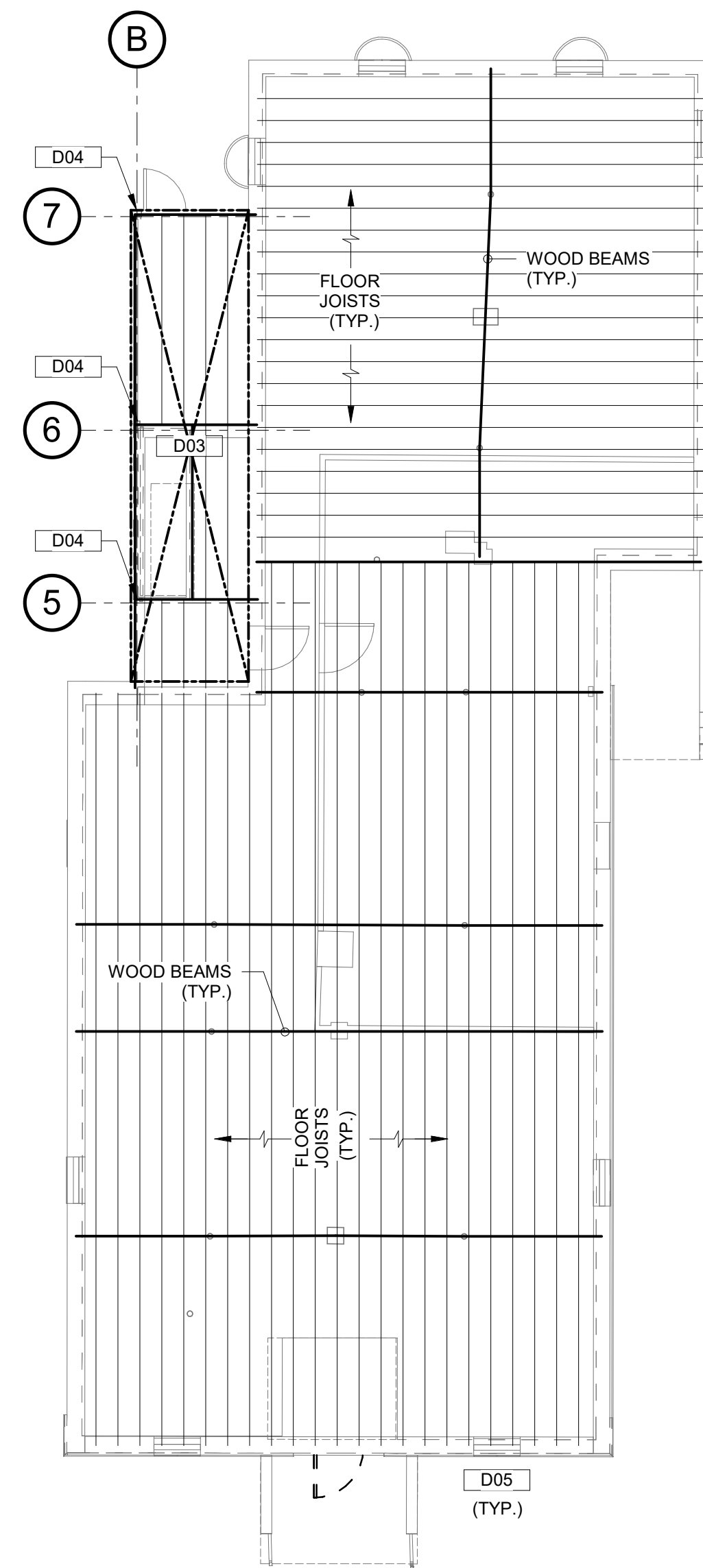
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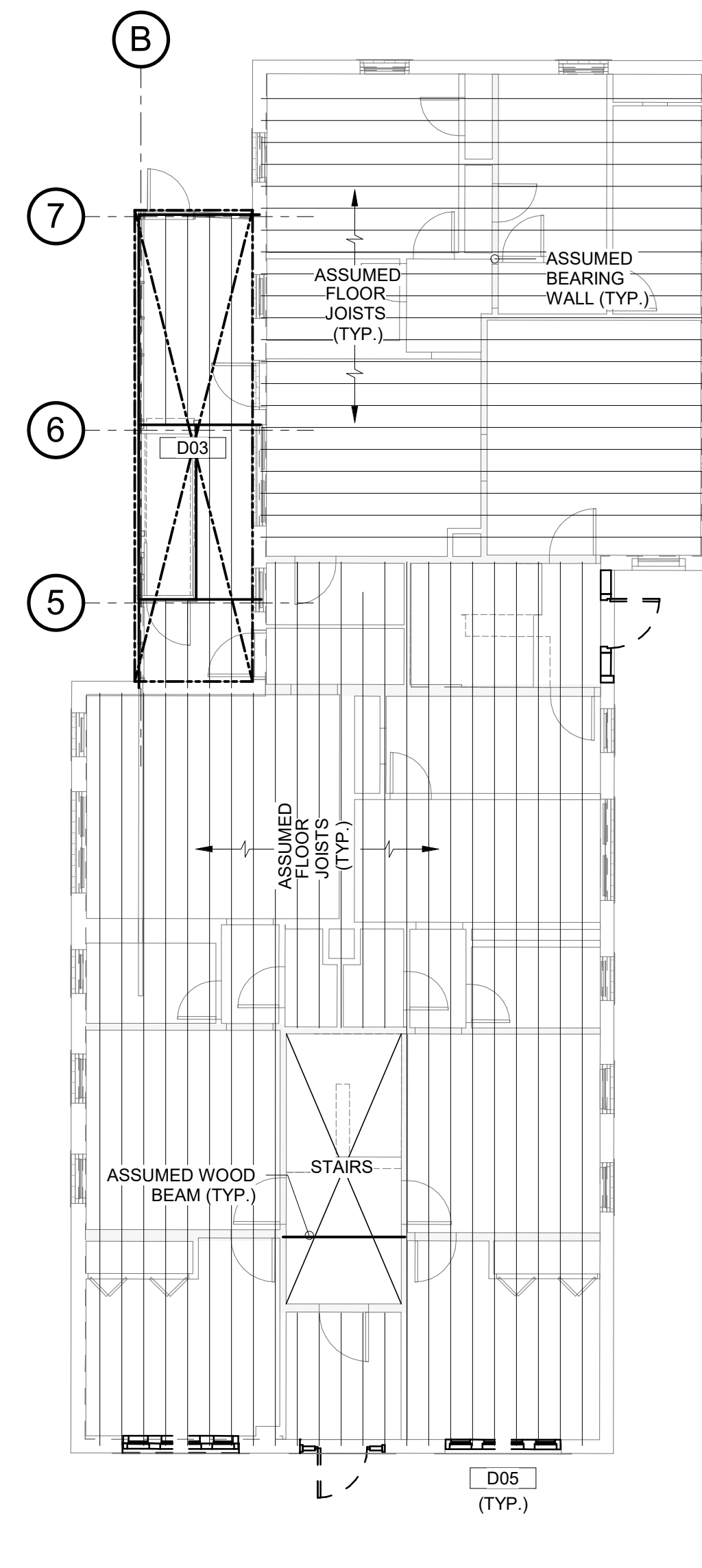
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



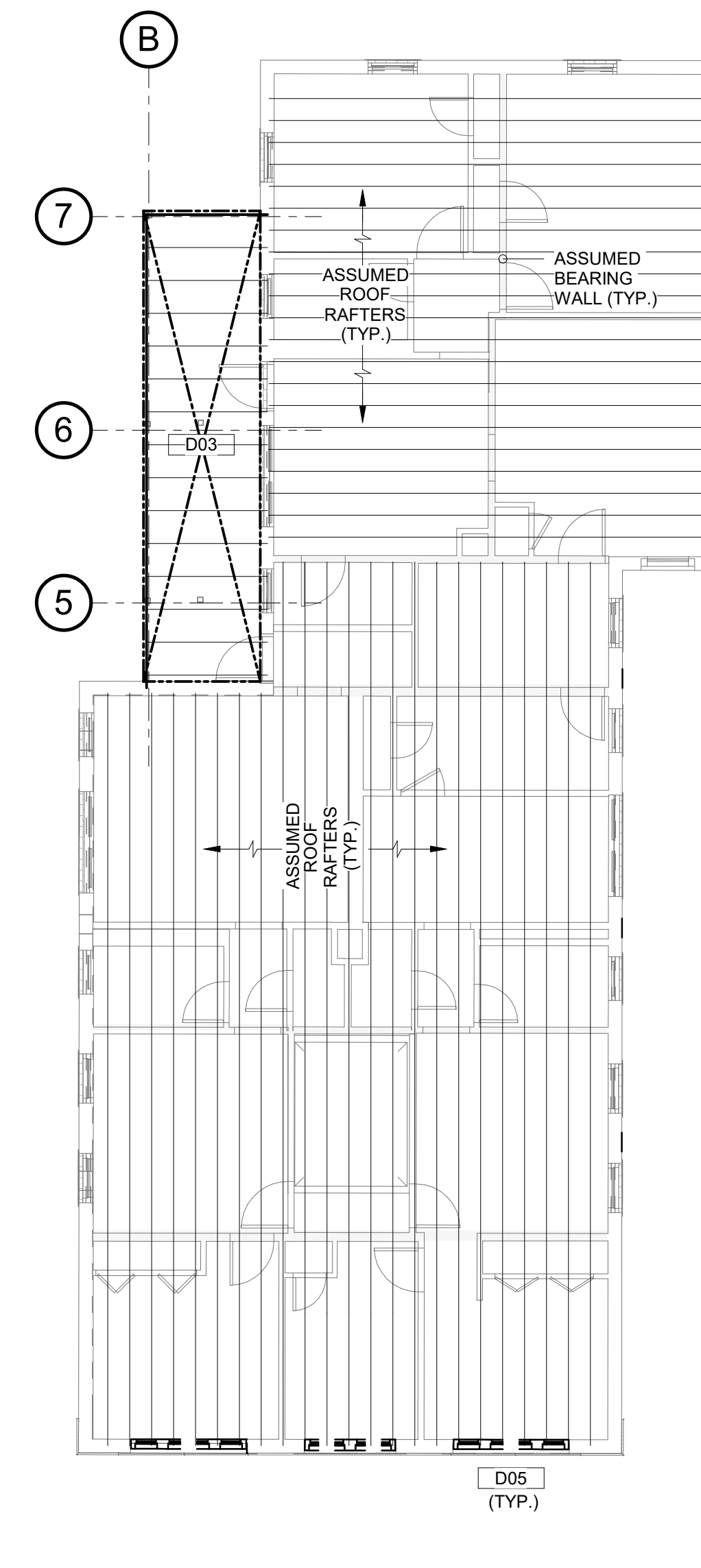
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN

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Consultant:



Revision:

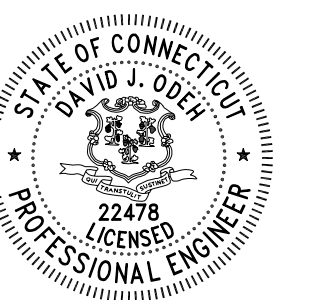
Architect of Record:

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Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
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Sheet Name:

BUILDING 5 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
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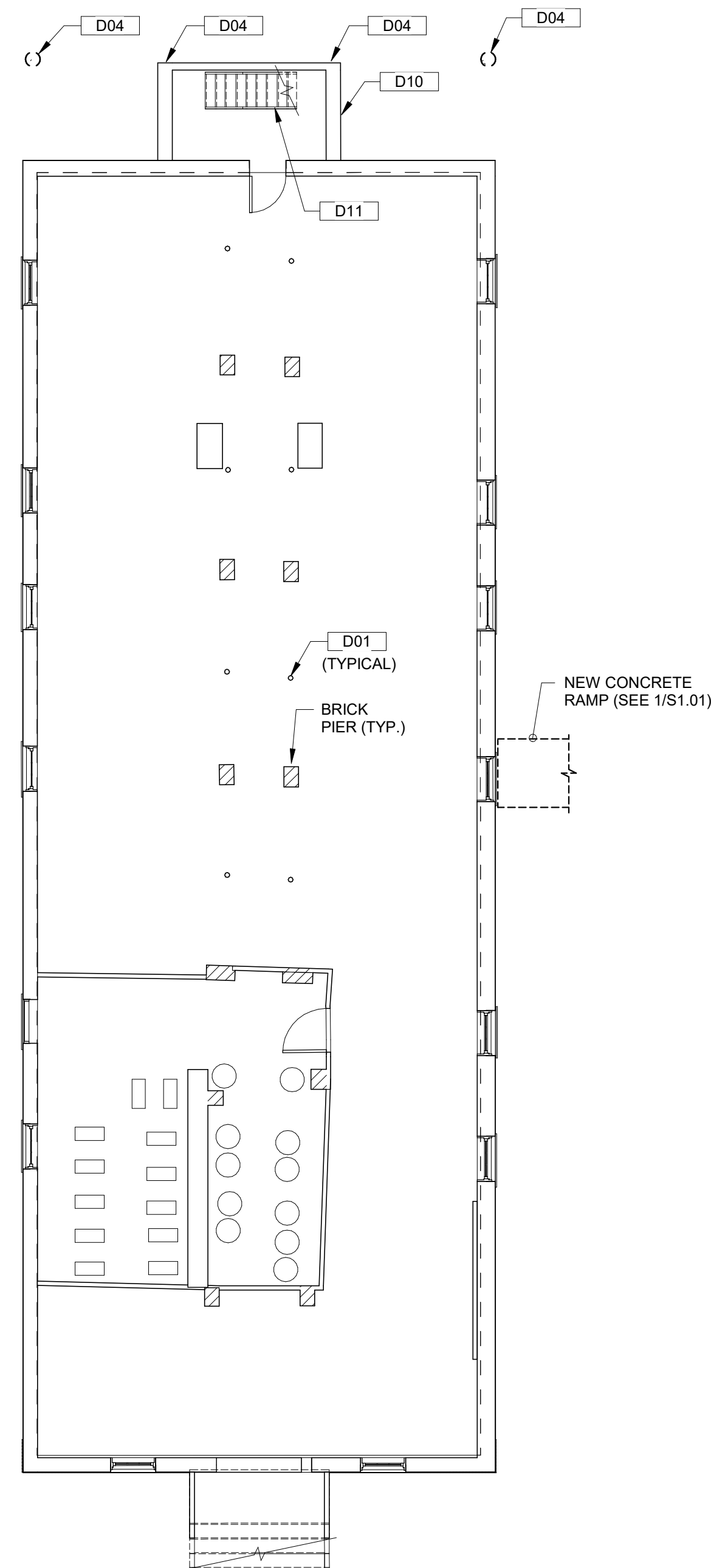
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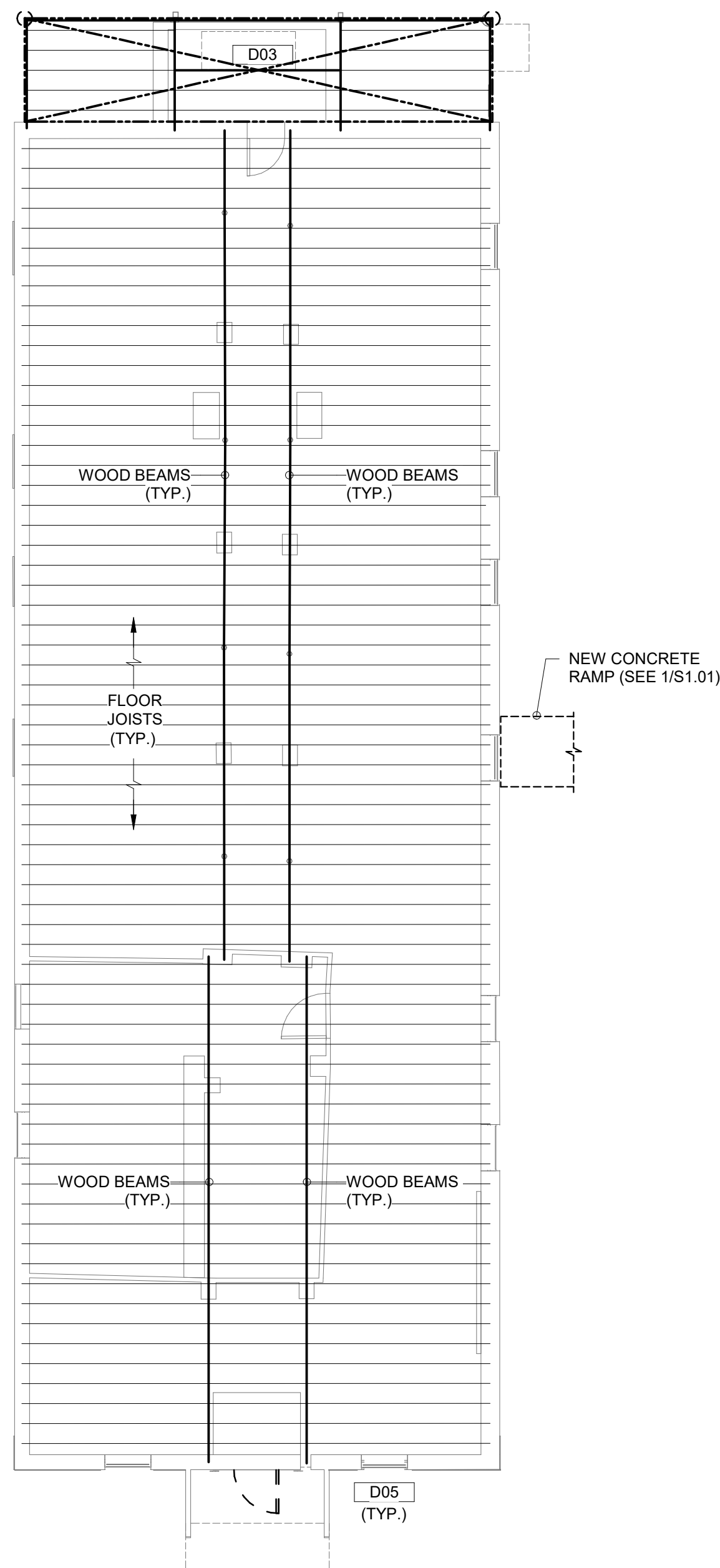
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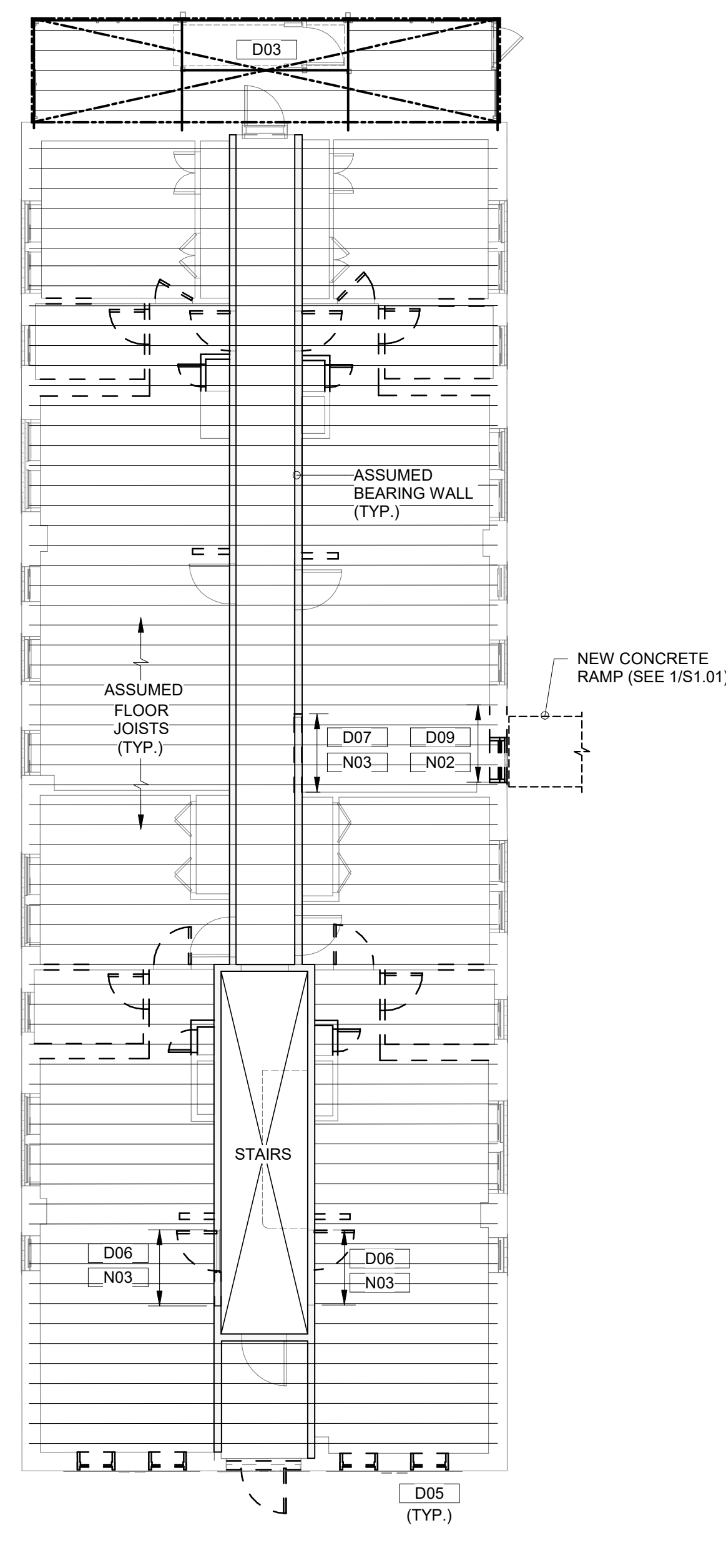
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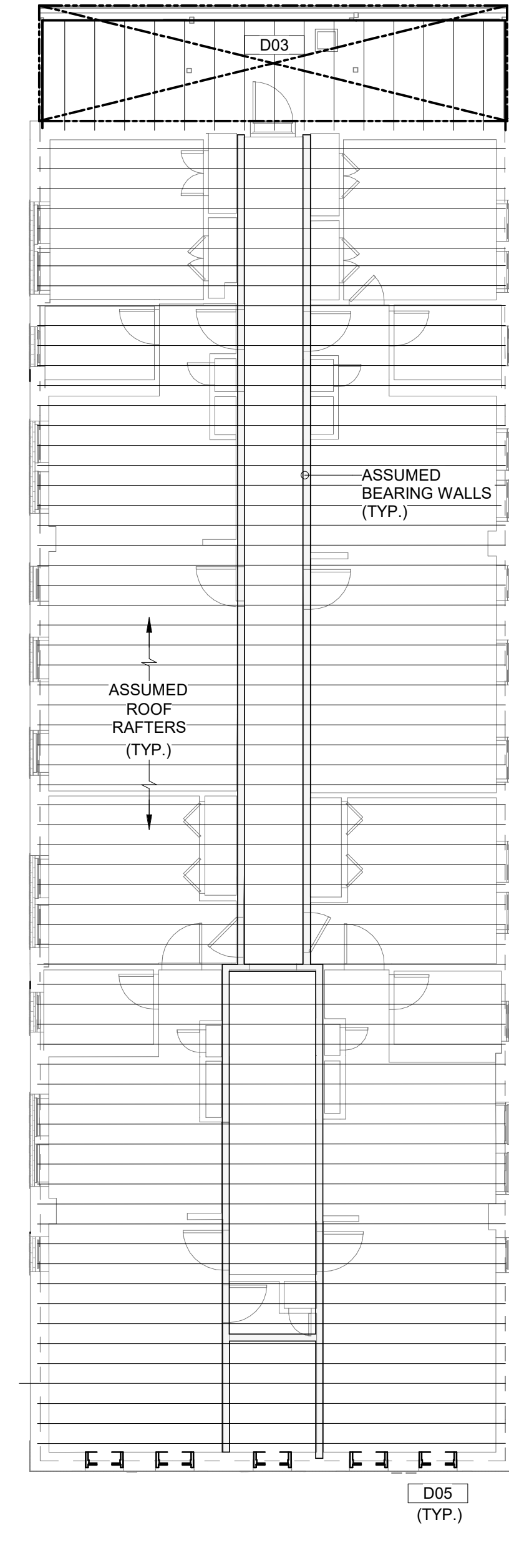
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STRUCTURAL DEMO NOTES

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D01	EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL".
D02	EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.
D03	EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS S1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D04	REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D05	EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.
D06	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.
D07	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR NEW HALLWAY. PROVIDE NEW WOOD HEADERS AND JAMB STUDS.
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D09	PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR.
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N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

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Consultant:



Revision:

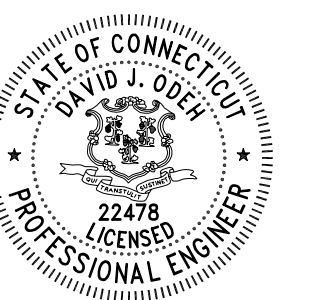
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 6 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

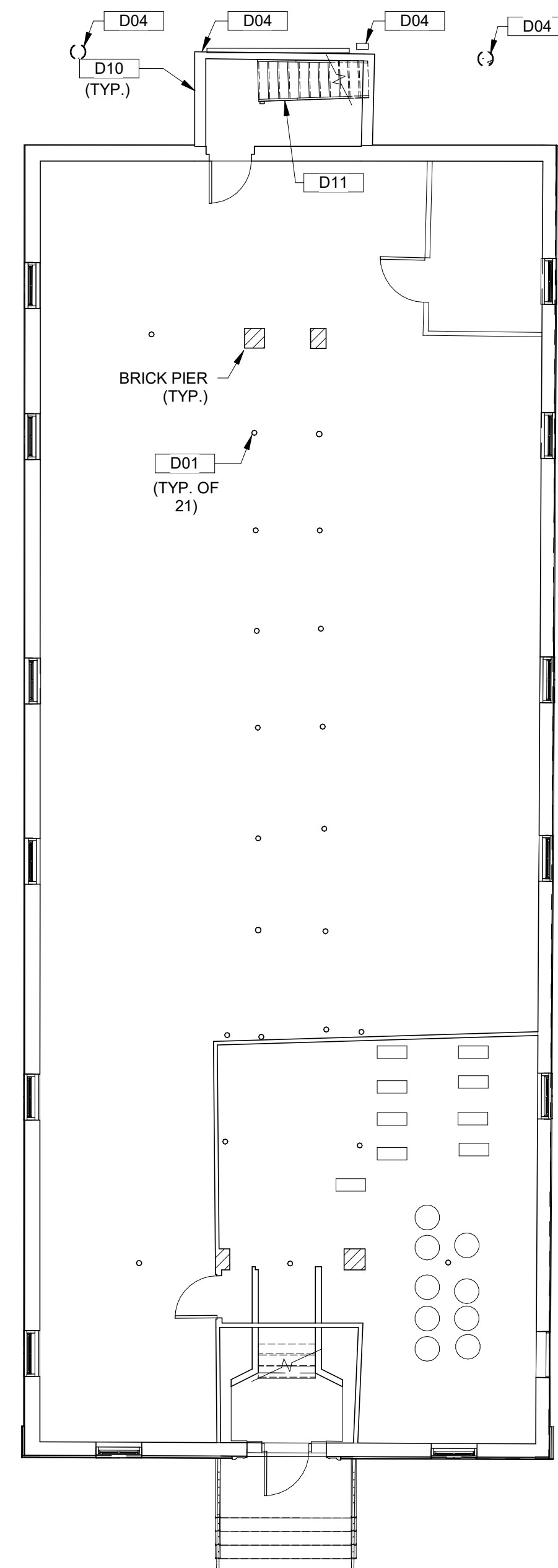
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Issue Date:

FEBRUARY 24, 2023

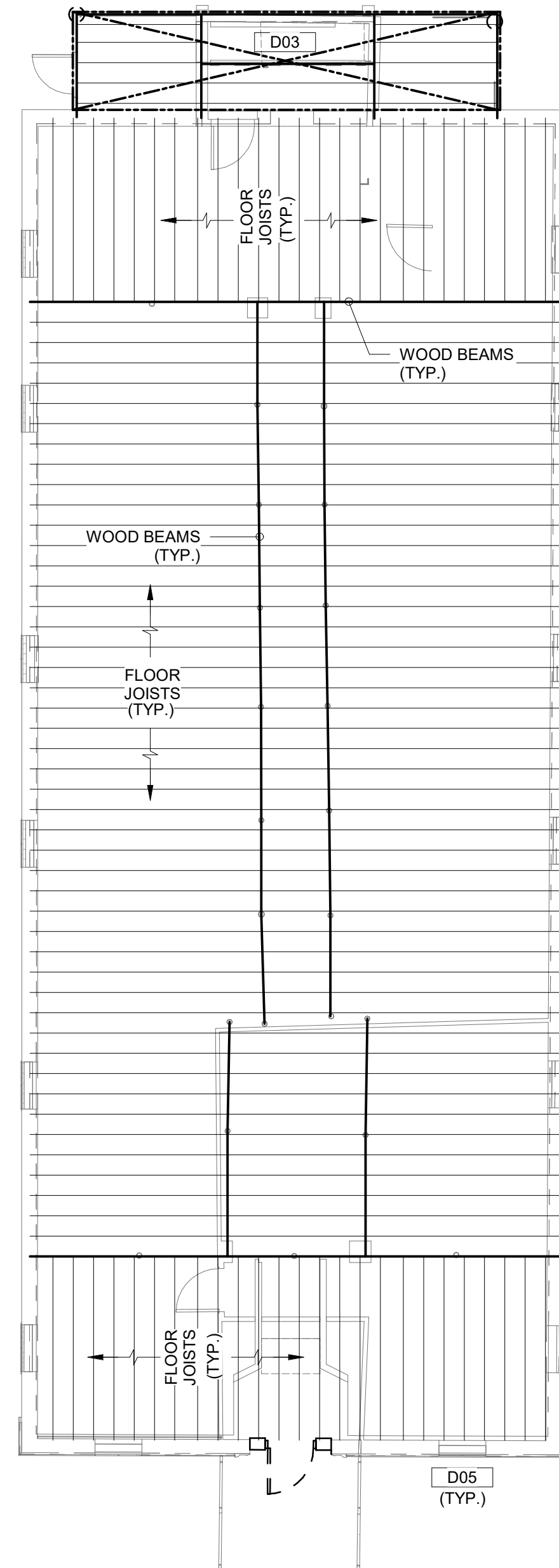
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SE1.06



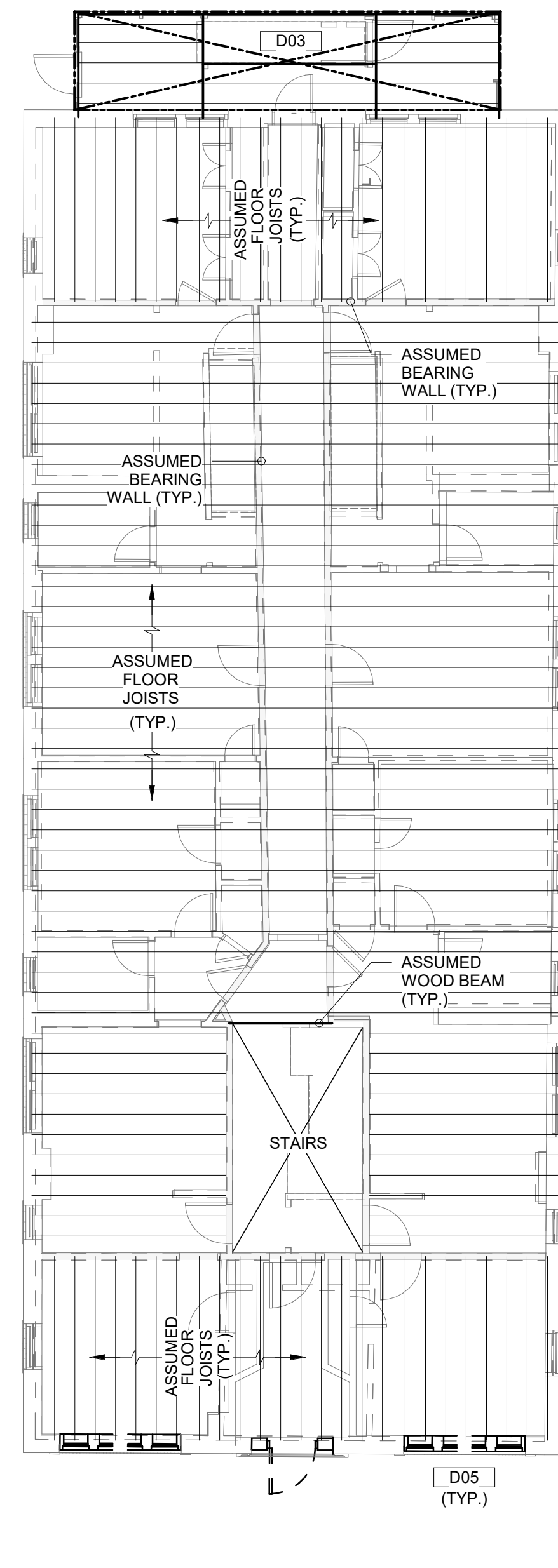
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



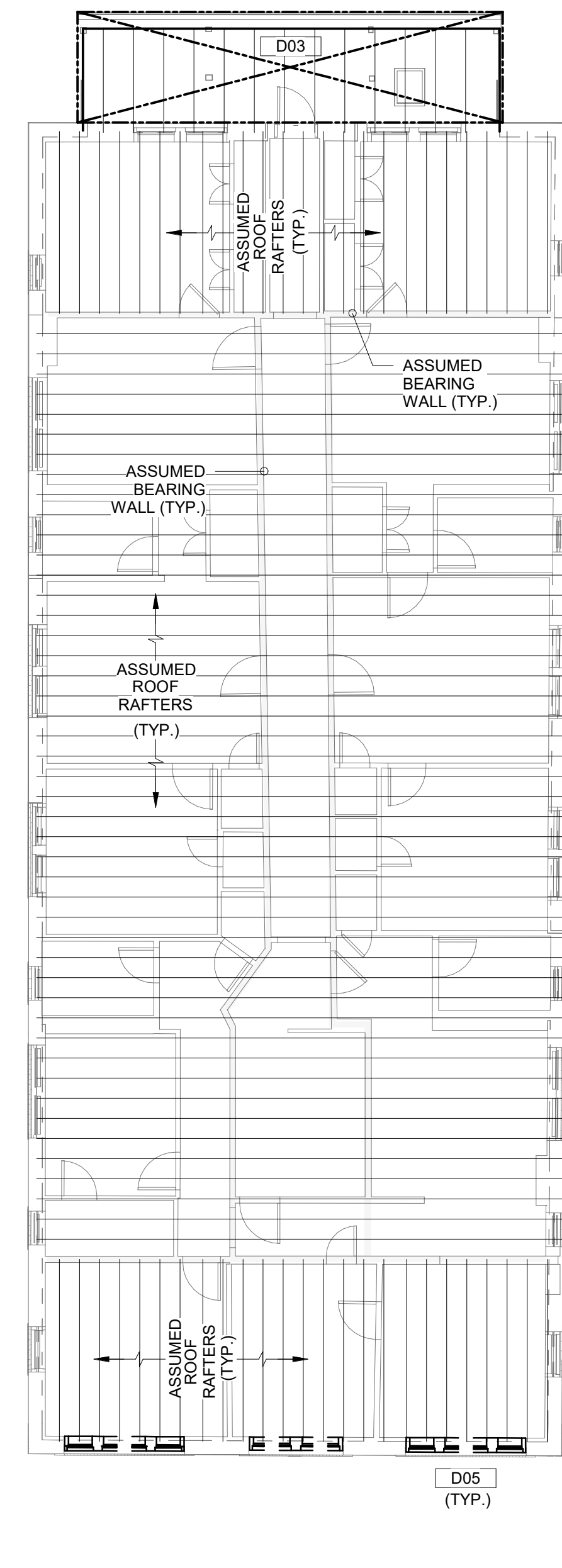
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN

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Consultant:



Revision:

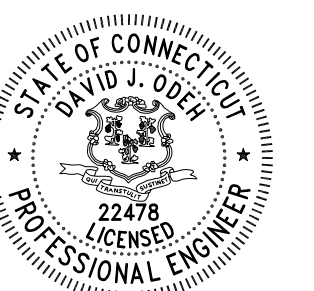
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 7 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

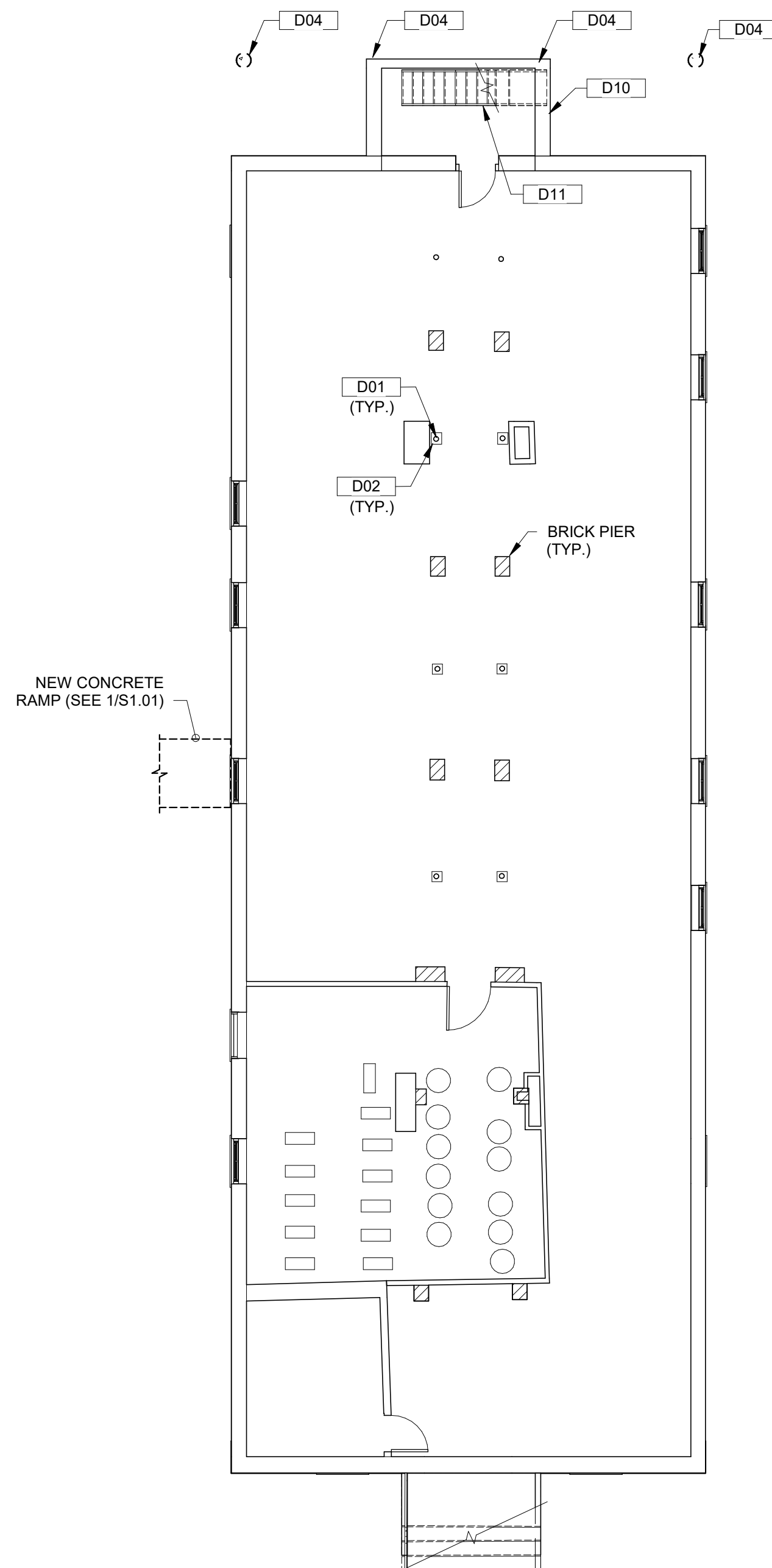
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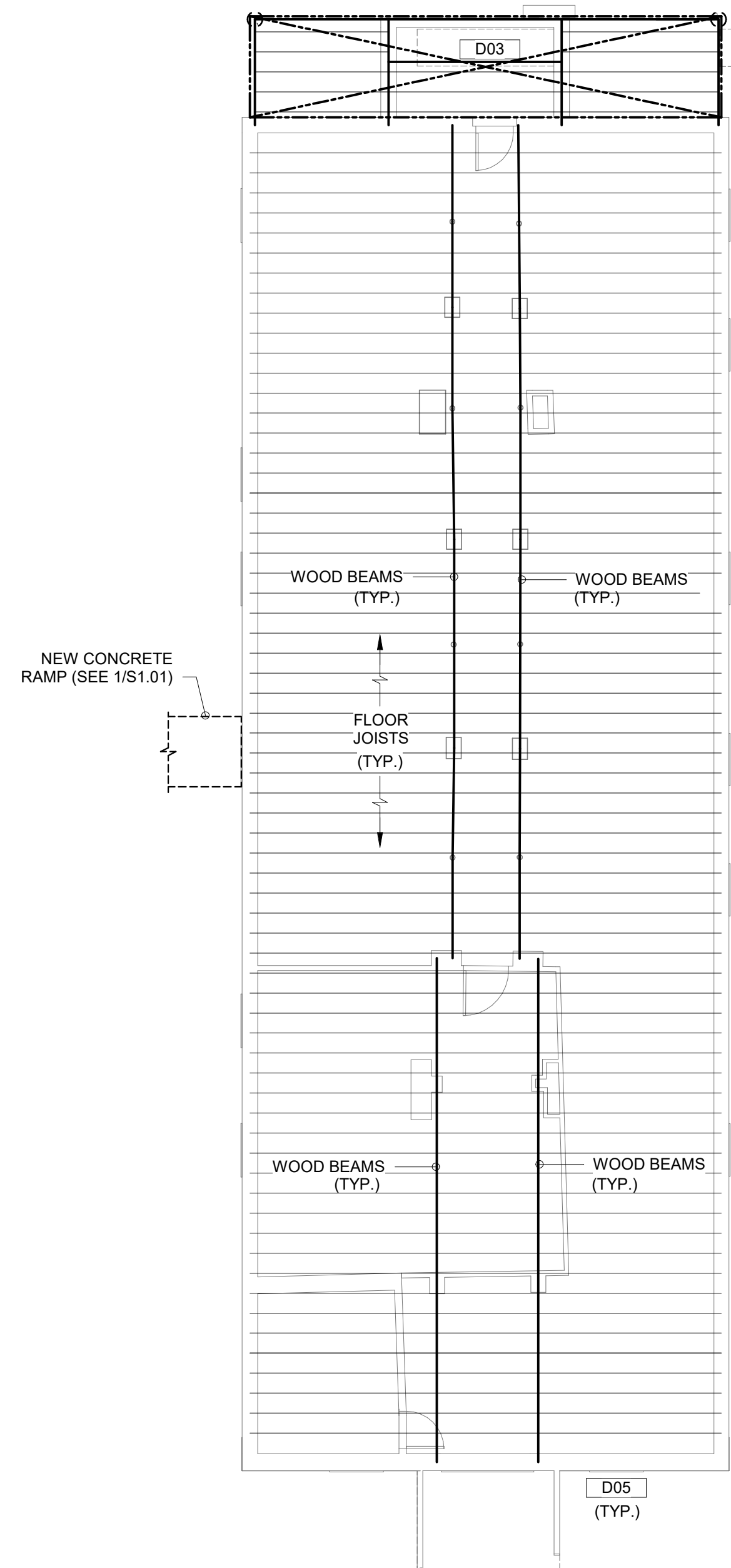
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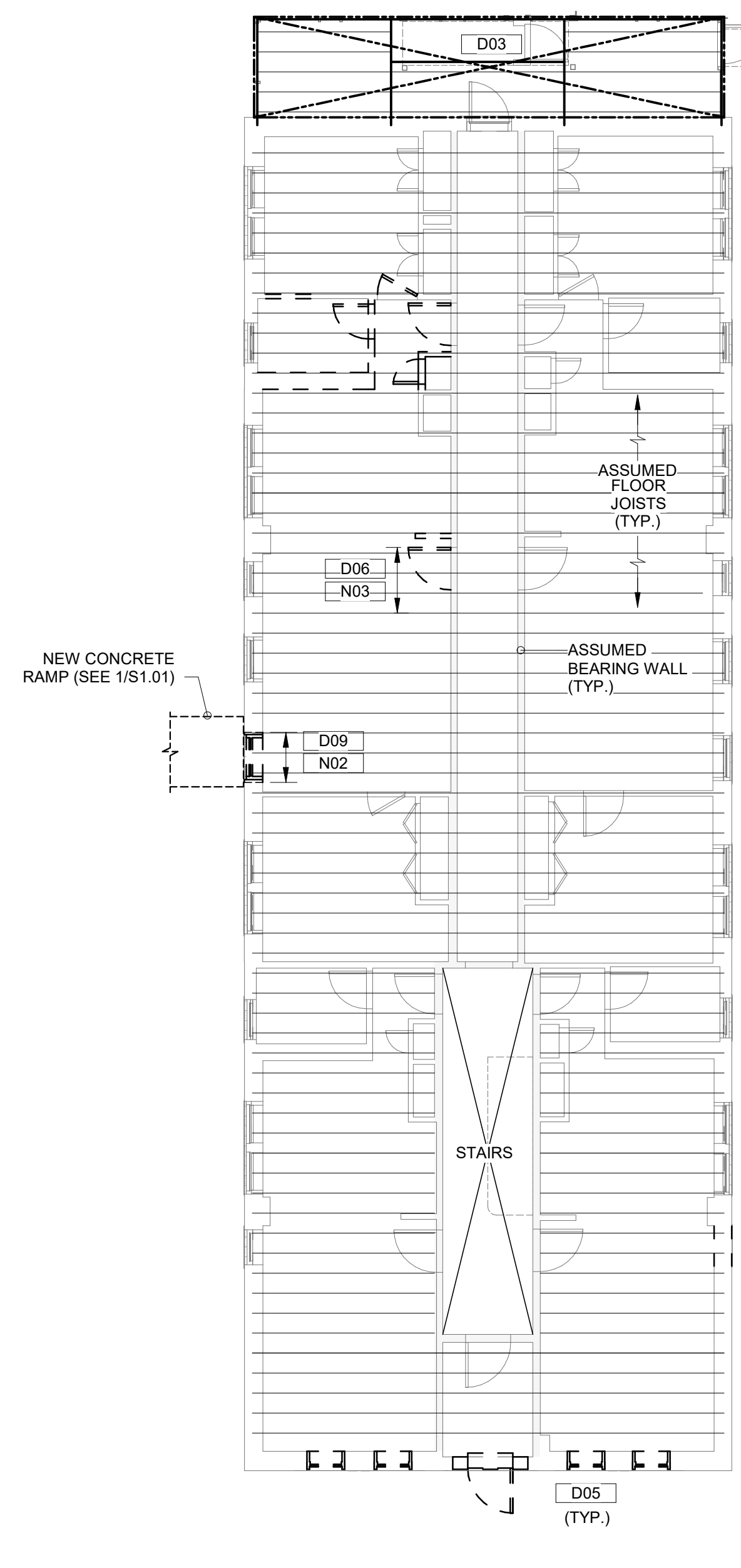
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



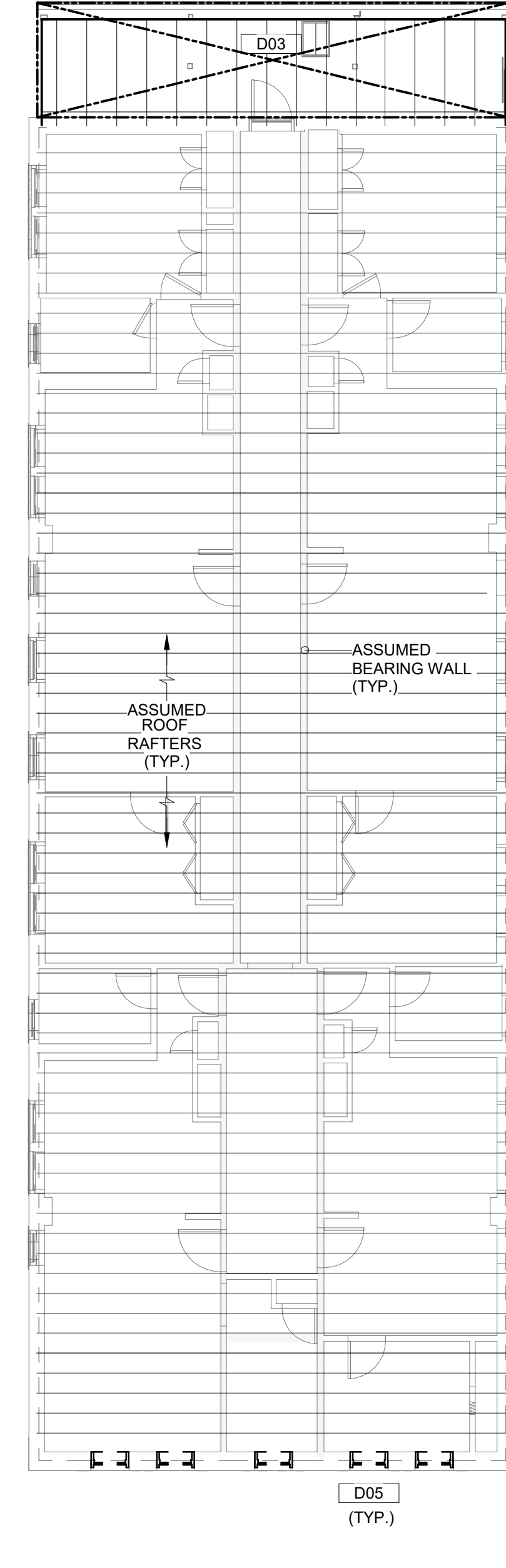
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN

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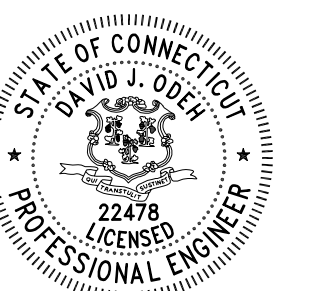
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
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BUILDING 8 EXISTING STRUCTURAL PLANS

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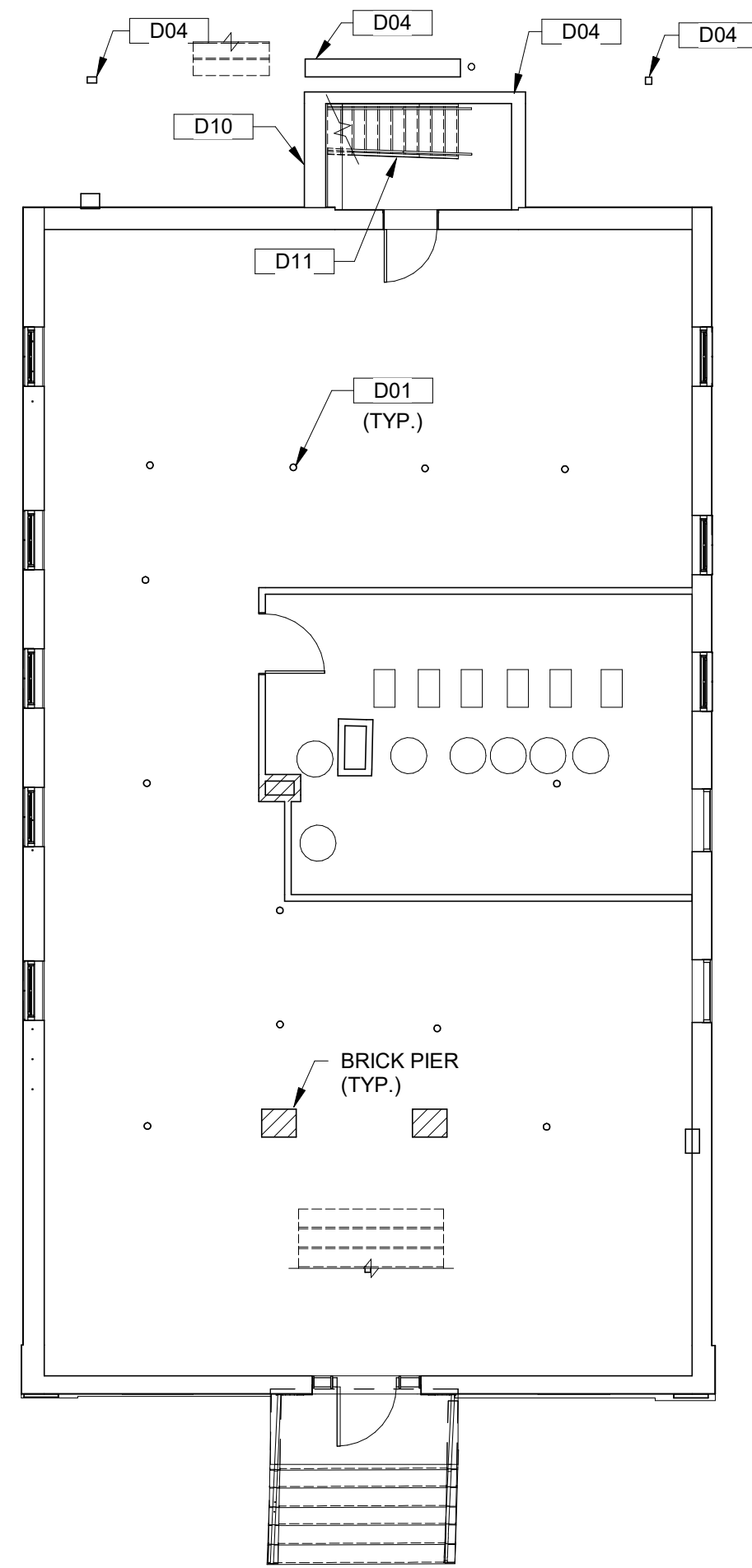
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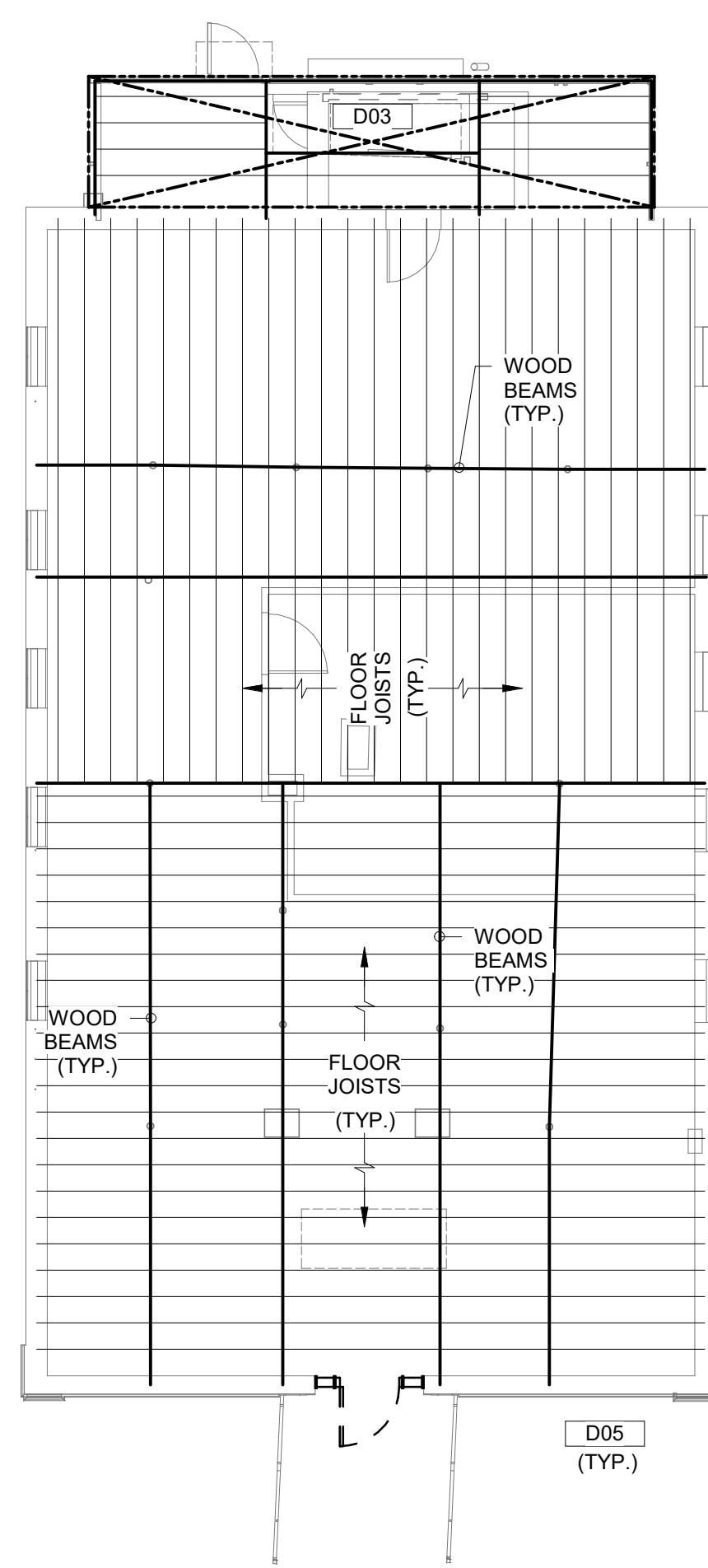
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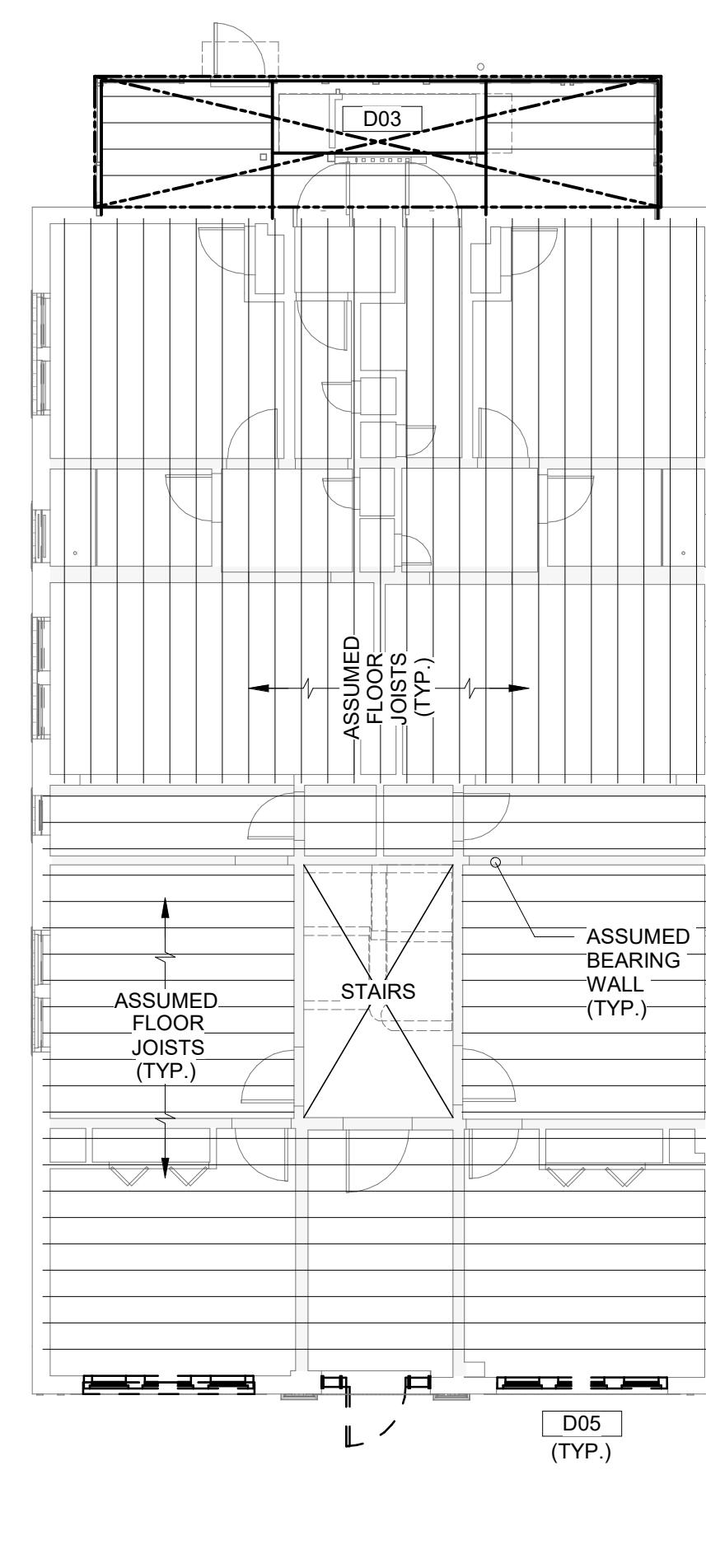
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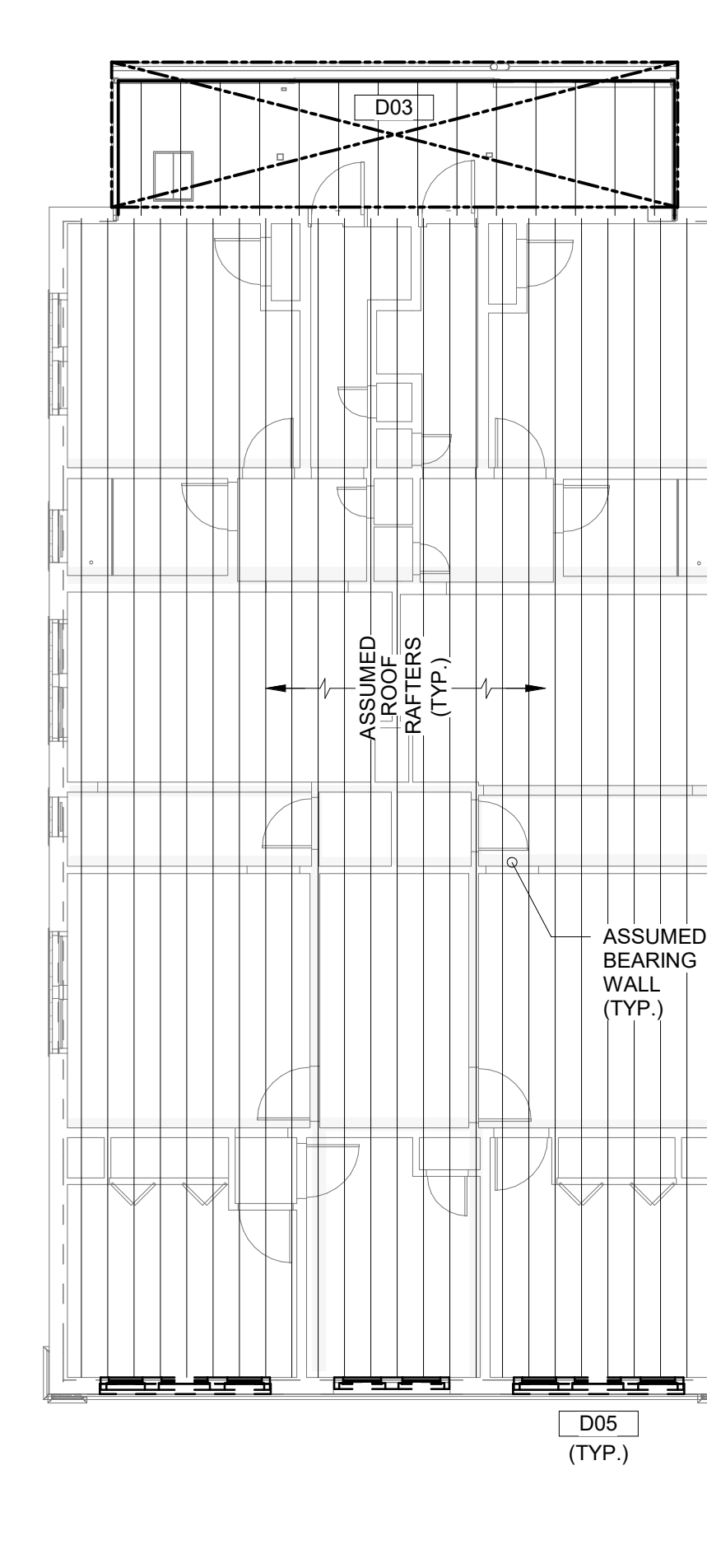
1 EXISTING BASEMENT PLAN
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Revision:

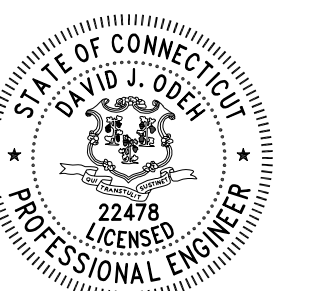
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 9 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
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Project Number:

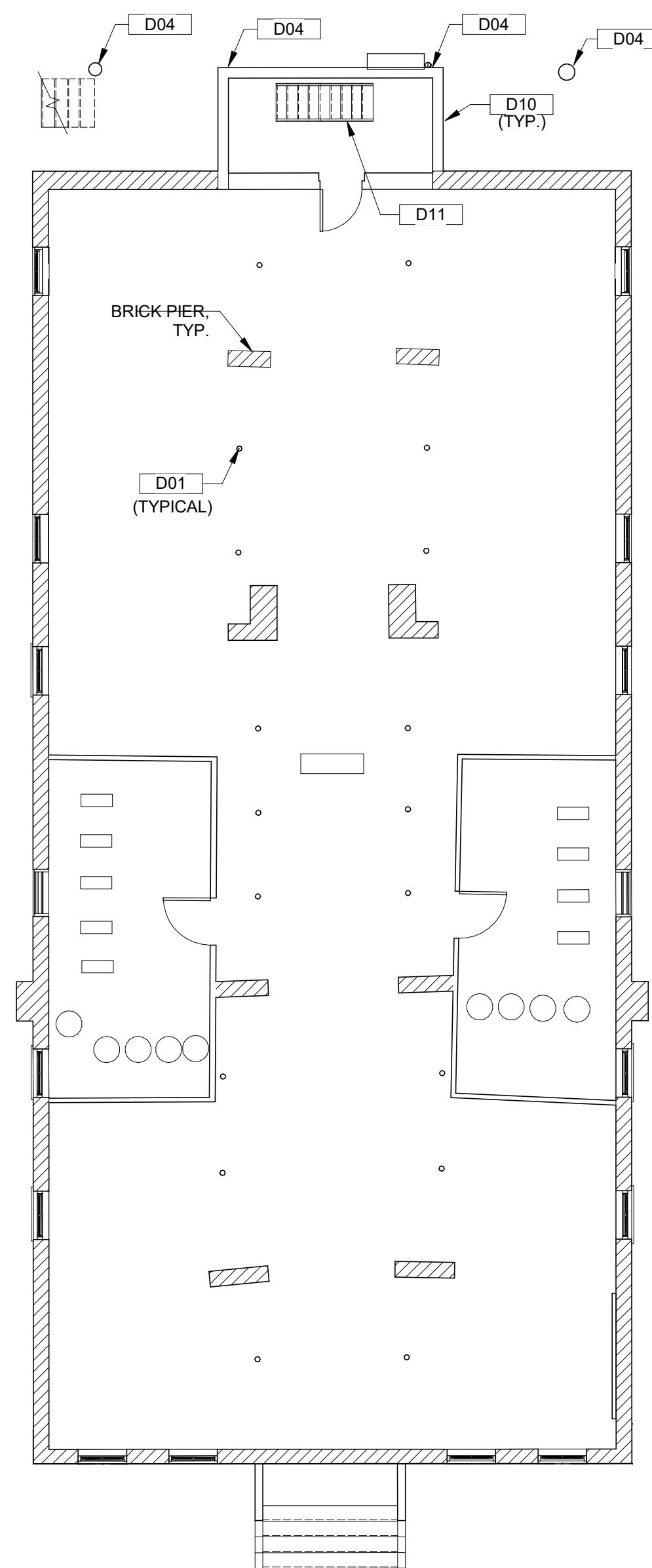
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Issue Date:

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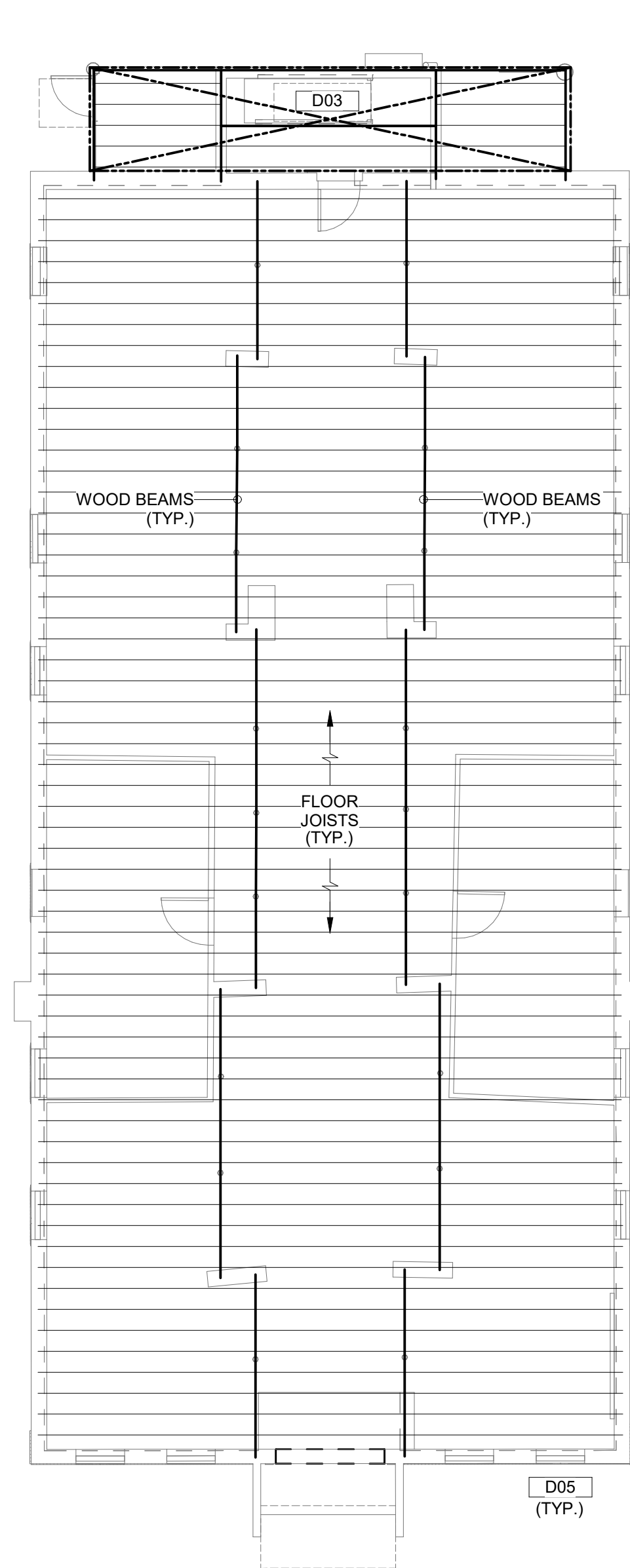
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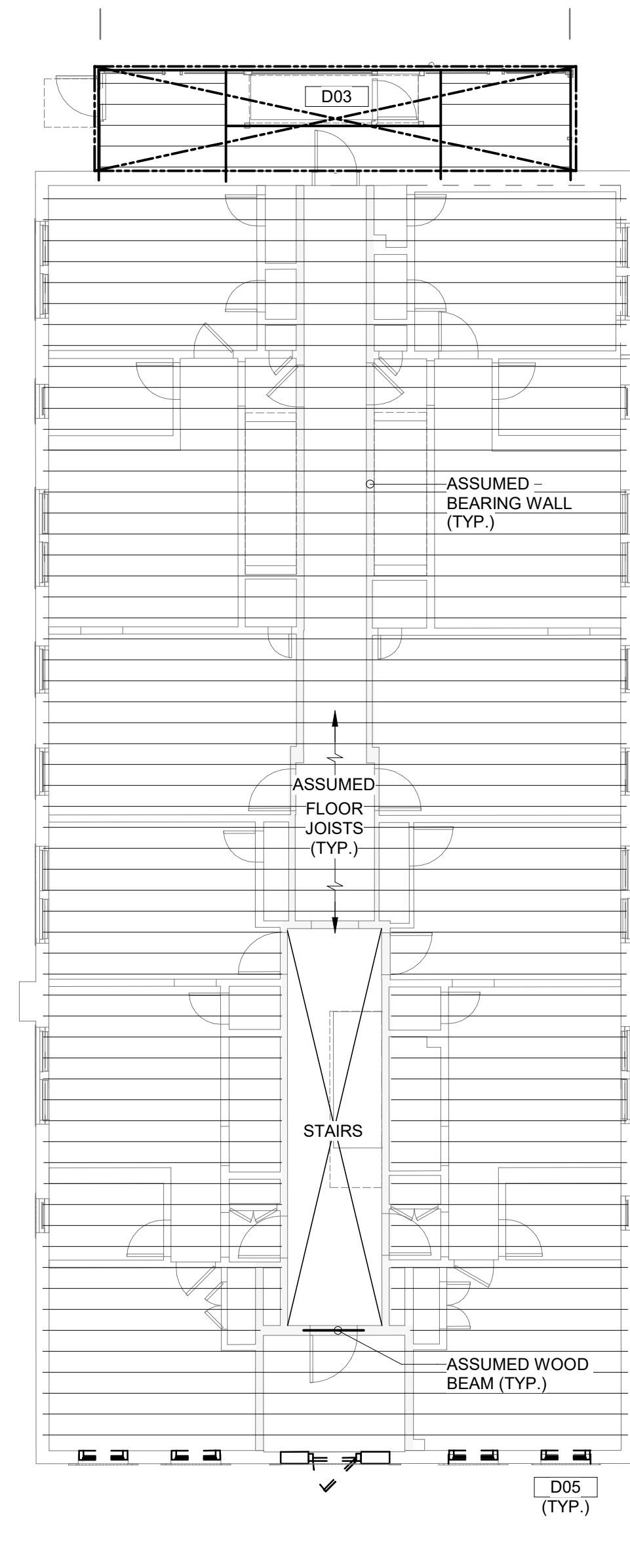
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



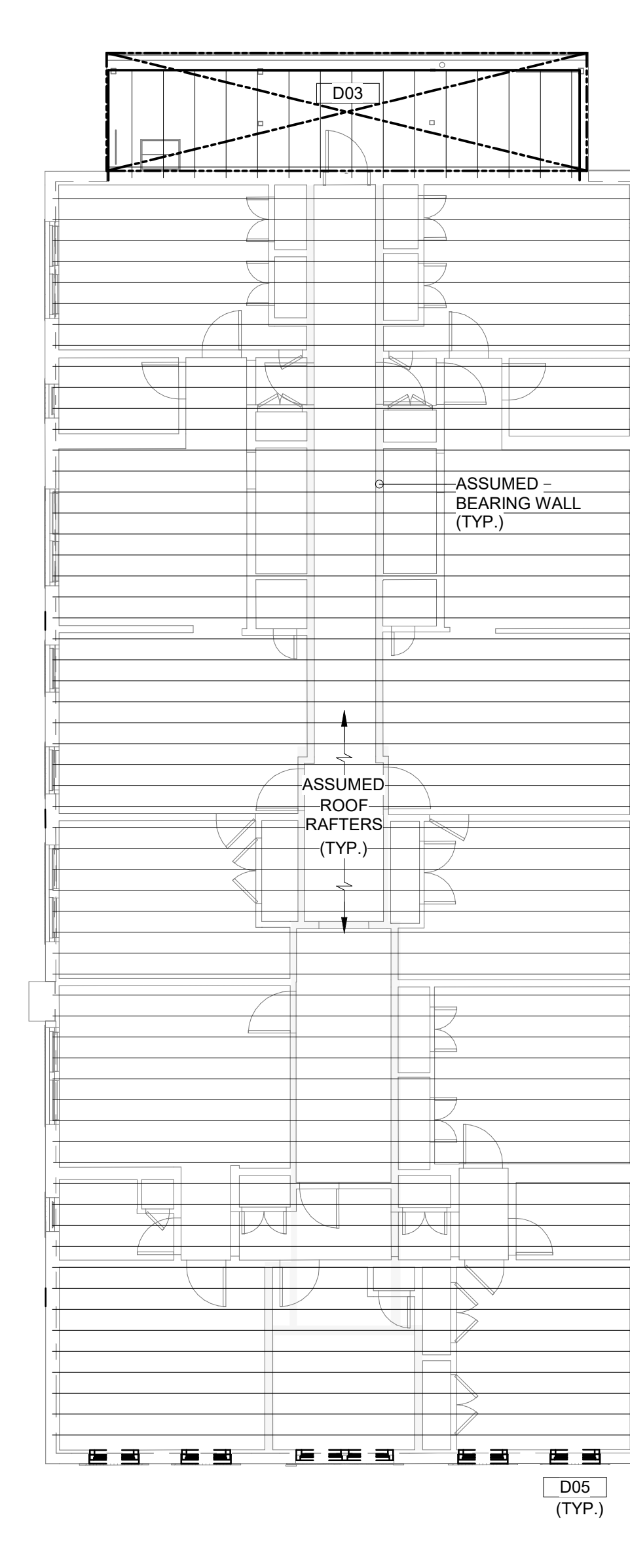
2 EXISTING 1st FLOOR FRAMING PLAN

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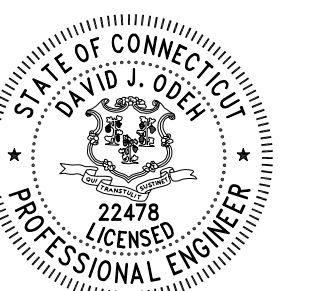
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Key Plan:



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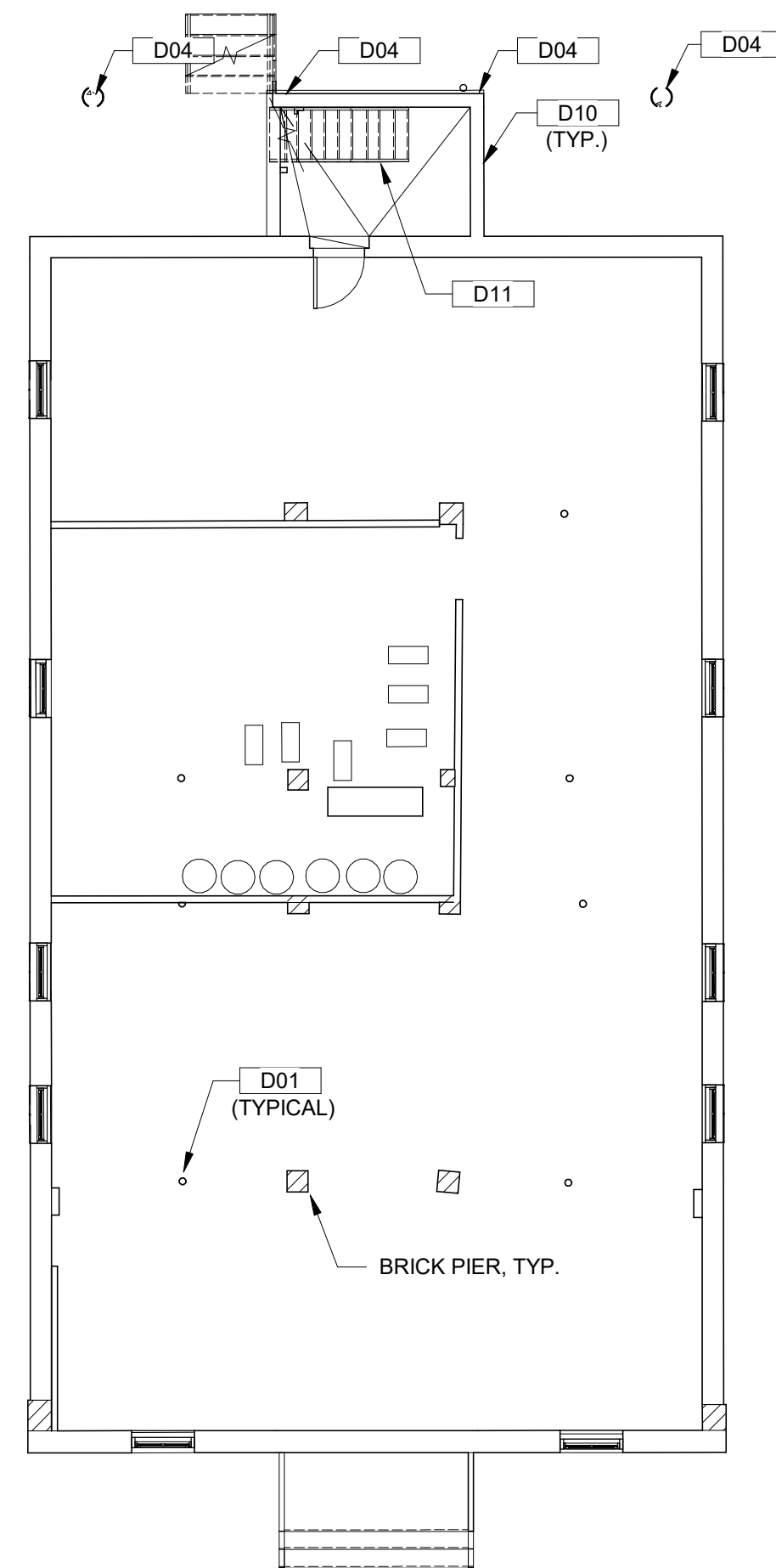
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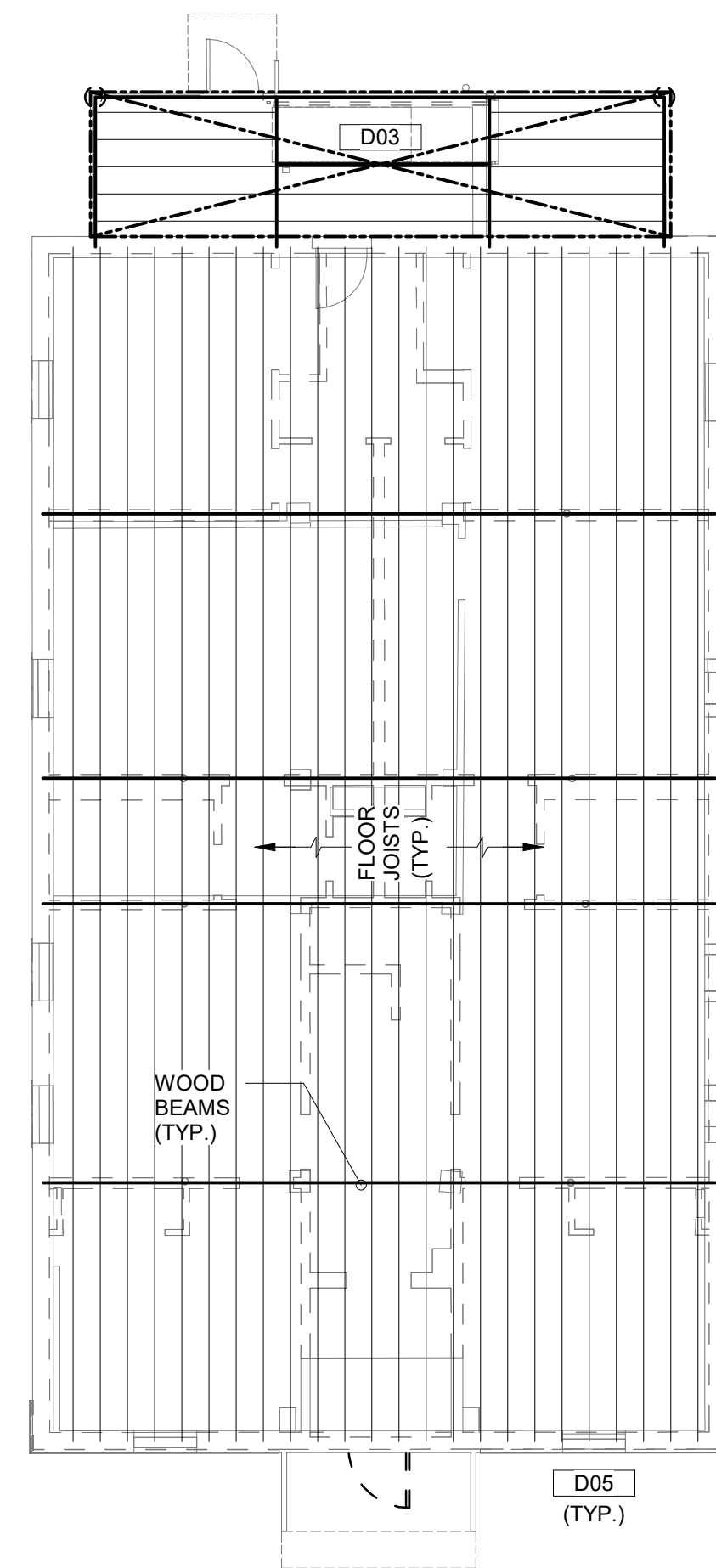
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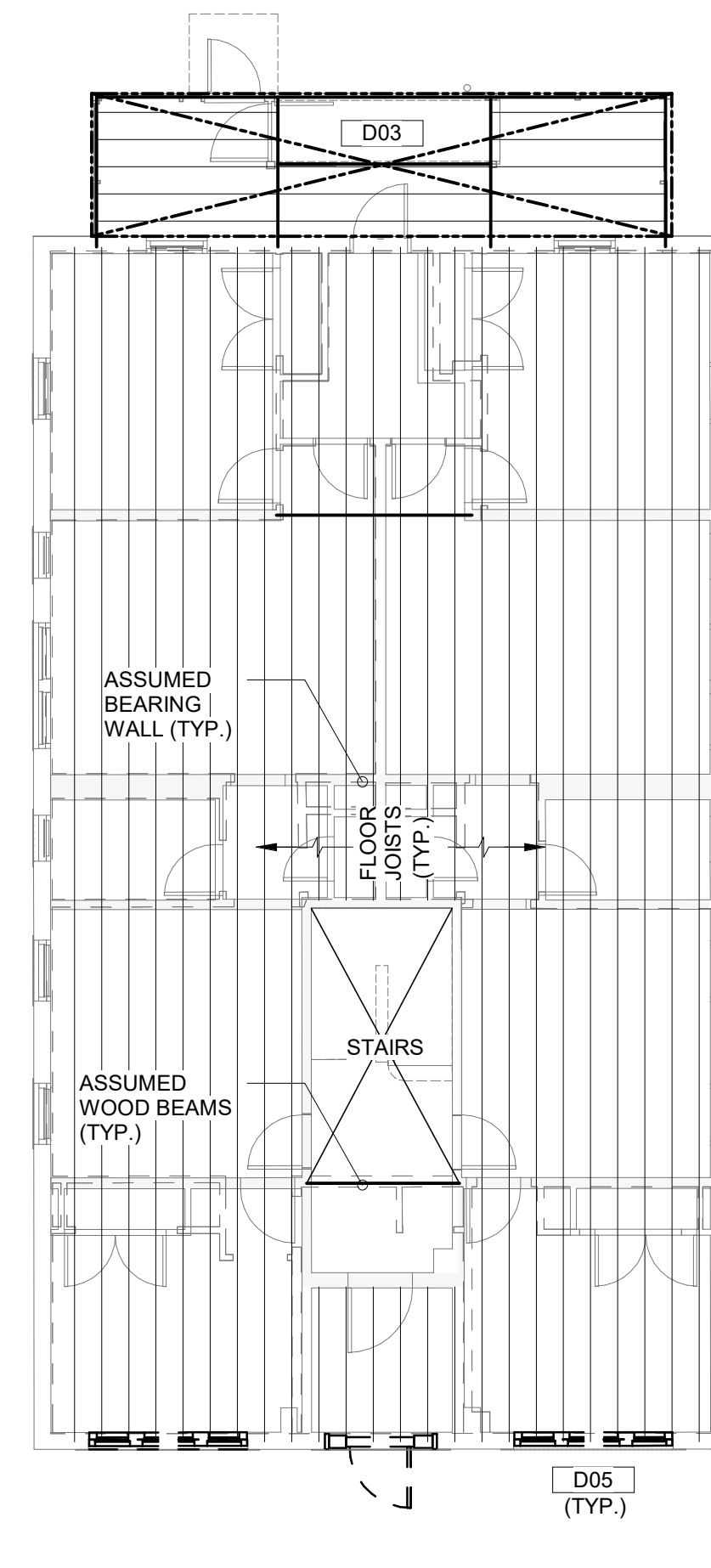
1 EXISTING BASEMENT PLAN

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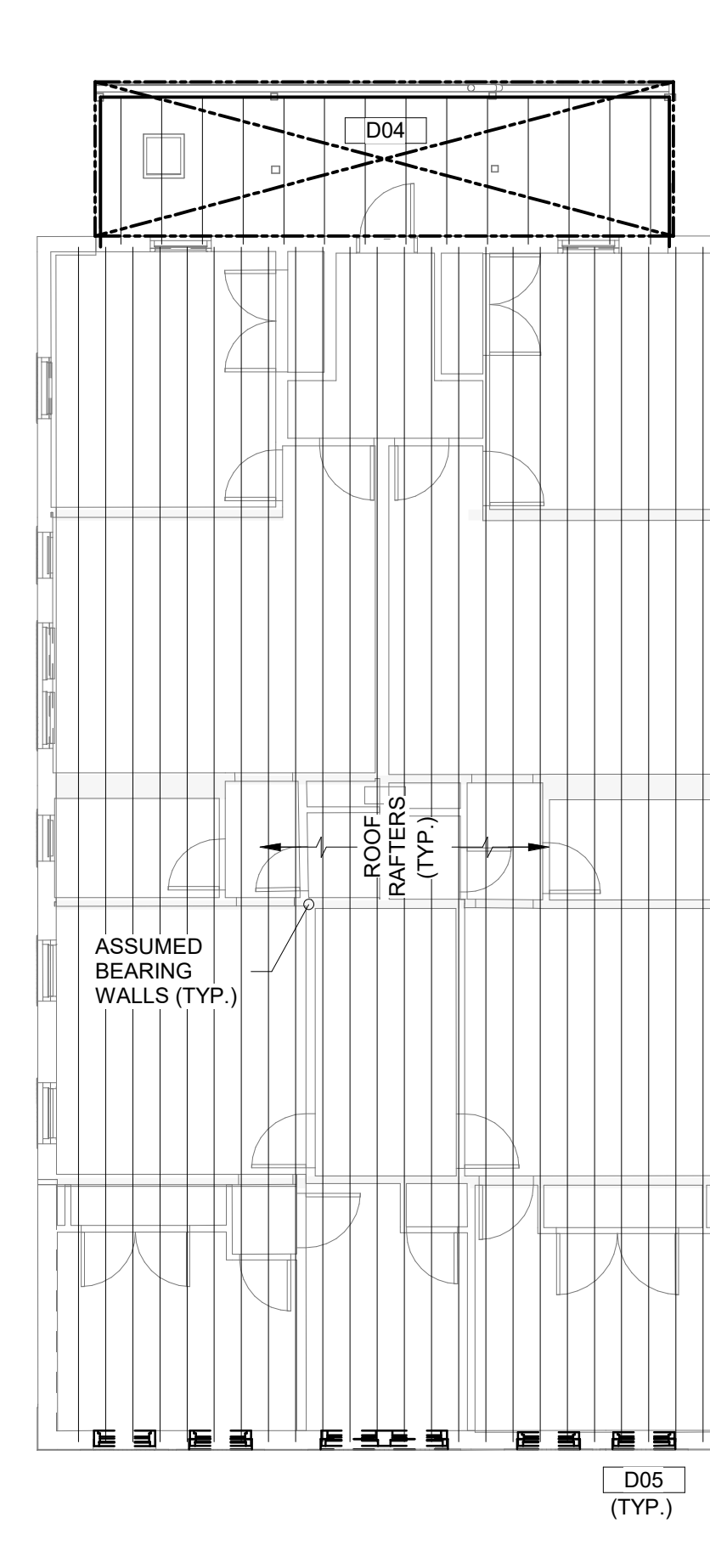
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GENERAL NOTES

A. GENERAL

- ALL NEW WORK AND WORK IN THE EXISTING STRUCTURE SHALL CONFORM TO THE 2021 CONNECTICUT STATE BUILDING CODE (INTERNATIONAL BUILDING CODE (IBC) 2021 AND INTERNATIONAL BUILDING CODE (IBC) 2021 WITH AMENDMENTS) AND ITS APPLICABLE REFERENCED STANDARDS (HEREIN REFERRED TO AS THE BUILDING CODE).
- ALL REFERENCES TO THE CONTRACTOR IN THIS SET OF DRAWINGS REFER TO THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, AND OTHER PARTY OR PARTIES RESPONSIBLE FOR THE EXECUTION OF THE PROJECT.
- ALL REFERENCES TO A PROFESSIONAL ENGINEER, STRUCTURAL ENGINEER, AND GEOTECHNICAL ENGINEER IN THIS SET OF DRAWINGS REFERS TO A PROFESSIONAL ENGINEER COMPETENT IN THE RESPECTIVE FIELD OF DESIGN WHO IS REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. THEY RELATE TO NEW CONSTRUCTION. REPORT ALL OBSERVATIONS AND ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER OF RECORD AS A REQUEST FOR INFORMATION (RFI) BEFORE PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND BRACING THE STRUCTURE DURING ALL CONSTRUCTION PHASES. ALL SHORING AND BRACING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. SUBMIT AN OUTLINE OF PROPOSED PROCEDURE AND ITS IMPACT ON THE BUILDING STRUCTURE FOR RECORD TO THE ARCHITECT/ENGINEER OF RECORD BEFORE PROCEEDING WITH WORK.
- THE EVALUATION OF THE STRUCTURE TO SAFELY SUPPORT ANY AND ALL CONSTRUCTION LOADING (E.G. EQUIPMENT LOADS, TEMPORARY LOADS FROM DEBRIS AND MATERIAL STORAGE) IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN TEAM HAS EVALUATED THE EXISTING STRUCTURE, AFTER IMPLEMENTATION OF THE STRUCTURAL ALTERATIONS SHOWN ON THE DRAWINGS, FOR THE PERMANENT DEAD LOADS AND UNIFORM LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS ACCORDING TO THE REQUIREMENTS OF THE BUILDING CODE. THE CONTRACTOR SHALL OBTAIN COPIES OF THE ORIGINAL STRUCTURAL DRAWINGS FOR THE BUILDING AND ANY ADDITIONS AND ALTERATIONS (IF AVAILABLE), AND SHALL ENGAGE A LICENSED STRUCTURAL ENGINEER TO EVALUATE THE PROPOSED CONSTRUCTION LOADING ON THE EXISTING STRUCTURE AND TO DESIGN ALL TEMPORARY BRACING AND SHORING SYSTEMS THAT MAY BE REQUIRED DUE TO THE CONTRACTOR'S MEANS AND METHODS AND SEQUENCE OF CONSTRUCTION.
- WHERE DETAILS FOR SPECIFIC CONDITIONS ARE NOT SHOWN ON THESE DRAWINGS, USE DETAILS FOR THE MOST NEARLY SIMILAR CONDITIONS SHOWN ON THE STRUCTURAL DRAWINGS AS DETERMINED BY THE STRUCTURAL ENGINEER OF RECORD. REPORT ANY COORDINATION ISSUES IMMEDIATELY AS AN RFI FOR REVIEW.
- COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR LOCATIONS AND DIMENSIONS OF CHASES, OPENINGS, BEAM PENETRATIONS, AND OTHER INFORMATION THAT IMPACTS STRUCTURE AND FOUNDATIONS THAT IS NOT SHOWN ON THESE DRAWINGS. INCLUDE ADDITIONAL FRAMING AND REINFORCEMENT FOR SUCH WORK PER THE TYPICAL STRUCTURAL DETAILS ON THESE DRAWINGS IN BASE CONTRACT.
- ALL WORK SHALL BE MONITORED AND INSPECTED BY AN INDEPENDENT TESTING AND INSPECTIONS AGENCY HIRED BY THE OWNER TO CARRY OUT ALL REQUIRED TESTING AND INSPECTION WORK IN CONFORMANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS. SUBMIT ALL TESTING AND INSPECTION REPORTS IN PDF FORMAT TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW.
- STRUCTURAL MEMBERS SHALL NOT BE MODIFIED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER OF RECORD. ANY ANTICIPATED MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS MUST BE SUBMITTED TO THE ARCHITECT/ENGINEER OF RECORD AS AN RFI FOR REVIEW AND COMMENT. IN THE EVENT OF A CONSTRUCTION OR FABRICATION ERROR, THE CONTRACTOR SHALL PREPARE A SKETCH AND CALCULATIONS, PREPARED BY A STRUCTURAL ENGINEER, DOCUMENTING THE PROPOSED CORRECTIVE ACTION AND SUBMIT IT TO THE ARCHITECT/ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO PERFORMING ANY CORRECTIVE WORK. ODEH ENGINEERS, INC. CANNOT CERTIFY ANY UNAUTHORIZED DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS.
- BEFORE A SITE VISIT BY ODEH ENGINEERS, INC. FOR OBSERVATION OF A COMPLETED STAGE OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A STATEMENT TO THE ARCHITECT/ENGINEER OF RECORD THAT ALL WORK HAS BEEN COMPLETED IN CONFORMANCE WITH THE STRUCTURAL CONTRACT DRAWINGS AND SHOP DRAWINGS WITHOUT EXCEPTION, OR HAS BEEN PERFORMED WITH FORMAL WRITTEN EXCEPTIONS ORIGINATING FROM OR AUTHORIZED BY ODEH ENGINEERS, INC.
- PRIOR TO RELEASE OF THE FINAL PROJECT CERTIFICATION TO THE BUILDING OFFICIAL, ODEH ENGINEERS, INC. REQUIRES A LETTER FROM THE CONTRACTOR'S PROJECT EXECUTIVE IN RESPONSIBLE CHARGE STATING THAT ALL WORK INDICATED ON THE STRUCTURAL DRAWINGS HAS BEEN PERFORMED WITHOUT EXCEPTION OR WAS PERFORMED WITH FORMAL WRITTEN EXCEPTIONS ORIGINATING FROM OR AUTHORIZED BY ODEH ENGINEERS, INC. IN ADDITION, ODEH ENGINEERS, INC. REQUIRES A LETTER FROM THE PRINCIPAL OF THE TESTING AND INSPECTIONS AGENCY CERTIFYING THAT ALL TESTING AND INSPECTIONS WORK HAS BEEN COMPLETED IN CONFORMANCE WITH THE PROJECT STATEMENT OF SPECIAL INSPECTIONS AND THAT ALL STRUCTURAL NONCONFORMANCE CONDITIONS FOUND HAVE BEEN BROUGHT INTO CONFORMANCE WITH THE PROJECT STRUCTURAL REQUIREMENTS PRIOR TO PROJECT COMPLETION.
- THE TRADE CONTRACTORS SHALL SUBMIT SHOP AND ERECTION DRAWINGS AS WELL AS PRODUCT DATA (COLLECTIVELY KNOWN HEREIN AS "SHOP DRAWINGS") FOR REVIEW PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION.
 - THE SHOP DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF PRACTICE FOR EACH RESPECTIVE TRADE IN CONJUNCTION WITH ADDITIONAL SHOP DRAWING REQUIREMENTS INDICATED ON THESE DRAWINGS.
 - ALL SHOP DRAWINGS SHALL BE FULLY DEVELOPED BY THE TRADE CONTRACTORS OR BY AGENTS OF THE CONTRACTORS. CAD FILES, PHOTOCOPIES, OR OTHER REPRODUCTIONS OF THE CONTRACT DRAWINGS IN WHOLE OR IN PART SHALL NOT BE USED BY THE TRADE CONTRACTORS OR THEIR AGENTS FOR THE PREPARATION AND DEVELOPMENT OF SHOP DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ODEH ENGINEERS, INC.
 - ALL SUBMITTALS SHALL BE IN UNLOCKED PDF FORMAT WITH SEARCHABLE TEXT.
 - DO NOT SCALE OFF OF THESE DRAWINGS.
 - THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS. IN ALL CASES OF CONFLICT, INFORMATION INDICATED ON THE STRUCTURAL DRAWINGS AND INCLUDED IN THE STRUCTURAL GENERAL NOTES SHALL GOVERN.

B. ENGINEERING REQUIREMENTS FOR THE CONTRACTOR

- THE DESIGN OF ALL ENGINEERED SYSTEMS NOTED IN THIS SECTION, INCLUDING CONNECTIONS OF EACH SYSTEM TO THE MAIN BUILDING STRUCTURE, ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL ENGINEERED SYSTEMS SHALL CONFORM TO THE BUILDING CODE AND SHALL BE PERFORMED BY AN INDEPENDENT STRUCTURAL ENGINEER ENGAGED BY THE CONTRACTOR.
- THE FOLLOWING ENGINEERED SYSTEMS ARE REQUIRED AS PART OF THE STRUCTURAL SYSTEMS SPECIFIED ON THIS PROJECT. CALCULATIONS AND SHOP DRAWINGS, BOTH SIGNED AND STAMPED BY A STRUCTURAL ENGINEER, ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD FOR REVIEW FOR EACH RESPECTIVE ENGINEERED SYSTEM BELOW. THE SHOP DRAWINGS SHALL INDICATE THE LOCATION, DIRECTION, AND LOCATION OF LOADS IMPOSED ON THE STRUCTURE FROM CONNECTIONS OF THE RESPECTIVE SYSTEMS TO THE MAIN BUILDING STRUCTURE. REFER TO THE RESPECTIVE GENERAL NOTES SECTIONS INCLUDED IN THE STRUCTURAL DOCUMENTS FOR DETAILED ENGINEERING REQUIREMENTS FOR EACH OF THE STRUCTURAL SYSTEMS SPECIFIED FOR USE.
 - STRUCTURAL STEEL CONNECTIONS.
 - WOOD STAIR STRUCTURES.
 - METAL STAIR STRUCTURES.
 - HANDRAILS AND GUARDRAILS.

STAIR STRUCTURES - STAIRS AND LANDINGS SHALL BE SUPPORTED ON THICKENED SLABS AT SLABS-ON-GRADE. AT ELEVATED FRAMING LEVELS, STAIRS AND LANDINGS SHALL BE SUPPORTED ON AND CONCENTRICALLY LOAD BUILDING FRAMING ELEMENTS ONLY (E.G. BEAMS AND GIRDERS), UNLESS NOTED OTHERWISE. COORDINATE ALL STAIR DETAILS WITH ARCHITECTURAL DRAWINGS. **HANDRAILS AND GUARDRAILS** - HANDRAILS AND GUARDRAILS MAY BE SUPPORTED FROM BUILDING FRAMING ELEMENTS, UNLESS NOTED OTHERWISE. COORDINATE ALL HANDRAIL AND GUARDRAIL DETAILS WITH THE ARCHITECTURAL DRAWINGS.

C. EXISTING CONDITIONS

- EXISTING CONDITIONS ON THESE DRAWINGS ARE ASSUMED BASED ON LIMITED VISUAL OBSERVATIONS OF THE EXISTING STRUCTURE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING WITH WORK.
- THE CONTRACTOR SHALL CARRY CONTINGENCY IN PRICING FOR DIFFERENCES IN CONDITIONS SHOWN, INCLUDING BUT NOT LIMITED TO:
 - DIFFERENT FRAMING CONDITIONS
 - DIFFERENT FOUNDATION CONDITIONS AND/OR OBSTRUCTIONS
 - HIDDEN DAMAGE OR DETERIORATION IN STRUCTURAL MEMBERS
 - ENCOUNTERED SITE CONDITIONS
 - CHANGES IN STRUCTURE DUE TO DETAILED ARCHITECTURAL DESIGN
 - ADDITIONAL FRAMING TO SUPPORT MECHANICAL EQUIPMENT, PENETRATIONS DUE FINAL COORDINATION WITH M.E.P. AND OTHER DRAWINGS.
- LIMITED VISUAL OBSERVATIONS OF THE EXISTING STRUCTURE WERE PERFORMED IN THE FIELD, HOWEVER, MOST OF THE EXISTING FRAMING WAS CONCEALED AND COULD NOT BE VIEWED. THE CONTRACTOR MUST INCLUDE ADDITIONAL CONTINGENCY FOR REPAIRS TO EXISTING DAMAGED OR INADEQUATE STRUCTURAL CONDITIONS DISCOVERED DURING CONSTRUCTION.
- IF THE CONTRACTOR DEEMS IT NECESSARY TO MODIFY OR REMOVE ANY PORTION OF THE EXISTING STRUCTURE IN ORDER TO PERFORM THE WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS, THEN SUCH PORTIONS OF THE STRUCTURE SHALL BE REPAIRED OR REPLACED WITH EQUAL MATERIALS AND DETAILS TO MATCH THE EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER; THIS WORK SHALL BE INCLUDED IN THE BASE PRICE OF THE CONTRACT.
- WHERE DISCREPANCIES BETWEEN THE DESIGN DRAWINGS AND FIELD CONDITIONS ARE FOUND, OR EXISTING STRUCTURAL MEMBERS AND CONNECTIONS ARE FOUND TO BE DAMAGED OR DETERIORATED TO A DIMINISHED CAPACITY AND ARE NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL SUBMIT DETAILED SKETCHES OF THE EXISTING CONDITIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCING WITH WORK. MODIFICATIONS TO CURRENT DETAILS OR ADDITIONAL NEW DETAILS MAY BE REQUIRED BASED ON THE ACTUAL FIELD CONDITIONS.

C. EXISTING CONDITIONS (continued)

- EXISTING FRAMING MEMBERS SHOWN ON THESE DRAWINGS ARE DESIGNATED BY THEIR NOMINAL SIZE, UNLESS NOTED OTHERWISE. ACTUAL MEMBER SIZES SHALL BE VERIFIED IN THE FIELD.
- THE EVALUATION OF THE EXISTING STRUCTURE TO SAFELY SUPPORT ANY AND ALL CONSTRUCTION LOADING (E.G. EQUIPMENT LOADS, TEMPORARY LOADS FROM DEBRIS AND MATERIAL STORAGE) IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN TEAM HAS EVALUATED THE EXISTING STRUCTURE, AFTER IMPLEMENTATION OF THE STRUCTURAL ALTERATIONS SHOWN ON THE DRAWINGS, FOR THE PERMANENT DEAD LOADS AND UNIFORM LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS ACCORDING TO THE REQUIREMENTS OF THE BUILDING CODE. THE CONTRACTOR SHALL OBTAIN COPIES OF THE ORIGINAL STRUCTURAL DRAWINGS FOR THE BUILDING AND ANY ADDITIONS AND ALTERATIONS (IF AVAILABLE), AND SHALL ENGAGE A LICENSED STRUCTURAL ENGINEER TO EVALUATE THE PROPOSED CONSTRUCTION LOADING ON THE EXISTING STRUCTURE AND TO DESIGN ALL TEMPORARY BRACING AND SHORING SYSTEMS THAT MAY BE REQUIRED DUE TO THE CONTRACTOR'S MEANS AND METHODS AND SEQUENCE OF CONSTRUCTION.

D. STRUCTURAL LUMBER

- ALL STRUCTURAL CARPENTRY AND LUMBER WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AS WELL AS WITH THE STANDARDS, SPECIFICATIONS, AND REQUIREMENTS OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) AND APA - THE ENGINEERED WOOD ASSOCIATION (APA).
 - ALL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE AS FOLLOWS. CONTRACTOR TO OBTAIN EVIDENCE OF THE LUMBER FROM A MANUFACTURER THAT PROVIDES THE MINIMUM REFERENCE DESIGN VALUES SHOWN FOR ENGINEERED LUMBER. ALL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE KLN DRIED WITH A MAXIMUM MOISTURE CONTENT OF 19%.
 - VISUALLY GRADED DIMENSIONAL LUMBER (2" TO 4" THICK)
 - UNTREATED LUMBER:
 - SPRUCE-PINE-FIR (S-P-F) NO.1/NO.2
 - SOUTHERN PINE (SP) NO.1
 - PRESERVATIVE TREATED (P.T.) LUMBER:
 - SOUTHERN PINE (SP) NO.2
 - FIRE TREATED LUMBER:
 - SPRUCE-PINE-FIR (S-P-F) NO.1/NO.2
 - SOUTHERN PINE (SP) NO.1
 - VISUALLY GRADED TIMBERS (6"x6" AND LARGER)
 - SOUTHERN PINE (SP) NO.2
 - BEAMS AND STRINGERS:
 - DOUGLAS FIR-LARCH (DF-L) SELECT STRUCTURAL
 - POSTS AND TIMBERS:
 - DOUGLAS FIR-LARCH (DF-L) SELECT STRUCTURAL
 - ENGINEERED WOOD BEAMS

	F _s	F _v	E	F _c
1. PSL: PARALLEL STRAND LUMBER:	2900 psi	290 psi	2000 ksi (2.0E)	2900 psi
2. LVL: LAMINATED VENEER LUMBER:	2600 psi	285 psi	1900 ksi (1.9E)	2510 psi
3. LSL: LAMINATED STRAND LUMBER:	2325 psi	310 psi	1550 ksi (1.55E)	2170 psi
 - ENGINEERED WOOD COLUMNS (WALL STUDS)

	F _s	F _v	E	F _c
1. PSL: PARALLEL STRAND LUMBER:	2400 psi	190 psi	1800 ksi (1.8E)	2500 psi
2. LSL: LAMINATED STRAND LUMBER:	1700 psi	425 psi	1300 ksi (1.3E)	1835 psi
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY OR EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE TREATED (P.T.). ALL WOOD COLUMNS LOCATED OUTSIDE OF THE BUILDING ENVELOPE SHALL BE P.T.
- ALL NAIL SIZES INDICATED BY PENNYWEIGHT WITHIN THE STRUCTURAL DOCUMENTS SHALL BE ASTM F1667 STEEL WIRE NAILS AS FOLLOWS: 6d = 0.113"x2", 8d = 0.131"x2-1/2", 10d = 0.148"x3", 16d = 0.162"x3-1/2", 20d = 0.192"x4", etc. ALTERNATE NAIL SIZES AND SPACINGS SHALL NOT BE USED WITHOUT APPROVAL FROM THIS OFFICE.
- ALL WOOD CONNECTORS (JOIST AND BEAM HANGERS, POST CAPS AND BASES, HURRICANE STRAPS, ETC.) SHALL BE GALVANIZED STEEL CONNECTORS AS MANUFACTURED BY "SIMPSON STRONG-TIE" OF PLEASANTON, CA, "USP STRUCTURAL CONNECTORS" OF BURNSVILLE, MN, OR AN APPROVED EQUAL. ALL WOOD CONNECTORS SHALL HAVE ALL FASTENER HOLES FILLED FOR MAXIMUM CAPACITY. WHERE PREMANUFACTURED CONNECTORS CANNOT BE USED, THE CONTRACTOR SHALL HIRE A STRUCTURAL ENGINEER TO DESIGN THE CONNECTORS AND FASTENERS FOR THE FULL CAPACITY OF THE MEMBERS. ALL ENGINEERED DESIGNS AND DETAILS SHALL BE STAMPED AND SIGNED BY THE SAME ENGINEER AND SUBMITTED FOR REVIEW. ALL CONNECTORS AND FASTENERS EXPOSED TO THE WEATHER AND/OR IN DIRECT CONTACT WITH PRESERVATIVE-TREATED/FIRE-RETARDANT-TREATED LUMBER SHALL BE STAINLESS STEEL, UNLESS AN ALTERNATE PROTECTIVE COATING IS RECOMMENDED BY THE CONNECTOR/FASTENER MANUFACTURER BASED UPON THE SPECIFIC TYPE OF PRESERVATIVE TREATMENT AND WEATHER EXPOSURE CONDITIONS FOR THE PROJECT. SUBMIT PRODUCT DATA FOR REVIEW AND APPROVAL.
- ALL ROOF AND FLOOR DIAPHRAGMS AND STRUCTURAL WOOD WALL PANELS SHALL BE SHEATHED WITH PLYWOOD. STRUCTURAL PANELS WHICH MEASURE NOT LESS THAN FOUR FEET BY EIGHT FEET (4' x 8') EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. SEE TYPICAL DETAILS FOR ADDITIONAL PANEL AND FASTENING REQUIREMENTS. MINIMUM PROPERTIES ARE AS FOLLOWS:
 - WALL SHEATHING: 7/16" APA-RATED SHEATHING 24/16, EXP-1 OR 15/32" APA-RATED SHEATHING 32/16, EXP-1
 - ROOF SHEATHING: 19/32" APA-RATED SHEATHING 40/20, EXP-1
 - FLOOR SHEATHING: 23/32" APA-RATED STURD-FLOOR (24 O.C.) T&G SHEATHING, EXP-1 (GLUED AND NAILED)
 - EQUIVALENT ORIENTED STRAND BOARD (OSB) PANELS OF EQUAL THICKNESS AND AP-RATING TO THOSE LISTED ABOVE MAY BE USED IN LIEU OF PLYWOOD IN WEATHER PROTECTED AREAS WHERE APPROVED BY THE ARCHITECT.
- ALL BUILT-UP DIMENSIONAL LUMBER MEMBERS SHALL BE FASTENED TOGETHER PER THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) FOR THE MEMBERS TO ACT TOGETHER AS ONE.
- ALL BUILT-UP ENGINEERED LUMBER MEMBERS SHALL BE FASTENED TOGETHER PER THE MANUFACTURER'S REQUIREMENTS FOR THE MEMBERS TO ACT TOGETHER AS ONE AT THEIR MAXIMUM DESIGN CAPACITY OF THE SPECIFIED LARGER MEMBER.

E. POST-INSTALLED ANCHOR SYSTEMS

- ALL POST-INSTALLED ANCHORS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (INCLUDING, BUT NOT LIMITED TO, DRILL BIT SIZE, CLEANING OF HOLES, AND TEMPERATURE CONSTRAINTS).
- EXCEPT WHERE INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES AS PROVIDED BY HILTI, INC.
 - ANCHORAGE TO CONCRETE
 - ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:
 - HILTI HIT-HY 200 SAFE SET SYSTEM WITH THE HILTI HIT-Z ROD PER ICC ESR-3187.
 - HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM SYSTEM WITH HAS-E THREADED ROD PER ICC ESR-3187.
 - HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM WITH HAS-E THREADED ROD PER ICC ESR-3814.
 - HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI ROUGHENING TOOL WITH HAS-E THREADED ROD PER ICC ESR-3814 FOR DIAMOND CORED HOLES.
 - MECHANICAL ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:
 - HILTI KWIK BOLT-TZ EXPANSION ANCHORS PER ICC ESR-1917.
 - HILTI KWIK BOLT-TZ EXPANSION ANCHORS (UNCRACKED CONCRETE ONLY) PER ICC ESR-2392.
 - REBAR DOWELING INTO CONCRETE
 - ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:
 - HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT AND VACUUM SYSTEM WITH CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3814.
 - HILTI HIT-RE 500 V3 SAFE SET SYSTEM WITH HILTI ROUGHENING TOOL WITH CONTINUOUSLY DEFORMED REBAR PER ICC ESR-3814 IN DIAMOND CORED HOLES.
 - ANCHORAGE TO SOLID GROUTED MASONRY
 - ADHESIVE ANCHORS USE:
 - HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM PER ESR-4143.
 - STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR CONTINUOUSLY DEFORMED STEEL REBAR.
 - MECHANICAL ANCHORS USE:
 - HILTI KWIK BOLT-3 EXPANSION ANCHORS PER ICC ESR-1385.
 - ANCHORAGE TO HOLLOW/MULTI-WYTHE MASONRY
 - HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM PER ICC ESR-4144.
 - STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR CONTINUOUSLY DEFORMED STEEL REBAR.
 - THE APPROPRIATE SIZE SCREEN TUBE SHALL BE USED PER ADHESIVE MANUFACTURER'S RECOMMENDATION.
 - THE CONTRACTOR SHALL PERFORM A PULL TEST ON 5% OF ALL ANCHORS TO VALIDATE THAT THE ANCHORS ACHIEVE THE MINIMUM TENSION CAPACITY SPECIFIED IN ESR-4144. AN ADDITIONAL 20% OF ALL ANCHORS SHALL BE TESTED USING A CALIBRATED TORQUE WRENCH TO A MINIMUM 60 FT-LBS TORQUE. TESTING SHALL BE PERFORMED AT RANDOM AND VARIED LOCATIONS THROUGHOUT THE PROJECT WHERE ANCHORS ARE INSTALLED.
 - ALL ANCHORS INTO CONCRETE SHALL BE INSTALLED AFTER THE CONCRETE HAS ACHIEVED ITS 28-DAY DESIGN STRENGTH, BUT NOT LESS THAN 21 DAYS AFTER CONCRETE PLACEMENT.
 - ALL ADHESIVE ANCHORS INSTALLED IN THE HORIZONTAL, UPWARD INCLINED, AND OVERHEAD ORIENTATIONS SHALL BE CONTINUOUSLY INSPECTED DURING INSTALLATION PER ACI 308.1 OVERHEAD ADHESIVE ANCHORS SHALL BE INSTALLED USING THE HILTI PROFIT SYSTEM.
 - THE CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ON-SITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. THE SPECIAL INSPECTOR RESPONSIBLE FOR INSPECTION OF THE ANCHOR INSTALLATIONS SHALL BE PRESENT FOR THIS TRAINING. THE STRUCTURAL ENGINEER OF RECORD MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS.
 - ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.
 - EXISTING REINFORCING BARS IN THE CONCRETE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. UNLESS NOTED ON THE DRAWINGS THAT THE BARS CAN BE CUT, THE CONTRACTOR SHALL REVIEW EXISTING STRUCTURAL DRAWINGS IF AVAILABLE AND SHALL LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS.
 - ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER METHOD AS APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USE, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE.

F. STRUCTURAL DEMOLITION

- ALL DEMOLITION WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ITS APPLICABLE REFERENCED STANDARDS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO DEMOLITION AND NEW CONSTRUCTION. WHERE DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS ARE ENCOUNTERED, DEMOLITION SHALL NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OF RECORD.
- ALL BIDDERS SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING BUILDING, RELATED ACCESS LIMITATIONS FOR PERSONNEL AND EQUIPMENT, AND OTHER POTENTIAL CONSTRUCTION COORDINATION ISSUES. DISCREPANCIES, OMISSIONS, OR VARIATIONS FROM CONDITIONS NOTED ON THE STRUCTURAL DRAWINGS AND IN THE SPECIFICATIONS THAT ARE DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OF RECORD AS A REQUEST FOR INFORMATION (RFI).
- ONLY DEMOLITION OF STRUCTURAL ELEMENTS IS SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS. DEMOLITION OF ADDITIONAL NONSTRUCTURAL ELEMENTS REQUIRED TO DEMOLISH AND REMOVE THE STRUCTURAL ELEMENTS INDICATED SHALL BE COORDINATED WITH THE ARCHITECT. IN GENERAL, NO COLUMNS, WALLS, BRACES, OR OTHER LOAD-BEARING VERTICAL STRUCTURAL ELEMENTS SHALL BE REMOVED AS PART OF THIS DEMOLITION UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS.
- IT IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE STRUCTURE DURING ALL DEMOLITION AND CONSTRUCTION PHASES. NOTE THAT TEMPORARY BRACING IS REQUIRED FOR ALL COLUMNS AND WALLS TO REMAIN WHERE INTERCONNECTED FRAMING MEMBERS (SUCH AS BEAMS, GIRDERS, DIAGONAL BRACES, OR SLABS) ARE TO BE REMOVED.
- THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO PROVIDE STAMPED AND SIGNED STRUCTURAL CALCULATIONS AND DRAWINGS FOR ALL TEMPORARY SHORING AND BRACING SYSTEMS, AS WELL AS AN ANALYSIS OF ANY TEMPORARY LOADS THAT THE CONTRACTOR CHOOSES TO IMPOSE UPON THE EXISTING STRUCTURE (SEE SECTION C - ENGINEERING REQUIREMENTS FOR CONTRACTOR). THE CONTRACTOR SHALL PROVIDE ALL ADDITIONAL SHORING, FLOOR REINFORCEMENT, AND OTHER MEASURES AS REQUIRED TO SUPPORT SUCH TEMPORARY LOADS. ALL SHORING SHALL BE PLACED CONTINUOUS DOWN TO FOUNDATIONS. SUBMIT A DETAILED PLAN OF DEMOLITION AND SHORING, STAMPED BY THE SAME STRUCTURAL ENGINEER, FOR RECORD.
- DEMOLITION WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO PRESERVE THE INTEGRITY OF ALL ADJACENT STRUCTURAL AND NONSTRUCTURAL BUILDING ELEMENTS. WHERE NECESSARY, PRECUT CONNECTIONS TO STRUCTURAL ELEMENTS TO REMAIN IN ORDER TO AVOID DAMAGE DURING REMOVAL OF CONNECTED MEMBERS. ANY DAMAGE TO EXISTING ELEMENTS AND FINISHES TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

G. CONCRETE

- ALL CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ACI 318 AND 301 REQUIREMENTS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PROPORTIONING OF CONCRETE MIX, CONCRETE TESTING, PLACEMENT OF CONCRETE, AND CURING PROCEDURES.
- CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH, F_c:
 - ALL CONCRETE..... 4000 PSI
- PROVIDE TOTAL AIR ENTRAINMENT OF 6% (±1%) FOR ALL CONCRETE EXPOSED TO WEATHER.
- MAXIMUM WATER/CEMENT RATIO FOR 4000 PSI CONCRETE - W/C = 0.45, UNLESS NOTED OTHERWISE. PROVIDE A HIGH-RANGE WATER REDUCING ADMIXTURE IF REQUIRED TO INCREASE WORKABILITY OF THE CONCRETE.
- CONCRETE FOR ALL ELEMENTS SHALL BE NORMAL WEIGHT (N.W.) WITH A MAXIMUM DRY DENSITY OF 145 PCF (± 5 PCF).
- UNLESS NOTED OTHERWISE, FLY ASH CONFORMING TO ASTM C618, CLASS C OR SLAG CEMENT CONFORMING TO ASTM C989, GRADE 120 MAY BE USED AS A REPLACEMENT FOR UP TO 25% OF CEMENTITIOUS MATERIALS BY WEIGHT. REPLACEMENT OF CEMENTITIOUS MATERIALS IN EXCESS OF THIS VALUE OR USE OF OTHER CEMENTITIOUS MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO SUBMITTING MIX DESIGNS FOR REVIEW.
- ALL REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING MATERIAL SPECIFICATIONS:
 - REINFORCING BARS: ASTM A615 (F=60 KSI, MIN.)
 - WELDED WIRE REINFORCEMENT: ASTM A1064 (F=60 KSI, MIN.)
 - REINFORCING BARS TO BE WELDED: ASTM A615 OR ASTM A706 (F=60 KSI, MIN.)
 - EPOXY-COATED REINFORCING BARS: ASTM A775 OR ASTM A934
 - EPOXY-COATED WELDED WIRE REINFORCEMENT: ASTM A884
- ALL STIRRUPS AND TIES SHALL BE CLOSED TYPE AND ALL HOOKS SHALL BE STANDARD 90°
- WHERE NO REINFORCEMENT IS INDICATED FOR CONCRETE SLABS AND WALLS, PROVIDE A MINIMUM #4 @ 12" O.C. CONTINUOUS EACH WAY, TOP AND BOTTOM (OR EACH FACE OF WALL).
- PROVIDE CORNER BARS AT ALL CORNERS AND INTERSECTIONS MATCHING HORIZONTAL REINFORCEMENT WITH 2-#8 MINIMUM LAP.
- DETAILING OF REINFORCEMENT SHALL BE ACCORDING TO THE LATEST EDITION OF THE ACI 315 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". PROVIDE BAR SUPPORTS, SPACERS, AND ACCESSORIES RECOMMENDED IN THE LATEST EDITION OF THE ACI DETAILING MANUAL, PUBLICATION SP-66. ALL ACCESSORIES IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC-COATED. PROVIDE SCHEDULE OF ALL ACCESSORIES WITH SHOP DRAWINGS FOR REVIEW.
- CONCRETE SHALL MEET THE FOLLOWING MINIMUM PERCENTAGES OF ITS 28 DAY COMPRESSIVE STRENGTH (F_c) PRIOR TO REMOVING FORMS AND/OR SHORES.
 - ALL CONCRETE..... 40%
- UNLESS NOTED OTHERWISE, PROVIDE REINFORCEMENT COVER PER THE TABLE AT THE END OF THIS SECTION.

TYPE	COVER
1. OVERALL FLOOR LEVELNESS	FF = 35
2. LOCAL FLOOR FLATNESS	FL = 25
3. OVERALL FLOOR LEVELNESS	FL = 25
4. LOCAL FLOOR LEVELNESS	FL = 17
- INDIVIDUAL SECTIONAL BOUNDARIES FOR LOCAL MEASUREMENTS SHALL BE SET AT CORNER MATCHING AND CONTROL POINT LOCATIONS. IN THE ABSENCE OF CONSTRUCTION AND CONTROL JOINTS, BOUNDARIES SHALL BE COLUMN LINES AND HALF-COLUMN LINES OR 10'-0" WIDE SEGMENTS, WHICHEVER IS LESS.
- WHERE NECESSARY DUE TO CONGESTION OF REINFORCEMENT, CONTRACTOR SHALL PROVIDE MECHANICAL BAR COUPLERS AND BAR TERMINATORS IN LIEU OF LAP SPLICES AND HOOKED END PER ACI REQUIREMENTS. THE CONTRACTOR SHALL INCLUDE THE COST OF SUCH MECHANICAL ACCESSORIES IN BASE CONTRACT.
- ALL CONCRETE TEST CYLINDERS FOR CONCRETE COMPRESSIVE TESTING SHALL BE PREPARED PER ACI REQUIREMENTS AND APPLICABLE ASTM STANDARDS.
- ALL CONCRETE MIX DURATION TIMES SHALL BE LESS THAN 90 MINUTES.
- ALL CONCRETE MUST BE PLACED FROM A HEIGHT NOT GREATER THAN 4'-0" ABOVE ITS FINAL POSITION.
- COORDINATE THE LOCATION, QUANTITY, AND DIMENSIONS OF EMBEDDED ITEMS AND HARDWARE WITH THE ARCHITECT AND WITH RESPECTIVE SYSTEMS MANUFACTURERS (E.G. ELEVATORS, LIFTS AND CURTAIN WALL SYSTEMS).
- ALL CONCRETE ELEMENTS WITH LEAST DIMENSION OF 5 FEET OR MORE SHALL BE CONSIDERED MASS CONCRETE AND SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 SECTION 8 "MASS CONCRETE".
- SUBMIT PROPOSED MIX DESIGN OF EACH CONCRETE TYPE AND REINFORCING SHOP DRAWINGS FOR REVIEW.

MINIMUM REINFORCEMENT COVER			
CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	MINIMUM COVER
CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND ¹	ALL	ALL	3 INCHES
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	NO. 6 THROUGH NO. 18 BARS	2 INCHES
		NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1-1/2 INCHES
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	NO. 14 AND NO. 18 BARS	1-1/2 INCHES
		NO. 11 BAR AND SMALLER	3/4 INCH
	BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1-1/2 INCHES

- NOTES:
- MINIMUM COVER IS INDICATED IN THIS TABLE. SEE STRUCTURAL DETAILS FOR LOCAL MEASUREMENTS.
 - SEE TYPICAL DETAILS FOR COVER REQUIREMENTS AT SLABS ON GRADE.

tat

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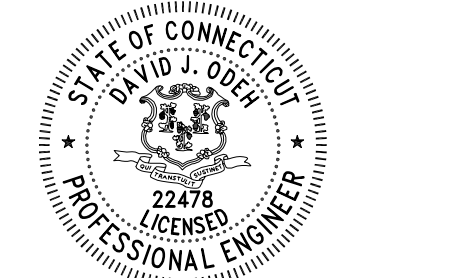
Architect of Record:

Drawn: Author

Checked: Checker

Scale:

Key Plan:



Project Name:
BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

GENERAL NOTES

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Sheet Number:

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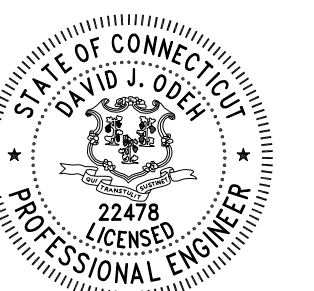
Architect of Record:

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Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

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RAMP PLANS & DETAILS

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Project Number:

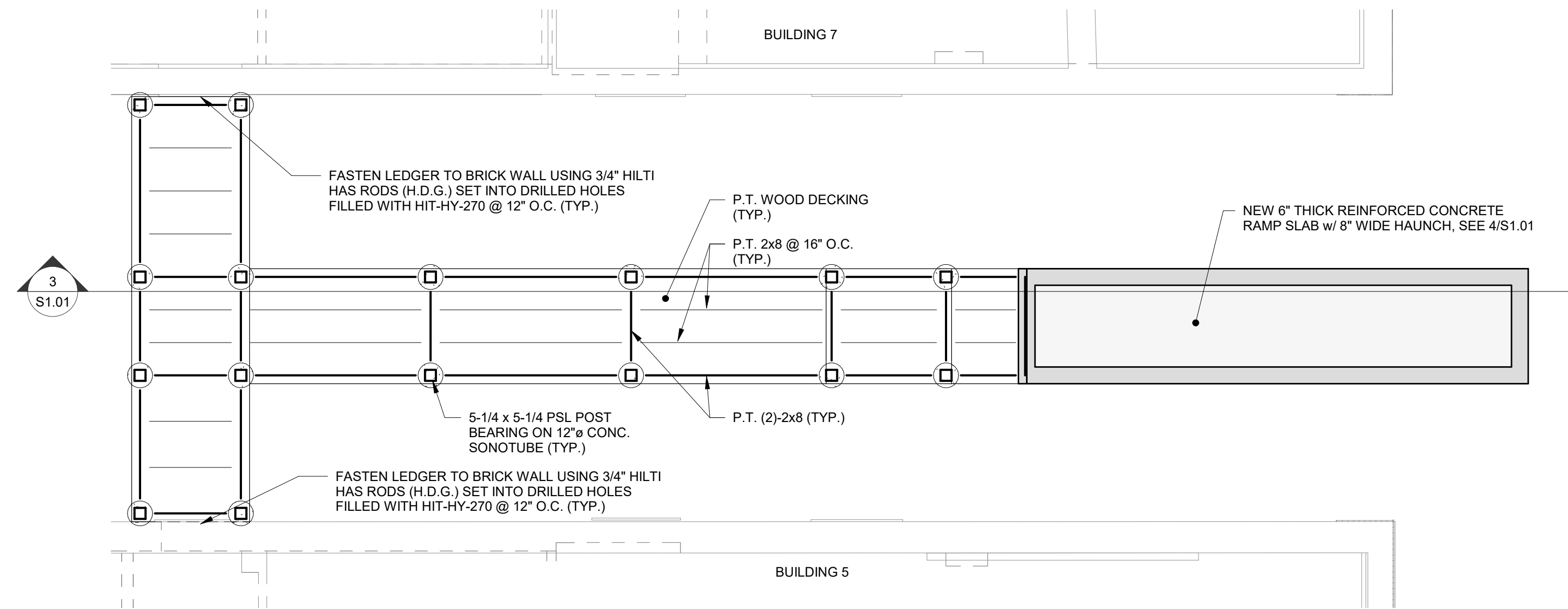
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Issue Date:

08/11/2023

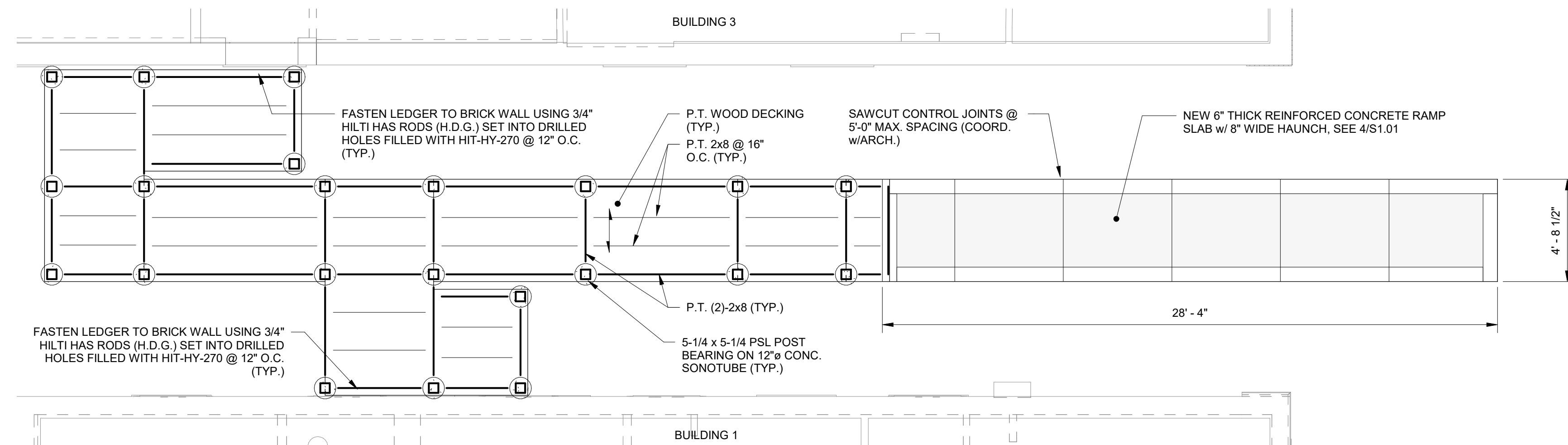
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S1.01



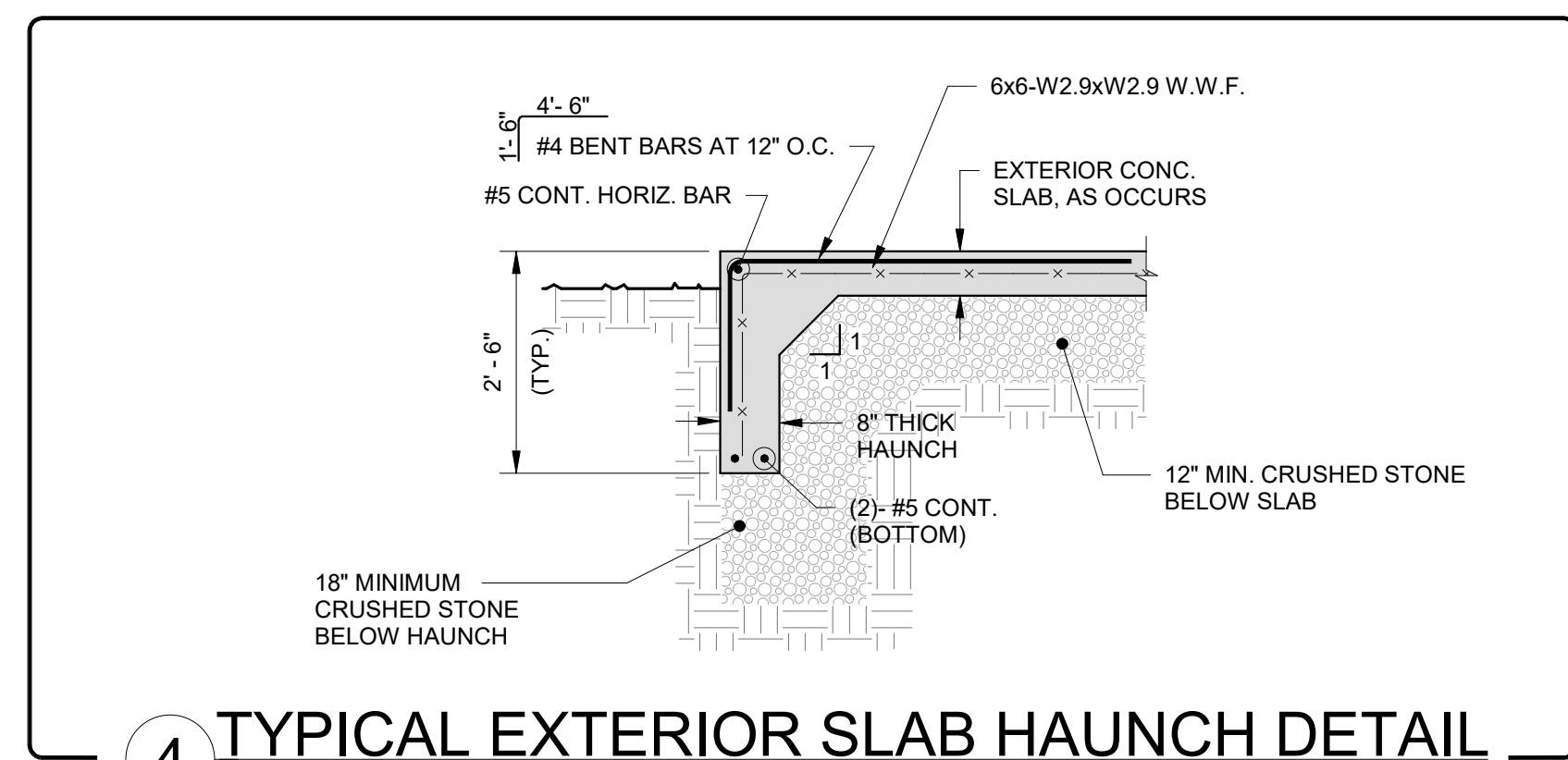
1 PROPOSED EXTERIOR RAMP BETWEEN BUILDINGS 5 & 7

SCALE: 1/4" = 1'-0"



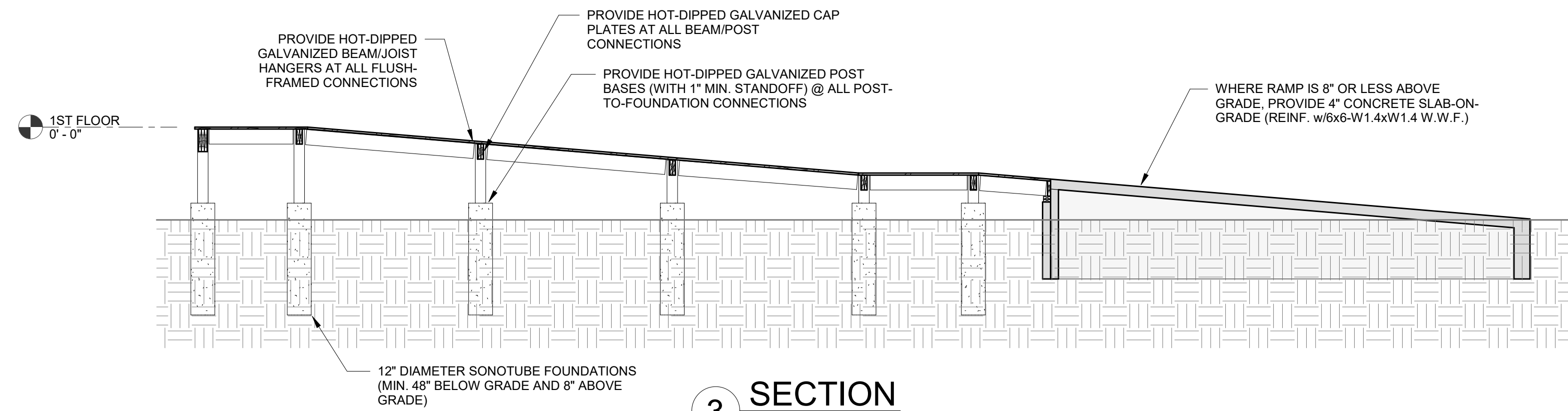
2 PROPOSED EXTERIOR RAMP BETWEEN BUILDINGS 1 & 3

SCALE: 1/4" = 1'-0"



4 TYPICAL EXTERIOR SLAB HAUNCH DETAIL

NO SCALE



3 SECTION

SCALE: 1/4" = 1'-0"

COORDINATE ALL RAILING DETAILS & REQUIREMENTS WITH THE ARCHITECT

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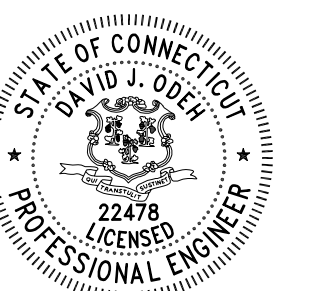
Architect of Record:

Drawn: KLM, AS

Checked: DJO

Scale: 1/4" = 1'-0"

Key Plan:



Project Name:

BEDFORD GARDENS

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Hartford, CT

Sheet Name:

TYPICAL BALCONY STRUCTURAL FRAMING PLANS

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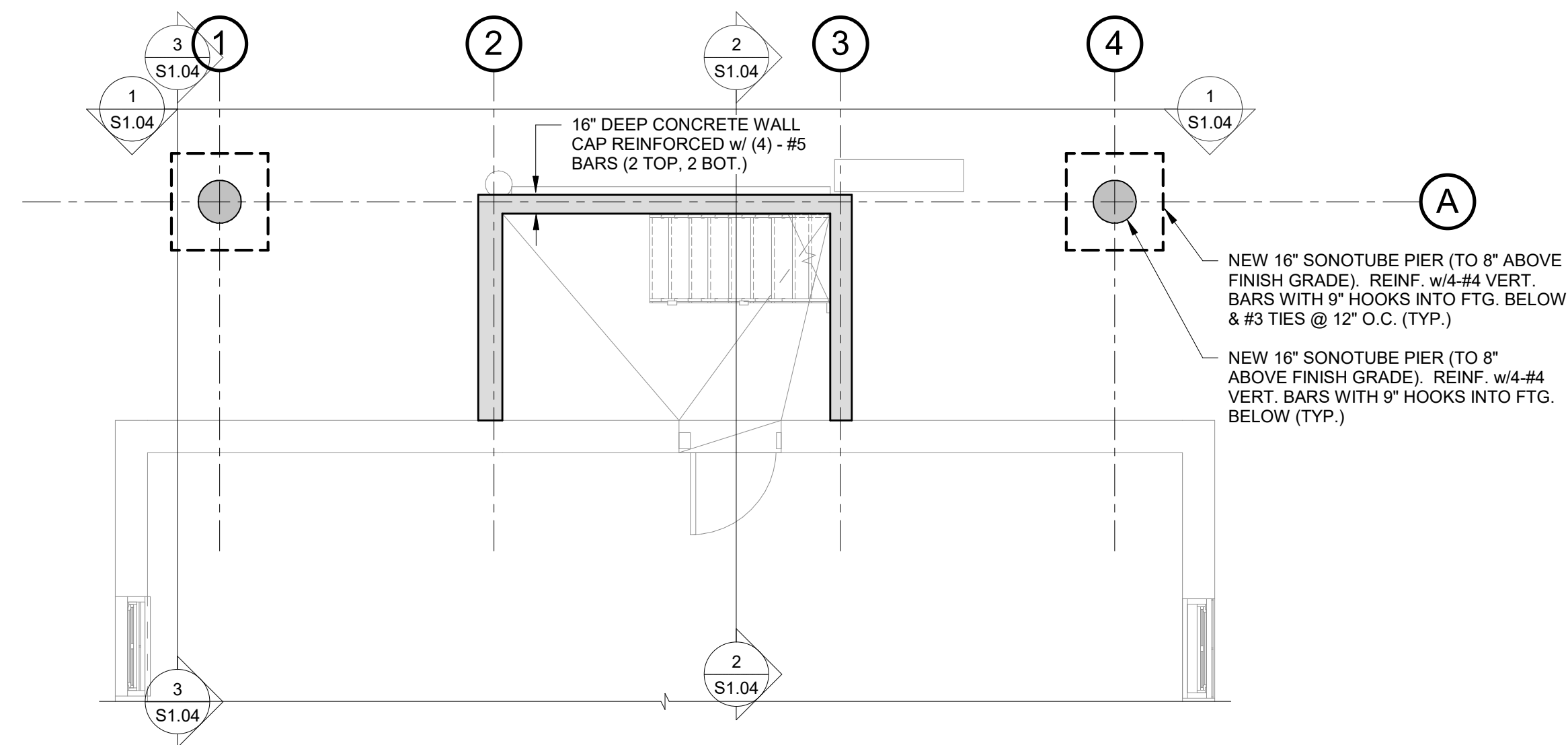
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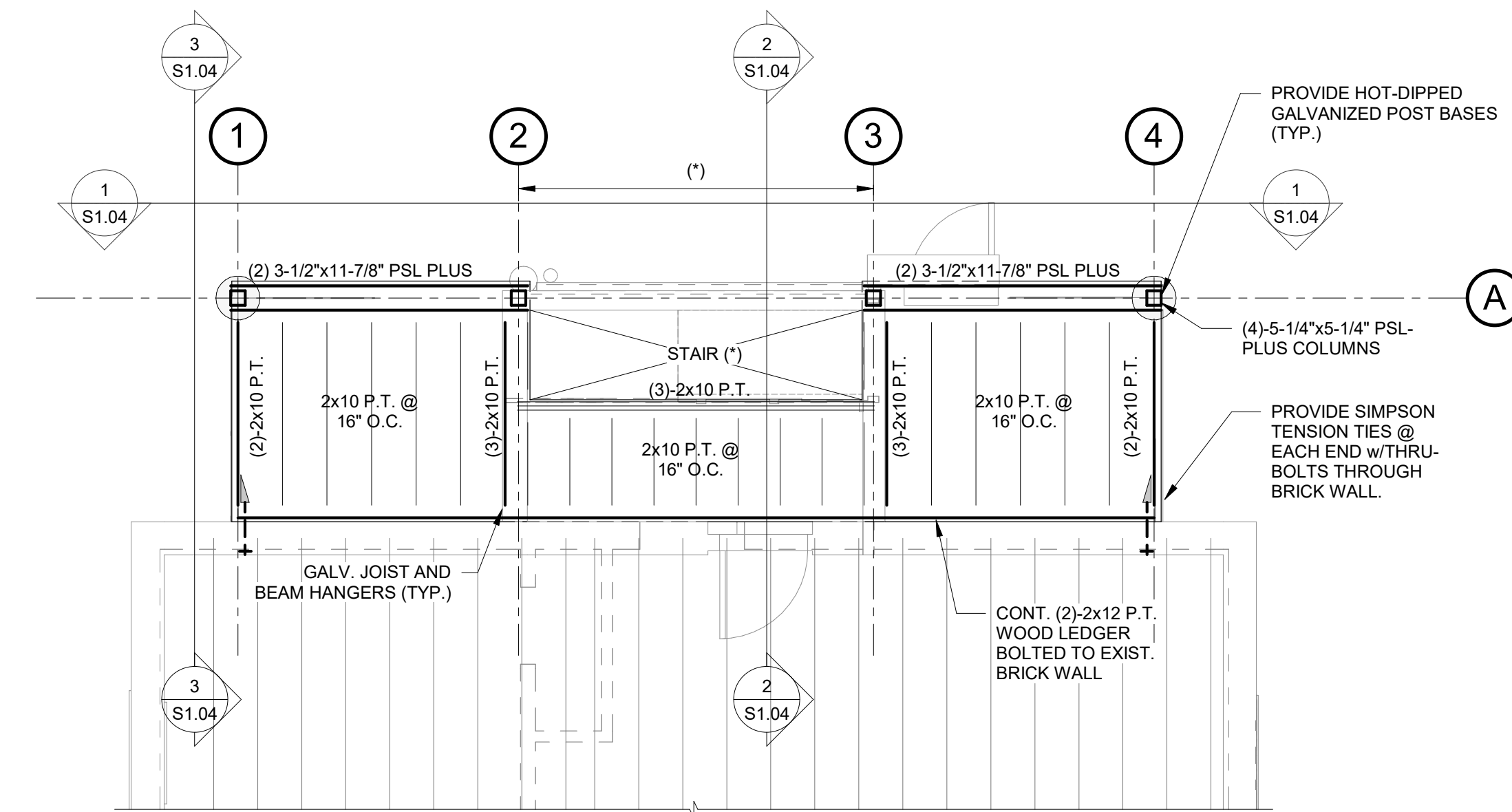
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S1.02



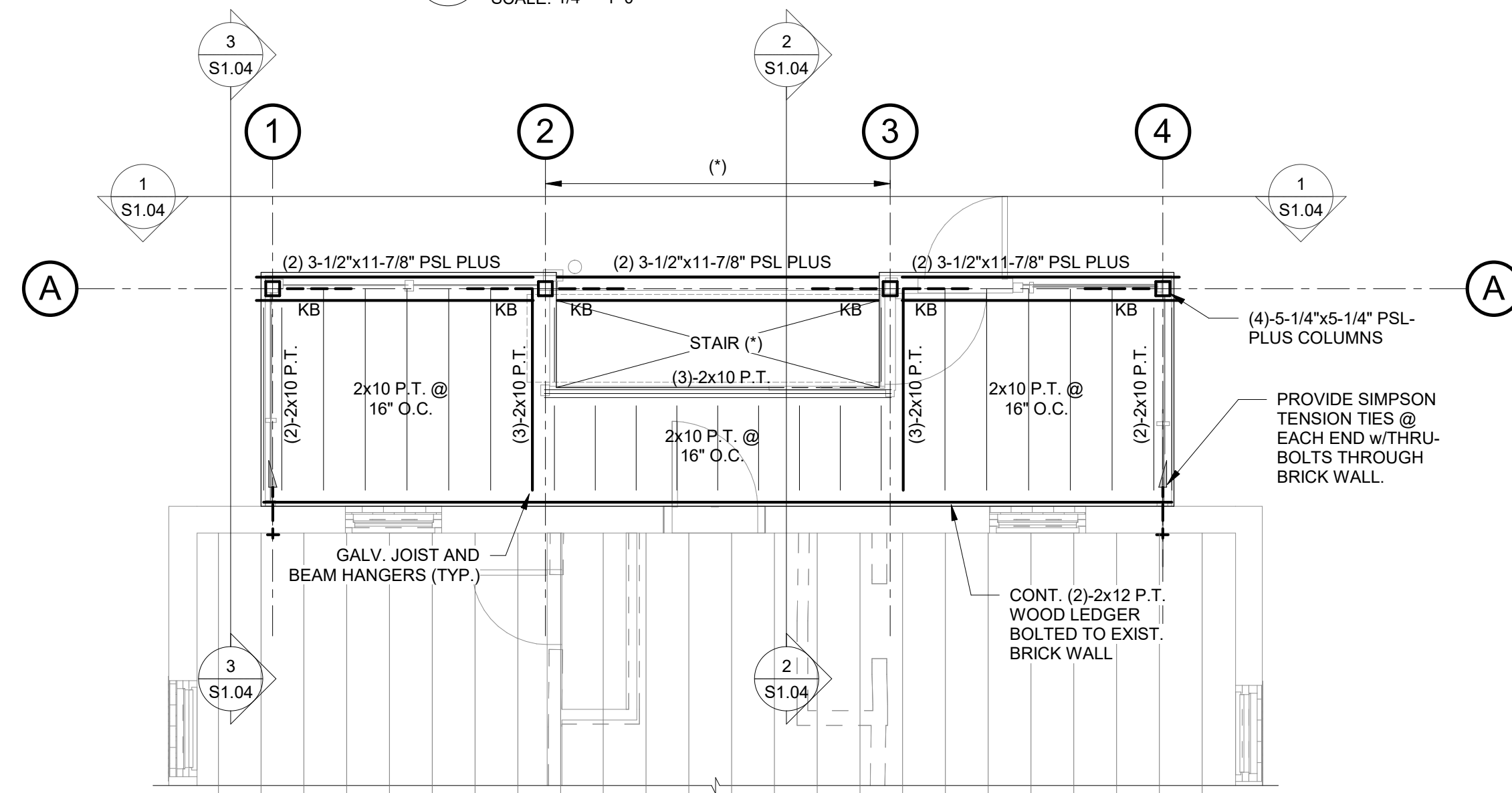
1 BASEMENT PLAN

SCALE: 1/4" = 1'-0"



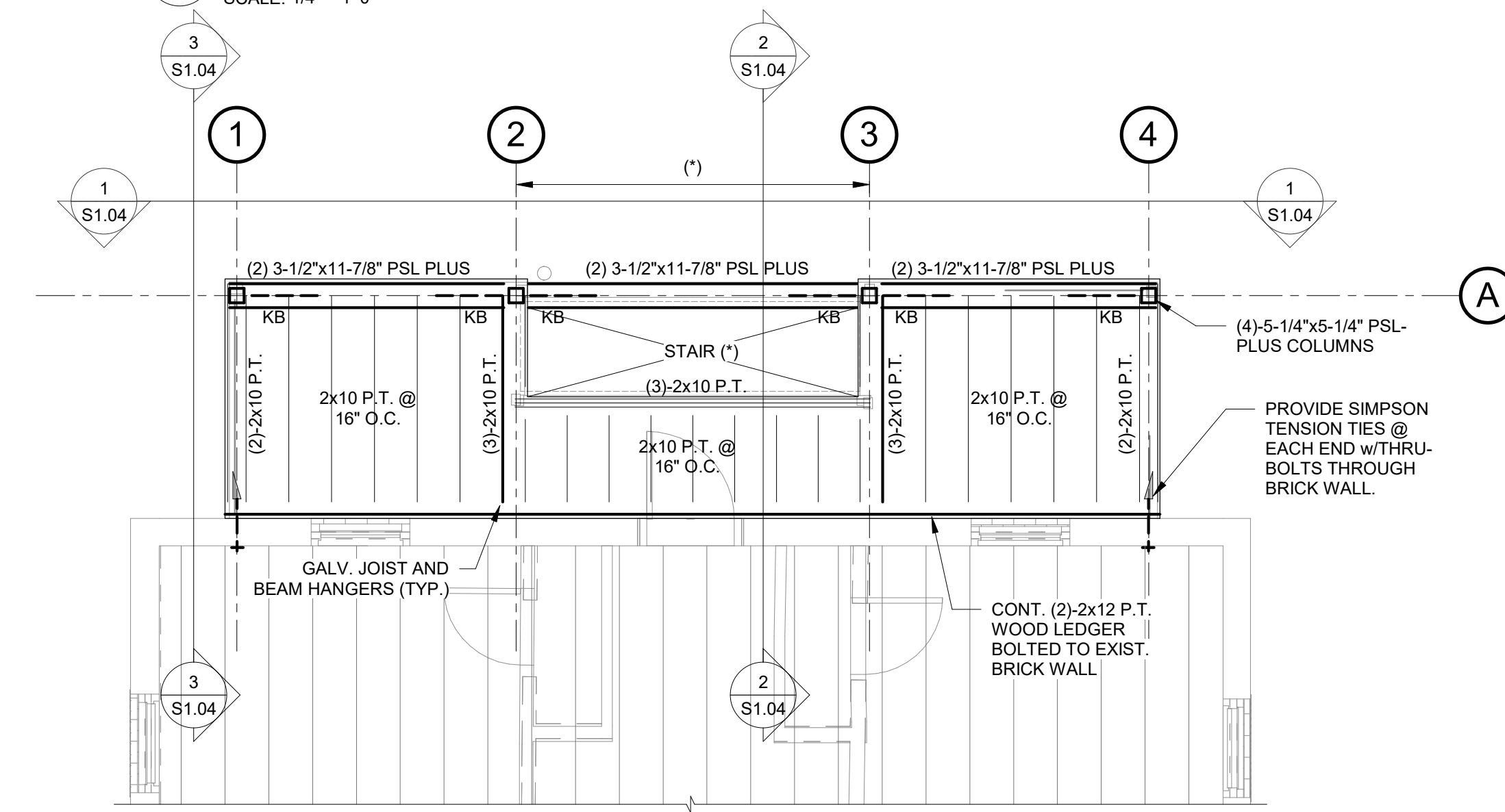
2 BALCONY GROUND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



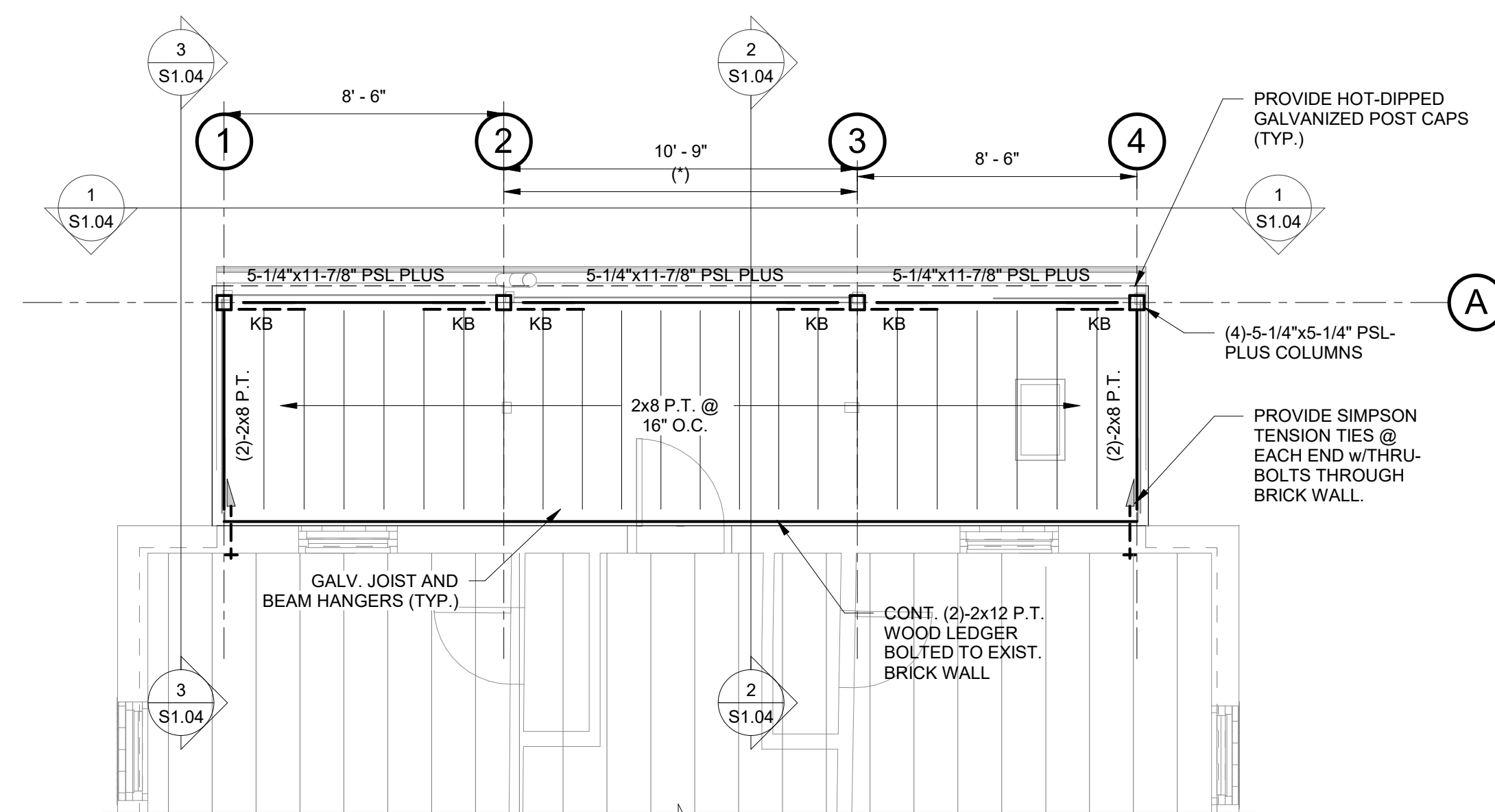
3 BALCONY SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



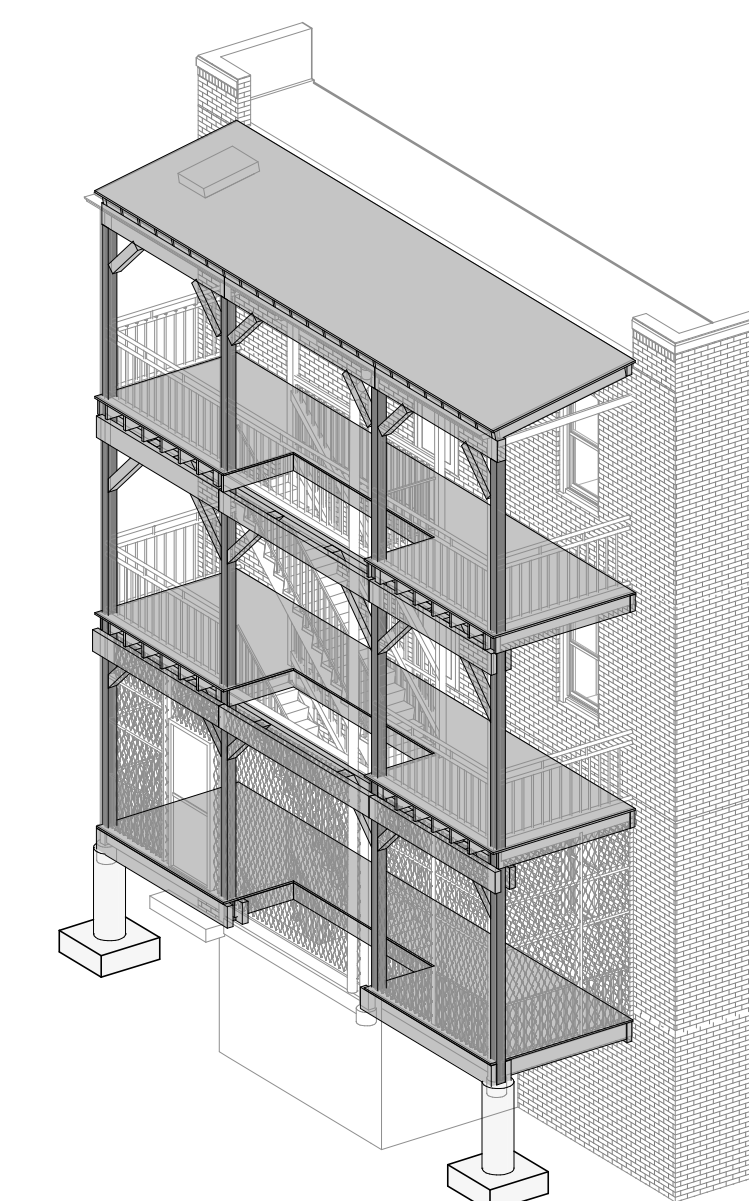
4 BALCONY THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



5 BALCONY ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



6 3D VIEW

N.T.S.

NOTES:

- (*) - STAIR CLEAR OPENING BY ARCH. SPACING BETWEEN GRIDS 2 AND 3 IS DEPENDENT ON STAIR WIDTH
- - - INDICATES 5 1/4" x 5 1/4" PSL PLUS KICKER BRACE

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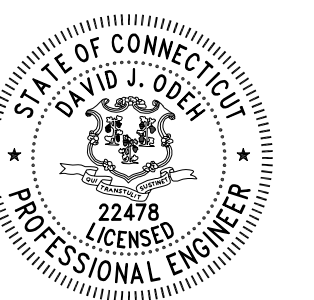
Architect of Record:

Drawn: KLM, AS

Checked: DJO

Scale: 1/4" = 1'-0"

Key Plan:



Project Name:
BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BALCONY FRAMING PLANS - BLDG 4

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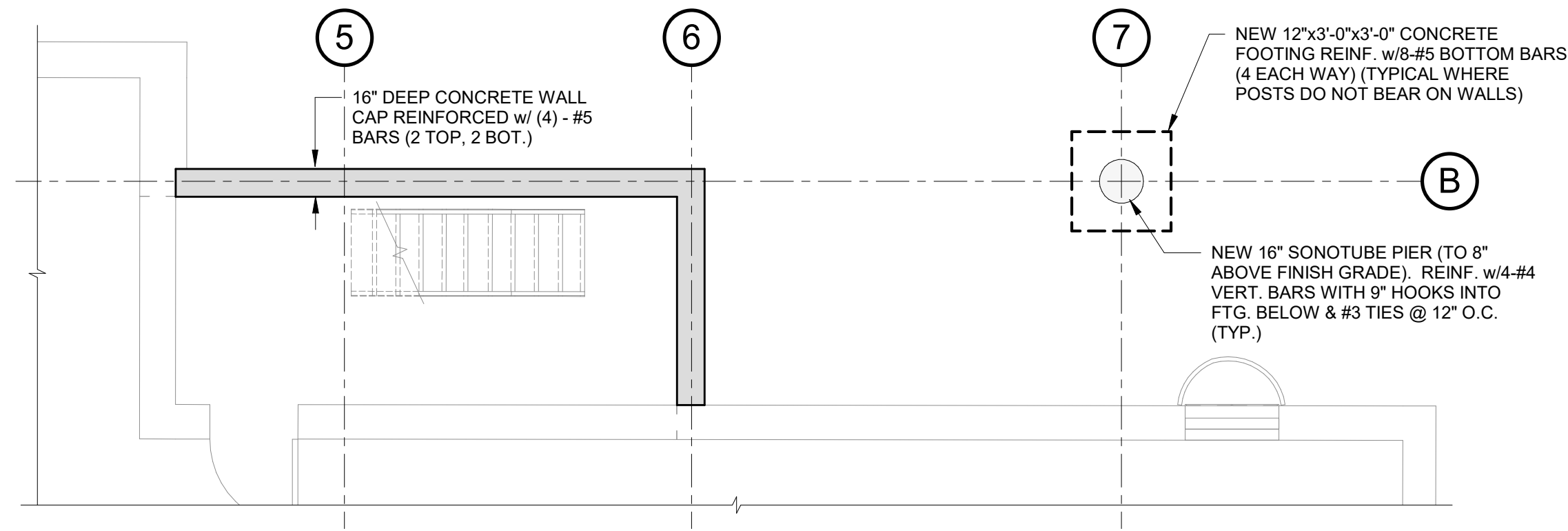
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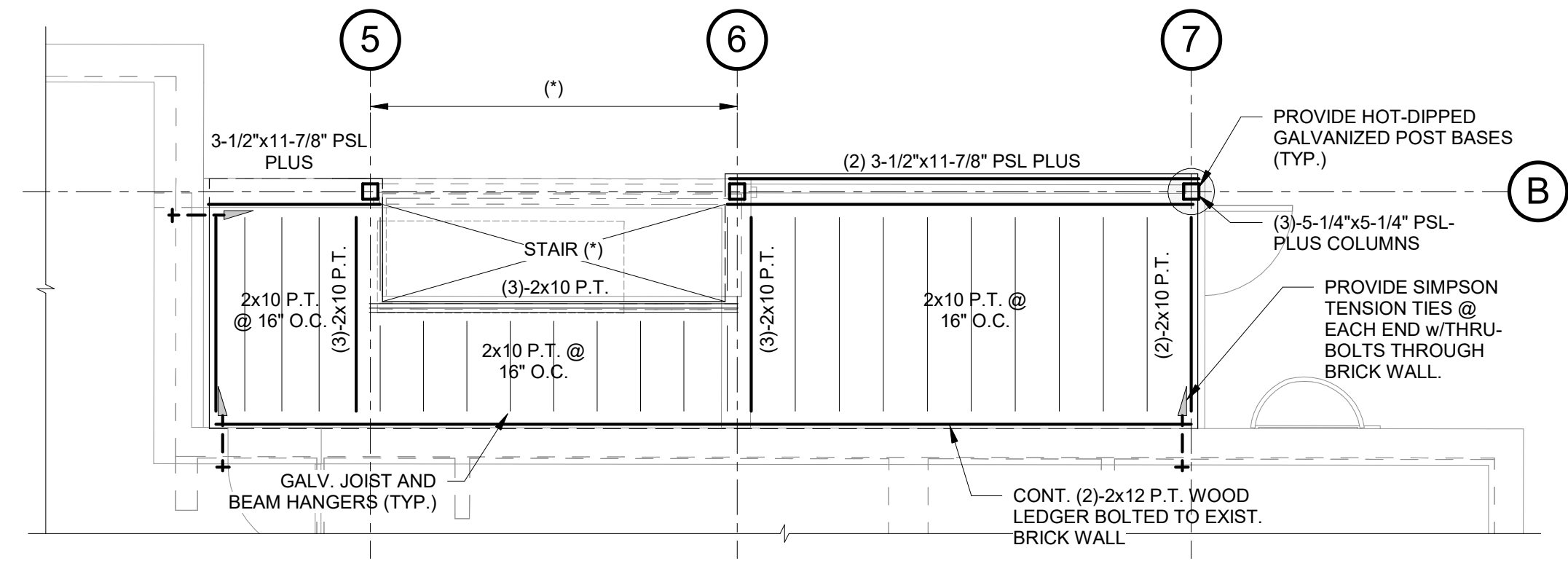
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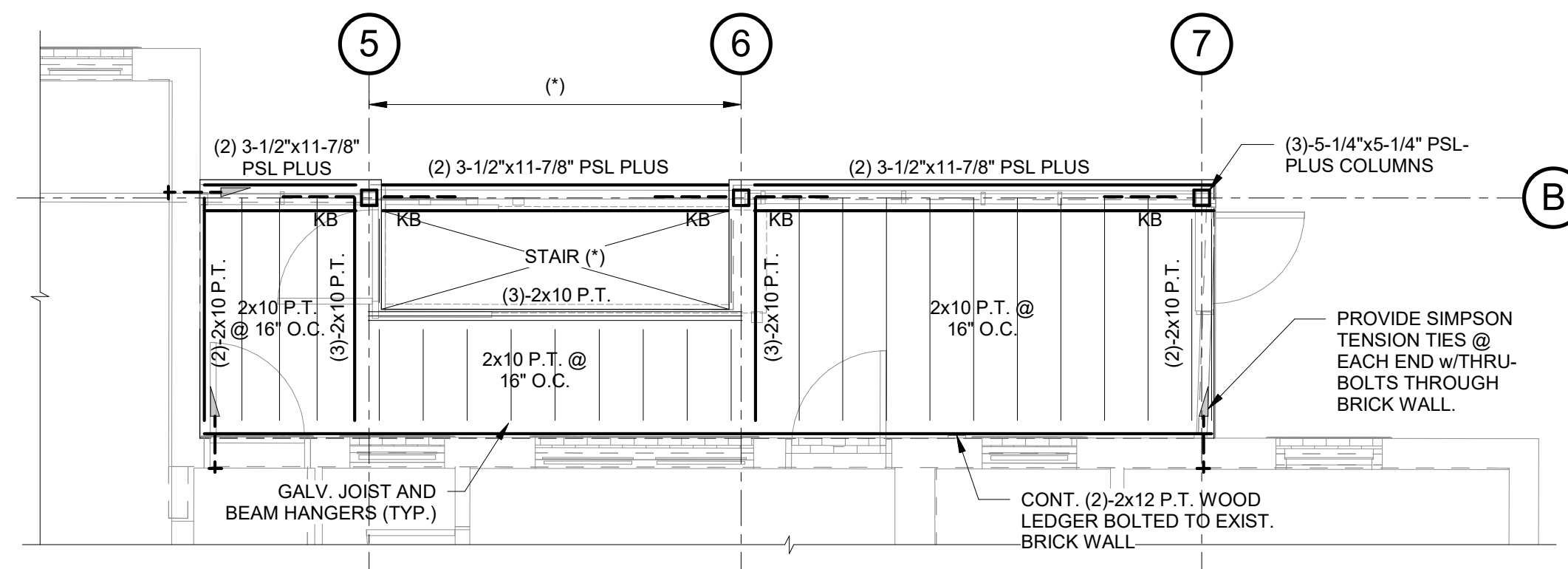
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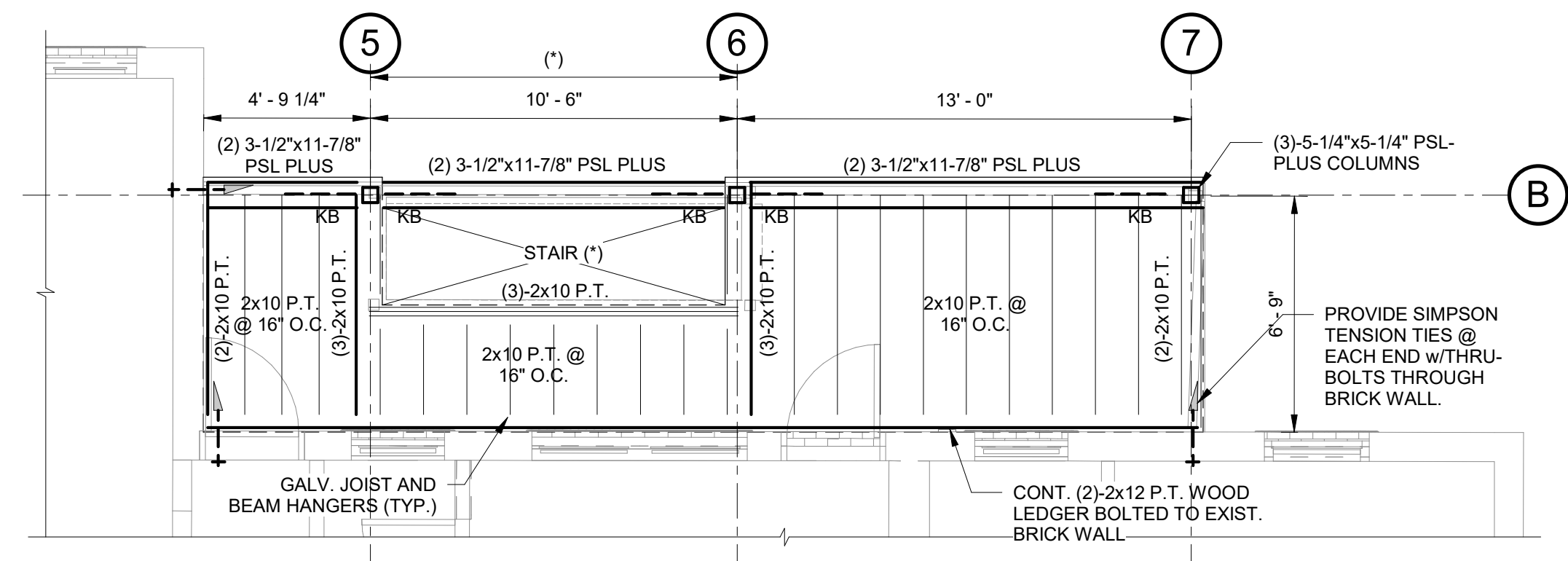
5 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



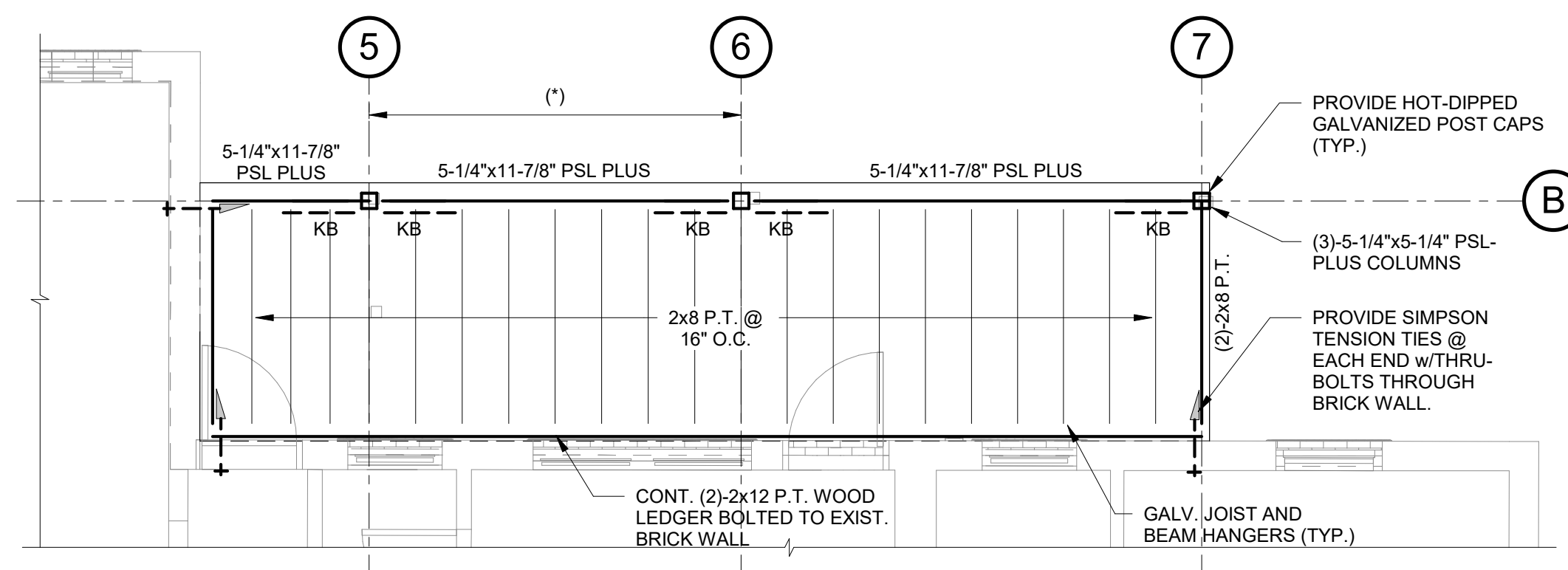
4 BALCONY GROUND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



1 BALCONY SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



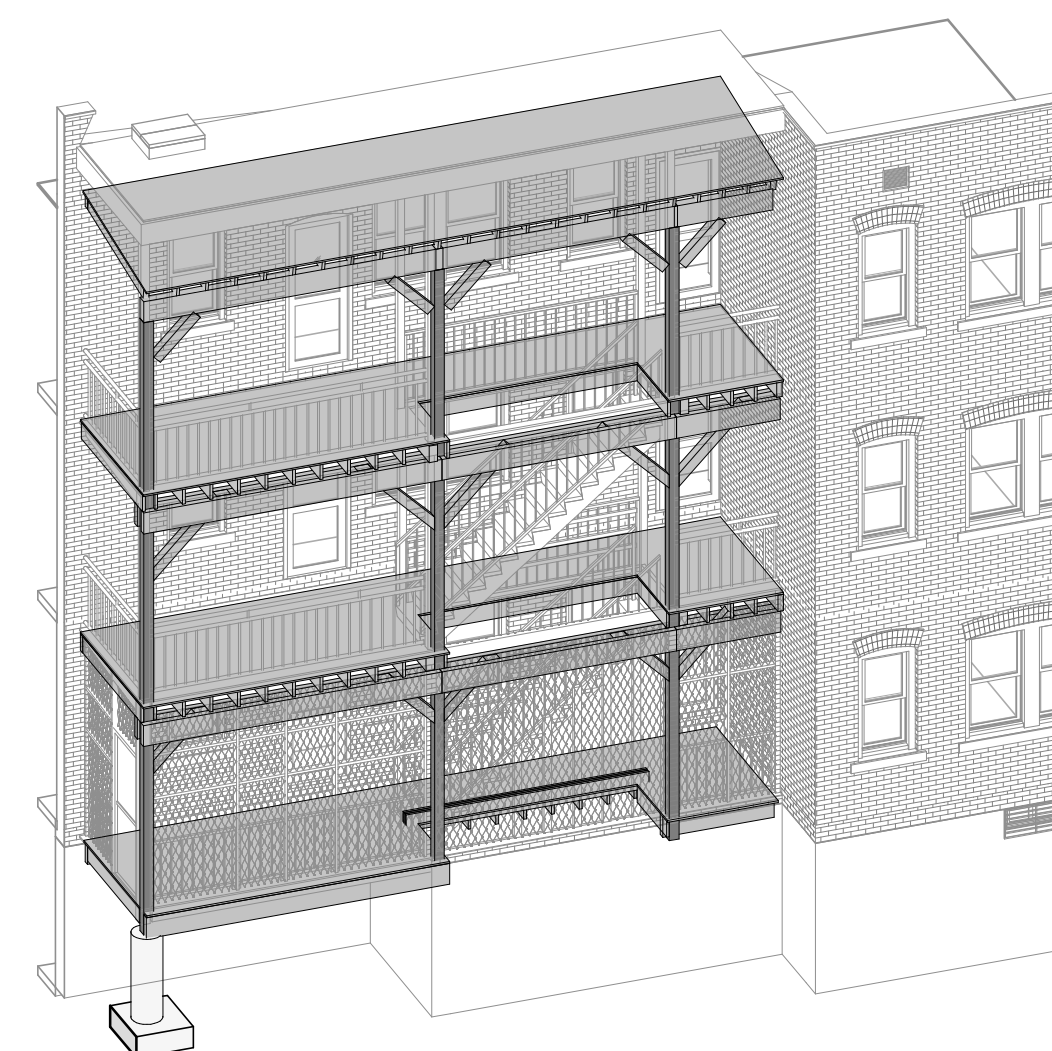
2 BALCONY THIRD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



3 BALCONY ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTES:

- (*) - STAIR CLEAR OPENING BY ARCH. SPACING BETWEEN GRIDS 5 AND 6 IS DEPENDENT ON STAIR WIDTH
- - - INDICATES 5 1/4 x 5 1/4 PSL PLUS KICKER BRACE



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Revision:

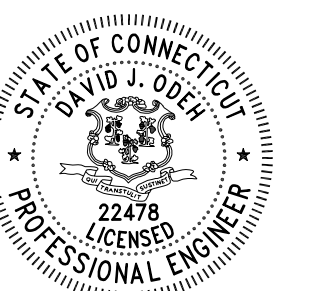
Architect of Record:

Drawn: KLM, AS

Checked: DJO

Scale: 1/4" = 1'-0"

Key Plan:



Project Name:

BEDFORD GARDENS

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TYPICAL BALCONY FRAMING ELEVATIONS

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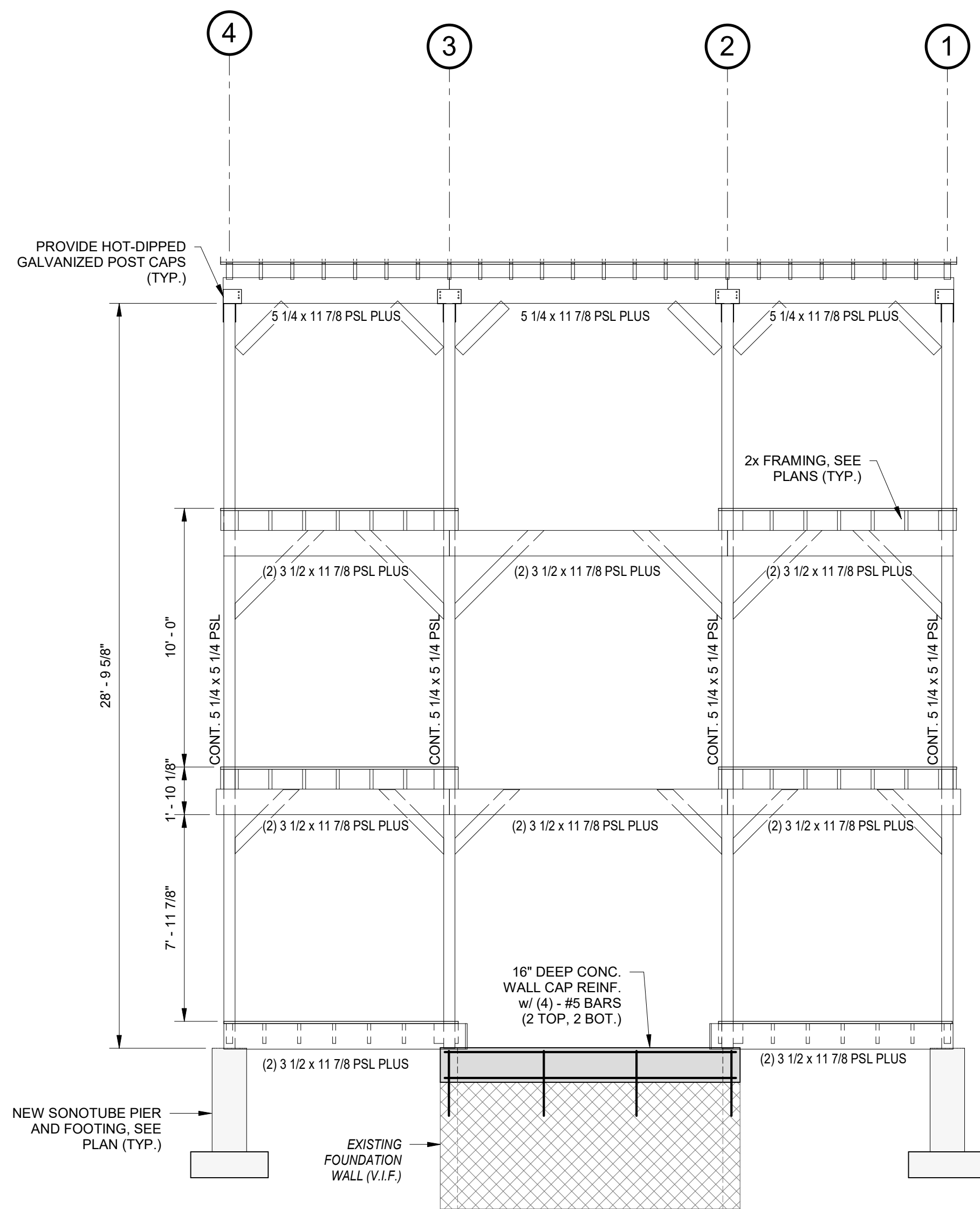
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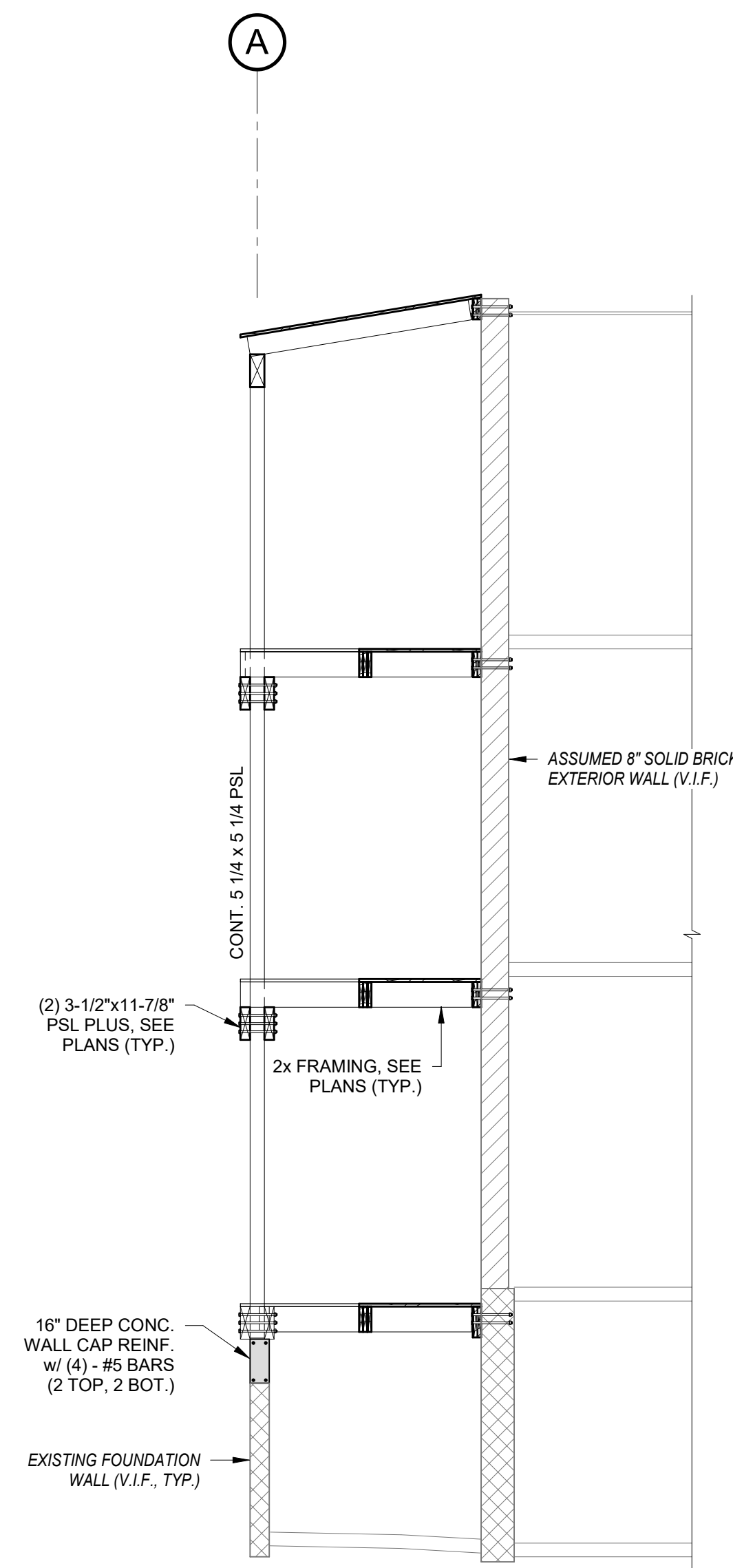
S1.04



TYPICAL PORCH FRAMING ELEVATION

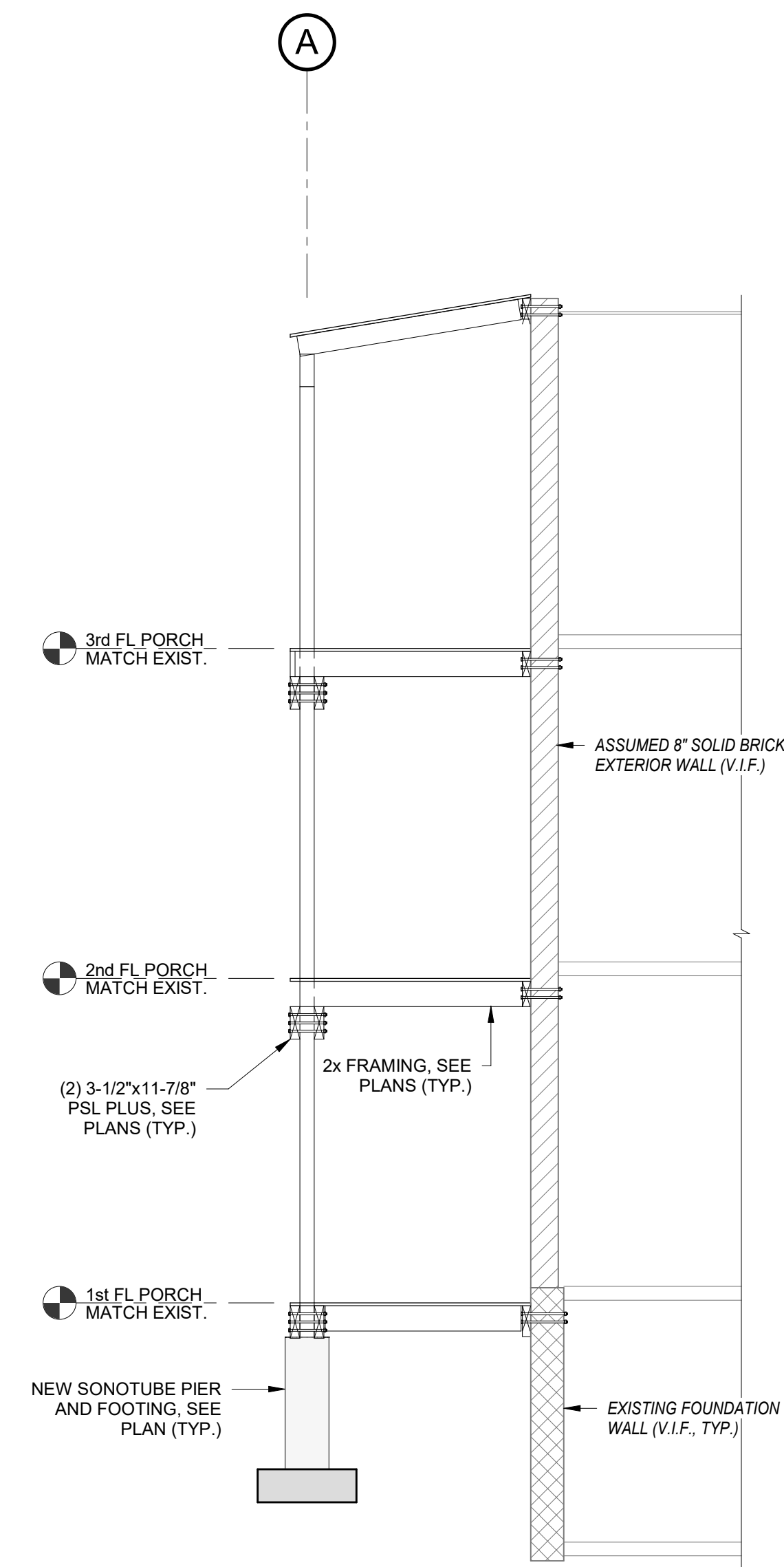
1 SECTION
 SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL LUMBER SHALL BE PRESSURE TREATED.
 2. ALL FOOTINGS SHALL BE SET A MINIMUM OF 48" BELOW GRADE.
 3. ALL FASTENERS AND CONNECTORS SHALL BE HOT-DIPPED GALVANIZED.
 4. ALL DIMENSIONS MUST BE COORDINATED WITH THE ARCHITECT AND EXISTING CONDITIONS.
 5. MINIMUM BEAM-TO-COLUMN CONNECTION SHALL BE (3)-3/4" THRU-BOLTS.
 6. MINIMUM KNEE BRACE TO COLUMN & KNEE BRACE TO BEAM CONNECTION SHALL BE (2)-3/4" THRU-BOLTS.
 7. ALL WORK INDICATED ON THIS DRAWING IS TYPICAL. ADJUSTMENTS SHALL BE MADE TO SUIT EACH BUILDING. COORDINATE WITH THE ARCHITECT.
 8. SEE ARCHITECTURAL DRAWINGS FOR ALL HANDRAIL, STAIR, AND ENCLOSURE REQUIREMENTS AND/OR DETAILS.



TYPICAL PORCH FRAMING SECTION

2 SECTION
 SCALE: 1/4" = 1'-0"



TYPICAL PORCH FRAMING END ELEVATION

3 SECTION
 SCALE: 1/4" = 1'-0"

Consultant:

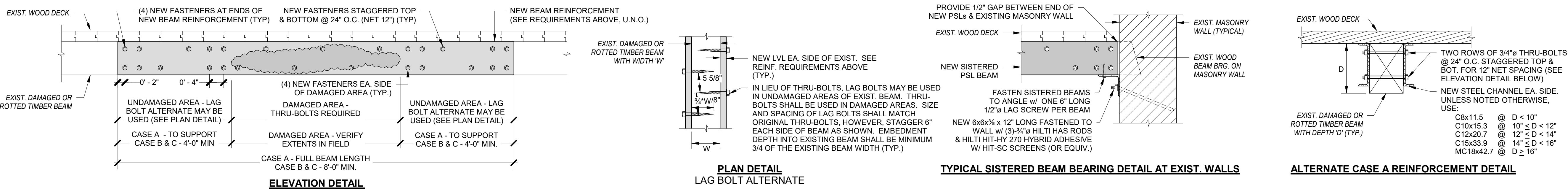


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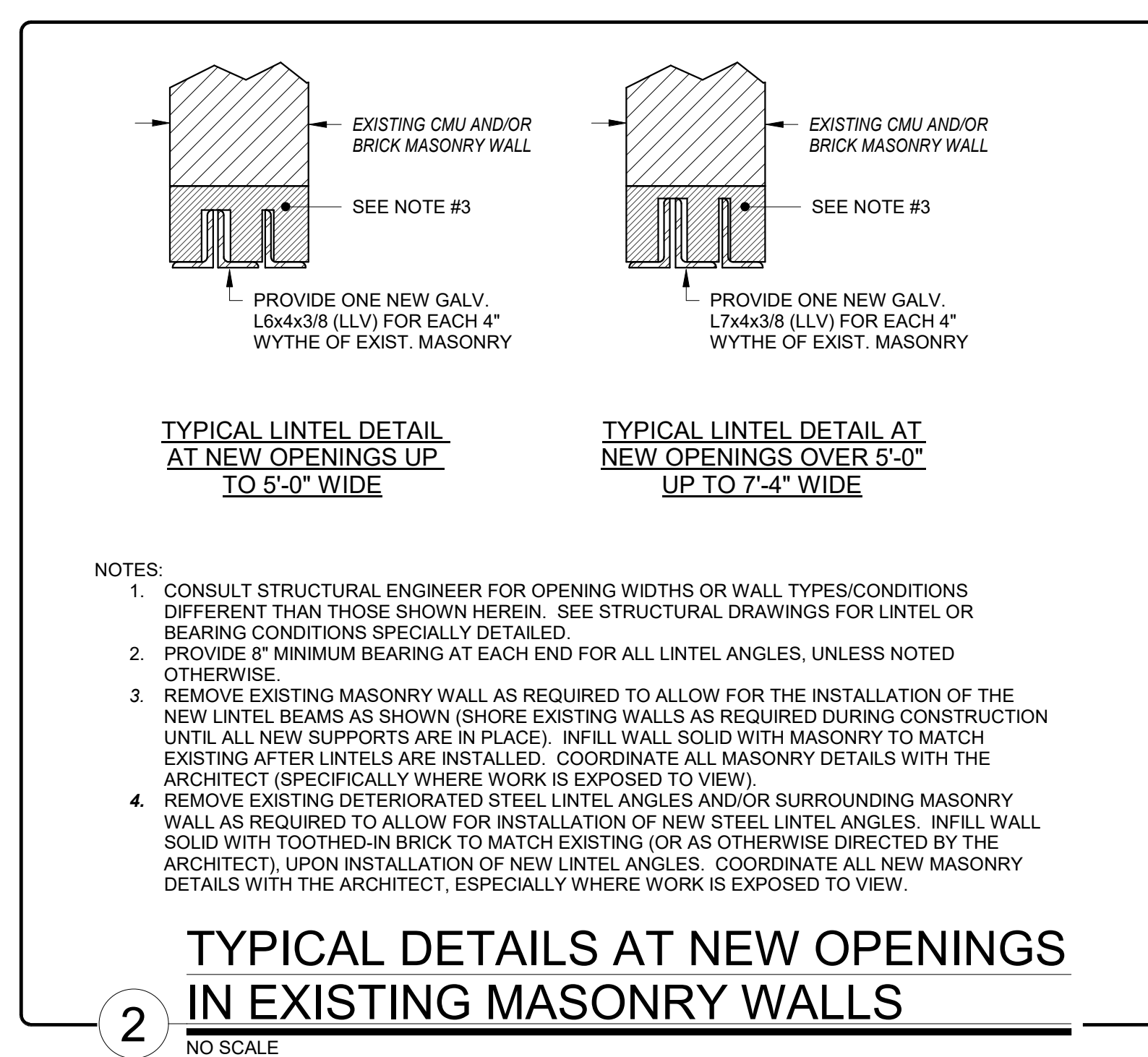
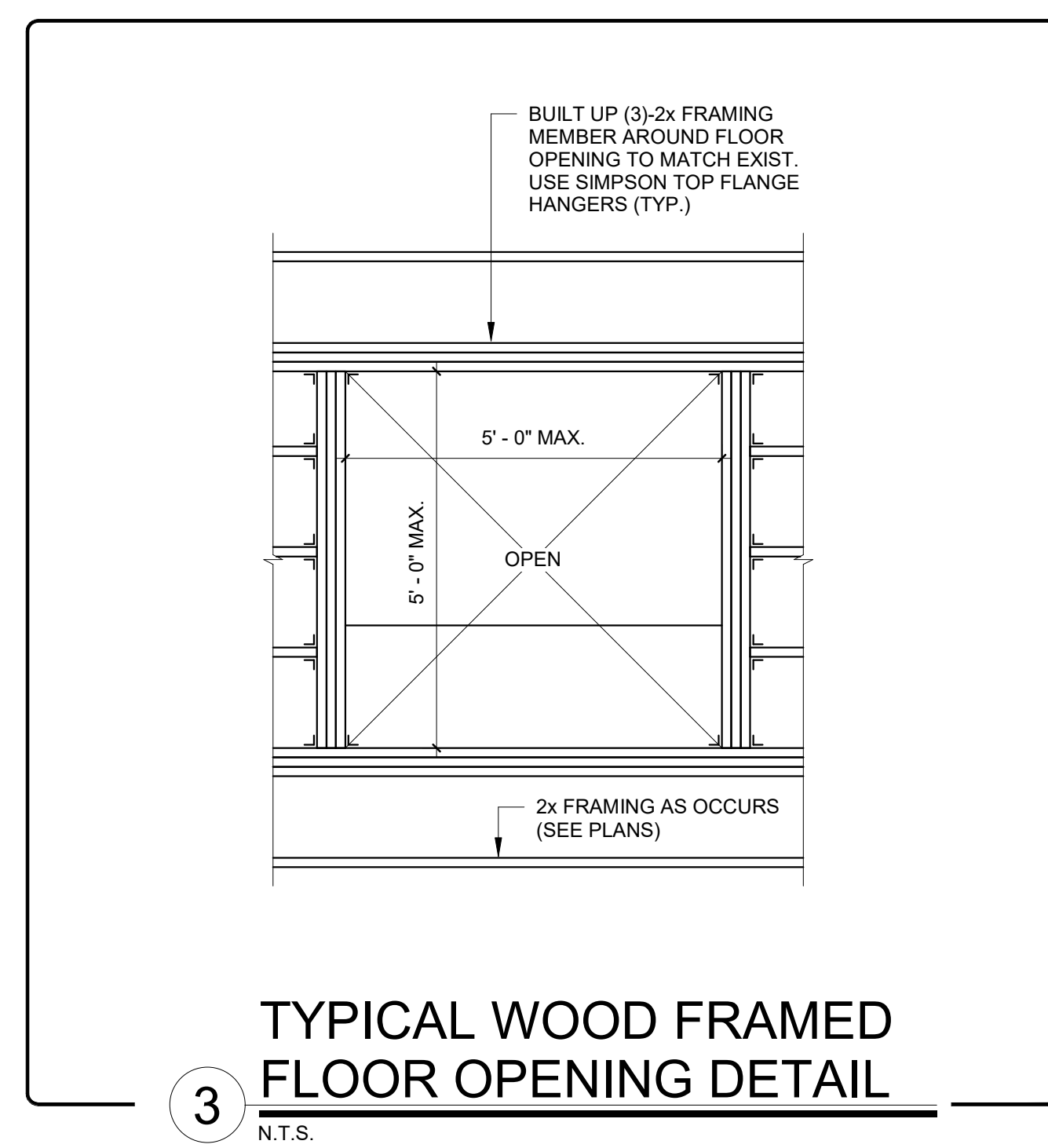
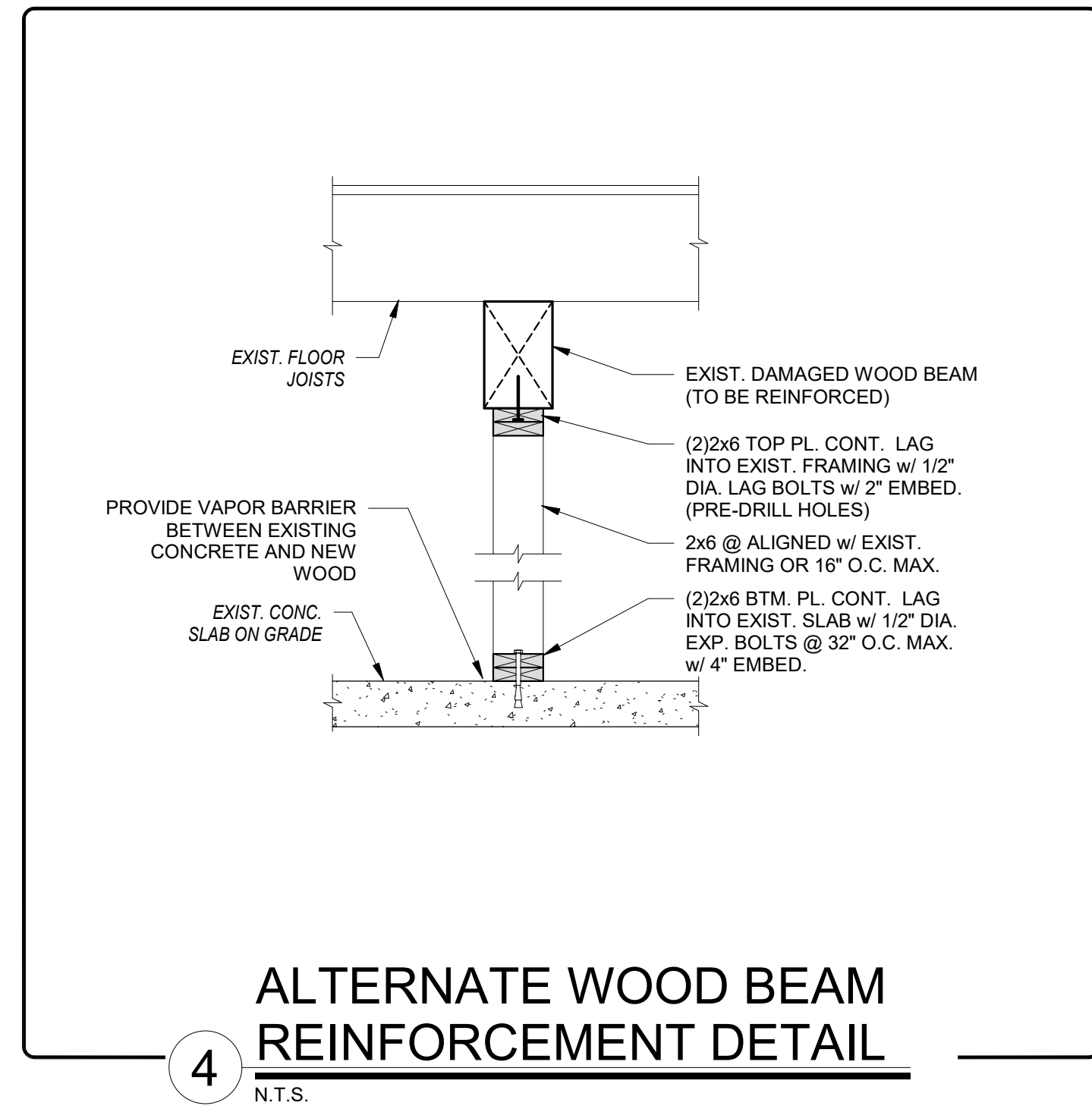
CASE	EXTENT OF DAMAGE	EXISTING BEAM TYPE I SINGLE JOIST LESS THAN 2 1/2" WIDE	EXISTING BEAM TYPE II JOIST OR BEAM 2 1/2" TO LESS THAN 6" WIDE	EXISTING BEAM TYPE III BEAM 6" TO LESS THAN 8" WIDE	EXISTING BEAM TYPE IV BEAM 8" TO LESS THAN 10" WIDE	EXISTING BEAM TYPE V BEAM 10" TO 14" WIDE	
A (USE FOR MAJOR DAMAGE OR FAILED BEAM)	TYPICAL @ BEAM W/ GREATER THAN 50% LOSS IN STRUCTURAL CAPACITY or or FAILED END OF BEAM	 TWO ROWS OF 16d NAILS @ 12" O.C. STAGGERED TOP & BOT. FOR 6" NET SPACING AT UNDAMAGED AREAS OF EXISTING JOIST. PROVIDE 3/8" THRU BOLTS OVER EXTENTS OF DAMAGED AREAS (SEE ELEVATION DETAIL BELOW) NEW FULL-LENGTH* 1 3/4"xD LVL BEAM ON ONE SIDE OF EXIST. W < 2 1/2"	 TWO ROWS OF 1/2" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW FULL-LENGTH* 1 3/4"xD LVL BEAMS EA. SIDE OF EXIST. 2 1/2" ≤ W < 6"	 TWO ROWS OF 5/8" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW FULL-LENGTH* 3 1/2"xD LVL BEAMS EA. SIDE OF EXIST. 6" ≤ W < 8"	 TWO ROWS OF 5/8" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW FULL-LENGTH* 3 1/2"xD LVL BEAMS EA. SIDE OF EXIST. 8" ≤ W < 10"	 TWO ROWS OF 3/4" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW FULL-LENGTH* 5 1/4"xD LVL BEAMS EA. SIDE OF EXIST. 10" ≤ W ≤ 14"	
	B (USE FOR MODERATE DAMAGE)	TYPICAL @ BEAM W/ 25% TO 50% LOSS IN STRUCTURAL CAPACITY	 TWO ROWS OF 16d NAILS @ 12" O.C. STAGGERED TOP & BOT. FOR 6" NET SPACING AT UNDAMAGED AREAS OF EXISTING JOIST. PROVIDE 3/8" THRU BOLTS OVER EXTENTS OF DAMAGED AREAS (SEE ELEVATION DETAIL BELOW) NEW 8'-0" LONG* (MIN.) 1 3/4"xD LVL BEAM ON ONE SIDE OF EXIST. W < 2 1/2"	 TWO ROWS OF 1/2" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW 8'-0" LONG* (MIN.) 1 3/4"xD LVL BEAMS EA. SIDE OF EXIST. 2 1/2" ≤ W < 6"	 TWO ROWS OF 5/8" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW 8'-0" LONG* (MIN.) 3 1/2"xD LVL BEAMS EA. SIDE OF EXIST. 6" ≤ W < 8"	 TWO ROWS OF 5/8" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW 8'-0" LONG* (MIN.) 3 1/2"xD LVL BEAMS EA. SIDE OF EXIST. 8" ≤ W < 10"	 TWO ROWS OF 5/8" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW 8'-0" LONG* (MIN.) 3 1/2"xD LVL BEAMS EA. SIDE OF EXIST. 10" ≤ W ≤ 14"
		C (USE FOR MINOR DAMAGE)	TYPICAL @ BEAM W/ 10% TO 25% LOSS IN STRUCTURAL CAPACITY	 TWO ROWS OF 16d NAILS @ 12" O.C. STAGGERED TOP & BOT. FOR 6" NET SPACING AT UNDAMAGED AREAS OF EXISTING JOIST. PROVIDE 3/8" THRU BOLTS OVER EXTENTS OF DAMAGED AREAS (SEE ELEVATION DETAIL BELOW) NEW 8'-0" LONG* (MIN.) 1 3/4"xD LVL BEAM ON ONE SIDE OF EXIST. W < 2 1/2"	 TWO ROWS OF 1/2" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW 8'-0" LONG* (MIN.) 1 3/4"xD LVL BEAMS EA. SIDE OF EXIST. 2 1/2" ≤ W < 6"	 TWO ROWS OF 1/2" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW 8'-0" LONG* (MIN.) 1 3/4"xD LVL BEAMS EA. SIDE OF EXIST. 6" ≤ W < 8"	 TWO ROWS OF 1/2" THRU-BOLTS @ 24" O.C. STAGGERED TOP & BOT. FOR 12" NET SPACING (SEE ELEVATION DETAIL FOR TYPICAL BOLT LAYOUT AND PLAN DETAIL FOR LAG BOLT ALTERNATE) NEW 8'-0" LONG* (MIN.) 1 3/4"xD LVL BEAMS EA. SIDE OF EXIST. 8" ≤ W < 10"



1 TYPICAL BEAM REINFORCEMENT DETAILS

NO SCALE

- NOTES:
 1. REMOVE OR SANDBLAST ALL ROTTED WOOD MATERIAL AND SUBSTITUTE W/ LVL FILLER PIECES AS REQUIRED. BEAMS NOTED AS CASE 'A' MAY BE REMOVED AND REPLACED IN THEIR ENTIRETY WITH THE REINFORCEMENT SHOWN BASED ON THE EXISTING BEAM WIDTH.
 2. FOR BEAMS GREATER THAN 14" IN WIDTH, CONSULT THE STRUCTURAL ENGINEER FOR REINFORCEMENT DETAILS.



2 TYPICAL DETAILS AT NEW OPENINGS IN EXISTING MASONRY WALLS

NO SCALE

Project Name:
BEDFORD GARDENS

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Hartford, CT

Sheet Name:
TYPICAL STRUCTURAL DETAILS

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Project Number:
22020

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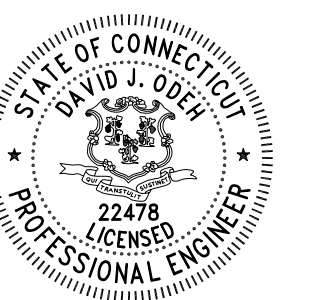
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Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 1 EXISTING STRUCTURAL PLANS

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Project Number:

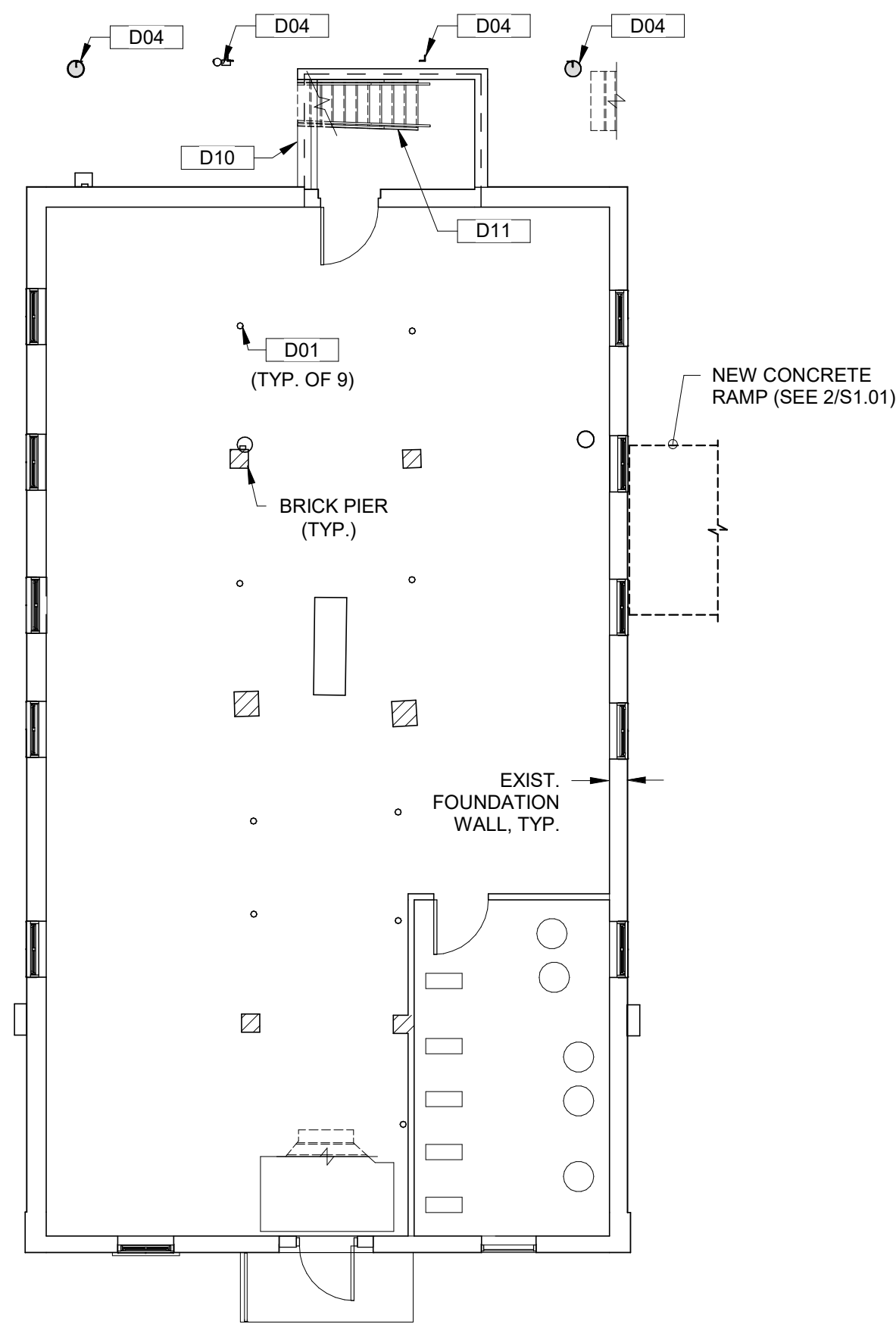
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FEBRUARY 24, 2023

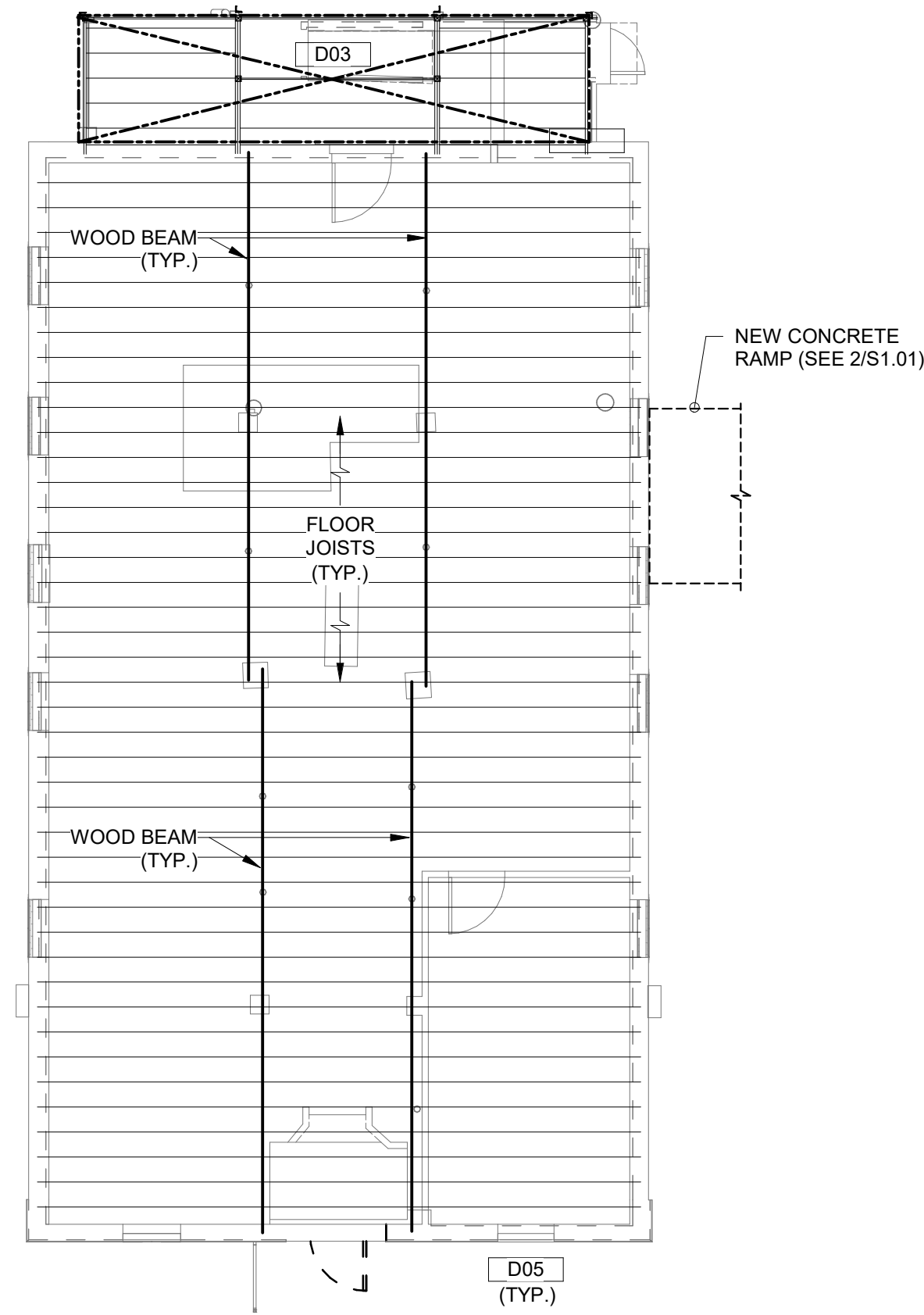
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SE1.01



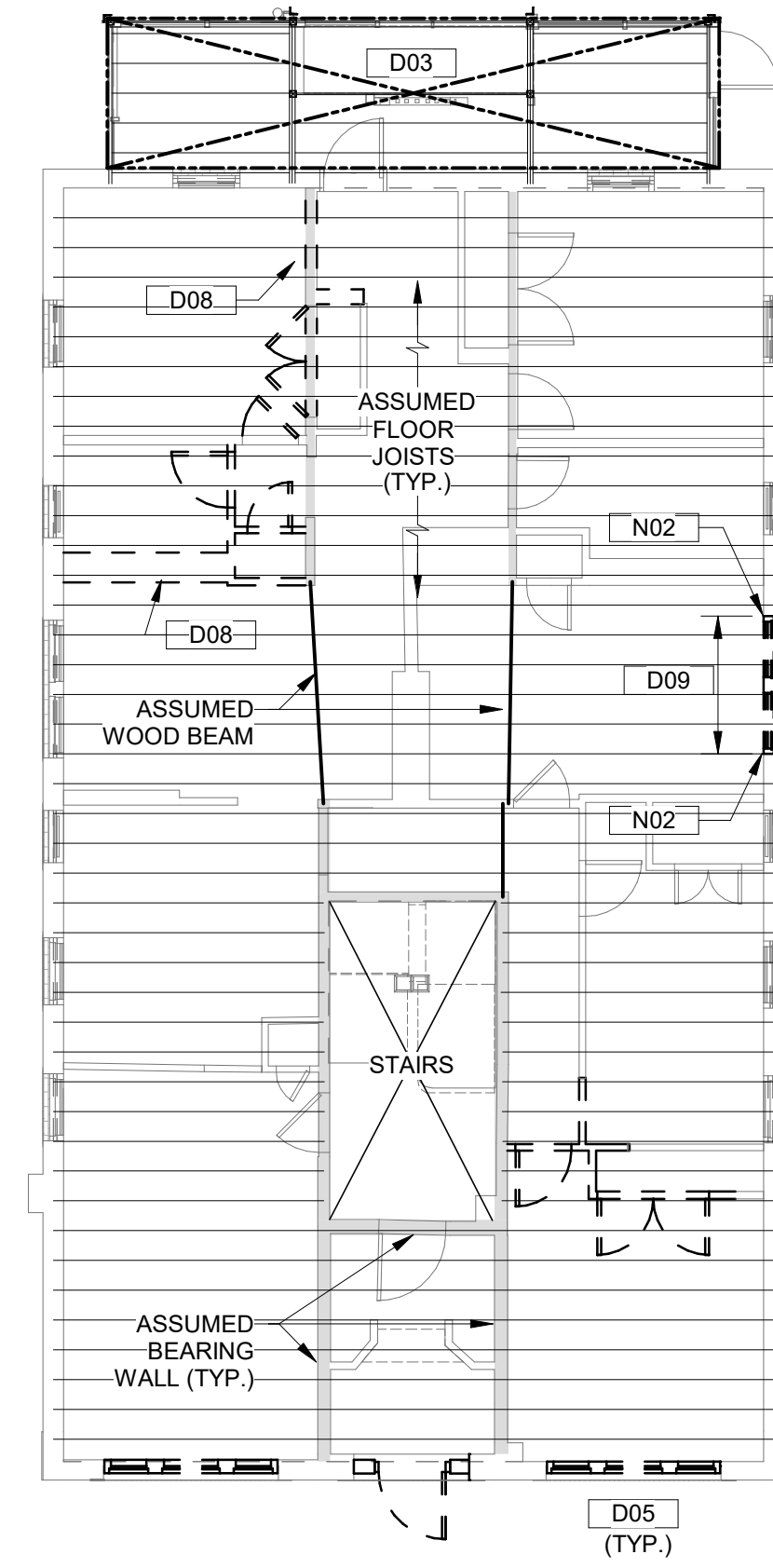
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



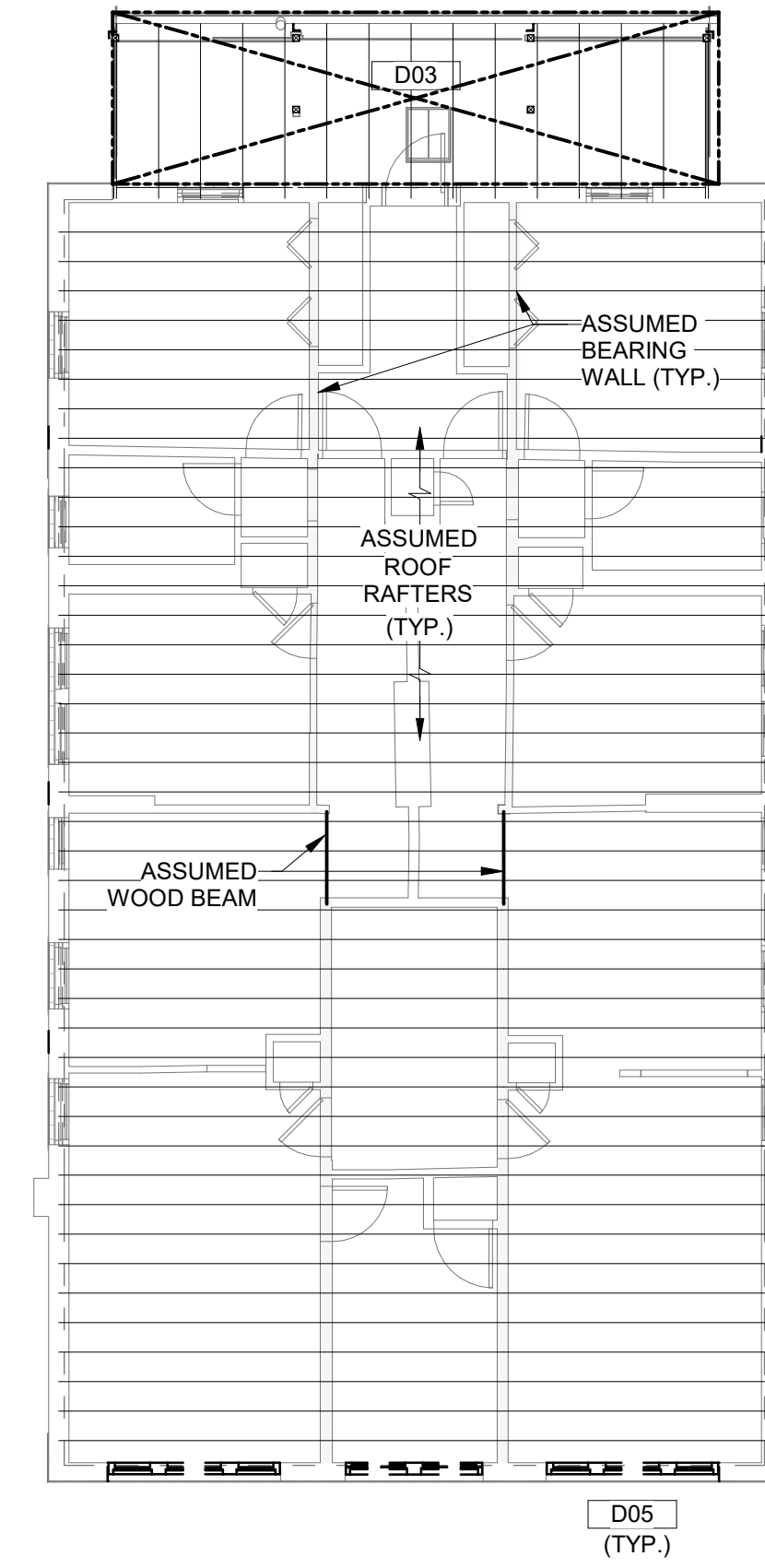
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES

Key Value	Keynote Text
D01	EXISTING STEEL LALLY COLUMN. REMOVE & REPLACE IN KIND. NEW COLUMNS SHALL BE HOT-DIPPED GALVANIZED TO ADDRESS FUTURE CORROSION CONCERNS. NOTE: LALLY COLUMNS NEED NOT BE REMOVED WHERE EXISTING WOOD BEAMS ARE RESUPPORTED ON EACH SIDE OF THE COLUMN PER DETAIL 4/S3.01 "ALTERNATE WOOD BEAM REINFORCEMENT DETAIL".
D02	EXISTING BRICK LALLY COLUMN PEDESTAL. REMOVE AND DISPOSE OF.
D03	EXISTING STEEL AND WOOD PORCH FRAMING TO BE REMOVED IN ITS ENTIRETY. REPAIR ALL MASONRY WALLS & INFILL ALL BEAM POCKETS & BOLT HOLES AFTER DEMOLITION TO ACHIEVE A SOUND STRUCTURAL CONDITION FOR THE NEW WORK. SEE DRAWINGS S1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D04	REMOVE ALL EXISTING FOUNDATIONS BELOW PORCH FRAMING. SEE DRAWINGS 1.02 THROUGH S1.04 FOR NEW PORCH FRAMING REQUIREMENTS.
D05	EXISTING STEEL LINTEL ANGLES TO BE CLEANED OF RUST AND REPAINTED WITH CORROSION-RESISTANT PAINT. TYPICAL ALONG FRONT EXTERIOR WALLS.
D06	PARTIALLY REMOVE EXISTING WOOD STUD BEARING WALL TO ALLOW FOR RELOCATED DOORWAY. PROVIDE NEW HEADERS AND JAMB STUDS.
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D09	PARTIALLY REMOVE AND REBUILD EXISTING EXTERIOR BRICK MASONRY WALL TO ALLOW FOR NEW ENTRY DOOR.
D10	EXISTING FOUNDATION WALLS TO BASEMENT REQUIRE REPAIR.
D11	EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE ALL DETAILS WITH THE ARCHITECT.

NEW CONDITIONS NOTES

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N02	PROVIDE NEW STEEL ANGLE LINTELS FOR NEW BRICK MASONRY OPENING, WITH 8" BEARING ON SOLID BRICK MASONRY PER SIDE. ONE 1/4x4x5/16 HOT-DIPPED GALVANIZED ANGLE FOR EACH 4' WYTHE OF MASONRY. MAXIMUM FINISHED MASONRY OPENING WIDTH = 4'-0".
N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

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Consultant:



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North Providence, RI 02904
Phone: 401.724.1771
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Revision:

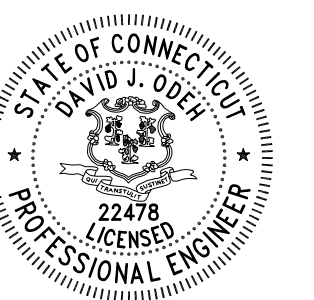
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 2 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

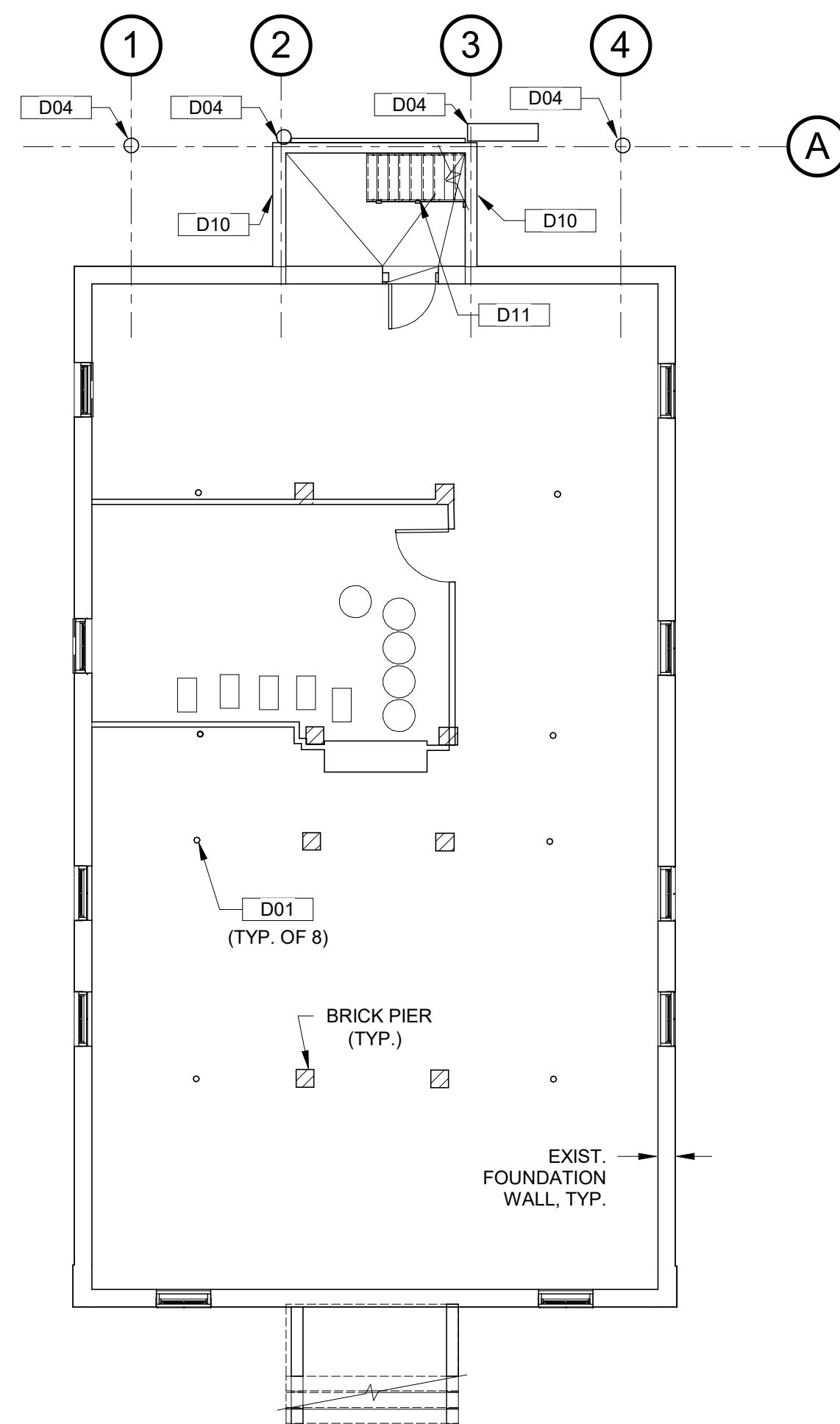
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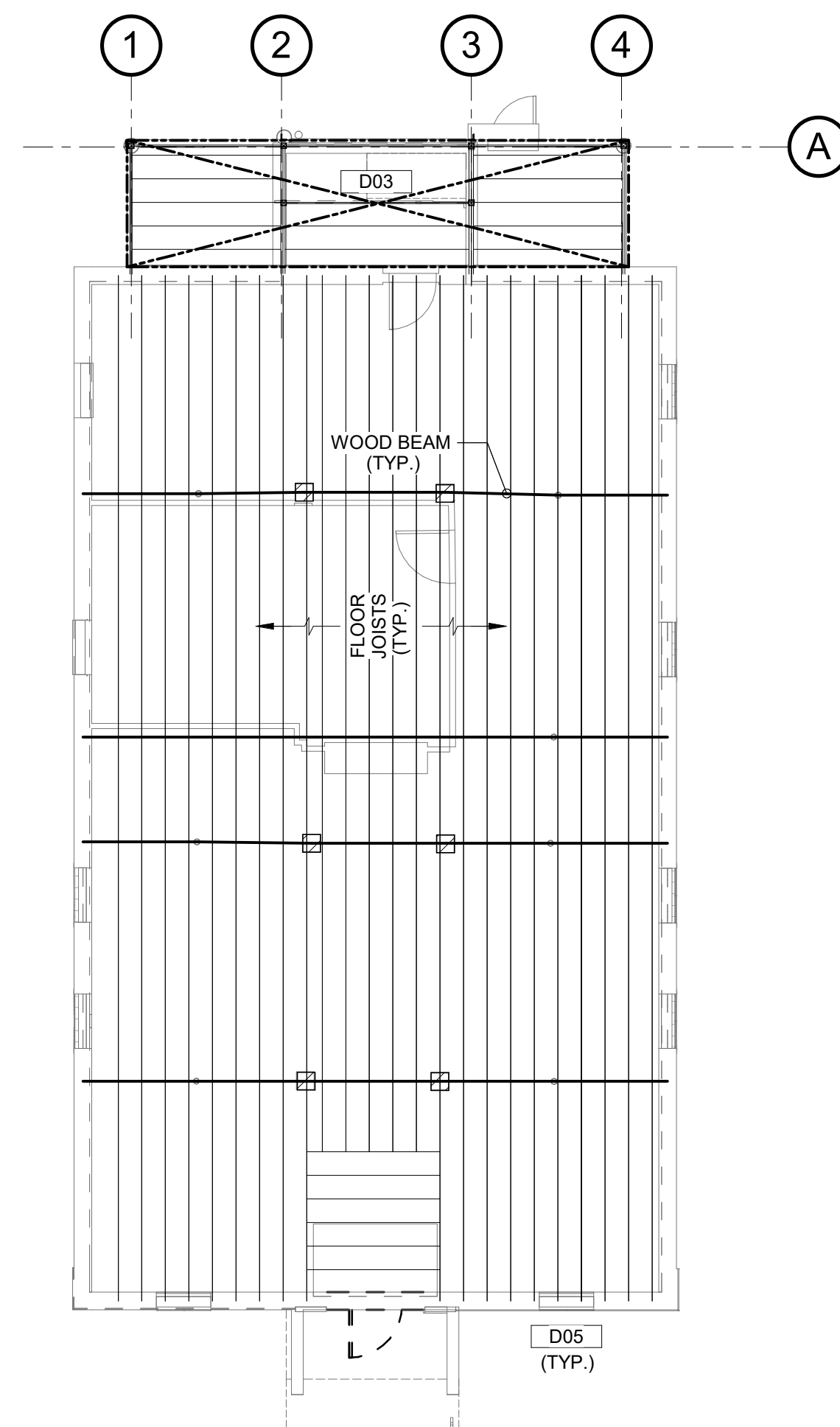
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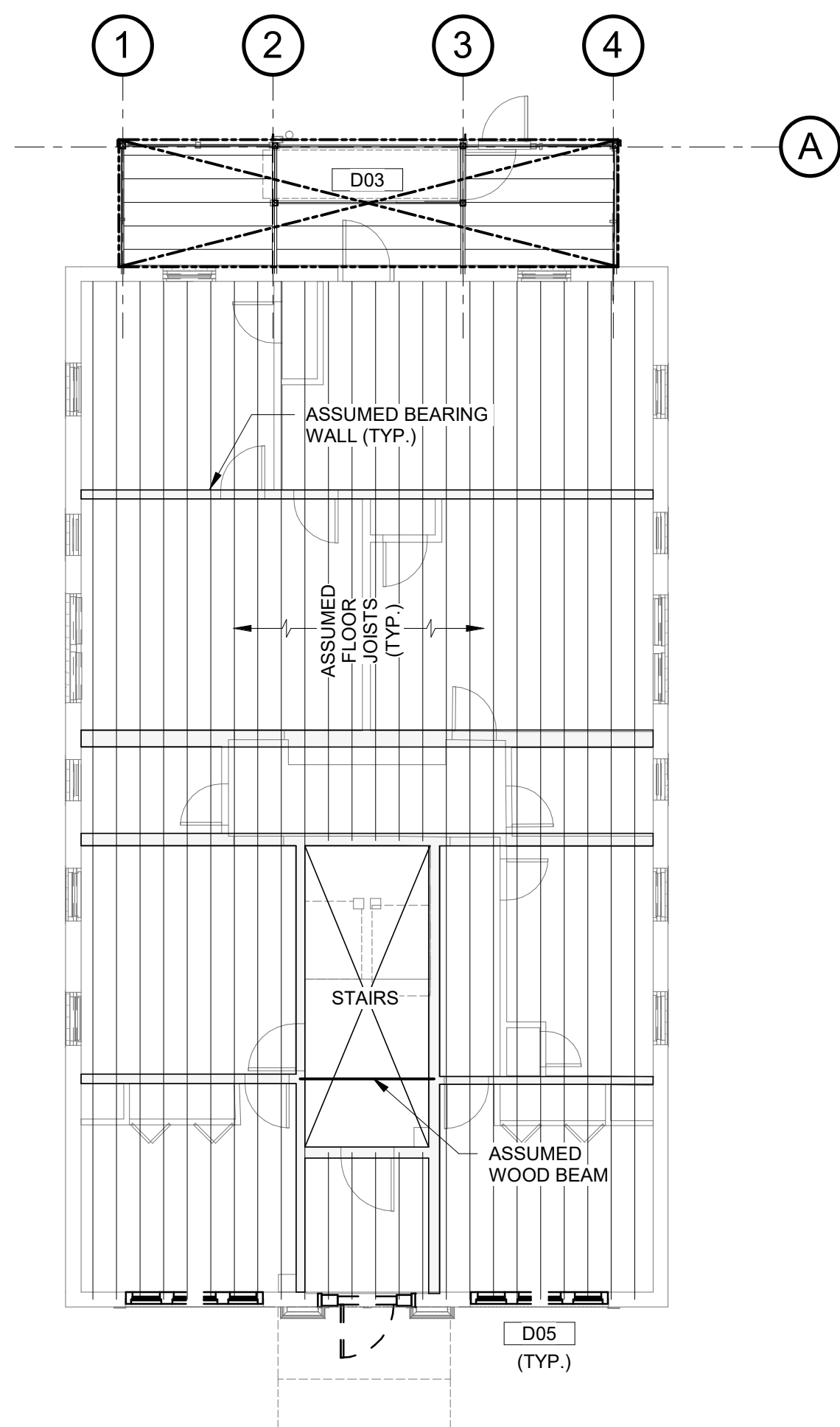
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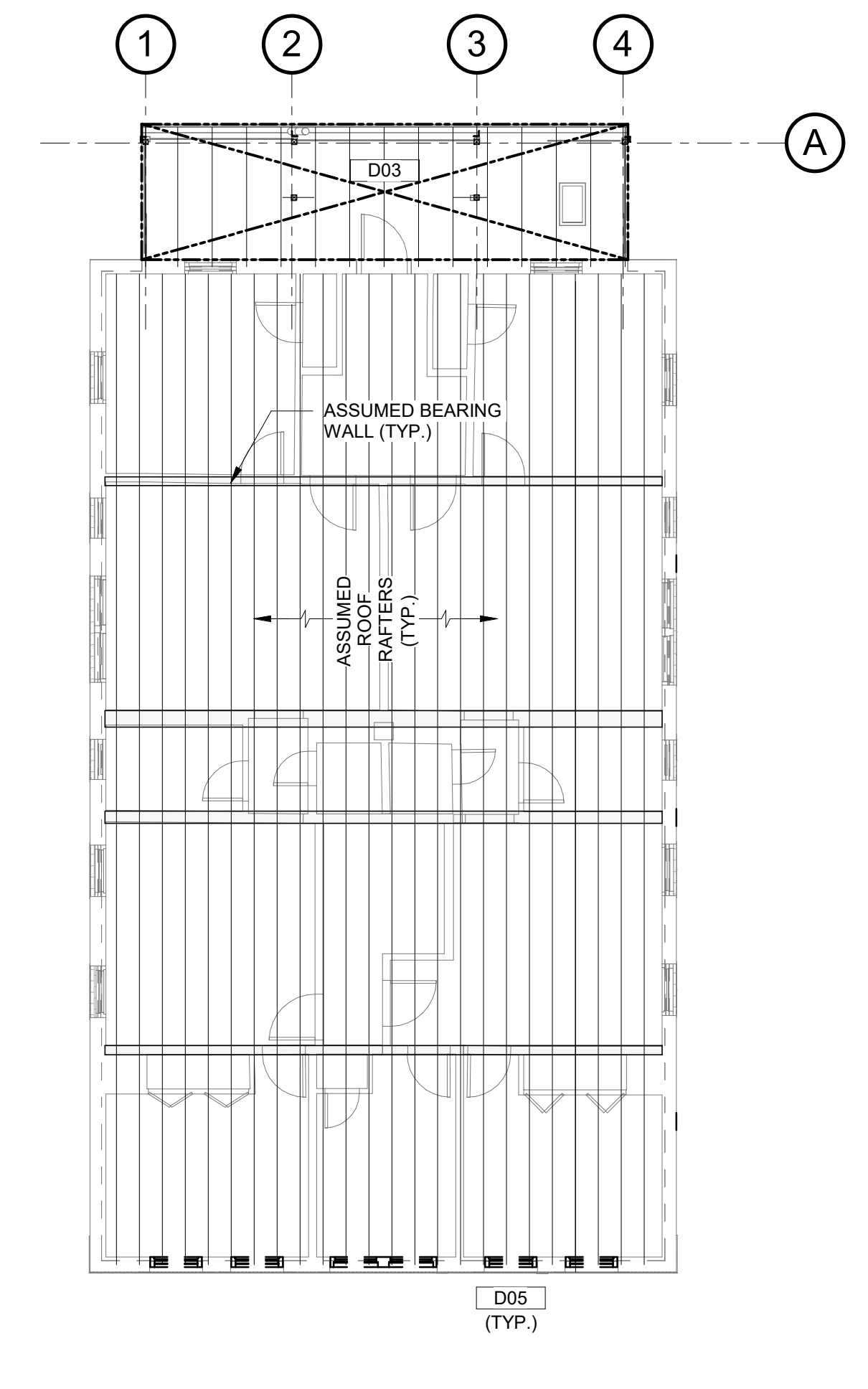
1 EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING 1st FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

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Consultant:



Revision:

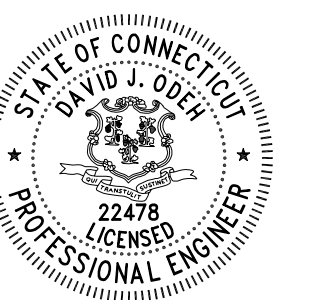
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 3 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

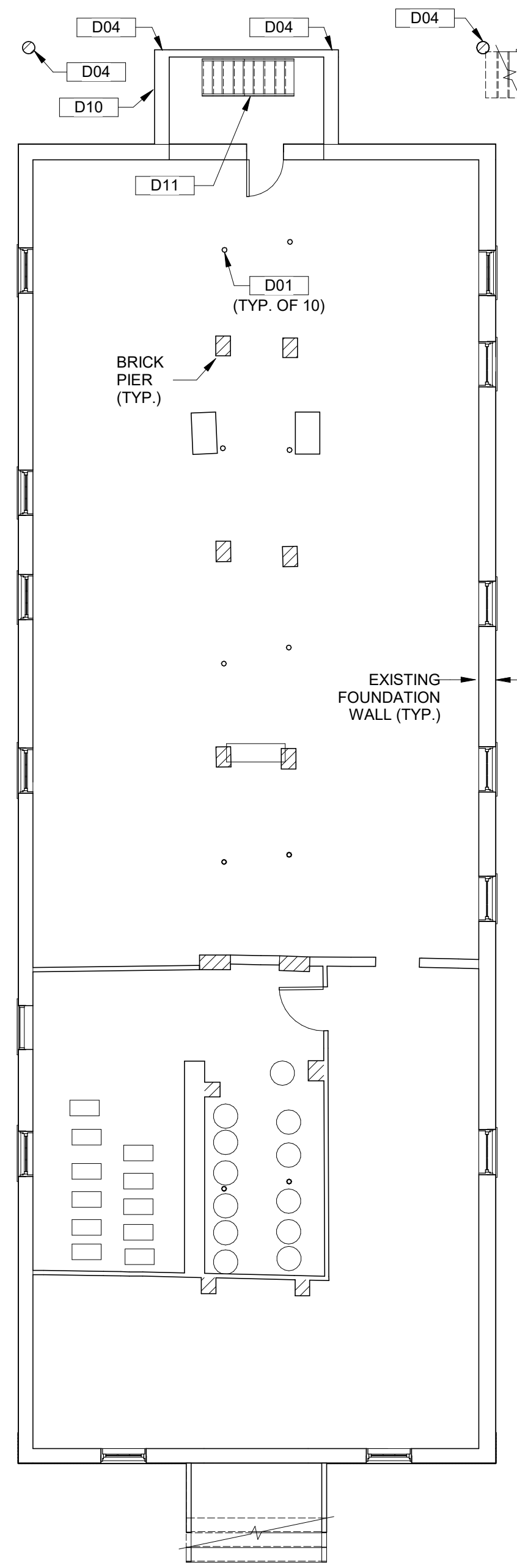
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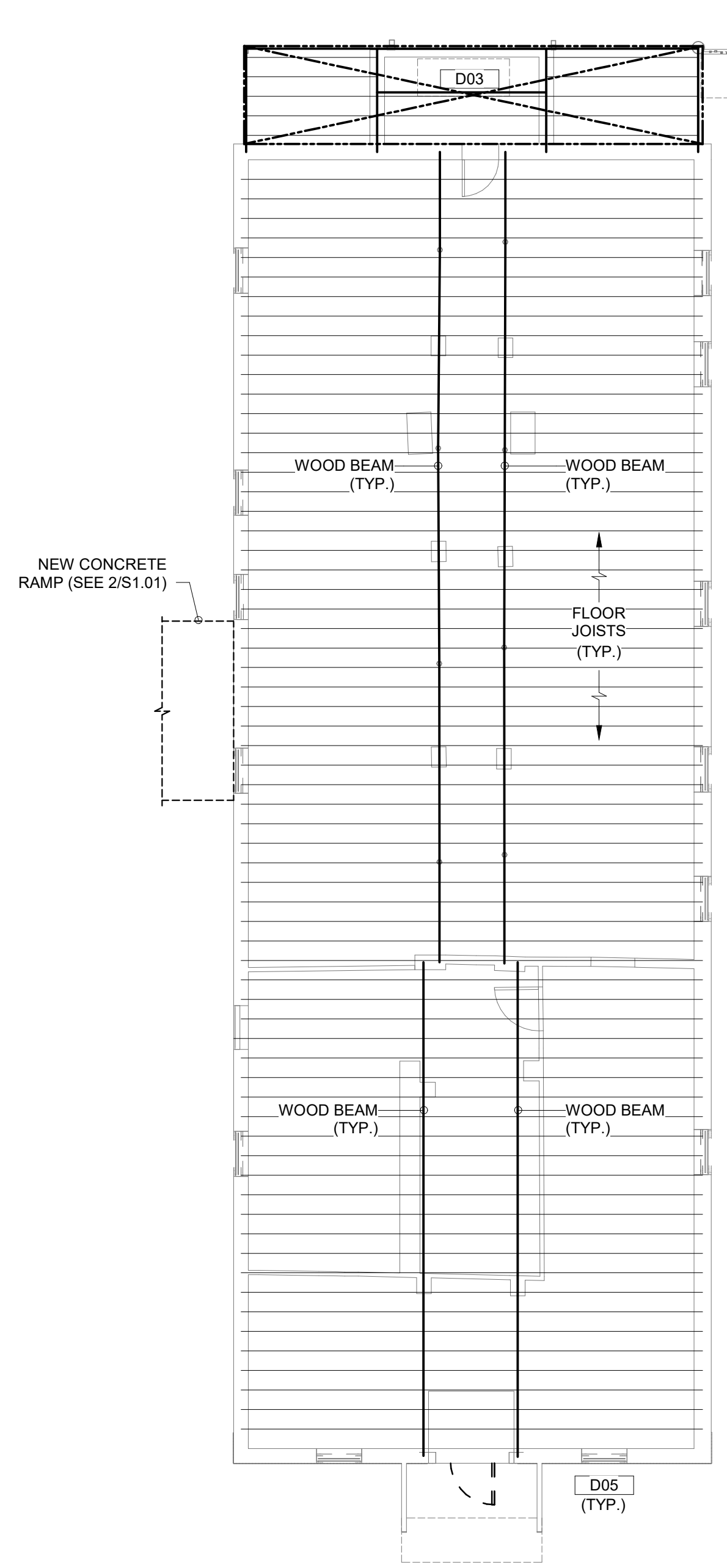
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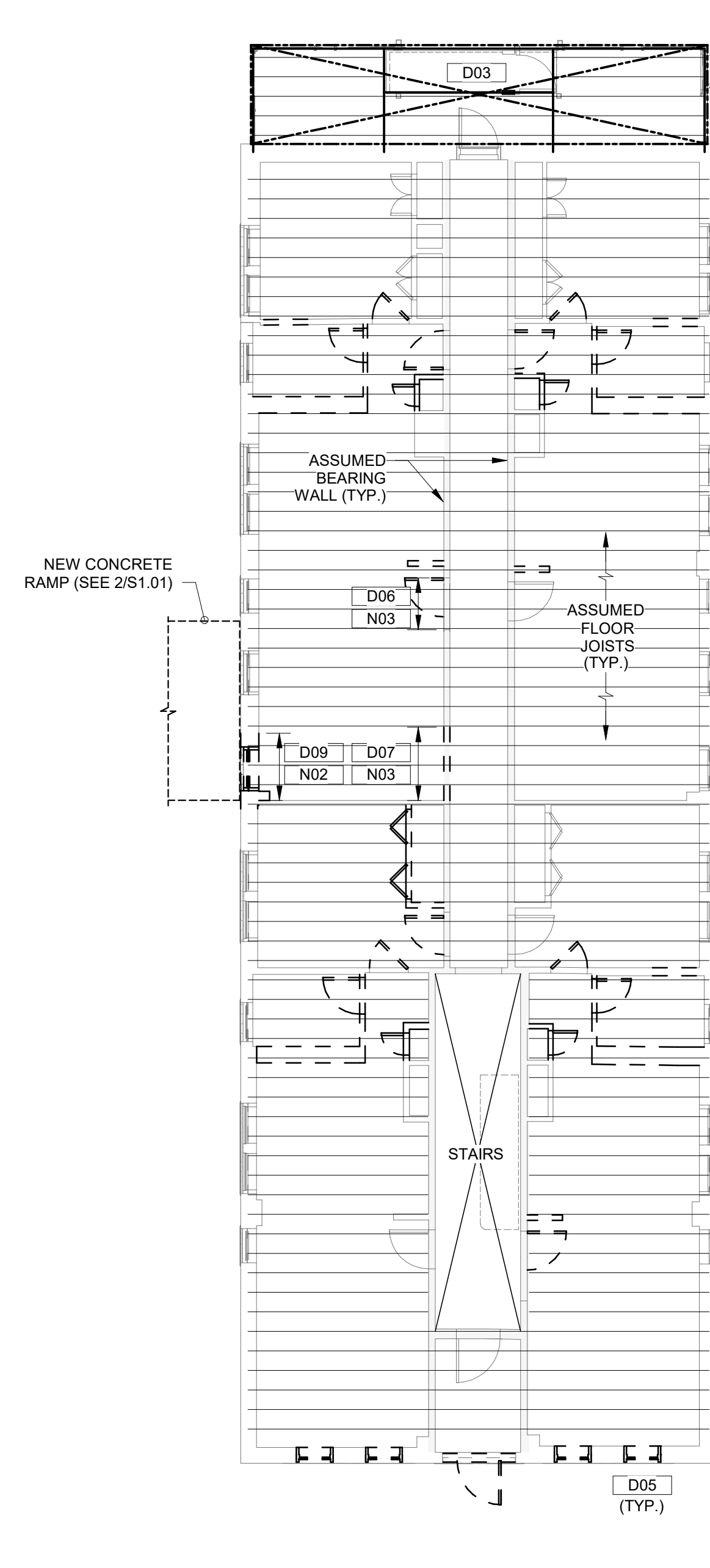
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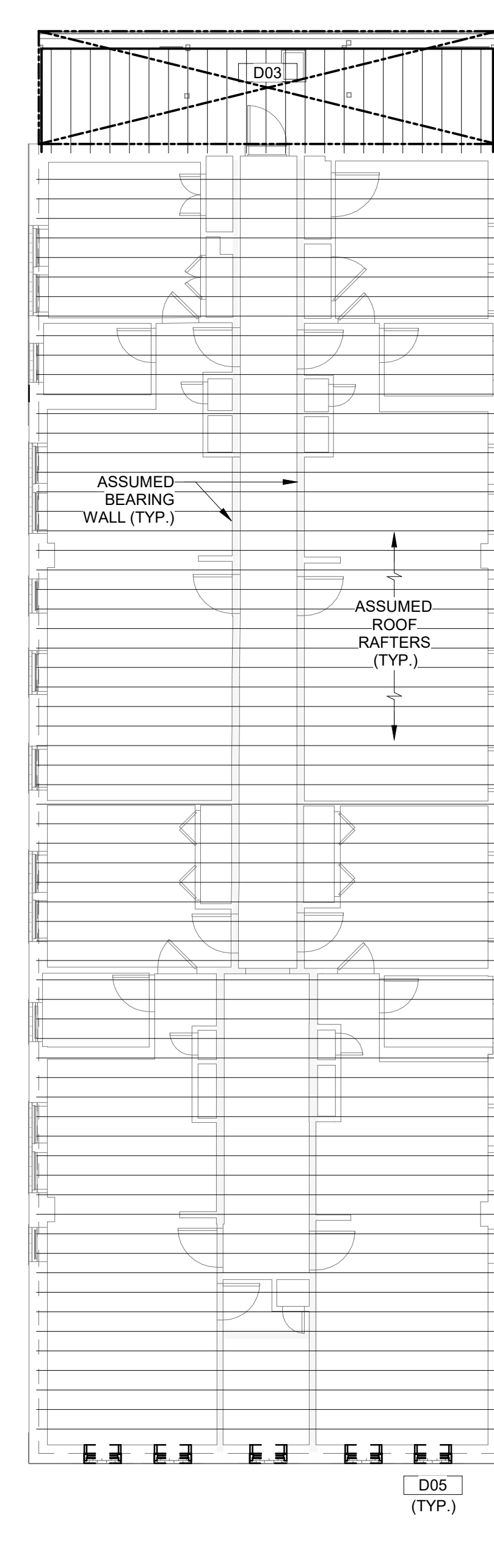
1 EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING 1st FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

STRUCTURAL DEMO NOTES

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Consultant:



Revision:

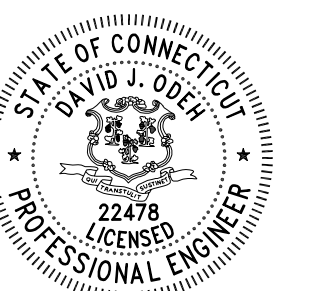
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
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Sheet Name:

BUILDING 4 EXISTING STRUCTURAL PLANS

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Project Number:

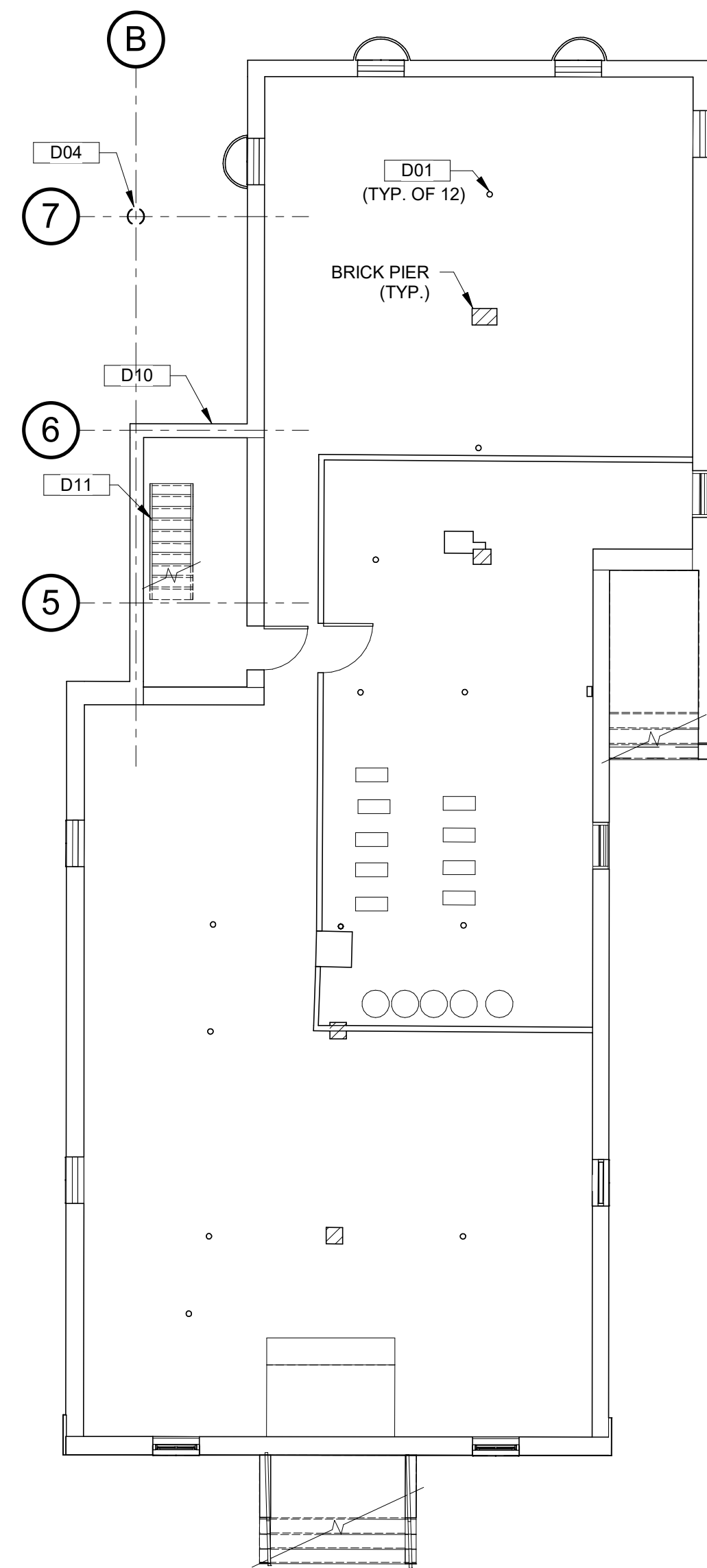
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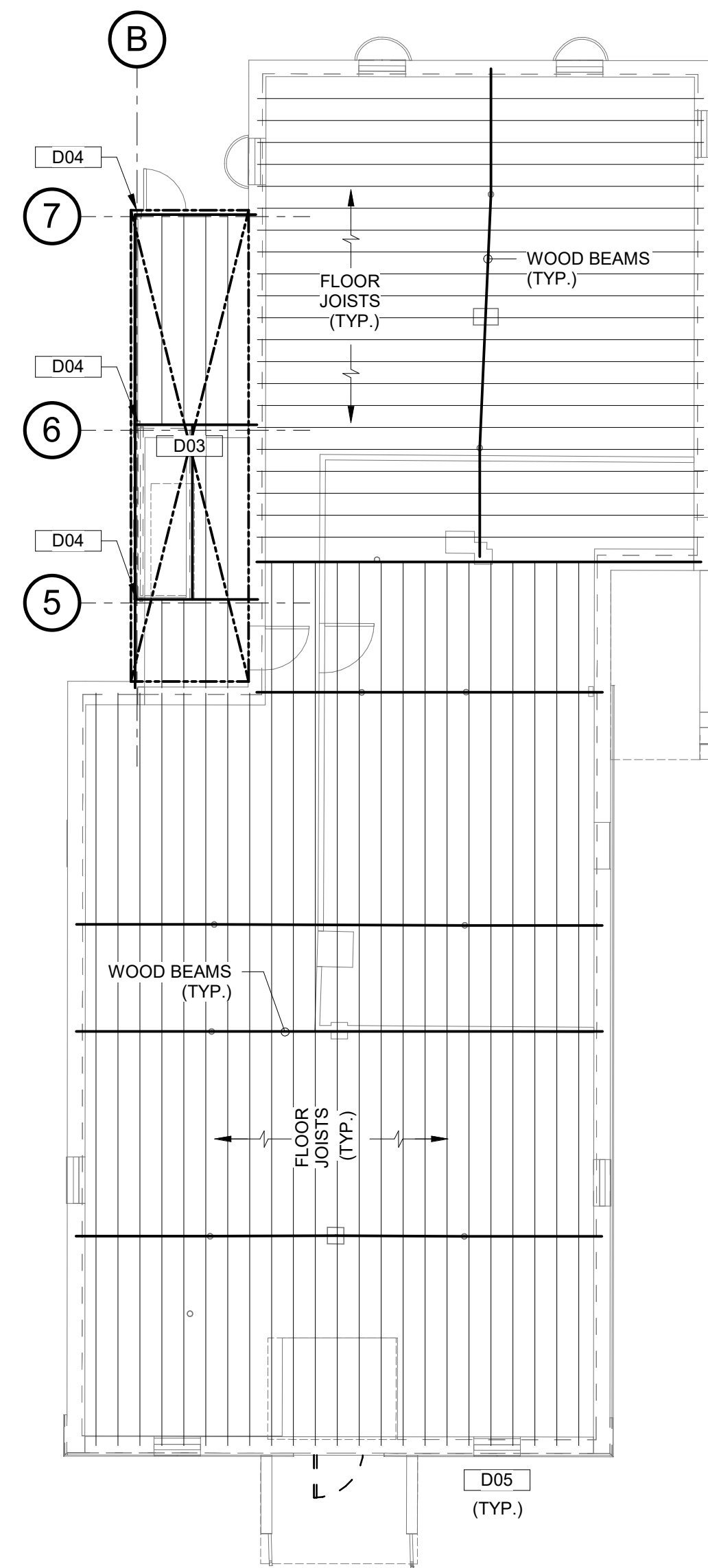
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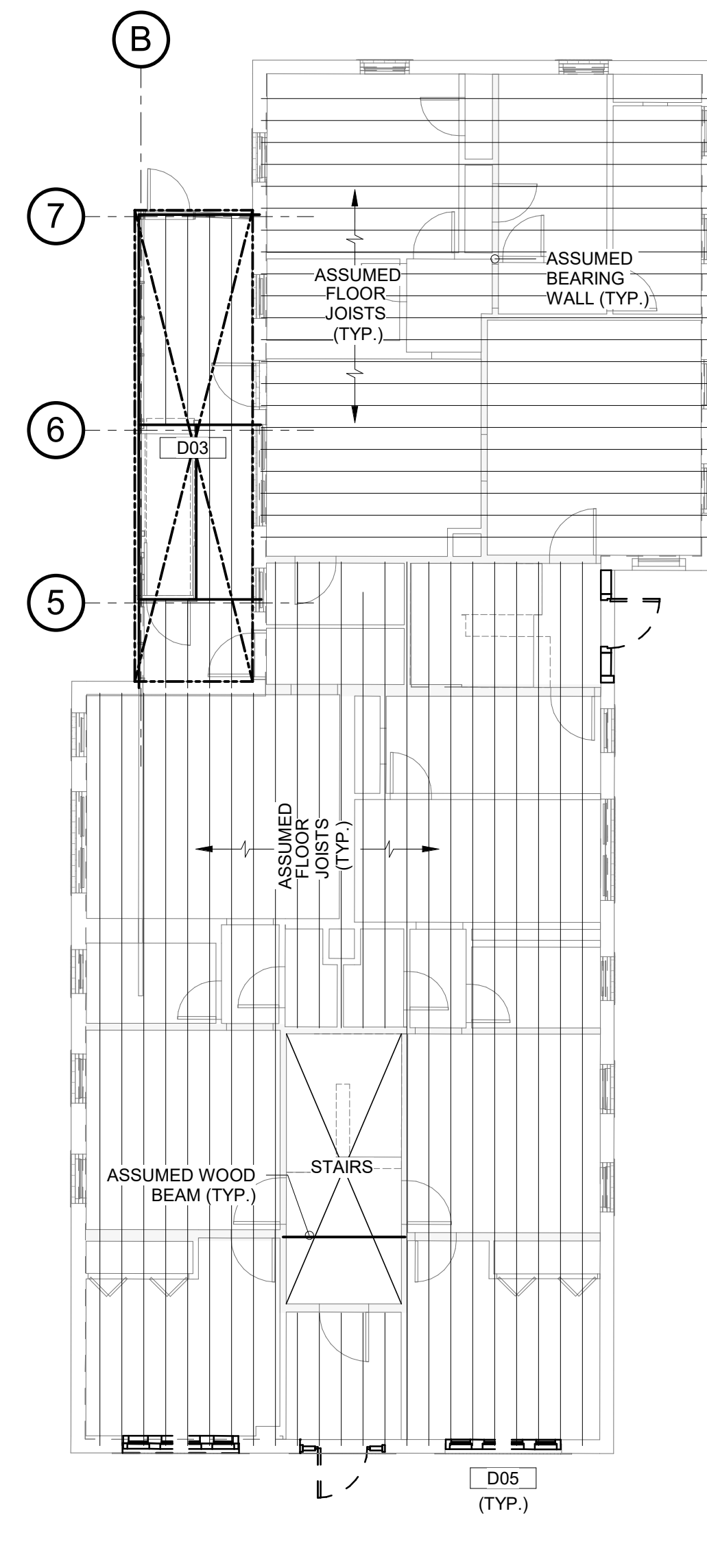
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



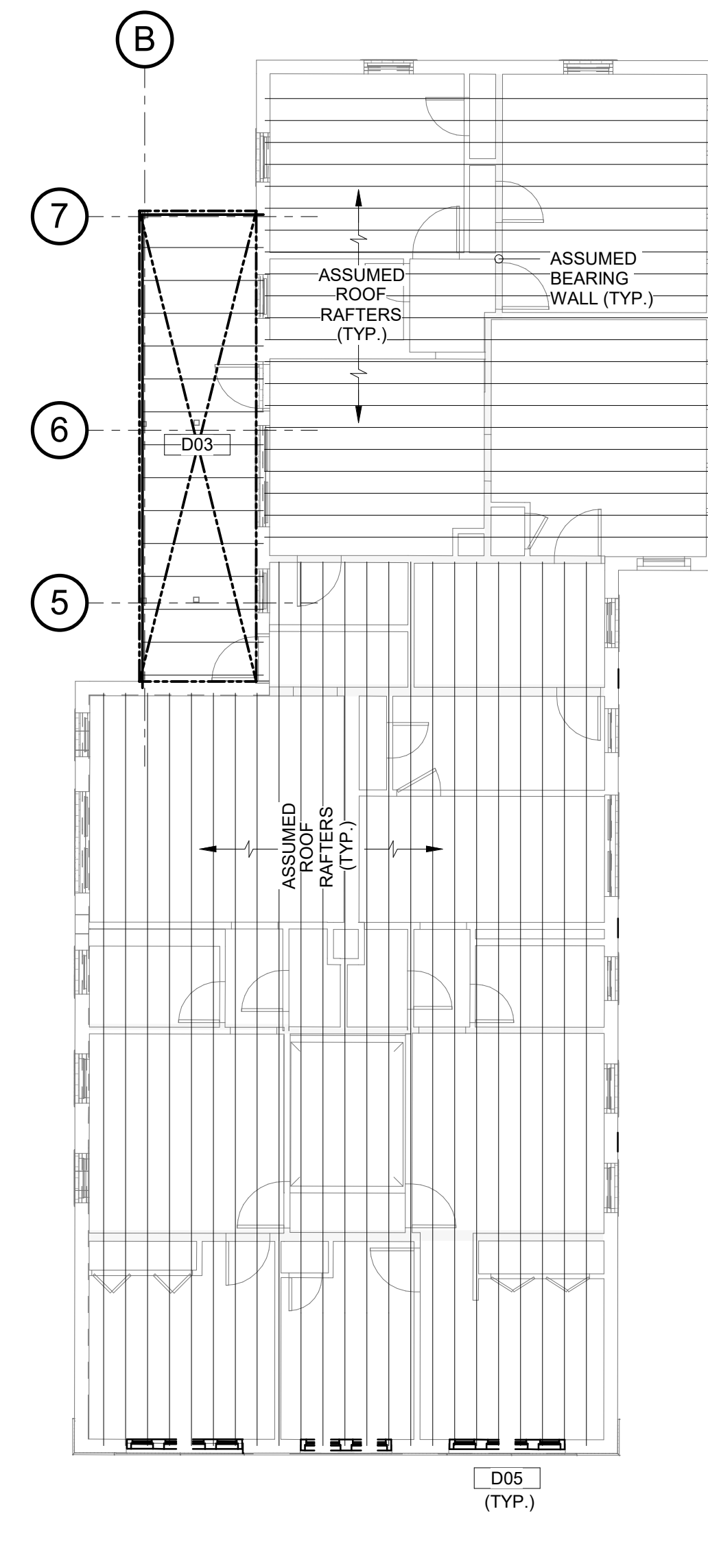
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



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Consultant:



Revision:

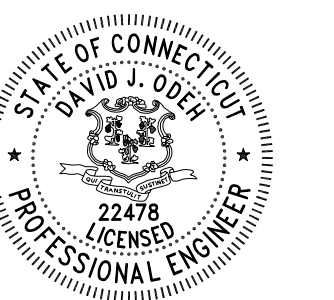
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 5 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

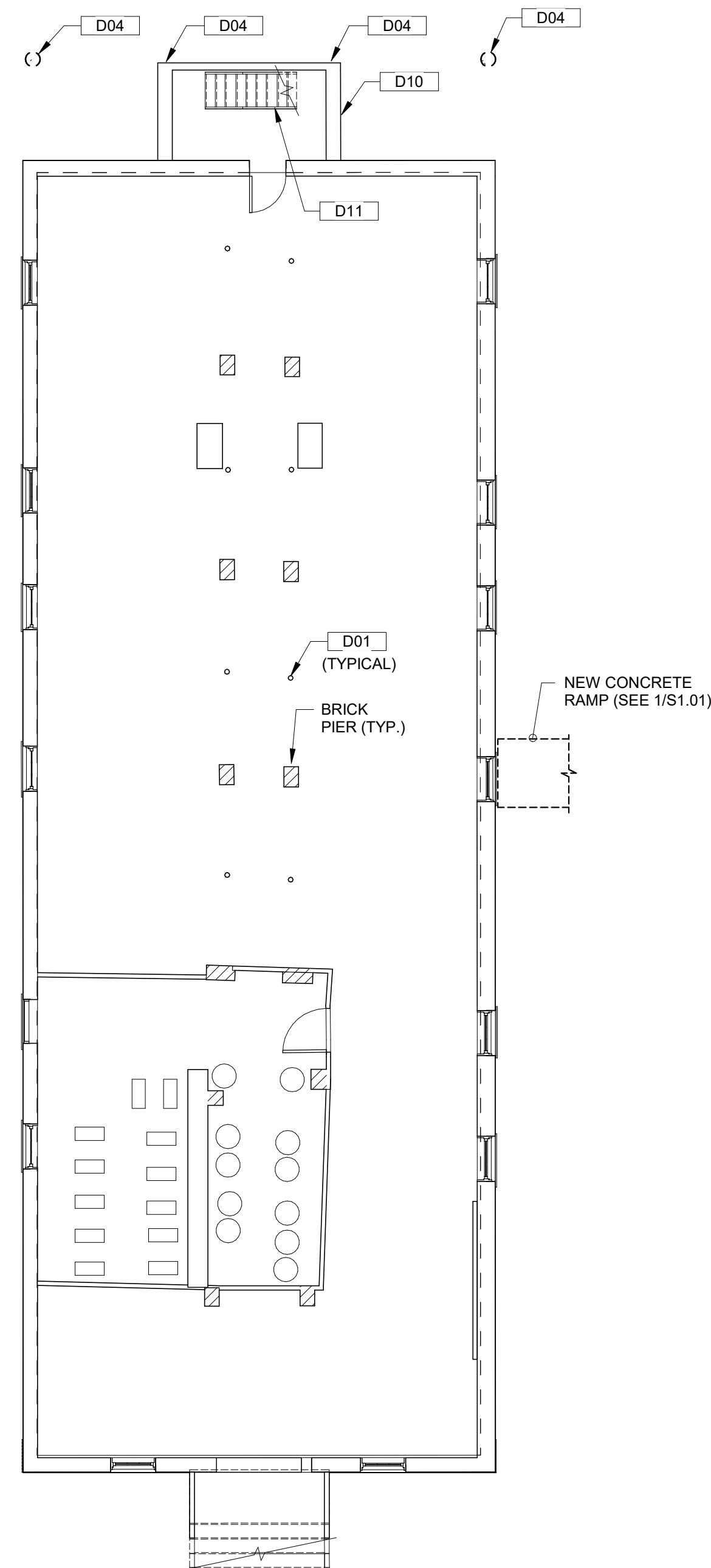
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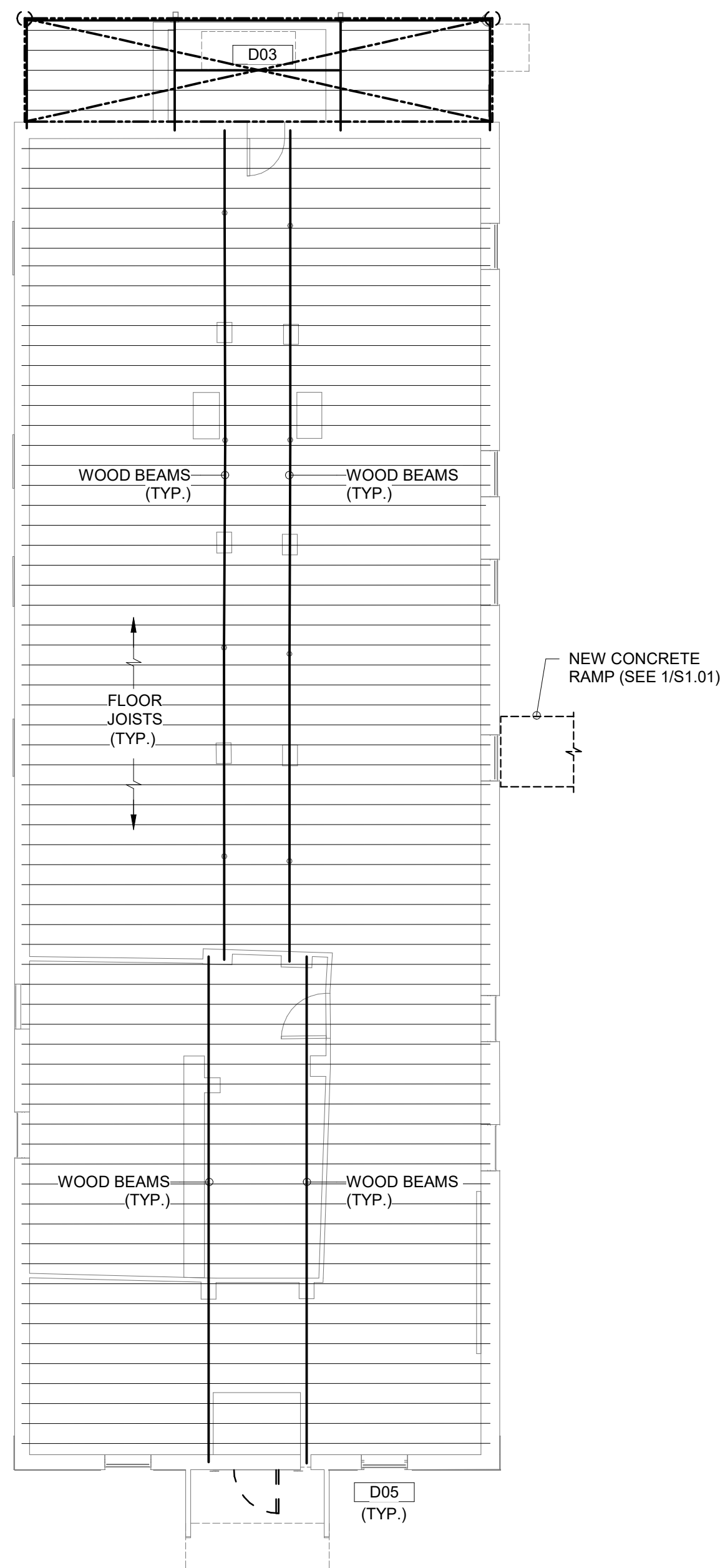
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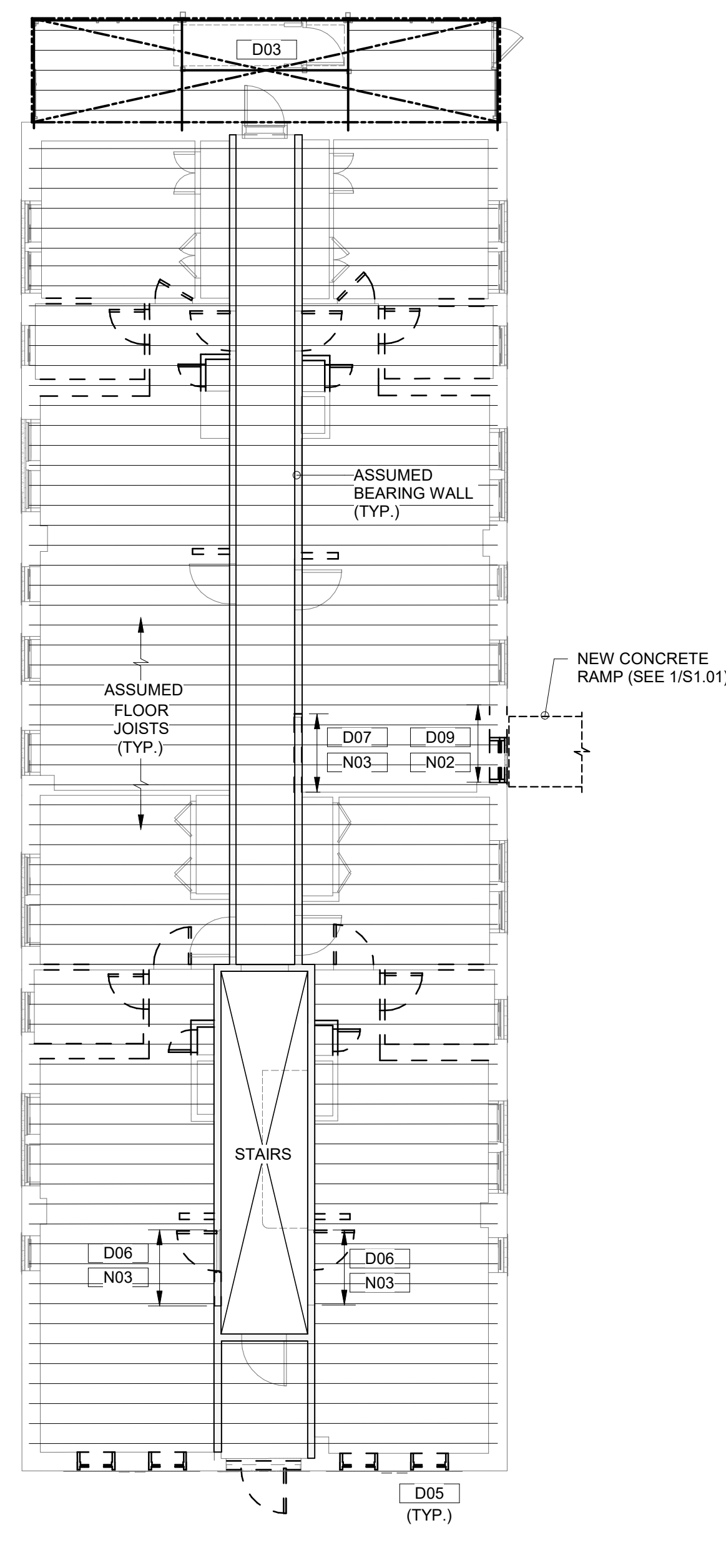
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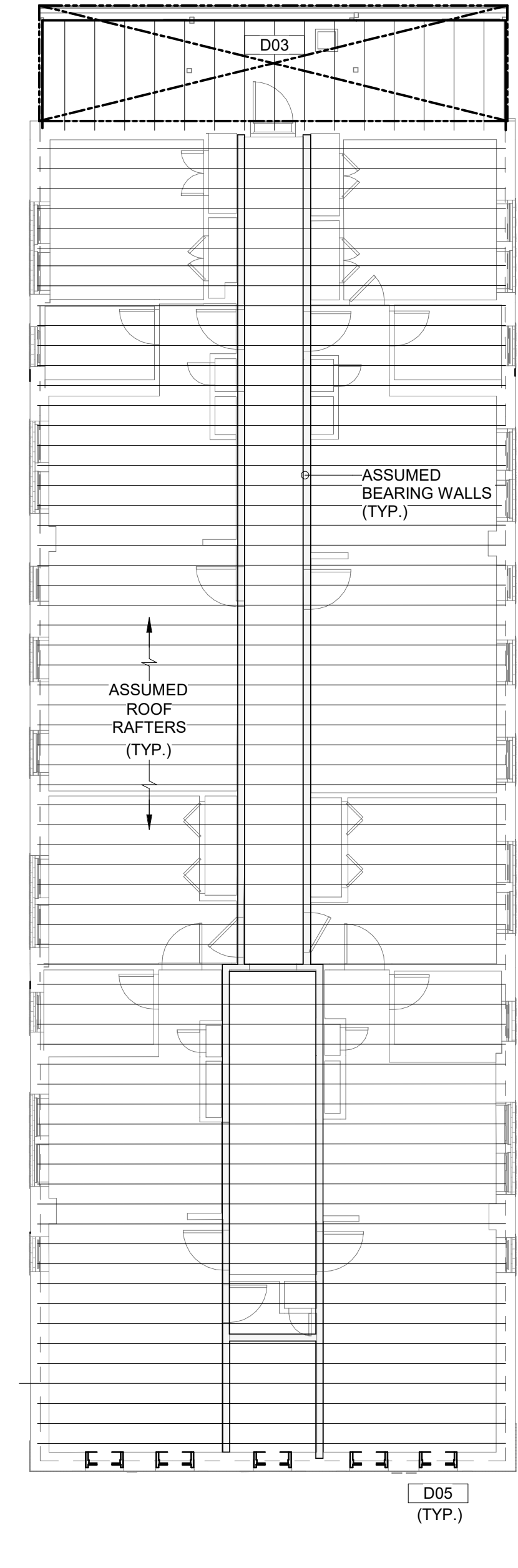
1 EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING 1st FLOOR FRAMING PLAN
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3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN
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4 EXISTING ROOF FRAMING PLAN
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Consultant:



Revision:

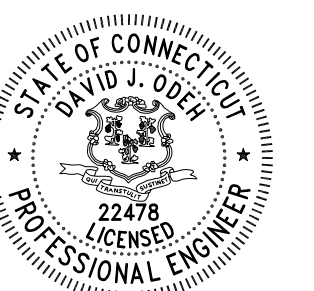
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 6 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION FOR PERMIT ONLY

Project Number:

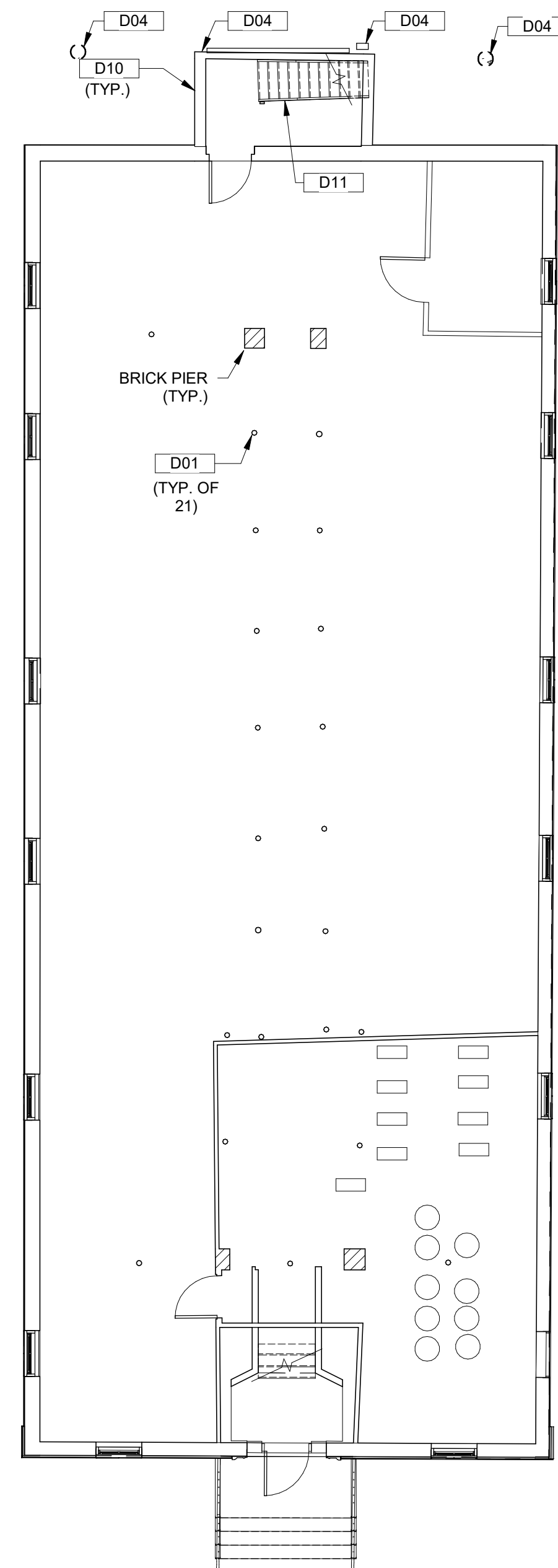
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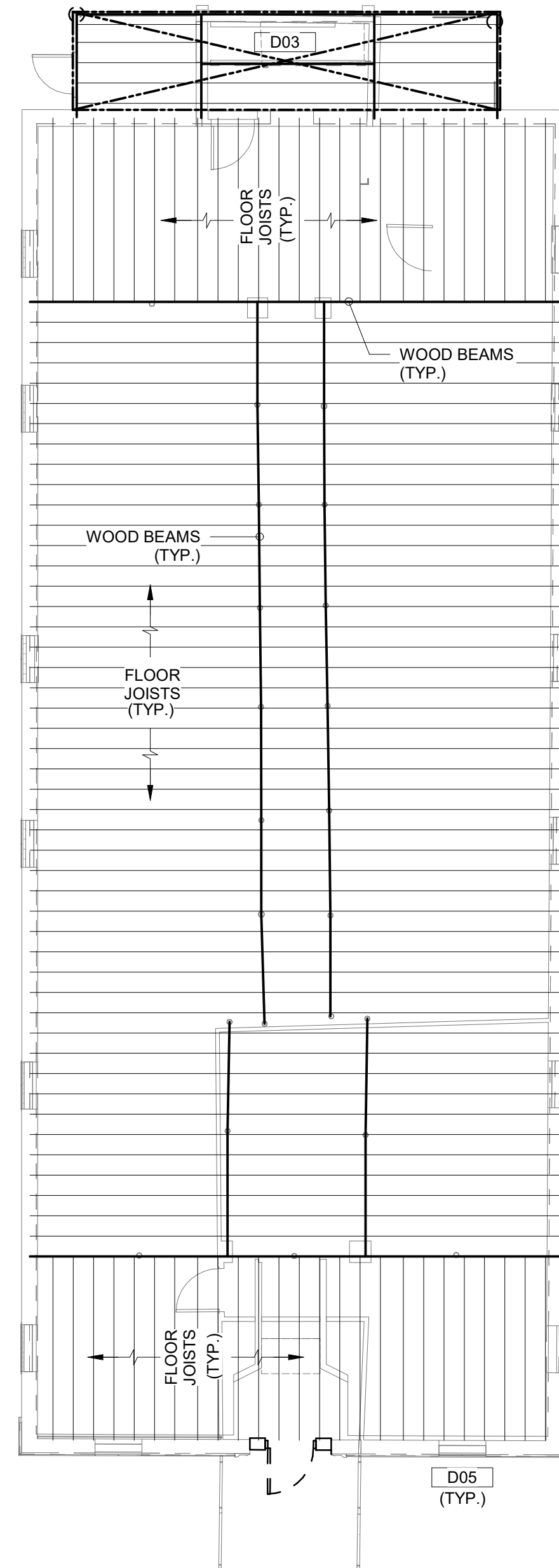
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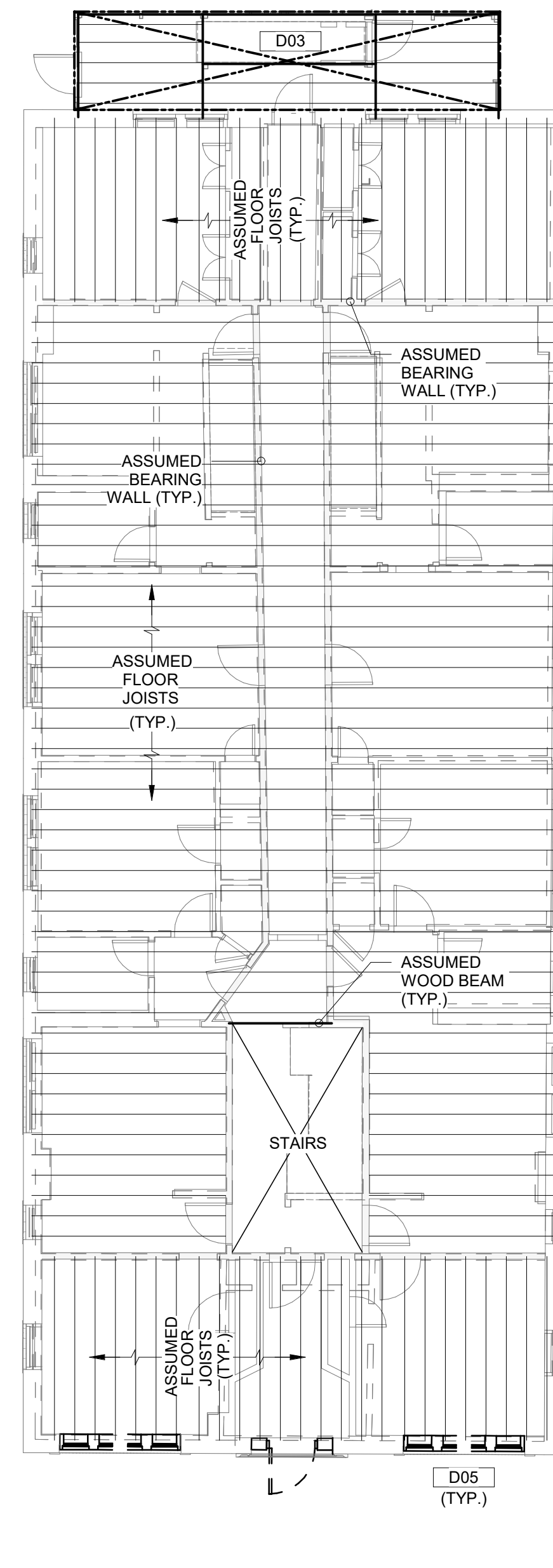
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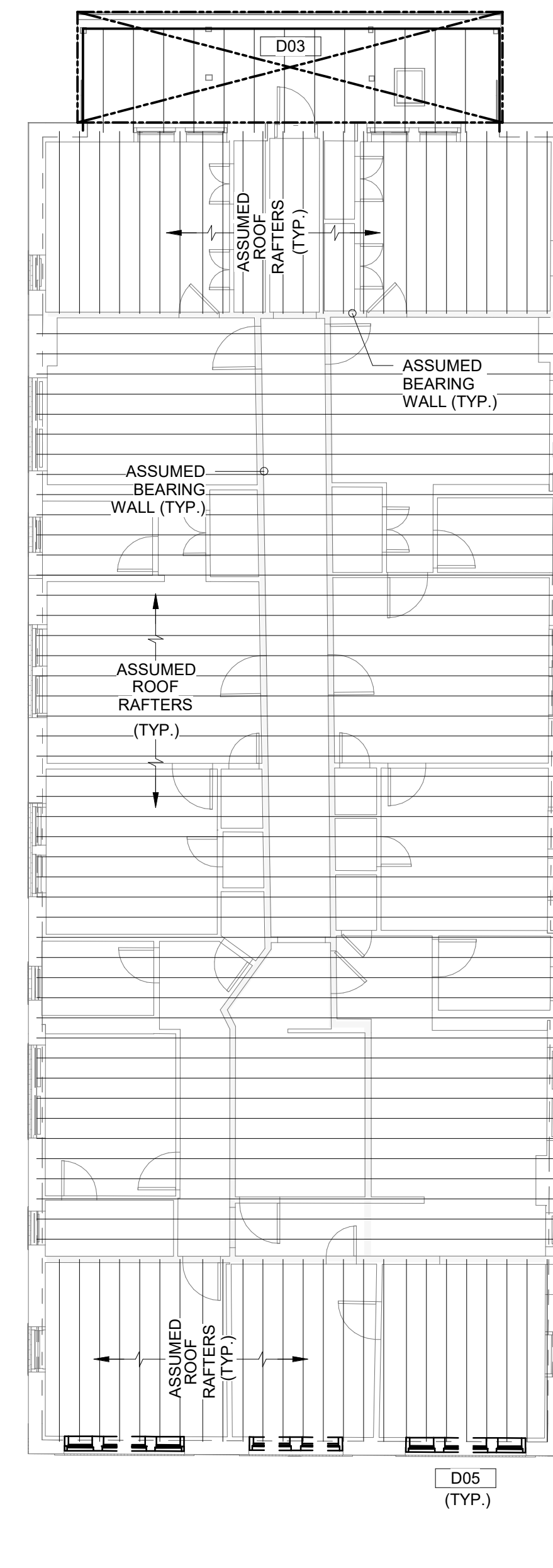
1 EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING 1st FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN
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4 EXISTING ROOF FRAMING PLAN
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Consultant:



Revision:

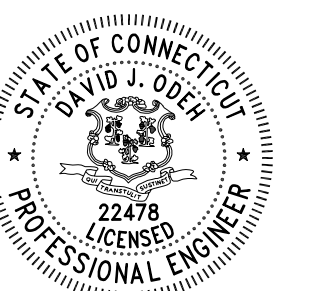
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 7 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
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Project Number:

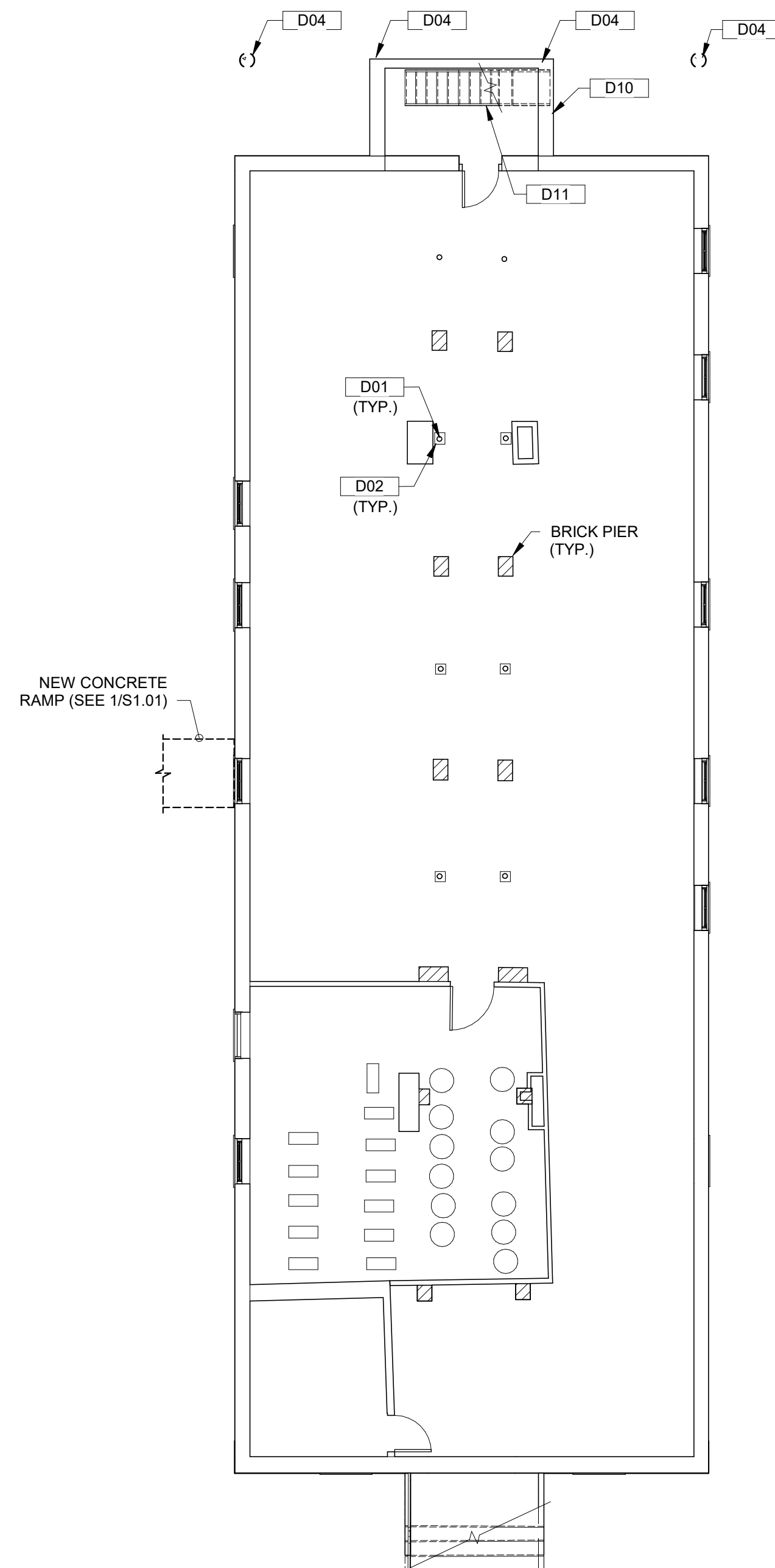
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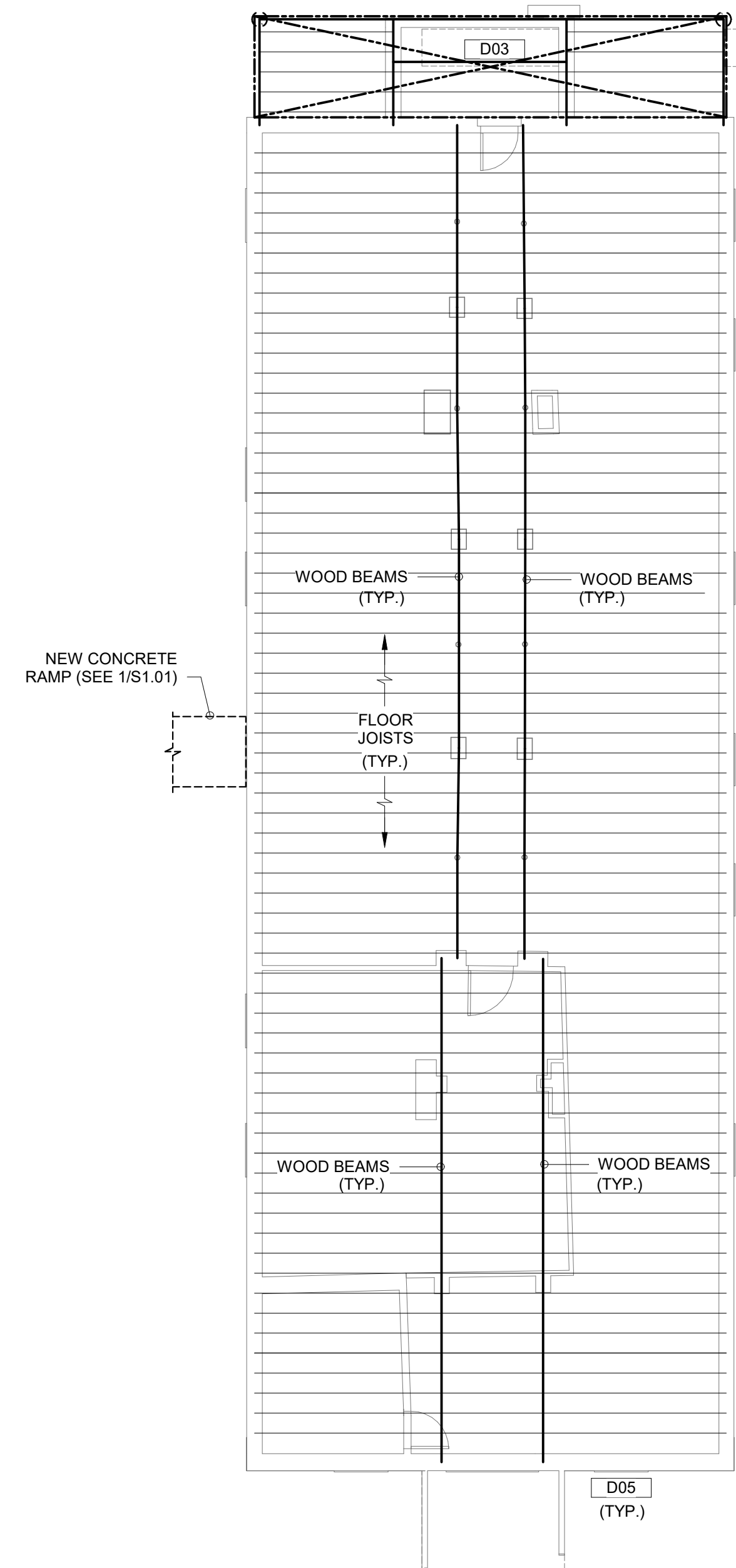
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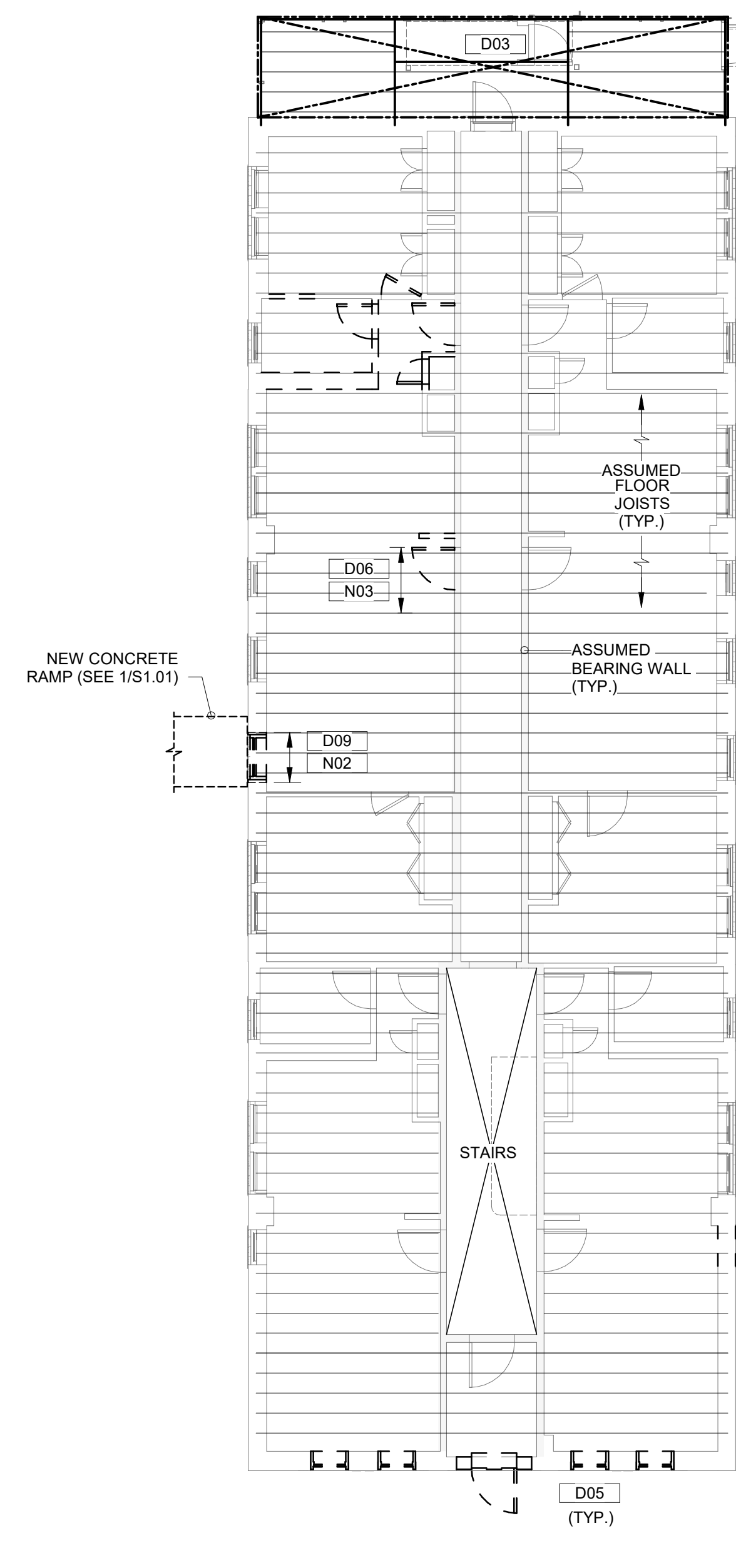
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



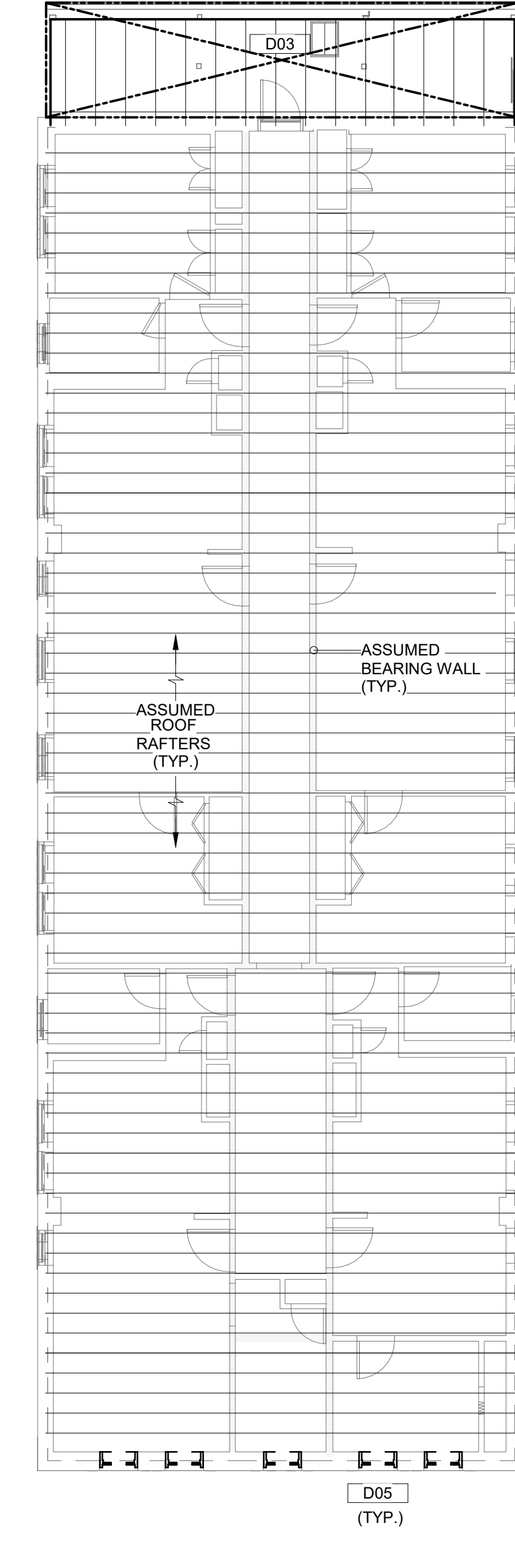
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D11	EXISTING ACCESS STAIR TO BASEMENT TO BE REMOVED AND REPLACED. COORDINATE ALL DETAILS WITH THE ARCHITECT.

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N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

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Consultant:



Revision:

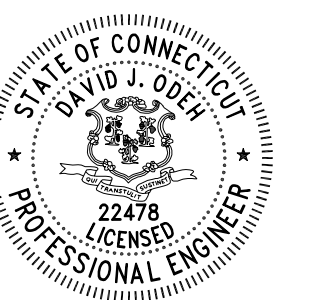
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 8 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

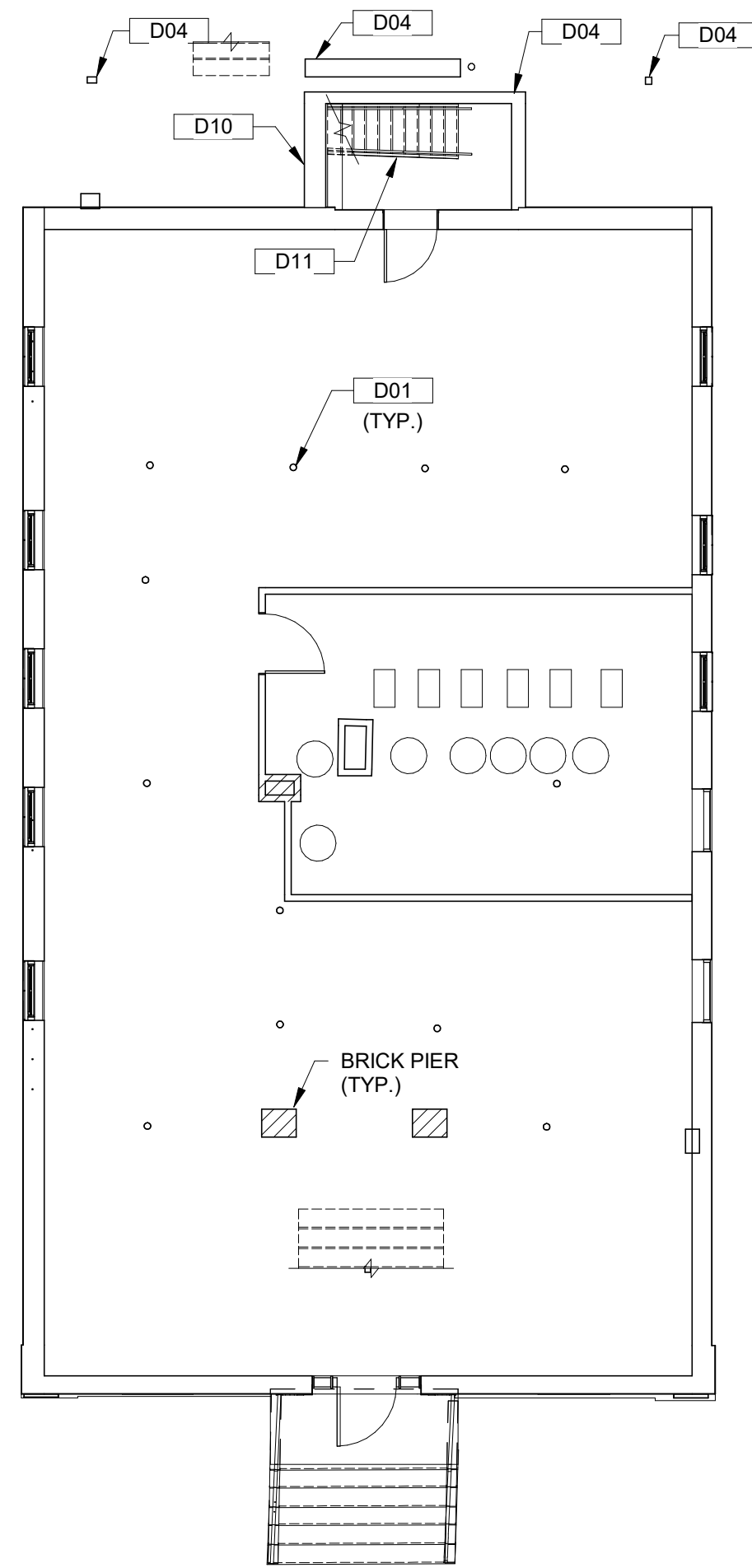
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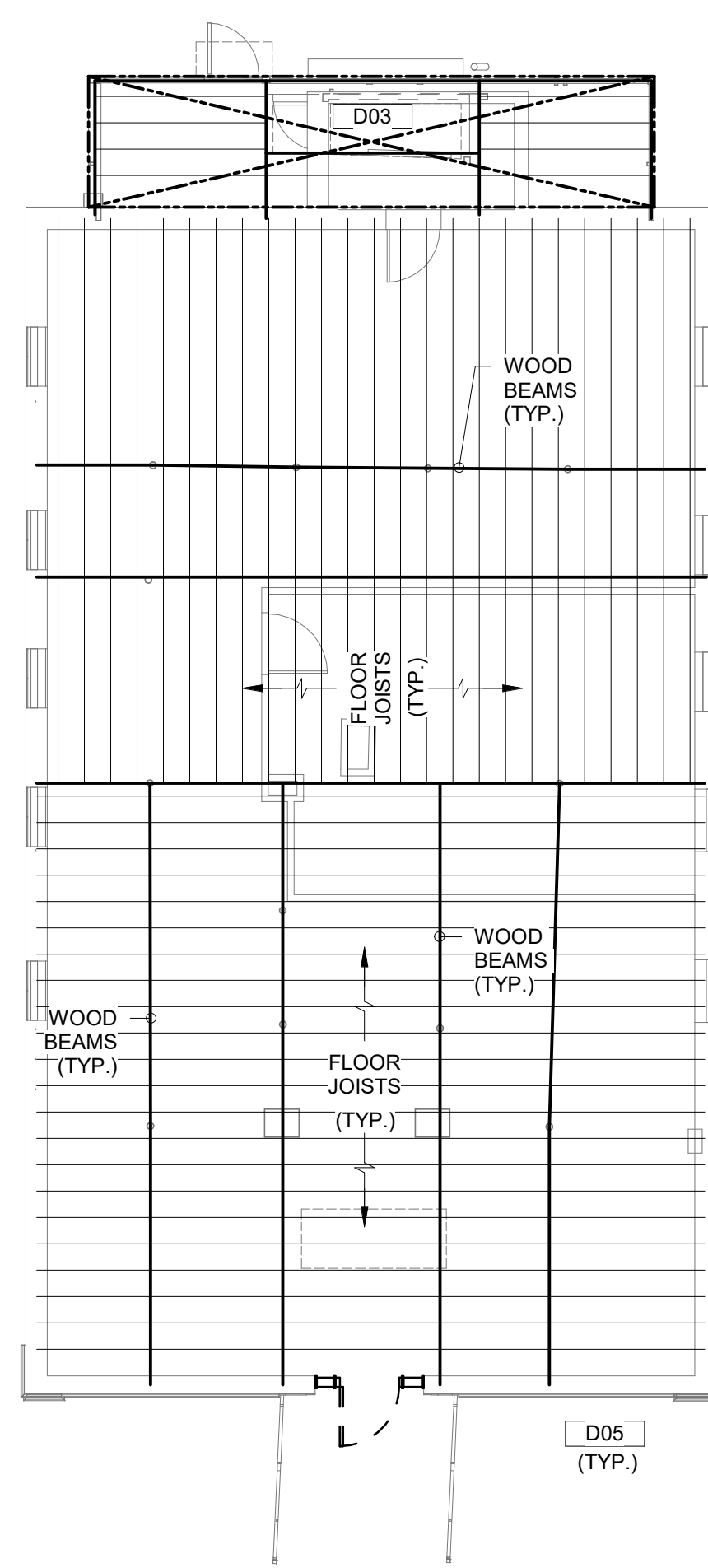
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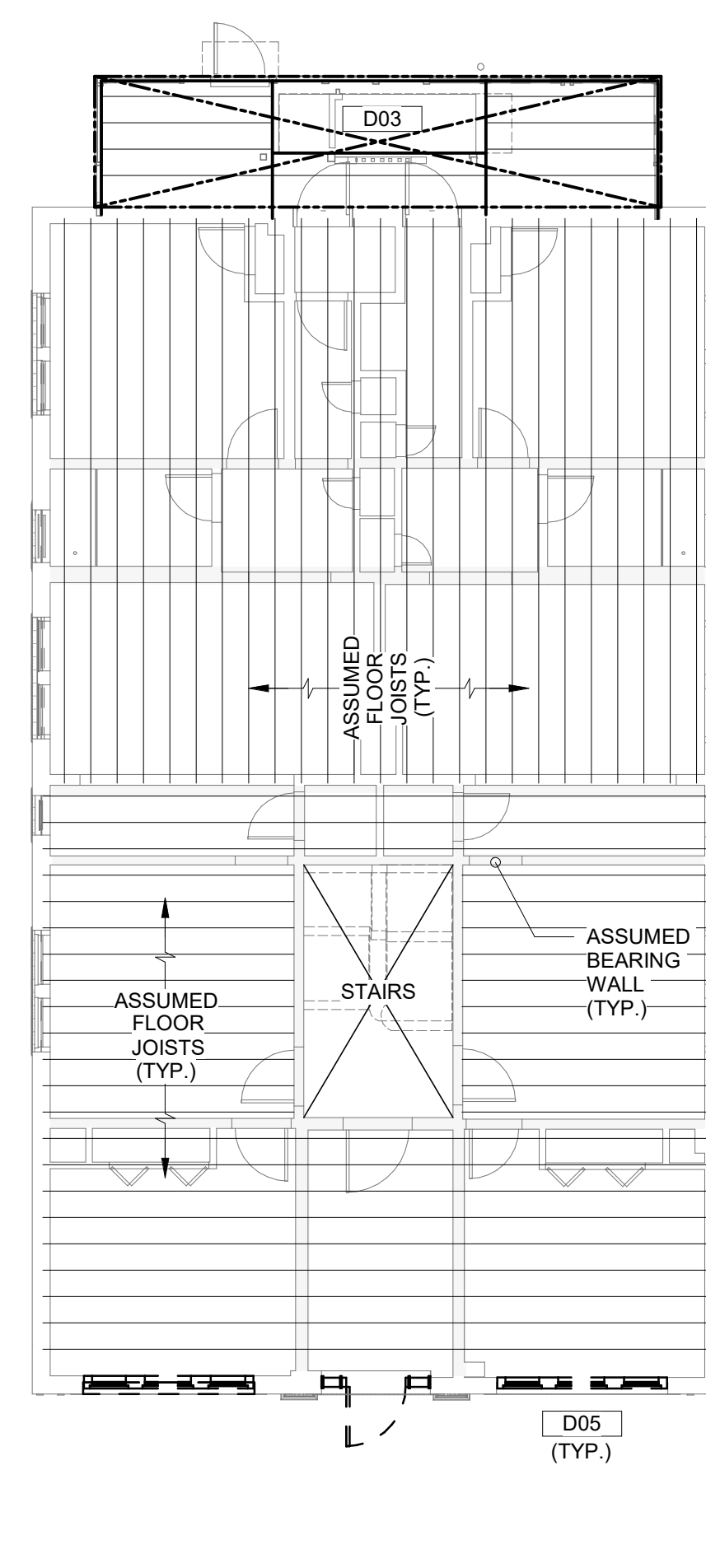
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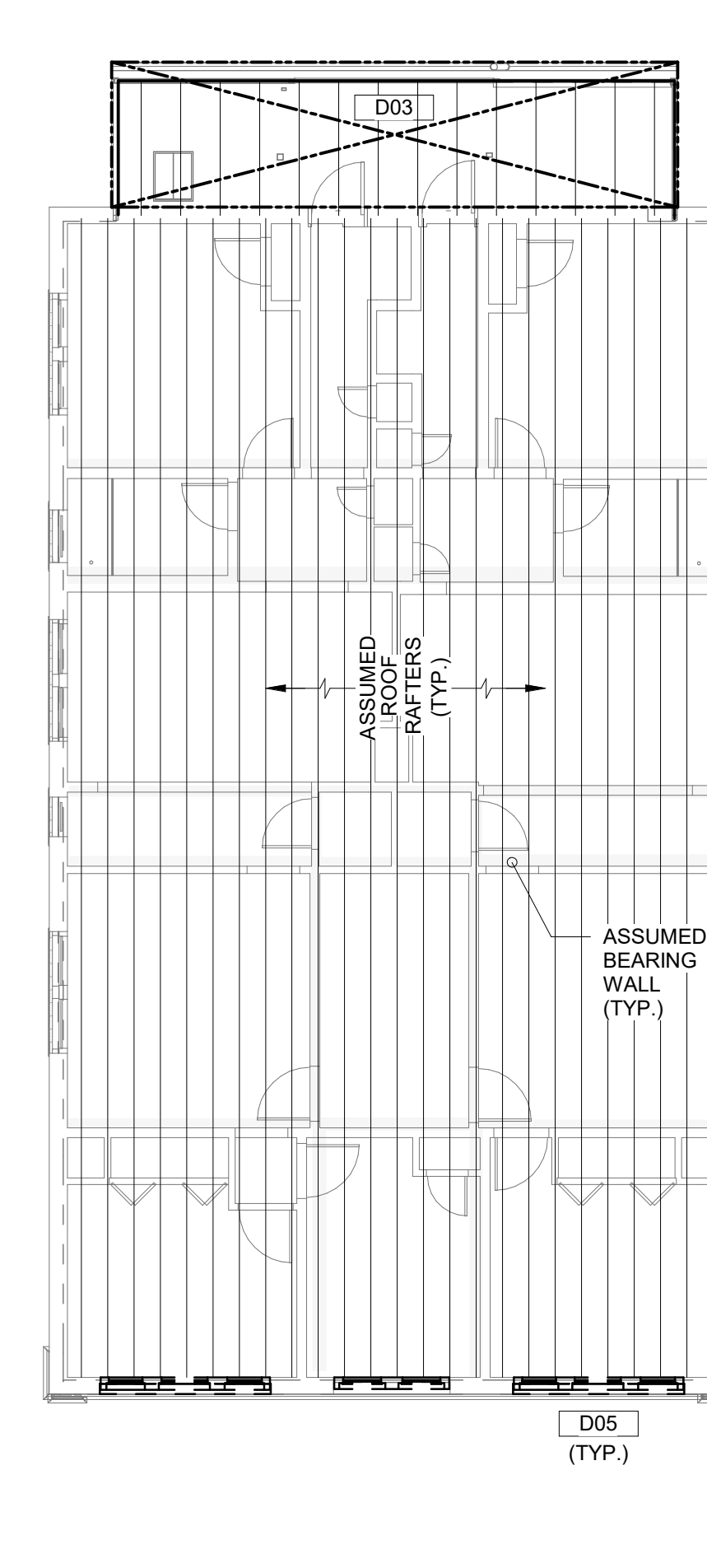
1 EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"



2 EXISTING 1st FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN
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4 EXISTING ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

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Consultant:



Revision:

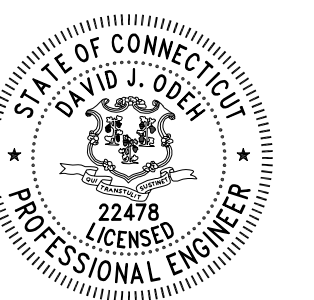
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
Hartford, CT

Sheet Name:

BUILDING 9 EXISTING STRUCTURAL PLANS

NOT FOR CONSTRUCTION
FOR PERMIT ONLY

Project Number:

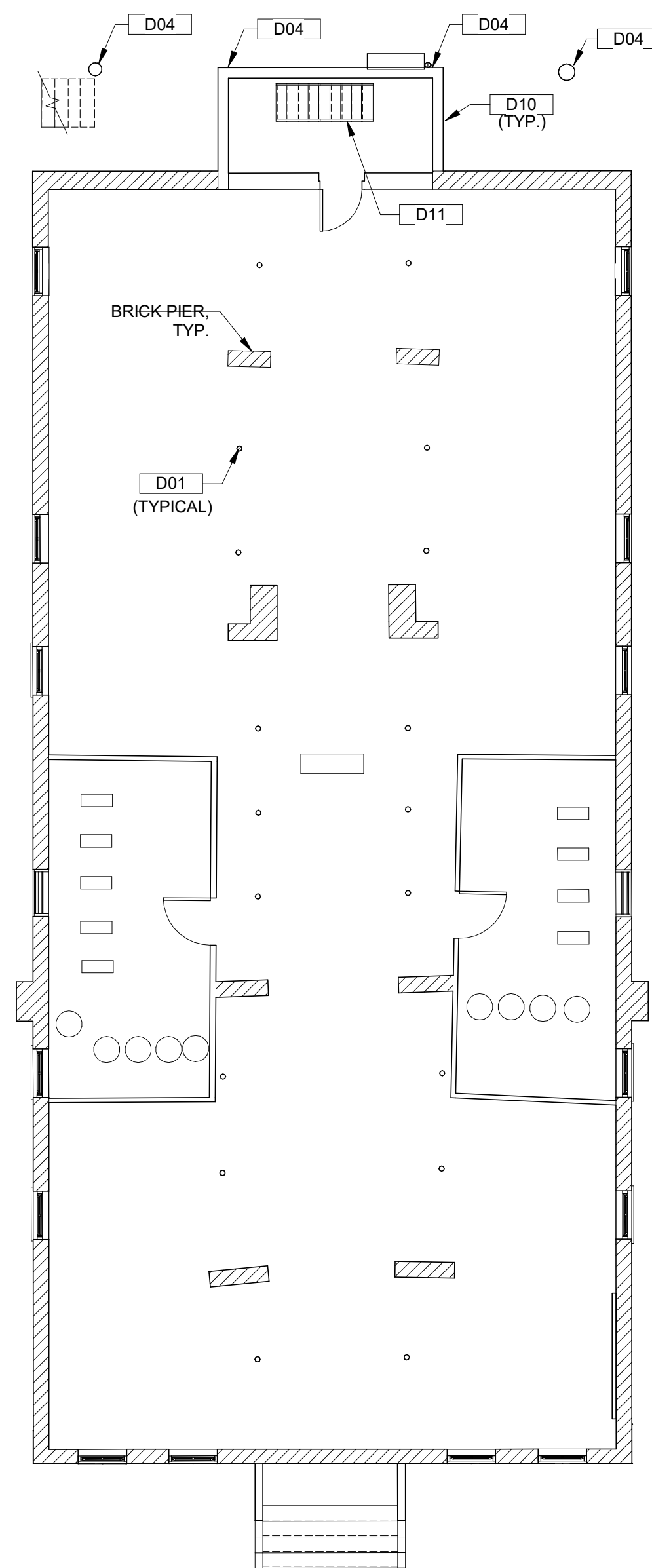
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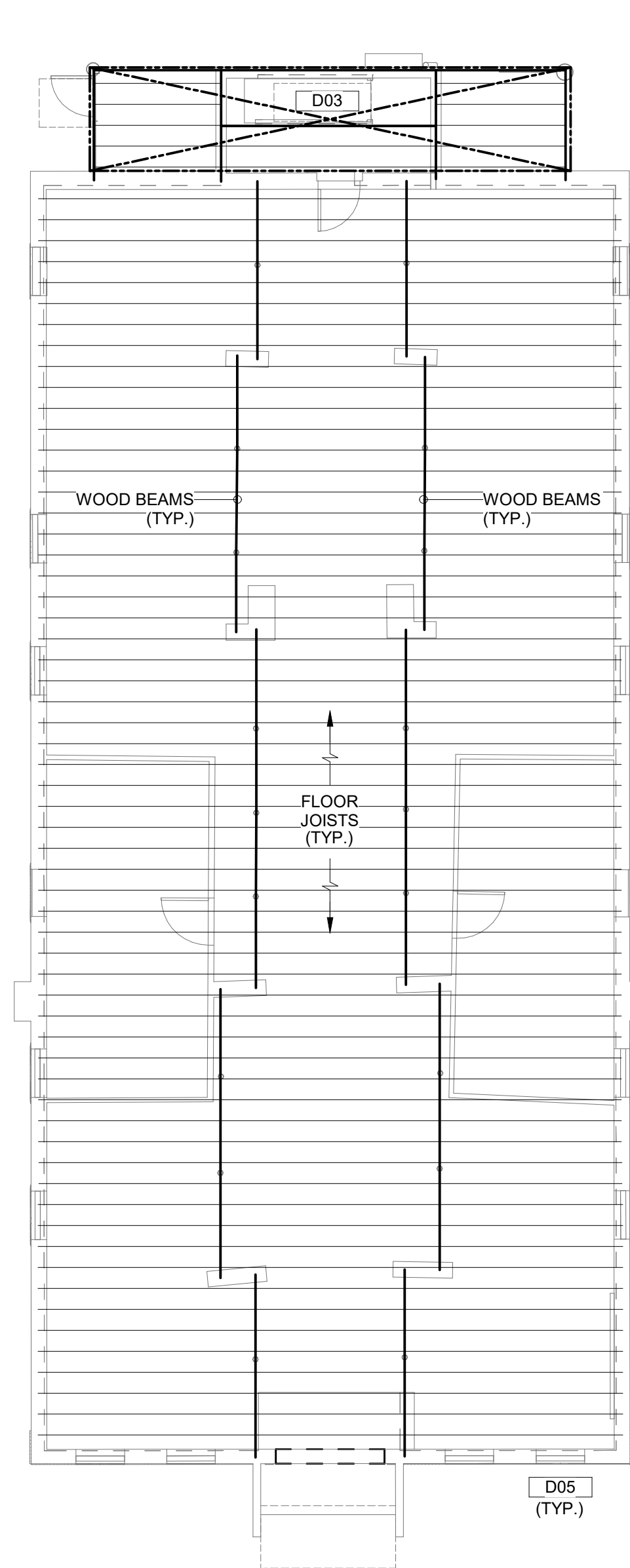
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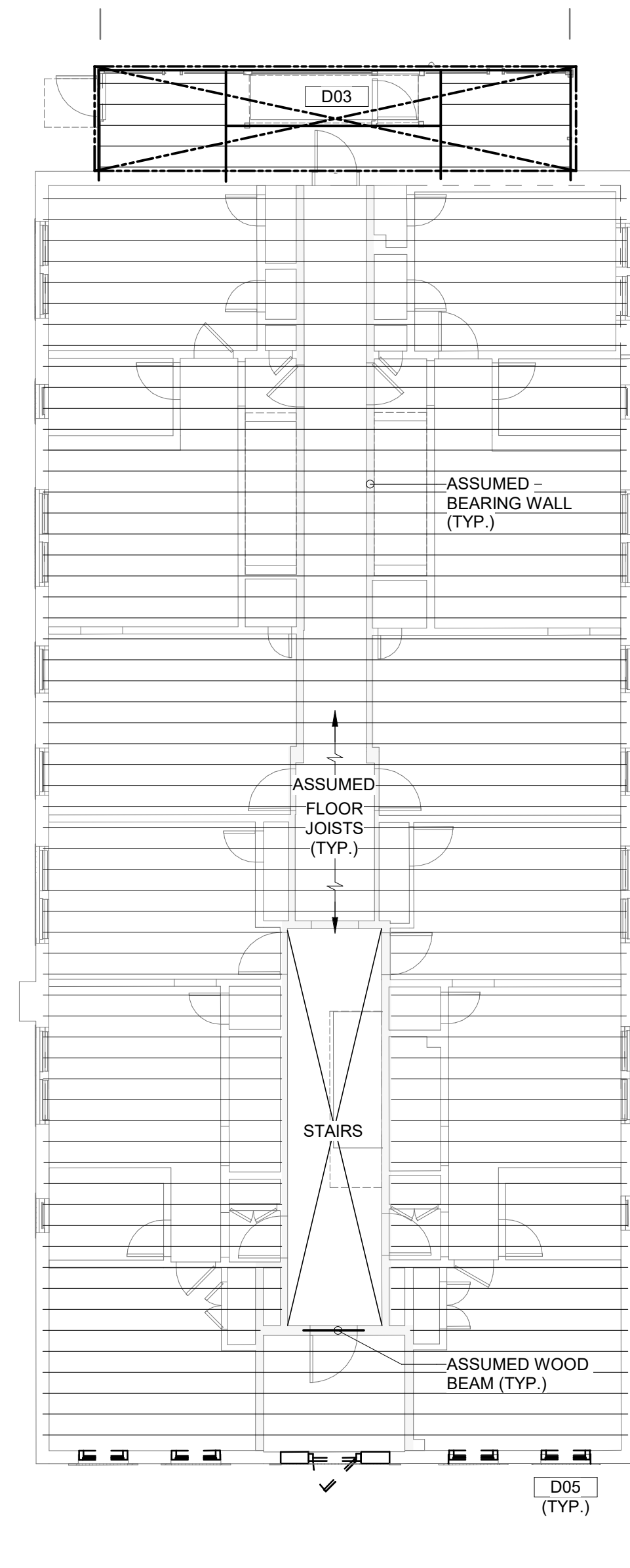
1 EXISTING BASEMENT PLAN

SCALE: 1/8" = 1'-0"



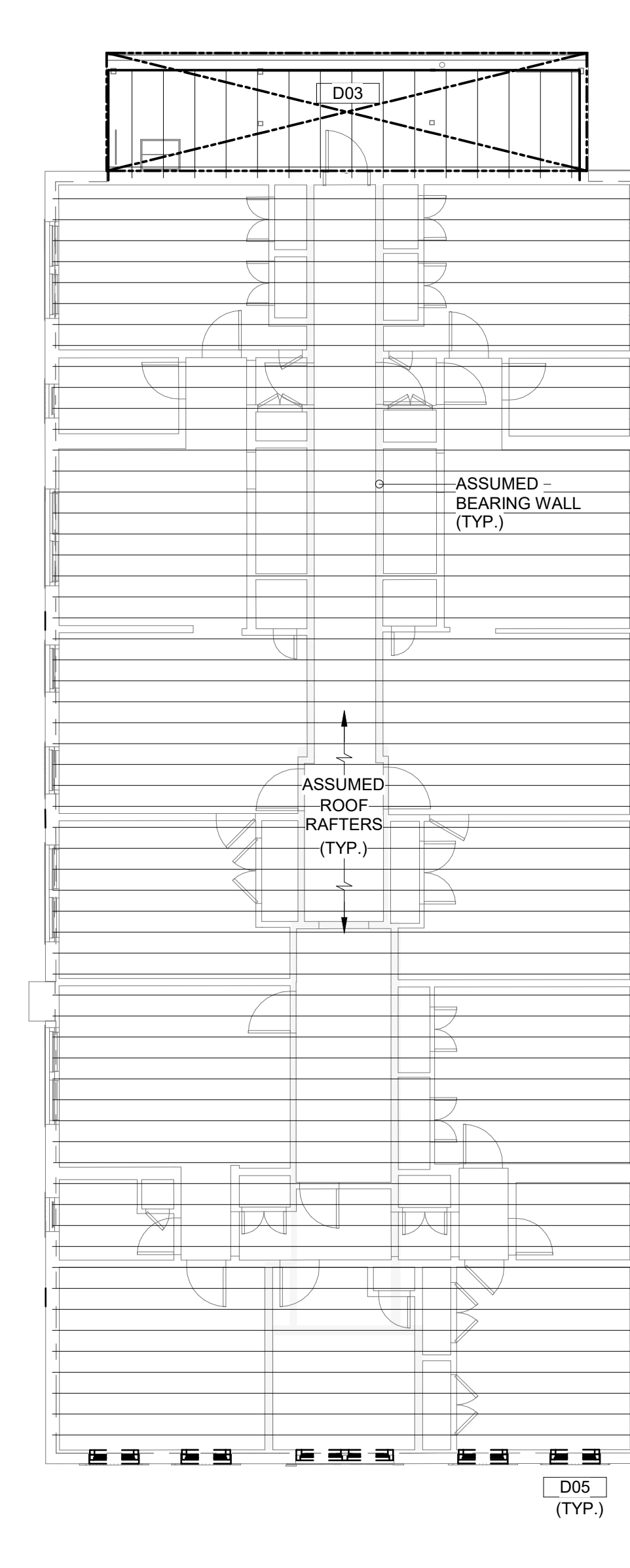
2 EXISTING 1st FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



3 EXISTING 2nd & 3rd FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"



4 EXISTING ROOF FRAMING PLAN

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Consultant:



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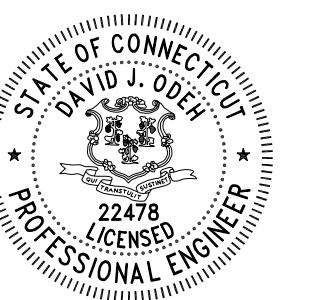
Architect of Record:

Drawn: BJL, KLM

Checked: DJO

Scale: As indicated

Key Plan:



Project Name:

BEDFORD GARDENS

Bedford & Brook Streets
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BUILDING 10 EXISTING STRUCTURAL PLANS

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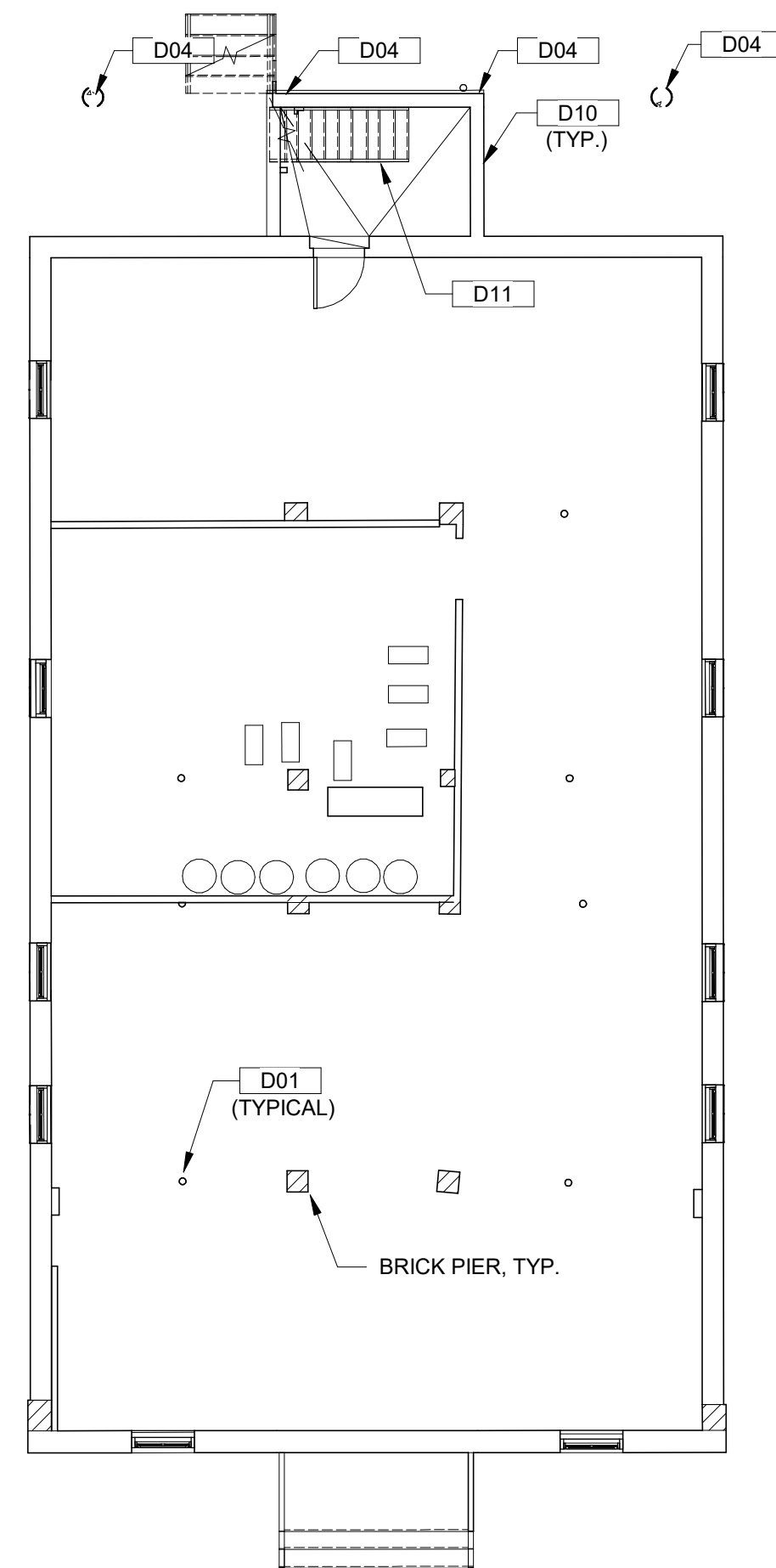
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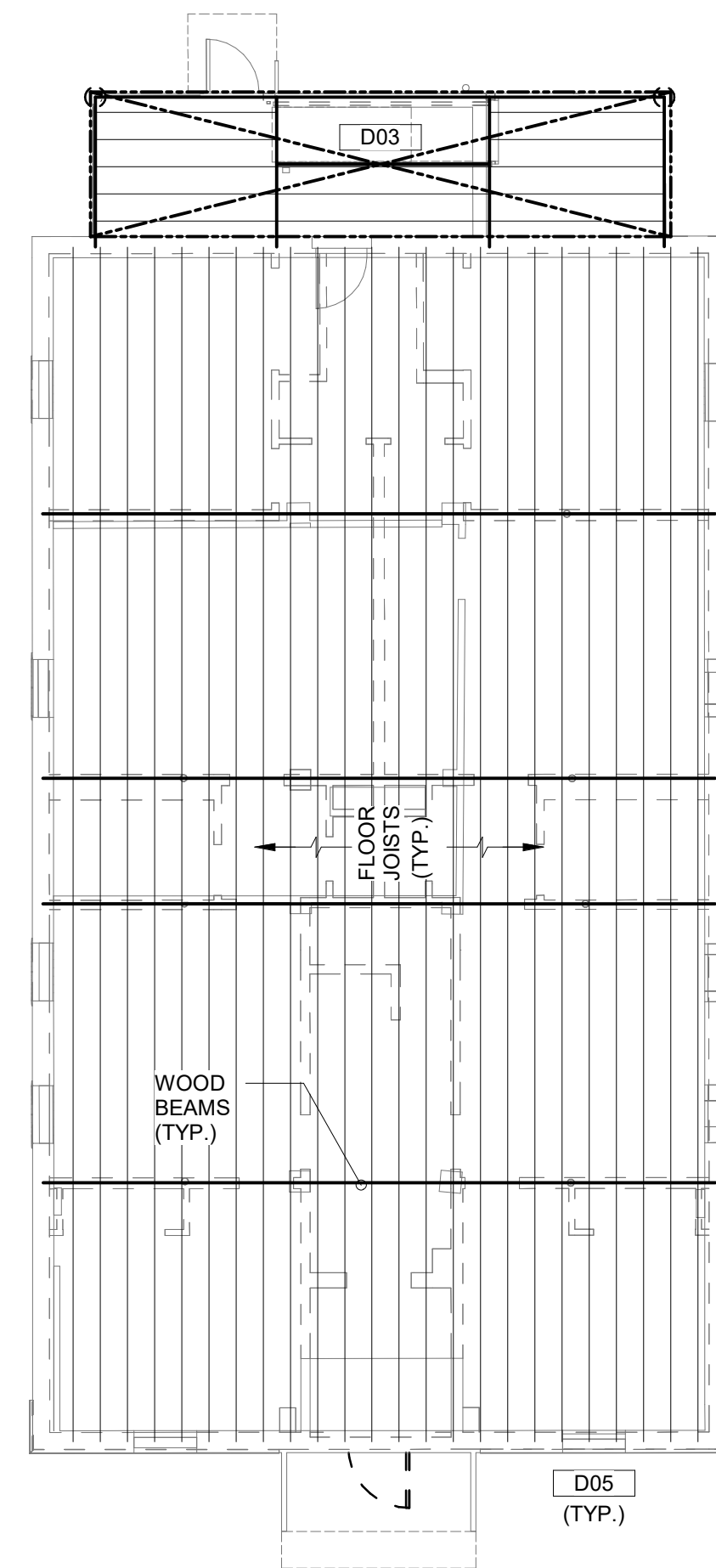
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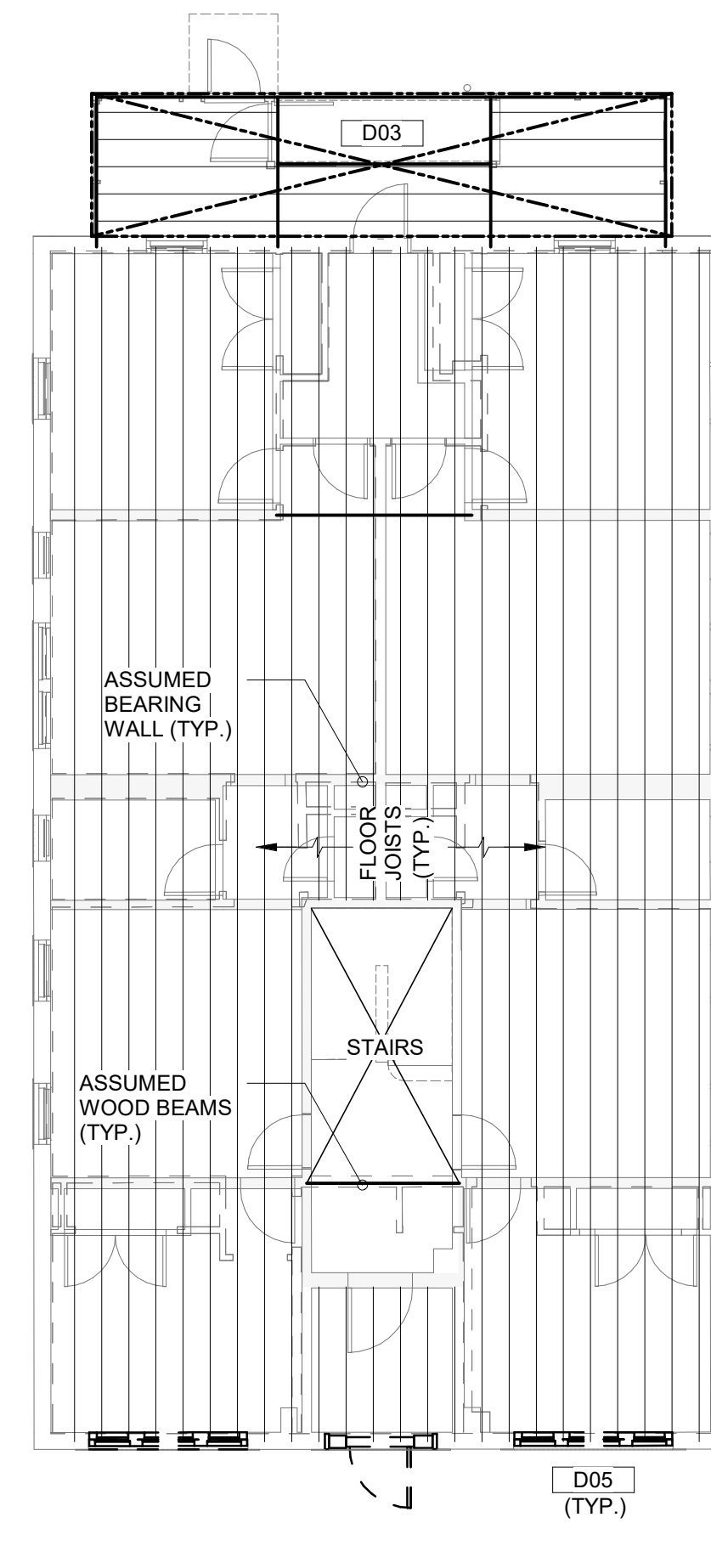
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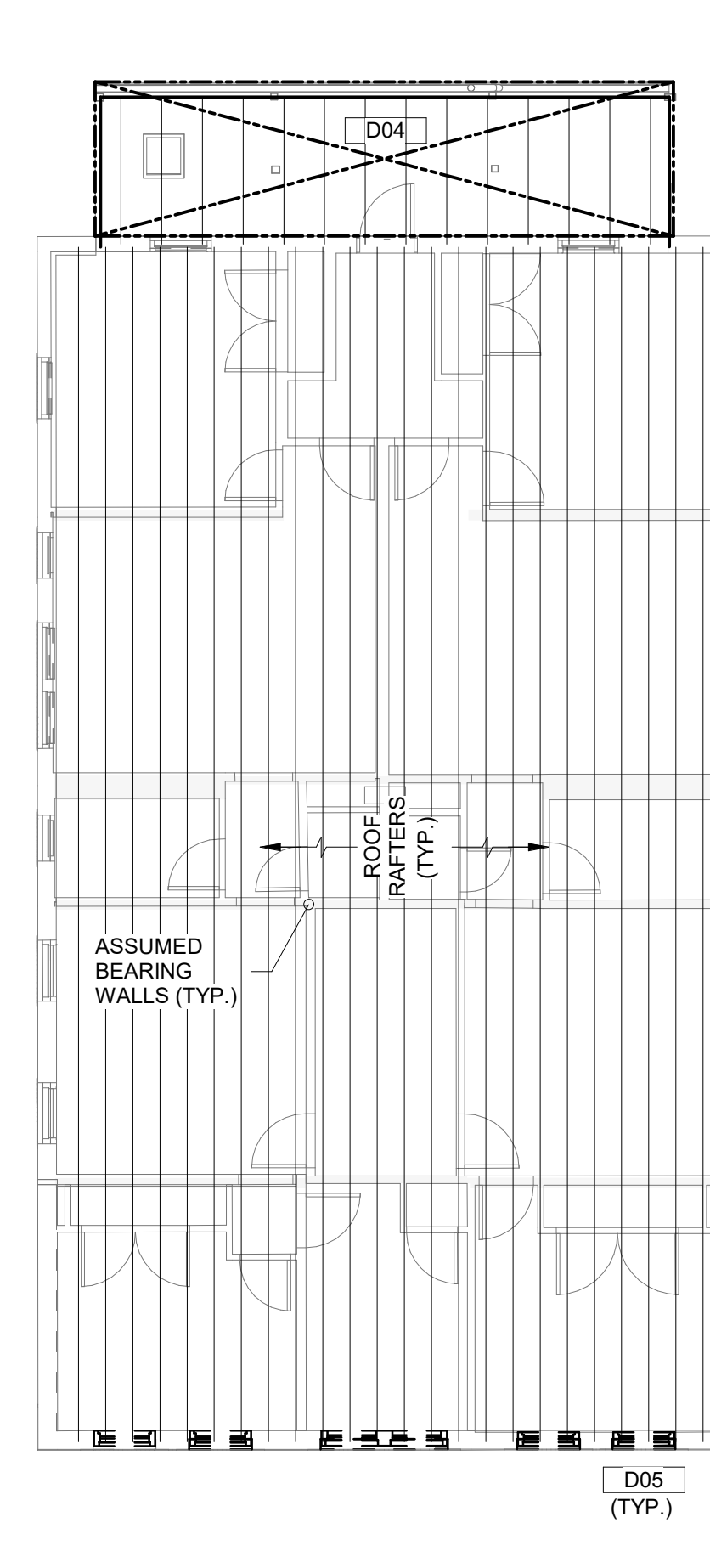
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N03	PROVIDE NEW WOOD HEADER BEAM WITH JAMB STUDS FOR NEW OPENING. FOR PLANNING PURPOSES, ASSUME ONE NEW DOUBLE 2x12 HEADER WITH DOUBLE JAMB STUDS ON EACH SIDE.

TYPICAL BRICK MASONRY PIER NOTE

IN MANY CASES, THE BRICK MASONRY PIERS IN THE BASEMENT AREA WERE FOUND TO BE IN NEED OF REPAIRING, ESPECIALLY AT THE BASES, POSSIBLY DUE TO WATER INFILTRATION. ALLOW FOR REPAIRING OF ALL BRICK PIERS. ALSO, SOME BRICK PIERS WERE FOUND TO BE CRACKED AT THE TOP. BELOW THE WOOD BEAM BEARING LOCATIONS. ALLOW FOR REMOVAL AND REPLACEMENT OF CRACKED BRICK MASONRY AS NECESSARY. ASSUME FOUR CRACKED PIERS PER BUILDING FOR PLANNING PURPOSES.

TYPICAL WOOD PORCH STAIR NOTE

THE EXISTING WOOD STRINGERS IN THE PORCH AREAS WERE NOT FOUND TO BE POSITIVELY CONNECTED TO THE SUPPORTING WOOD HEADERS. THE STRINGERS MUST BE CONNECTED USING HOT-DIPPED GALVANIZED CONNECTION HARDWARE TO ENSURE PROPER SUPPORT. TYPICAL OF ALL BUILDINGS.

TYPICAL INTERIOR FOOTING NOTE

DUE TO THE BASEMENT SLAB ON GRADE, THE EXISTING SIZES & CONDITIONS OF THE EXISTING CONCRETE FOUNDATIONS BELOW THE EXISTING STEEL LALLY COLUMNS AND BRICK PIERS WERE NOT VISIBLE. EXISTING FOOTING SIZES MUST BE VERIFIED PRIOR TO INSTALLING NEW COLUMNS. IF NO FOOTING IS FOUND (I.E., IF COLUMNS ARE BEARING DIRECTLY UPON THE EXISTING SLAB ON GRADE), NEW CONCRETE FOOTINGS SHALL BE PROVIDED. MINIMUM COLUMN SIZES SHALL BE 3 FT x 3 FT x 12", REINFORCED WITH 8-#5 BOTTOM BARS (4 BARS, EACH WAY). FOOTINGS MAY BE SET ATOP BASEMENT SLABS IF SOILS BELOW ARE SUITABLE FOR BEARING.

GENERAL FRAMING NOTE

MOST UNITS WERE OCCUPIED DURING THE INVESTIGATION PHASE AND NO ACCESS TO VIEW THE FRAMING WAS POSSIBLE. MOST OF THE FLOOR FRAMING IN THE BASEMENT AREAS WAS COVERED WITH A GYPSUM CEILING, PREVENTING DIRECT OBSERVATION OF THE FRAMING, WITH THE EXCEPTION OF THE FLOOR BEAMS, COLUMNS, AND CONCRETE PIERS. IN MOST CASES, FOR THIS REASON, THE FRAMING PLANS INCLUDED IN THIS SET OF DRAWINGS ARE SCHEMATIC AND ARE BASED UPON THESE LIMITED VISUAL OBSERVATIONS. ALL FRAMING AREAS MUST BE FIELD-VERIFIED WHERE NEW WORK WILL BE PERFORMED TO EITHER CONFIRM OR TO CORRECT THE ASSUMPTIONS SHOWN HEREIN.

EXISTING LALLY COLUMN NOTE

DUE TO THE EXTENT OF DETERIORATION OBSERVED AROUND THE BASES OF MOST LALLY COLUMNS IN THE VARIOUS BUILDINGS, THIS OFFICE RECOMMENDS THE REMOVAL AND REPLACEMENT OF ALL EXISTING STEEL LALLY COLUMNS IN-KIND.

EXISTING WOOD BEAM REINFORCEMENT NOTE

VARIOUS WOOD BEAMS WERE FOUND TO BE SPLIT ALONG THEIR LENGTHS. FOR PLANNING PURPOSES, ASSUME THAT FOUR WOOD BEAMS IN EACH BUILDING WILL REQUIRE REINFORCEMENT. BEAM REINFORCEMENT WILL REQUIRE THE REMOVAL AND REATTACHMENT OF ANY ELECTRICAL WIRING THAT IS CURRENTLY FASTENED TO EACH SIDE OF THE BEAM. REPAIR FROM ONE SIDE ONLY MAY BE POSSIBLE IF AN ADDITIONAL COLUMN AND FOOTING IS PROVIDED ALONG THE SPAN OF THE BEAM OR IF A NEW BEAM IS INSTALLED DIRECTLY BELOW THE CRACKED BEAM. DETAILS AND SUPPORT CONDITIONS TO BE DETERMINED BASED UPON THE CHOSEN REINFORCEMENT METHOD.

EXTERIOR BRICK MASONRY REPAIR NOTE

EXISTING BUILDINGS SHALL BE INSPECTED TO QUANTIFY THE EXTENT OF MASONRY REPAIR REQUIRED. FOR PLANNING PURPOSES, ASSUME FOUR EXISTING BRICK ARCH WINDOW HEADERS WILL REQUIRE STRUCTURAL REPAIR. REPAIR DETAILS SHALL BE PROVIDED BY A MASONRY RESTORATION SPECIALIST.

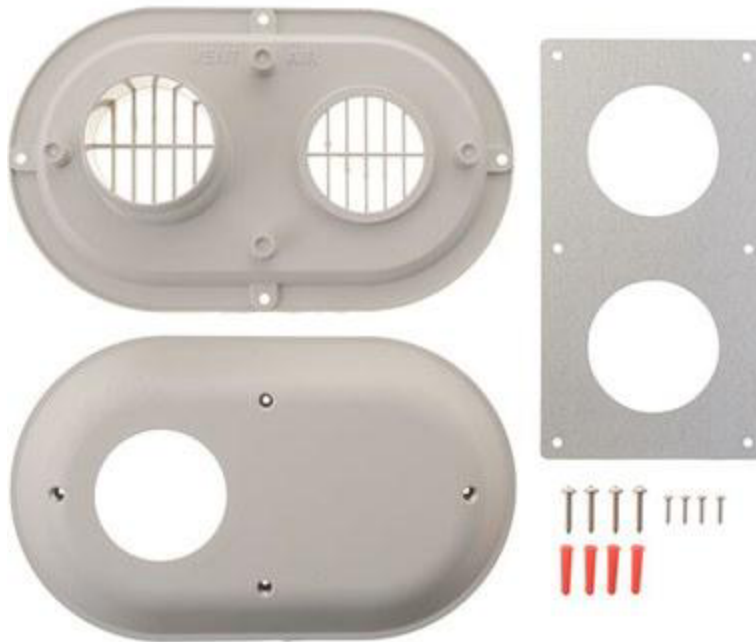


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/ OEM Boiler Parts - Lochinvar



Feedback

Lochinvar 100157610

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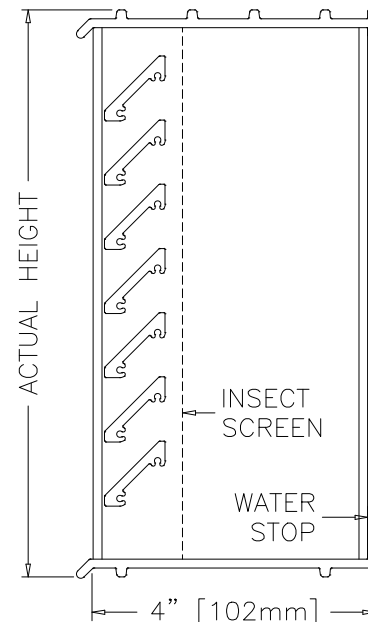
\$108.05 / ea

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Currently out of stock. Will ship once available.

Standard Construction

Frame	Heavy gauge extruded 6063-T5 aluminum, 4 in. (102 mm) x 0.125 in. (3 mm) nominal wall thickness
Blades	Heavy gauge extruded 6063-T5 aluminum, 0.125 in. (3 mm) nominal wall thickness, positioned 45°
Louver Depth	4 in. (102 mm)
Construction	Mechanically fastened
Finish	204-R1 Clear Anodized
Available Size	8 1/8 in. W x 2 3/8 in. H (206 mm W x 60 mm H) 8 1/8 in. W x 4 3/4 in. H (206 mm W x 121 mm H) 8 1/8 in. W x 7 3/4 in. H (206 mm W x 197 mm H) 12 in. W x 2 3/8 in. H (305 mm W x 60 mm H) 12 in. W x 4 3/4 in. H (305 mm W x 121 mm H) 12 in. W x 7 3/4 in. H (305 mm W x 197 mm H) 12 in. W x 11 3/4 in. H (305 mm W x 298 mm H) 15 5/8 in. W x 7 3/4 in. H (397 mm W x 197 mm H) 15 5/8 in. W x 15 3/4 in. H (397 mm W x 400 mm H) 16 1/2 in. W x 2 3/8 in. H (419 mm W x 60 mm H) 16 1/2 in. W x 4 3/4 in. H (419 mm W x 121 mm H) 16 1/2 in. W x 7 3/4 in. H (419 mm W x 197 mm H) 16 1/2 in. W x 15 3/4 in. H (419 mm W x 400 mm H) 24 in. W x 2 3/8 in. H (610 mm W x 60 mm H) 24 in. W x 4 3/4 in. H (610 mm W x 121 mm H) 24 in. W x 7 3/4 in. H (610 mm W x 197 mm H) 32 in. W x 7 3/4 in. H (813 mm W x 197 mm H) 48 in. W x 7 3/4 in. H (1219 mm W x 197 mm H)



Options and Accessories

- Opposed Blade Damper
- Straight Duct
(0.063 in. (2 mm) aluminum for up to 18 in. (457 mm) wall thickness)
- [Variety of Architectural Finishes](#)

Document Links

[Louver Finishes & Colors](#)

[Louver Product Selection Guide](#)

[Louver Products Catalog](#)

[Louver Warranty Statement](#)

Free Area Chart

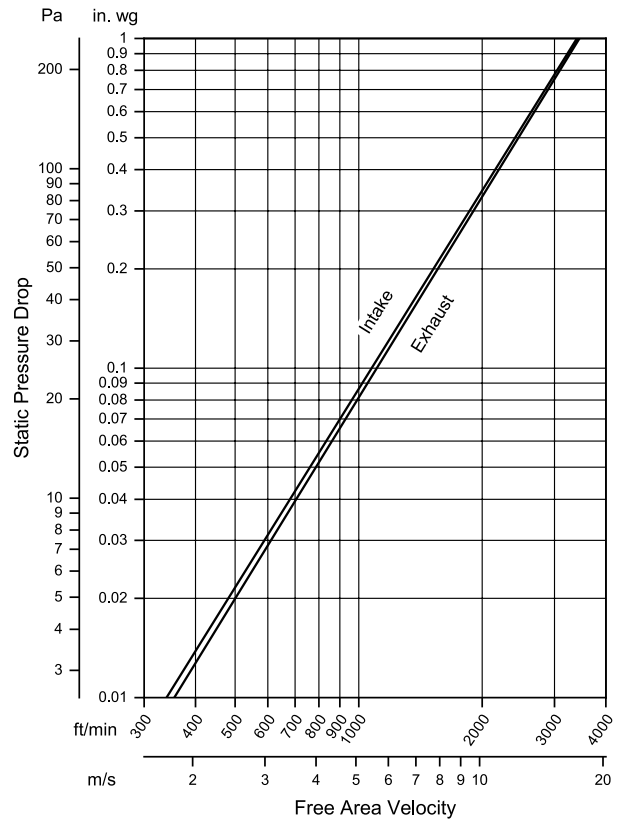
Free Area Chart shows free area in square feet and square meters.

Louver Height Inches (Meters)	Louver Width in Inches (Meters)						
	8	12	15.63	16.5	24	32	48
2.38 0.06	0.029 0.003	0.044 0.004	na na	0.060 0.006	0.088 0.008	na na	na na
4.75 0.12	0.080 0.007	0.120 0.011	na na	0.196 0.018	0.271 0.025	na na	na na
7.75 0.20	0.136 0.013	0.204 0.019	0.263 0.024	0.280 0.026	0.408 0.038	0.543 0.050	0.678 0.063
11.75 0.30	na na	0.310 0.029	na na	na na	na na	na na	na na
15.75 0.40	na na	na na	0.540 0.050	0.575 0.053	na na	na na	na na

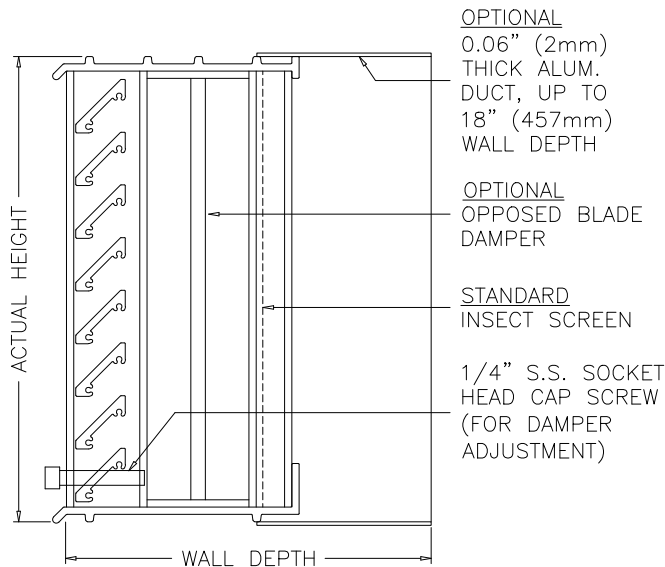
Airflow Resistance

Standard Air - 0.075 lb/ft³ (1.2 kg/m³)

Test size 48 in. x 48 in. (1219 mm x 1219 mm)



Option Drawing



Model BVE resistance to airflow (pressure drop) varies depending on louver application (air intake or air exhaust). Free area velocities (shown) are higher than average velocity through the overall louver size. See louver selection information. (Test Figure 5.5-6.5)

SECTION 040120 - MAINTENANCE OF UNIT MASONRY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes maintenance of unit masonry consisting of brick masonry restoration and cleaning as follows:
 - 1. Unused anchor removal.
 - 2. Repairing unit masonry, including replacing units.
 - 3. Reanchoring veneers.
 - 4. Repointing joints.
 - 5. Preliminary cleaning, including removing plant growth.
 - 6. Cleaning exposed unit masonry surfaces.
- B. Related Sections:
 - 1. Division 01 Section "Historic Treatment Procedures."
 - 2. Division 04 Section "Maintenance of Stone Assemblies."
 - 3. Division 07 Section "Sheet Metal Flashing and Trim" for metal flashing installed in or on restored clay masonry.
 - 4. Division 07 Section "Joint Sealants."
 - 5. Division 09 Section "Maintenance of Painting and Coating" for specific requirements for stripping and repainting of decorative paint finishes.

1.3 DEFINITIONS

- A. Very Low-Pressure Spray: Under 100 psi.
- B. Low-Pressure Spray: 100 to 400 psi; 4 to 6 gpm.
- C. Medium-Pressure Spray: 400 to 800 psi; 4 to 6 gpm.
- D. High-Pressure Spray: 800 to 1200 psi; 4 to 6 gpm.
- E. Saturation Coefficient: Ratio of the weight of water absorbed during immersion in cold water to weight absorbed during immersion in boiling water; used as an indication of resistance of masonry units to freezing and thawing.

1.4 PRECONSTRUCTION TESTING

- A. Preconstruction Testing Service: Owner will engage a qualified testing agency to perform preconstruction testing on masonry units as follows. All work must conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.
 - 1. Provide test specimens as indicated and representative of proposed materials and construction.

2. Existing Brick and Stone: Test each type of existing masonry unit indicated for replacement, according to testing methods in ASTM C 67 for compressive strength, 24-hour cold-water absorption, 5-hour boil absorption, saturation coefficient, and initial rate of absorption (suction). Carefully remove five existing units from locations designated by Architect. Take testing samples from these units.
3. Existing Mortar: Test according to ASTM C 295, modified as agreed by testing service and Architect for Project requirements, to determine proportional composition of original ingredients, sizes and colors of aggregates, and approximate strength. Use X-ray diffraction, infrared spectroscopy, and differential thermal analysis as necessary to supplement microscopical methods. Carefully remove existing mortar from within joints at five locations designated by Architect or testing service with approval of Architect.
4. Temporary Patch: As directed by Architect, provide temporary materials at locations from which existing samples were taken.
5. Replacement Brick: Test each proposed type of replacement masonry unit, according to sampling and testing methods in ASTM C 67 for compressive strength, 24-hour cold-water absorption, 5-hour boil absorption, saturation coefficient, and initial rate of absorption (suction).

1.5 SUBMITTALS

- A. Product Data: For each type of product indicated. Include recommendations for application and use. Include test data substantiating that products comply with requirements.
- B. Shop Drawings: For the following:
 1. Full-size patterns with complete dimensions for new brick shapes and brick arches and their jointing, showing relation of existing to new units.
 2. Provisions for expansion joints or other sealant joints.
 3. Provisions for flashing, lighting fixtures, conduits, and weep holes as required.
 4. Replacement and repair anchors. Include details of anchors within individual masonry units, with locations of anchors and dimensions of holes and recesses in units required for anchors.
- C. Samples for Initial Selection: For the following:
 1. Pointing Mortar: Submit sets of mortar for pointing in the form of sample mortar strips, 6 inches (150 mm) long by width of existing mortar joints, set in aluminum or plastic channels.
 - a. Have each set contain a close color range of at least six Samples of different mixes of colored sands and cements that produce a mortar matching the cleaned masonry when cured and dry.
 - b. Submit with precise measurements on ingredients, proportions, gradations, and sources of colored sands from which each Sample was made.
 2. Patching Compound: Submit sets of patching compound Samples in the form of plugs (patches in drilled holes) in sample units of masonry representative of the range of masonry colors on the building.
 - a. Have each set contain a close color range of at least six Samples of different mixes of patching compound that matches the variations in existing masonry when cured and dry.
 3. Sealant Materials: See Division 07 Section "Joint Sealants."
 4. Include similar Samples of accessories involving color selection.
- D. Samples for Verification: For the following:

1. Each type of masonry unit to be used for replacing existing units. Include sets of Samples as necessary to show the full range of shape, color, and texture to be expected.
 - a. For each brick type, provide straps or panels containing at least four bricks. Include multiple straps for brick with a wide range.
 2. Each type of sand used for pointing mortar; minimum 1 lb. of each in plastic screw-top jars.
 - a. For blended sands, provide Samples of each component and blend.
 - b. Identify sources, both supplier and quarry, of each type of sand.
 3. Each type, color, and texture of pointing mortar in the form of sample mortar strips, 6 inches long by width of existing mortar joints, set in aluminum or plastic channels.
 - a. Include with each Sample a list of ingredients with proportions of each. Identify sources, both supplier and quarry, of each type of sand and brand names of cementitious materials and pigments if any.
 4. Each type of masonry patching compound in the form of briquettes, at least 3 inches long by 1-1/2 inches wide. Document each Sample with manufacturer and stock number or other information necessary to order additional material.
 5. Sealant Materials: See Division 07 Section "Joint Sealants."
 6. Accessories: Each type of anchor, accessory, and miscellaneous support.
- E. Qualification Data: For restoration specialists including field supervisors and restoration workers, and testing service.
- F. Preconstruction Test Reports: For existing and replacement masonry units.
- G. Quality-Control Program.
- H. Restoration Program.
- I. Cleaning Program.

1.6 QUALITY ASSURANCE

- A. Restoration Specialist Qualifications: Engage an experienced, preapproved masonry restoration and cleaning firm to perform work of this Section. Firm shall have completed work similar in material, design, and extent to that indicated for this Project with a record of successful in-service performance. Experience installing standard unit masonry is not sufficient experience for masonry restoration work.
1. At Contractor's option, work may be divided between two specialist firms: one for cleaning work and one for repair work.
 2. Field Supervision: Restoration specialist firms shall maintain experienced full-time supervisors on Project site during times that clay masonry restoration and cleaning work is in progress. Supervisors shall not be changed during Project except for causes beyond the control of restoration specialist firm.
 3. Restoration Worker Qualifications: Persons who are experienced and specialize in restoration work of types they will be performing. When masonry units are being patched, assign at least one worker among those performing patching work who is trained and certified by manufacturer of patching compound to apply its products.

- B. Chemical-Cleaner Manufacturer Qualifications: A firm regularly engaged in producing masonry cleaners that have been used for similar applications with successful results, and with factory-trained representatives who are available for consultation and Project-site inspection and assistance at no additional cost.
- C. Source Limitations: Obtain each type of material for masonry restoration (face brick, cement, sand, etc.) from one source with resources to provide materials of consistent quality in appearance and physical properties.
- D. Quality-Control Program: Prepare a written quality-control program for this Project to systematically demonstrate the ability of personnel to properly follow methods and use materials and tools without damaging masonry. Include provisions for supervising performance and preventing damage due to worker fatigue.
- E. Restoration Program: Prepare a written, detailed description of materials, methods, equipment, and sequence of operations to be used for each phase of restoration work including protection of surrounding materials and Project site.
 - 1. Include methods for keeping pointing mortar damp during curing period.
 - 2. If materials and methods other than those indicated are proposed for any phase of restoration work, add to the Quality-Control Program a written description of such materials and methods, including evidence of successful use on comparable projects, and demonstrations to show their effectiveness for this Project and worker's ability to use such materials and methods properly.
- F. Cleaning Program: Prepare a written cleaning program that describes cleaning process in detail, including materials, methods, and equipment to be used, protection of surrounding materials, and control of runoff during operations.
 - 1. If materials and methods other than those indicated are proposed for any phase of restoration work, add to the Quality-Control Program a written description of such materials and methods, including evidence of successful use on comparable projects, and demonstrations to show their effectiveness for this Project and worker's ability to use such materials and methods properly.
- G. Cleaning and Repair Appearance Standard: Cleaned and repaired surfaces are to have a uniform appearance as viewed from 20 feet away by Architect. Perform additional paint and stain removal, general cleaning, and spot cleaning of small areas that are noticeably different, so that surface blends smoothly into surrounding areas.
- H. Mockups: Prepare mockups of restoration and cleaning to demonstrate aesthetic effects and set quality standards for materials and execution and for fabrication and installation.
 - 1. Masonry Repair: Prepare sample areas for each type of masonry material indicated to have repair work performed. If not otherwise indicated, size each mockup not smaller than 2 adjacent whole units or approximately 48 inches in least dimension. Erect sample areas in existing walls unless otherwise indicated, to demonstrate quality of materials, workmanship, and blending with existing work. Include the following as a minimum:
 - a. Replacement:
 - 1) Five brick units replaced.
 - b. Re-anchoring Veneers: Install three masonry repair anchors in mockup wall assembly of each anchor type required.
 - c. Patching: Three small holes as directed for each type of masonry material indicated to be patched, so as to leave no evidence of repair.

- d. Widening Joints: Widen a joint in 2 separate locations, each approximately 12 inches long.
- 2. Repointing: Rake out joints in 2 separate areas, each approximately 36 inches high by 48 inches wide for each type of repointing required and repoint one of the areas.
- 3. Cleaning: Clean an area approximately 25 sq. ft. for each type of masonry and surface condition.
 - a. Test cleaners and methods on samples of adjacent materials for possible adverse reactions. Do not use cleaners and methods known to have deleterious effect.
 - b. Allow a waiting period of not less than seven days after completion of sample cleaning to permit a study of sample panels for negative reactions.
- 4. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
- 5. Approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.
- I. Preinstallation Conference: Conduct conference at Project site.
 - 1. Review methods and procedures related to masonry restoration and cleaning including, but not limited to, the following:
 - a. Construction schedule. Verify availability of materials, Restoration Specialist's personnel, equipment, and facilities needed to make progress and avoid delays.
 - b. Materials, material application, sequencing, tolerances, and required clearances.
 - c. Protection of persons, motor vehicles, surrounding surfaces of building, building site, plants, shrubs and trees, and surrounding buildings from harm resulting from historic treatment procedures. Refer to Section 013591.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Deliver masonry units to Project site strapped together in suitable packs or pallets or in heavy-duty cartons.
- B. Deliver other materials to Project site in manufacturer's original and unopened containers, labeled with manufacturer's name and type of products.
- C. Store cementitious materials on elevated platforms, under cover, and in a dry location. Do not use cementitious materials that have become damp.
- D. Store hydrated lime in manufacturer's original and unopened containers. Discard lime if containers have been damaged or have been opened for more than two days.
- E. Store lime putty covered with water in sealed containers.
- F. Store sand where grading and other required characteristics can be maintained and contamination avoided.

1.8 PROJECT CONDITIONS

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit masonry restoration and cleaning work to be performed according to manufacturers' written instructions and specified requirements.

- B. Repair masonry units and repoint mortar joints only when air temperature is between 40 and 90 deg F and is predicted to remain so for at least 7 days after completion of the Work unless otherwise indicated.
- C. Cold-Weather Requirements: Comply with the following procedures for masonry repair and mortar-joint pointing unless otherwise indicated:
 - 1. When air temperature is below 40 deg F, heat mortar ingredients, masonry repair materials, and existing masonry walls to produce temperatures between 40 and 120 deg F.
 - 2. When mean daily air temperature is below 40 deg F, provide enclosure and heat to maintain temperatures above 32 deg F within the enclosure for 7 days after repair and pointing.
- D. Hot-Weather Requirements: Protect masonry repair and mortar-joint pointing when temperature and humidity conditions produce excessive evaporation of water from mortar and repair materials. Provide artificial shade and wind breaks and use cooled materials as required to minimize evaporation. Do not apply mortar to substrates with temperatures of 90 deg F and above unless otherwise indicated.
- E. For manufactured repair materials, perform work within the environmental limits set by each manufacturer.
- F. Clean masonry surfaces only when air temperature is 40 deg F and above and is predicted to remain so for at least 7 days after completion of cleaning.

1.9 COORDINATION

- A. Coordinate masonry restoration and cleaning with public circulation patterns at Project site. Some work is near public circulation patterns. Public circulation patterns cannot be closed off entirely, and in places can be only temporarily redirected around small areas of work. Plan and execute the Work accordingly. Refer to Section 013591 for specific requirements.

1.10 SEQUENCING AND SCHEDULING

- A. Order replacement materials at earliest possible date to avoid delaying completion of the Work.
- B. Order sand and portland cement for pointing mortar immediately after approval of mockups. Take delivery of and store at Project site a sufficient quantity to complete Project.
- C. Perform masonry restoration work in the following sequence:
 - 1. Remove plant growth.
 - 2. Inspect for open mortar joints and repair before cleaning to prevent the intrusion of water and other cleaning materials into the wall.
 - 3. Remove paint.
 - 4. Clean masonry surfaces.
 - 5. Rake out mortar from joints surrounding masonry to be replaced and from joints adjacent to masonry repairs along joints.
 - 6. Repair masonry, including replacing existing masonry with new masonry materials.
 - 7. Rake out mortar from joints to be repointed.
 - 8. Point mortar and sealant joints.
 - 9. After repairs and repointing have been completed and cured, perform a final cleaning to remove residues from this work.
 - 10. Inspect for open mortar joints and repair before cleaning to prevent the intrusion of water and other cleaning materials into the wall.
 - 11. Remove paint.

12. Clean masonry surfaces.
- D. As scaffolding is removed, patch anchor holes used to attach scaffolding. Patch holes in masonry units to comply with "Masonry Unit Patching" Article. Patch holes in mortar joints to comply with "Repointing Masonry" Article.

PART 2 - PRODUCTS

2.1 MASONRY MATERIALS

- A. Face Brick: Provide face brick, including specially molded, ground, cut, or sawed shapes where required to complete masonry restoration work.
1. Provide units with colors, color variation within units, surface texture, size, and shape to match existing brickwork and with physical properties within 10 percent of those determined from preconstruction testing of selected existing units.
 - a. For existing brickwork that exhibits a range of colors or color variation within units, provide brick that proportionally matches that range and variation rather than brick that matches an individual color within that range.
 2. Tolerances as Fabricated: Comply with tolerance requirements in ASTM C 216, Type FBS.
 3. Identification: Manufacturer may emboss name in the clay body on an interior surface of each unit in easily read 1/2-inch-high characters.
- B. Building Brick: Provide building brick complying with ASTM C 62, of same vertical dimension as face brick, for masonry work concealed from view.
1. Grade SW where in contact with earth.
 2. Grade SW, MW, or NW for concealed backup.
 3. Identification: Manufacturer may emboss name in the clay body on an interior surface of each unit in easily read 1/2-inch-high characters.

2.2 MORTAR MATERIALS

- A. Portland Cement: ASTM C 150, Type I or Type II, white or gray or both where required for color matching of exposed mortar.
1. Provide cement containing not more than 0.60 percent total alkali when tested per ASTM C 114.
- B. Hydrated Lime: ASTM C 207, Type S.
- C. Factory-Prepared Lime Putty: ASTM C 1489.
- D. Quicklime: ASTM C 5, pulverized lime.
- E. Mortar Sand: ASTM C 144 unless otherwise indicated.
1. Color: Provide natural sand or ground marble, granite, or other sound stone of color necessary to produce required mortar color.
 2. For pointing mortar, provide sand with rounded edges.
 3. Match size, texture, and gradation of existing mortar sand as closely as possible. Blend several sands if necessary to achieve suitable match.

- F. Mortar Pigments: Natural and synthetic iron oxides, compounded for mortar mixes. Use only pigments with a record of satisfactory performance in masonry mortars.
- G. Water: Potable.

2.3 MANUFACTURED REPAIR MATERIALS

- A. Masonry Patching Compound: Factory-mixed cementitious product that is custom manufactured for patching masonry.
 - 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Cathedral Stone Products, Inc.; Jahn M100 Brick Repair Mortar.
 - b. Edison Coatings, Inc.; Custom System 45.
 - c. Conproco Corporation.
 - 1.) Mimic for natural stone.
 - 2.) Matrix for natural stone.
 - 2. Use formulation that is vapor- and water permeable (equal to or more than the masonry unit), exhibits low shrinkage, has lower modulus of elasticity than the masonry units being repaired, and develops high bond strength to all types of masonry.
 - 3. Use formulation having working qualities and retardation control to permit forming and sculpturing where necessary.
 - 4. Formulate patching compound used for patching brick and stone in colors and textures to match each masonry unit being patched. Provide sufficient number of colors to enable matching the color, texture, and variation of each unit.

2.4 PAINT REMOVERS

- A. Low-Odor, Solvent-Type Paint Remover: Manufacturer's standard low-odor, water-rinsable solvent-type gel formulation, containing no methanol or methylene chloride, for removing paint coatings from masonry.
 - 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. ABR Products, Inc.; Super Bio Strip Gel.
 - b. Cathedral Stone Products, Inc.; S-301, S-303, or S-305.
 - c. Dumond Chemicals, Inc.; Peel Away 6, Peel Away 7, or Peel Away 21.
 - d. PROSOCO; Enviro Klean Safety Peel 1 or Enviro Klean Safety Peel 3.

2.5 CLEANING MATERIALS

- A. Refer to and follow recommendations of National Park Service Preservation Brief 1 for masonry.
- B. Water: Potable.
- C. Hot Water: Water heated to a temperature of 140 to 160 deg F.
- D. Job-Mixed Detergent Solution: 1/2 cup of non-ionic detergents, and 20 quarts of hot water for every 5 gal. of solution required.

1. Products: Subject to compliance with requirements, available products that may be incorporated into the work include, but are not limited to, the following:
 - a. GAF; Igepal
 - b. Union Carbide; Tergitol
 - c. Rohm and Haas; Triton
- E. Mold, Mildew, and Algae Remover: Non-mutagenic biological solution that contains no carcinogenic compounds.
- F. Nonacidic Gel Cleaner (for marble flooring in Vestibule, Lobby, Offices, and East Corridor): Manufacturer's standard gel formulation, with pH between 6 and 9, that contains detergents with chelating agents and is specifically formulated for cleaning masonry surfaces.
 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Price Research, Ltd.; Price Marble Cleaner-Gel.
 - b. PROSOCO; Sure Klean 942 Limestone and Marble Cleaner.

2.6 ACCESSORY MATERIALS

- A. Liquid Strippable Masking Agent: Manufacturer's standard liquid, film-forming, strippable masking material for protecting glass, metal, and polished stone surfaces from damaging effects of acidic and alkaline masonry cleaners.
 1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. ABR Products, Inc.; Rubber Mask.
 - b. Price Research, Ltd.; Price Mask.
 - c. PROSOCO; Sure Klean Strippable Masking.
- B. Masonry Repair Anchors, Spiral Type: Type 304 stainless-steel spiral rods designed to anchor to backing and veneer. Anchors are flexible in plane of veneer but rigid perpendicular to it.
 1. Provide driven-in anchors designed to be installed in drilled holes and relying on screw effect rather than adhesive to secure them to backup and veneer.
 2. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
 - a. BLOK-LOK Limited; Spira-Lok.
 - b. Dur-O-Wal, a division of Dayton Superior; Dur-O-Flex Friction Pin Anchor.
 - c. Heckmann Building Products Inc.; #391 Remedial Tie.
 - d. Hohmann & Barnard, Inc.; Helix Spiro-Ties.
- C. Sealant Materials:
 1. Provide manufacturer's standard chemically curing, elastomeric sealant(s) of base polymer and characteristics that comply with applicable requirements in Division 07 Section "Joint Sealants."
 2. Colors: Provide colors of exposed sealants to match colors of masonry adjoining installed sealant unless otherwise indicated.
 3. Ground-Mortar Aggregate: Custom crushed and ground pointing mortar sand or existing mortar retrieved from joints. Grind to a particle size that matches the adjacent mortar aggregate and color. Remove all fines passing the 100 sieve.

- D. Joint-Sealant Backing:
 - 1. Cylindrical Sealant Backings: ASTM C 1330, Type C (closed-cell material with a surface skin), and of size and density to control sealant depth and otherwise contribute to producing optimum sealant performance.
 - 2. Bond-Breaker Tape: Polyethylene tape or other plastic tape recommended by sealant manufacturer for preventing sealant from adhering to rigid, inflexible joint-filler materials or joint surfaces at back of joint where such adhesion would result in sealant failure. Provide self-adhesive tape where acceptable.
- E. Setting Buttons: Resilient plastic buttons, nonstaining to masonry, sized to suit joint thicknesses and bed depths of masonry units without intruding into required depths of pointing materials.
- F. Masking Tape: Nonstaining, nonabsorbent material, compatible with pointing mortar, joint primers, sealants, and surfaces adjacent to joints; that will easily come off entirely, including adhesive.
- G. Antirust Coating for Ornamental Balconies: Fast-curing, lead- and chromate-free, self-curing, universal modified-alkyd primer complying with SSPC-Paint 29 zinc-rich coating.
 - 1. Use coating requiring no better than SSPC-SP 3, "Power Tool Cleaning" surface preparation according to manufacturer's literature or certified statement.
 - 2. Use coating with a VOC content of 420 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24).
- H. Miscellaneous Products: Select materials and methods of use based on the following, subject to approval of a mockup:
 - 1. Previous effectiveness in performing the work involved.
 - 2. Little possibility of damaging exposed surfaces.
 - 3. Consistency of each application.
 - 4. Uniformity of the resulting overall appearance.
 - 5. Do not use products or tools that could do the following:
 - a. Remove, alter, or in any way harm the present condition or future preservation of existing surfaces, including surrounding surfaces not in contract.
 - b. Leave a residue on surfaces.

2.7 MORTAR MIXES

- A. Preparing Lime Putty: Slake quicklime and prepare lime putty according to appendix to ASTM C 5 and manufacturer's written instructions.
- B. Measurement and Mixing: Measure cementitious materials and sand in a dry condition by volume or equivalent weight. Do not measure by shovel; use known measure. Mix materials in a clean, mechanical batch mixer.
 - 1. Mixing Pointing Mortar: Thoroughly mix cementitious materials and sand together before adding any water. Then mix again adding only enough water to produce a damp, unworkable mix that will retain its form when pressed into a ball. Maintain mortar in this dampened condition for 15 to 30 minutes. Add remaining water in small portions until mortar reaches desired consistency. Use mortar within one hour of final mixing; do not retemper or use partially hardened material.
- C. Colored Mortar: Produce mortar of color required by using specified ingredients. Do not alter specified proportions without Architect's approval.

1. Mortar Pigments: Where mortar pigments are indicated, do not exceed a pigment-to-cement ratio of 1:10 by weight.
- D. Do not use admixtures in mortar unless otherwise indicated.
- E. Mortar Proportions: Mix mortar materials in the following proportions:
1. Pointing Mortar for Brick: Type S.
 - a. Add mortar pigments to produce mortar colors required.
 2. Rebuilding (Setting) Mortar: Comply with ASTM C 270, Proportion Specification, Type N unless otherwise indicated; with cementitious material limited to portland cement and lime.

PART 3 - EXECUTION

3.1 PROTECTION

- A. Protect persons, motor vehicles, surrounding surfaces of building being restored, building site, plants, shrubs and trees, and surrounding buildings from harm resulting from masonry restoration work.
1. Erect temporary protective covers over walkways and at points of pedestrian and vehicular entrance and exit that must remain in service during course of restoration and cleaning work.
- B. Comply with chemical-cleaner manufacturer's written instructions for protecting building and other surfaces against damage from exposure to its products. Prevent chemical-cleaning solutions from coming into contact with people, motor vehicles, landscaping, buildings, and other surfaces that could be harmed by such contact.
1. Cover adjacent surfaces with materials that are proven to resist chemical cleaners used unless chemical cleaners being used will not damage adjacent surfaces. Use materials that contain only waterproof, UV-resistant adhesives. Apply masking agents to comply with manufacturer's written instructions. Do not apply liquid masking agent to painted or porous surfaces. When no longer needed, promptly remove masking to prevent adhesive staining.
 2. Keep wall wet below area being cleaned to prevent streaking from runoff.
 3. Do not clean masonry during winds of sufficient force to spread cleaning solutions to unprotected surfaces.
 4. Neutralize and collect alkaline and acid wastes for disposal off Owner's property.
 5. Dispose of runoff from cleaning operations by legal means and in a manner that prevents soil erosion, undermining of paving and foundations, damage to landscaping, and water penetration into building interiors.
- C. Prevent mortar from staining face of surrounding masonry and other surfaces.
1. Cover sills, ledges, and projections to protect from mortar droppings.
 2. Keep wall area wet below rebuilding and pointing work to discourage mortar from adhering.
 3. Immediately remove mortar in contact with exposed masonry and other surfaces.
 4. Clean mortar splatters from scaffolding at end of each day.

3.2 UNUSED ANCHOR REMOVAL

- A. Remove masonry anchors, brackets, wood nailers, and other extraneous items no longer in use unless identified as historically significant or indicated to remain.
 - 1. Remove items carefully to avoid spalling or cracking masonry.
 - 2. Where directed, if an item cannot be removed without damaging surrounding masonry, do the following:
 - a. Cut or grind off item approximately 3/4 inch beneath surface and core drill a recess of same depth in surrounding masonry as close around item as practical.
 - b. Immediately paint exposed end of item with two coats of antirust coating, following coating manufacturer's written instructions and without exceeding manufacturer's recommended dry film thickness per coat. Keep paint off sides of recess.
 - 3. Patch the hole where each item was removed unless directed to remove and replace the masonry unit.

3.3 BRICK REMOVAL AND REPLACEMENT

- A. At locations indicated, remove bricks that are damaged, spalled, or deteriorated or are to be reused. Carefully demolish or remove entire units from joint to joint, without damaging surrounding masonry, in a manner that permits replacement with full-size units.
 - 1. When removing single bricks, remove material from center of brick and work toward outside edges.
- B. Support and protect remaining masonry that surrounds removal area. Maintain flashing, reinforcement, lintels, and adjoining construction in an undamaged condition.
- C. Notify Architect of unforeseen detrimental conditions including voids, cracks, bulges, and loose units in existing masonry backup, rotted wood, rusted metal, and other deteriorated items.
- D. Remove in an undamaged condition as many whole bricks as possible.
 - 1. Remove mortar, loose particles, and soil from brick by cleaning with hand chisels, brushes, and water.
 - 2. Remove sealants by cutting close to brick with utility knife and cleaning with solvents.
 - 3. Store brick for reuse. Store off ground, on skids, and protected from weather.
 - 4. Deliver cleaned brick not required for reuse to Owner unless otherwise indicated.
- E. Clean bricks surrounding removal areas by removing mortar, dust, and loose particles in preparation for replacement.
- F. Replace removed damaged brick with other removed brick in good quality, where possible, or with new brick matching existing brick, including size. Do not use broken units unless they can be cut to usable size.
- G. Install replacement brick into bonding and coursing pattern of existing brick. If cutting is required, use a motor-driven saw designed to cut masonry with clean, sharp, unchipped edges.
 - 1. Maintain joint width for replacement units to match existing joints.
 - 2. Use setting buttons or shims to set units accurately spaced with uniform joints.
- H. Lay replacement brick with completely filled bed, head, and collar joints. Butter ends with sufficient mortar to fill head joints and shove into place. Wet both replacement and

surrounding bricks that have ASTM C 67 initial rates of absorption (suction) of more than 30 g/30 sq. in. per min. Use wetting methods that ensure that units are nearly saturated but surface is dry when laid.

1. Tool exposed mortar joints in repaired areas to match joints of surrounding existing brickwork.
2. Rake out mortar used for laying brick before mortar sets and point new mortar joints in repaired area to comply with requirements for repointing existing masonry, and at same time as repointing of surrounding area.
3. When mortar is sufficiently hard to support units, remove shims and other devices interfering with pointing of joints.

3.4 REANCHORING VENEERS

- A. Install masonry repair anchors in horizontal mortar joints and according to manufacturer's written instructions. Install at not more than 16 inches o.c. vertically and 32 inches o.c. horizontally unless otherwise indicated. Install at locations to avoid penetrating flashing.
- B. Recess anchors at least 5/8 inch from surface of mortar joint and fill recess with pointing mortar.

3.5 MASONRY UNIT PATCHING

- A. Patch the following masonry units unless another type of replacement or repair is indicated:
 1. Units indicated to be patched.
 2. Units with holes.
 3. Units with chipped edges or corners.
 4. Units with small areas of deep deterioration.
- B. Remove and replace existing patches unless otherwise indicated or approved by Architect.
- C. Patching Bricks:
 1. Remove loose material from masonry surface. Carefully remove additional material so patch will not have feathered edges but will have square or slightly undercut edges on area to be patched and will be at least 1/4 inch thick, but not less than recommended by patching compound manufacturer.
 2. Mask adjacent mortar joint or rake out for repointing if patch will extend to edge of masonry unit.
 3. Mix patching compound in individual batches to match each unit being patched. Combine one or more colors of patching compound, as needed, to produce exact match.
 4. Rinse surface to be patched and leave damp, but without standing water.
 5. Brush-coat surfaces with slurry coat of patching compound according to manufacturer's written instructions.
 6. Place patching compound in layers as recommended by patching compound manufacturer, but not less than 1/4 inch or more than 2 inches thick. Roughen surface of each layer to provide a key for next layer.
 7. Trowel, scrape, or carve surface of patch to match texture and surrounding surface plane or contour of the masonry unit. Shape and finish surface before or after curing, as determined by testing, to best match existing masonry unit.
 8. Keep each layer damp for 72 hours or until patching compound has set.

3.6 WIDENING JOINTS

- A. Do not widen a joint, except where indicated or approved by Architect.
- B. Location Guideline: Where an existing masonry unit abuts another or the joint is less than 1/8 inch (3 mm), widen the joint for length indicated and to depth required for repointing after obtaining Architect's approval.
- C. Carefully perform widening by cutting, grinding, routing, or filing procedures demonstrated in an approved mockup.
- D. Widen joint to width equal to or less than predominant width of other joints on building. Make sides of widened joint uniform and parallel. Ensure that edges of units along widened joint are in alignment with joint edges at unaltered joints.

3.7 CLEANING MASONRY, GENERAL

- A. Proceed with cleaning program in an orderly manner; work from bottom to top, as recommended by National Parks Service Preservation Brief 1, of each scaffold width and from one end of each elevation to the other. Ensure that dirty residues and rinse water will not wash over cleaned, dry surfaces.
- B. Use only those cleaning methods indicated for each masonry material and location.
 - 1. Do not use wire brushes or brushes that are not resistant to chemical cleaner being used. Do not use plastic-bristle brushes if natural-fiber brushes will resist chemical cleaner being used.
 - 2. Use spray equipment that provides controlled application at volume and pressure indicated, measured at spray tip. Adjust pressure and volume to ensure that cleaning methods do not damage masonry.
 - a. Equip units with pressure gages.
 - 3. For chemical-cleaner spray application, use low-pressure tank or chemical pump suitable for chemical cleaner indicated, equipped with cone-shaped spray tip.
 - 4. For water-spray application, use fan-shaped spray tip that disperses water at an angle of 25 to 50 degrees.
 - 5. For high-pressure water-spray application, use fan-shaped spray tip that disperses water at an angle of at least 40 degrees.
 - 6. For heated water-spray application, use equipment capable of maintaining temperature between 140 and 160 deg F at flow rates indicated.
 - 7. For steam application, use steam generator capable of delivering live steam at nozzle.
- C. Perform each cleaning method indicated in a manner that results in uniform coverage of all surfaces, including corners, moldings, and interstices, and that produces an even effect without streaking or damaging masonry surfaces.
- D. Water Application Methods:
 - 1. Water-Soak Application: Soak masonry surfaces by applying water continuously and uniformly to limited area for time indicated. Apply water at low pressures and low volumes in multiple fine sprays using perforated hoses or multiple spray nozzles. Erect a protective enclosure constructed of polyethylene sheeting to cover area being sprayed.
 - 2. Water-Spray Applications: Unless otherwise indicated, hold spray nozzle at least 6 inches from surface of masonry and apply water in horizontal back and forth sweeping motion, overlapping previous strokes to produce uniform coverage.

- E. Steam Cleaning: Apply steam to masonry surfaces at the very low pressures indicated for each type of masonry material. Hold nozzle at least 6 inches from surface of masonry and apply steam in horizontal back and forth sweeping motion, overlapping previous strokes to produce uniform coverage.
- F. Rinse off chemical residue and soil by working upward from bottom to top of each treated area at each stage or scaffold setting. Periodically during each rinse, test pH of rinse water running off of cleaned area to determine that chemical cleaner is completely removed.
 - 1. Apply neutralizing agent and repeat rinse if necessary to produce tested pH of between 6.7 and 7.5.
- G. After cleaning is complete, remove protection no longer required. Remove tape and adhesive marks.

3.8 PRELIMINARY CLEANING

- A. Removing Plant Growth: Completely remove visible plant, moss, and shrub growth from masonry surfaces. Carefully remove plants, creepers, and vegetation by cutting at roots and allowing to dry as long as possible before removal. Remove loose soil and debris from open masonry joints to whatever depth they occur.
- B. Preliminary Cleaning: Before beginning general cleaning, **protect surrounding materials**, remove extraneous substances that are resistant to cleaning methods being used. Extraneous substances include paint, calking, asphalt, and tar.
 - 1. Carefully remove heavy accumulations of material from surface of masonry with a sharp chisel. Do not scratch or chip masonry surface.
 - 2. Remove paint and calking with alkaline paint remover.
 - a. Comply with requirements in "Paint Removal" Article.
 - b. Repeat application up to two times if needed.
 - 3. Remove asphalt and tar with solvent-type paint remover.
 - a. Comply with requirements in "Paint Removal" Article.
 - b. Apply paint remover only to asphalt and tar by brush without prewetting.
 - c. Allow paint remover to remain on surface for 10 to 30 minutes.
 - d. Repeat application if needed.

3.9 PAINT REMOVAL

- A. Paint Removal with Solvent-Type Paint Remover:
 - 1. Remove loose and peeling paint using low-pressure spray, scrapers, stiff brushes, or a combination of these. Do not scratch or chip masonry surface. Let surface dry thoroughly.
 - 2. Apply thick coating of paint remover to painted masonry with natural-fiber cleaning brush, deep-nap roller, or large paint brush.
 - 3. Allow paint remover to remain on surface for period recommended by manufacturer. Agitate periodically with stiff-fiber brush, in accordance with paint remover manufacturer's recommendations.
 - 4. Rinse with cold or hot water, as recommended by paint remover manufacturer, applied by low-pressure spray to remove chemicals and paint residue.

3.10 CLEANING BRICKWORK

A. Detergent Cleaning:

1. **Protect surrounding materials.**
2. Wet masonry with hot water applied by low-pressure spray.
3. Scrub masonry with detergent solution using medium-soft brushes until soil is thoroughly dislodged and can be removed by rinsing. Use small brushes to remove soil from mortar joints and crevices. Dip brush in solution often to ensure that adequate fresh detergent is used and that masonry surface remains wet.
4. Rinse with hot water applied by low-pressure spray to remove detergent solution and soil.
5. Repeat cleaning procedure above where required to produce cleaning effect established by mockup.

B. Mold, Mildew, and Algae Removal:

1. **Protect surrounding materials.**
2. Wet marble flooring with hot water applied by low-pressure spray.
3. Apply mold, mildew, and algae remover by brush.
4. Scrub masonry with medium-soft brushes until mold, mildew, and algae are thoroughly dislodged and can be removed by rinsing. Use small brushes for mortar joints and crevices. Dip brush in mold, mildew, and algae remover often to ensure that adequate fresh cleaner is used and that masonry surface remains wet.
5. Rinse with hot water applied by low-pressure spray to remove mold, mildew, and algae remover and soil.
6. Repeat cleaning procedure above where required to produce cleaning effect established by mockup.

C. Nonacidic Gel Cleaning:

1. **Protect surrounding materials.**
2. Wet marble flooring with hot water applied by low-pressure spray.
3. Apply nonacidic gel cleaner in 1/8-inch (3-mm) thickness by brush, working into joints and crevices. Apply quickly and do not brush out excessively so area will be uniformly covered with fresh cleaner and dwell time will be uniform throughout area being cleaned.
4. Let cleaner remain on surface for period indicated below:
 - a. As established by mockup.
5. Remove bulk of nonacidic gel cleaner by squeegeeing into containers for disposal.
6. Rinse with hot water applied by low-pressure spray to remove chemicals and soil.
7. Repeat cleaning procedure above where required to produce cleaning effect established by mockup. Do not repeat more than once. If additional cleaning is required, use steam cleaning.

3.11 REPOINTING MASONRY

A. Rake out and repoint joints to the following extent:

1. All joints in areas indicated.
2. Joints where mortar is missing or where they contain holes.
3. Cracked joints where cracks can be penetrated at least 1/4 inch by a knife blade 0.027 inch thick.
4. Cracked joints where cracks are 1/16 inch or more in width and of any depth.
5. Joints where they sound hollow when tapped by metal object.

6. Joints where they are worn back 1/4 inch or more from surface.
 7. Joints where they are deteriorated to point that mortar can be easily removed by hand, without tools.
 8. Joints where they have been filled with substances other than mortar.
 9. Joints indicated as sealant-filled joints.
- B. Do not rake out and repoint joints where not required.
- C. Rake out joints as follows, according to procedures demonstrated in approved mockup:
1. Remove mortar from joints to depth of 2 times joint width, but not less than ¾ inch or not less than that required to expose sound, unweathered mortar.
 2. Remove mortar from masonry surfaces within raked-out joints to provide reveals with square backs and to expose masonry for contact with pointing mortar. Brush, vacuum, or flush joints to remove dirt and loose debris.
 3. Do not spall edges of masonry units or widen joints. Replace or patch damaged masonry units as directed by Architect.
 - a. Cut out mortar by hand with chisel and resilient mallet. Do not use power-operated grinders without Architect's written approval based on approved quality-control program.
 - b. Cut out center of mortar bed joints using angle grinders with diamond-impregnated metal blades. Remove remaining mortar by hand with chisel and resilient mallet. Strictly adhere to approved quality-control program.
- D. Notify Architect of unforeseen detrimental conditions including voids in mortar joints, cracks, loose masonry units, rotted wood, rusted metal, and other deteriorated items.
- E. Pointing with Mortar:
1. Rinse joint surfaces with water to remove dust and mortar particles. Time rinsing application so, at time of pointing, joint surfaces are damp but free of standing water. If rinse water dries, dampen joint surfaces before pointing.
 2. Apply pointing mortar first to areas where existing mortar was removed to depths greater than surrounding areas. Apply in layers not greater than ¼ inch lifts until a uniform depth is formed. Fully compact each layer thoroughly and allow it to become thumbprint hard before applying next layer.
 3. After low areas have been filled to same depth as remaining joints, point all joints by placing mortar in layers not greater than 3/8 inch. Fully compact each layer and allow to become thumbprint hard before applying next layer. Where existing masonry units have worn or rounded edges, slightly recess finished mortar surface below face of masonry to avoid widened joint faces. Take care not to spread mortar beyond joint edges onto exposed masonry surfaces or to featheredge the mortar.
 4. When mortar is thumbprint hard, tool joints to match original appearance of joints as demonstrated in approved mockup. Remove excess mortar from edge of joint by brushing.
 5. Cure mortar by maintaining in thoroughly damp condition for at least 72 consecutive hours including weekends and holidays.
 - a. Acceptable curing methods include covering with wet burlap and plastic sheeting, periodic hand misting, and periodic mist spraying using system of pipes, mist heads, and timers.
 - b. Adjust curing methods to ensure that pointing mortar is damp throughout its depth without eroding surface mortar.
 6. Hairline cracking within the mortar or mortar separation at edge of a joint is unacceptable. Completely remove such mortar and repoint.

F. Pointing with Sealant:

1. After raking out, keep joints dry and free of mortar and debris.
2. Clean and prepare joint surfaces according to Division 07 Section "Joint Sealants." Prime joint surfaces unless sealant manufacturer recommends against priming. Do not allow primer to spill or migrate onto adjoining surfaces.
3. Fill sealant joints with specified joint sealant according to Division 07 Section "Joint Sealants" and the following:
 - a. Install cylindrical sealant backing beneath the sealant, except where space is insufficient. There, install bond-breaker tape.
 - b. Install sealant using only proven installation techniques that will ensure that sealant will be deposited in a uniform, continuous ribbon, without gaps or air pockets, and with complete wetting of the joint bond surfaces equally on both sides. Fill joint flush with surrounding masonry and matching the contour of adjoining mortar joints.
 - c. Install sealant as recommended by sealant manufacturer but within the following general limitations, measured at the center (thin) section of the bead:
 - 1) Fill joints to a depth equal to joint width, but not more than $\frac{3}{4}$ inch deep or less than $\frac{1}{4}$ inch deep.
 - d. Immediately after first tooling, apply ground-mortar aggregate to sealant, gently pushing aggregate into the surface of sealant. Retool sealant to form smooth, uniform beads, slightly concave. Remove excess sealant and aggregate from surfaces adjacent to joint.
 - e. Do not allow sealant to overflow or spill onto adjoining surfaces, or to migrate into the voids of adjoining surfaces, particularly rough textures. Remove excess and spillage of sealant promptly as the work progresses. Clean adjoining surfaces by the means necessary to eliminate evidence of spillage, without damage to adjoining surfaces or finishes, as demonstrated in an approved mockup.
4. Cure sealant according to Division 07 Section "Joint Sealants."

G. Where repointing work precedes cleaning of existing masonry, allow mortar to harden at least 30 days before beginning cleaning work.

3.12 FINAL CLEANING

- A. After mortar has fully hardened, **protect surrounding materials**, thoroughly clean exposed masonry surfaces of excess mortar and foreign matter; use wood scrapers, stiff-nylon or -fiber brushes, and clean water, spray applied at low pressure.
 1. Do not use metal scrapers or brushes.
 2. Do not use acidic or alkaline cleaners.
- B. Wash adjacent non-masonry surfaces. Use detergent and soft brushes or cloths.
- C. Clean mortar and debris from roof. Rinse off roof.
- D. Sweep and rake adjacent pavement and grounds to remove mortar and debris. Where necessary, pressure wash pavement surfaces to remove mortar, dust, dirt, and stains.

3.13 FIELD QUALITY CONTROL

- A. Inspectors: Owner will engage qualified independent inspectors to perform inspections and prepare test reports. Allow inspectors use of lift devices and scaffolding, as needed, to perform inspections.
- B. Notify inspectors and Architect in advance of times when lift devices and scaffolding will be relocated. Do not relocate lift devices and scaffolding until inspectors have had reasonable opportunity to make inspections of work areas at lift device or scaffold location.

END OF SECTION 040120

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

45616

1. **Historic Property Name** 119-121 Bedford Street

Street 119-121 Bedford Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district or National Register property.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)


Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
Street 26 Main Street City Pawtucket State RI
Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
- if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink)  Date 04/22/2022
Applicant Entity WinnDevelopment Company LP SSN _____ or TIN 
Street One Washington Mall, Suite 500 City Boston State MA
Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date

11/2/22

National Park Service Authorized Signature (Sign in ink)

NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE



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NPS Project Number
45624

1. **Historic Property Name** 120-122 Bedford Street
Street 120-122 Bedford Street
City Hartford County Hartford State CT Zip 06120-2579
Name of Historic District or National Register property _____
 National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
 certification that the building does not contribute to the significance of the above-named district or National Register property.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)
Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
Street 26 Main Street City Pawtucket State RI
Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Adam Stein Signature (Sign in ink) [Signature] Date 04/22/2022
Applicant Entity WinnDevelopment Company LP SSN _____ or TIN _____
Street One Washington Mall, Suite 500 City Boston State MA
Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

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The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:
 contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
 does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
 does not appear to qualify as a certified historic structure.

Date 11/2/22 National Park Service Authorized Signature (Sign in ink) [Signature]
 NPS Comments Attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE**



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45615

1. **Historic Property Name** 123-125 Bedford Street

Street 123-125 Bedford Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district or National Register property.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)

Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.

Street 26 Main Street City Pawtucket State RI

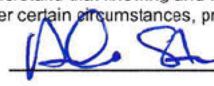
Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
- if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink)  Date 04/22/2022

Applicant Entity WinnDevelopment Company LP SSN _____ or TIN 

Street One Washington Mall, Suite 500 City Boston State MA

Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date 11/2/22

National Park Service Authorized Signature (Sign in ink) 

NPS Comments Attached



HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
451017

1. Historic Property Name 124-126 Bedford Street

Street 124-126 Bedford Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

National Register district certified state or local district potential district National Register property

2. Nature of Request (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district or National Register property.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.

Street 26 Main Street City Pawtucket State RI

Zip 02860 Telephone (401) 288-6333 Email Address augenstein@palinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
- if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink) [Signature] Date 04/22/2022

Applicant Entity WinnDevelopment Company LP SSN _____ or TIN [Redacted]

Street One Washington Mall, Suite 500 City Boston State MA

Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date 11/2/22 National Park Service Authorized Signature (Sign in ink) [Signature]

NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
450620

1. Historic Property Name 127-129 Bedford Street

Street 127-129 Bedford Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

National Register district certified state or local district potential district National Register property

2. Nature of Request (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district or National Register property.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.

Street 26 Main Street City Pawtucket State RI

Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
- if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink) [Signature] Date 04/22/2022

Applicant Entity WinnDevelopment Company LP SSN _____ or TIN [Redacted]

Street One Washington Mall, Suite 500 City Boston State MA

Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

10/30/22

[Signature]

Date _____ National Park Service Authorized Signature (Sign in ink)

NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45621

1. **Historic Property Name** 128-130 Bedford Street
Street 128-130 Bedford Street
City Hartford County Hartford State CT Zip 06120-2579
Name of Historic District or National Register property _____
 National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
 certification that the building does not contribute to the significance of the above-named district or National Register property.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)
Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
Street 26 Main Street City Pawtucket State RI
Zip 02860 Telephone (401) 288-6333 Email Address augenstein@palinc.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Adam Stein Signature (Sign in ink) [Signature] Date 04/22/2022
Applicant Entity WinnDevelopment Company LP SSN _____ or TIN [Redacted]
Street One Washington Mall, Suite 500 City Boston State MA
Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only
The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:
 contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
 does not contribute to the significance of the above-named district or National Register property.
Preliminary Determinations:
 appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
 does not appear to qualify as a certified historic structure.

10/21/22 [Signature]
Date _____ National Park Service Authorized Signature (Sign in ink)
 NPS Comments Attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE**



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45618

1. **Historic Property Name** 131-133 Bedford Street
Street 131-133 Bedford Street
City Hartford County Hartford State CT Zip 06120-2579
Name of Historic District or National Register property _____
 National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
 certification that the building does not contribute to the significance of the above-named district or National Register property.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)
Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
Street 26 Main Street City Pawtucket State RI
Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 If I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Adam Stein Signature (Sign in ink) [Signature] Date 04/22/2022
Applicant Entity WinnDevelopment Company LP SSN _____ or TIN _____
Street One Washington Mall, Suite 500 City Boston State MA
Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:
 contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
 does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:
 appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
 does not appear to qualify as a certified historic structure.

Date 11/2/22 National Park Service Authorized Signature (Sign in ink) [Signature]
 NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45622

1. Historic Property Name 131-133 Brook Street

Street 131-133 Brook Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

- National Register district certified state or local district potential district National Register property

2. Nature of Request (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
 certification that the building does not contribute to the significance of the above-named district or National Register property.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.

Street 26 Main Street City Pawtucket State RI

Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 If I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink) [Signature] Date 04/22/2022

Applicant Entity WinnDevelopment Company LP SSN _____ or TIN [Redacted]

Street One Washington Mall, Suite 500 City Boston State MA

Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
 does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
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 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
 does not appear to qualify as a certified historic structure.

11/2/22

[Signature]
National Park Service Authorized Signature (Sign in ink)

Date

- NPS Comments Attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE**



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45623

1. **Historic Property Name** 132-134 Bedford Street
Street 132-134 Bedford Street
City Hartford County Hartford State CT Zip 06120-2579
Name of Historic District or National Register property _____
 National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
 certification that the building does not contribute to the significance of the above-named district or National Register property.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)
Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
Street 26 Main Street City Pawtucket State RI
Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 If I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Adam Stein Signature (Sign in ink) [Signature] Date 04/22/2022
Applicant Entity WinnDevelopment Company LP SSN _____ or TIN _____
Street One Washington Mall, Suite 500 City Boston State MA
Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only
The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:
 contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
 does not contribute to the significance of the above-named district or National Register property.
Preliminary Determinations:
 appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
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 does not appear to qualify as a certified historic structure.

11/2/22 Date
[Signature] National Park Service Authorized Signature (Sign in ink)
 NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 - EVALUATION OF SIGNIFICANCE

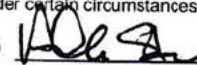
<p>RECEIVED</p> <p>OCT 17 2022</p> <p>NATIONAL PARK SERVICE TAX INCENTIVE PROGRAM</p> <p>NPS Project Number 45619</p>

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. **Historic Property Name** 135-137 Bedford Street
 Street 135-137 Bedford Street
 City Hartford County Hartford State CT Zip 06120-2579
 Name of Historic District or National Register property _____
 National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)
 certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
 certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
 certification that the building does not contribute to the significance of the above-named district or National Register property.
 preliminary determination for individual listing in the National Register.
 preliminary determination that a building located within a potential historic district contributes to the significance of the district.
 preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)
 Name Alisa M. Augenstein Company The Public Archaeology Laboratory, Inc.
 Street 26 Main Street City Pawtucket State RI
 Zip 02860 Telephone (401) 288-6333 Email Address aaugenstein@palinc.com

4. **Applicant**
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
 For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Adam Stein Signature (Sign in ink)  Date 04/22/2022
 Applicant Entity WinnDevelopment Company LP SSN _____ or TIN _____
 Street One Washington Mall, Suite 500 City Boston State MA
 Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 1 for the above-named property and has determined that the property:

contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
 contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
 does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
 does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
 appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
 appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
 does not appear to qualify as a certified historic structure.

10/31/22 
 Date _____ National Park Service Authorized Signature (Sign in ink)

NPS Comments Attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

DEC 01 2022



<p>Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.</p>	<p>NPS Project Number 45624</p>
---	--

1. **Historic Property Name** 120-122 Bedford Street
 Street 120-122 Bedford Street
 City Hartford County Hartford State CT Zip 06120-2579
 Name of Historic District or National Register property _____
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district _____
 Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)
 Date of building 1922 Estimated total rehabilitation costs (QRE) \$745,647
 Number of buildings in project 1 Floor area before / after rehabilitation 7,377 / 7,377 sq ft
 Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.
 Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 5 / 5
 Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 5 / 5
 Intend to elect IRS 60-month phased rehabilitation

3. **Project Contact** (if different from applicant)
 Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.
 Street 26 Main Street City Pawtucket State RI
 Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. **Applicant**
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
 For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022
 Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626
 Street One Washington Mall, Suite 500 City Boston State MA
 Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only
 The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:
 the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022 [Signature]
 Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 120-122 Bedford Street Project Number 45624
Property Address, City, State 120-122 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022
Date


State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022
Date


National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

45616

1. Historic Property Name 119-121 Bedford Street

Street 119-121 Bedford Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

Listed individually in the National Register of Historic Places; date of listing _____

Located in a Registered Historic District; name of district _____

Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building 1922 Estimated total rehabilitation costs (QRE) \$745,647

Number of buildings in project 1 Floor area before / after rehabilitation 7,106 / 7,106 sq ft

Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.

Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 5 / 5

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 5 / 5

Intend to elect IRS 60-month phased rehabilitation

3. Project Contact (if different from applicant)

Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.

Street 26 Main Street City Pawtucket State RI

Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022

Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626

Street One Washington Mall, Suite 500 City Boston State MA

Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022

[Signature]

Date

National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 119-121 Bedford Street Project Number 45616
Property Address, City, State 119-121 Bedford Street, Hartford, CT

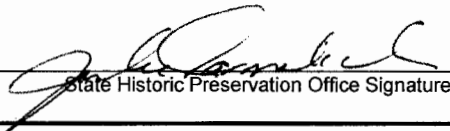
The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022
Date


State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022
Date


National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45615

1. **Historic Property Name** 123-125 Bedford Street
 Street 123-125 Bedford Street
 City Hartford County Hartford State CT Zip 06120-2579
 Name of Historic District or National Register property _____
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district _____
 Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)
 Date of building 1924 Estimated total rehabilitation costs (QRE) \$1,640,424
 Number of buildings in project 1 Floor area before / after rehabilitation 10,567 / 10,567 sq ft
 Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.
 Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 11 / 11
 Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 11 / 11
 Intend to elect IRS 60-month phased rehabilitation

3. **Project Contact** (if different from applicant)
 Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.
 Street 26 Main Street City Pawtucket State RI
 Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. **Applicant**
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
 For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022
 Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626
 Street One Washington Mall, Suite 500 City Boston State MA
 Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

- The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:
- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 - the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 - the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022 [Signature]
 Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 123-125 Bedford Street Project Number 45615
Property Address, City, State 123-125 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORICAL CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022
Date

[Signature]
State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022
Date

[Signature]
National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45617

1. **Historic Property Name** 124-126 Bedford Street
 Street 124-126 Bedford Street
 City Hartford County Hartford State CT Zip 06120-2579
 Name of Historic District or National Register property _____
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district _____
 Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)
 Date of building 1924 Estimated total rehabilitation costs (QRE) \$1,342,165
 Number of buildings in project 1 Floor area before / after rehabilitation 9,386 / 9,386 sq ft
 Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.
 Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 9 / 9
 Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 9 / 9
 Intend to elect IRS 60-month phased rehabilitation

3. **Project Contact** (if different from applicant)
 Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.
 Street 26 Main Street City Pawtucket State RI
 Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. **Applicant**
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
 For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022
 Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626
 Street One Washington Mall, Suite 500 City Boston State MA
 Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

- The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:
- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 - the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 - the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022

[Signature]

Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 124-126 Bedford Street Project Number 45617
Property Address, City, State 124-126 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

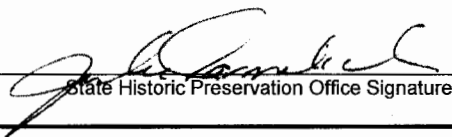
1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.
4. Skylight: The existing skylight must be preserved and not covered by new roofing. Photos of the preserved skylight must be submitted with the Part 4 Application – Request for Final Certification of Completed Rehabilitation.

IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022
Date


State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022
Date


National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

45620

1. Historic Property Name 127-129 Bedford Street

Street 127-129 Bedford Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

Listed individually in the National Register of Historic Places; date of listing _____

Located in a Registered Historic District; name of district _____

Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building 1924 Estimated total rehabilitation costs (QRE) \$1,789,553

Number of buildings in project 1 Floor area before / after rehabilitation 10,506 / 10,506 sq ft

Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.

Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 12 / 12

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 12 / 12

Intend to elect IRS 60-month phased rehabilitation

3. Project Contact (if different from applicant)

Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.

Street 26 Main Street City Pawtucket State RI

Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022

Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626

Street One Washington Mall, Suite 500 City Boston State MA

Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022

[Signature]

Date

National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 127-129 Bedford Street Project Number 45620

Property Address, City, State 127-129 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORICAL CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022

Date

[Handwritten Signature]
State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022

Date

[Handwritten Signature]
National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number
45621

1. **Historic Property Name** 128-130 Bedford Street
 Street 128-130 Bedford Street
 City Hartford County Hartford State CT Zip 06120-2579
 Name of Historic District or National Register property _____
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district _____
 Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)
 Date of building 1923 Estimated total rehabilitation costs (QRE) \$1,342,165
 Number of buildings in project 1 Floor area before / after rehabilitation 11,444 / 11,444 sq ft
 Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.
 Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 9 / 9
 Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 9 / 9
 Intend to elect IRS 60-month phased rehabilitation

3. **Project Contact** (if different from applicant)
 Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.
 Street 26 Main Street City Pawtucket State RI
 Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. **Applicant**
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
 For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022
 Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626
 Street One Washington Mall, Suite 500 City Boston State MA
 Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

- The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:
- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 - the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 - the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022 [Signature]
 Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 128-130 Bedford Street Project Number 45621

Property Address, City, State 128-130 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS. REPAIR OF THE TILE FLOOR IN THE VESTIBULE IS ACCEPTABLE AS PROPOSED.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022

Date

[Handwritten Signature]
State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022

Date

CYake

National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.	NPS Project Number 45018
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1. **Historic Property Name** 131-133 Bedford Street
Street 131-133 Bedford Street
City Hartford County Hartford State CT Zip 06120-2579
Name of Historic District or National Register property _____
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district _____
 Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)
Date of building 1924 Estimated total rehabilitation costs (QRE) \$1,789,553
Number of buildings in project 1 Floor area before / after rehabilitation 10,582 / 10,582 sq ft
Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.
Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 12 / 12
Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 12 / 12
 Intend to elect IRS 60-month phased rehabilitation

3. **Project Contact** (if different from applicant)
Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.
Street 26 Main Street City Pawtucket State RI
Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. **Applicant**
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022
Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626
Street One Washington Mall, Suite 500 City Boston State MA
Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:
 the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022 [Signature]
Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 131-133 Bedford Street Project Number 45618
Property Address, City, State 131-133 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022

Date

State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022

Date

National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

<p>Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.</p>	<p>NPS Project Number 45623</p>
---	--

1. **Historic Property Name** 132-134 Bedford Street
 Street 132-134 Bedford Street
 City Hartford County Hartford State CT Zip 06120-2579
 Name of Historic District or National Register property _____
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district _____
 Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. **Project Data** (for phased projects, data entered in this section must be totals for entire project)
 Date of building 1924 Estimated total rehabilitation costs (QRE) \$894,777
 Number of buildings in project 1 Floor area before / after rehabilitation 7,703 / 7,703 sq ft
 Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.
 Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 6 / 6
 Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 6 / 6
 Intend to elect IRS 60-month phased rehabilitation

3. **Project Contact** (if different from applicant)
 Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.
 Street 26 Main Street City Pawtucket State RI
 Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. **Applicant**
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
 For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022
 Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626
 Street One Washington Mall, Suite 500 City Boston State MA
 Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only
 The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:
 the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022 [Signature]
 Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 132-134 Bedford Street Project Number 45623

Property Address, City, State 132-134 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022

Date

State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022

Date

National Park Service Signature

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 - DESCRIPTION OF REHABILITATION

DEC 01 2022



45619

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

[Handwritten signature]

1. Historic Property Name 135-137 Bedford Street
Street 135-137 Bedford Street
City Hartford County Hartford State CT Zip 06120-2579
Name of Historic District or National Register property _____
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district _____
 Part 1 - Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)
Date of building 1924 Estimated total rehabilitation costs (QRE) \$1,342,165
Number of buildings in project 1 Floor area before / after rehabilitation 11,682 / 11,682 sq ft
Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.
Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 9 / 9
Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 9 / 9
 Intend to elect IRS 60-month phased rehabilitation

3. Project Contact (if different from applicant)
Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.
Street 26 Main Street City Pawtucket State RI
Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. Applicant
I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:
 I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
 if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.
Name Adam Stein Signature (Sign in ink) *[Signature]* Date 09/13/2022
Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626
Street One Washington Mall, Suite 500 City Boston State MA
Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 2 for the above-named property and has determined that:
 the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022 *[Signature]*
Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 135-137 Bedford Street Project Number 45619

Property Address, City, State 135-137 Bedford Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

November 23, 2022
Date

[Handwritten Signature]
State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022
Date

[Handwritten Signature]
National Park Service Signature

DEC. 0 1 2022



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

45622

1. Historic Property Name 131-133 Brook Street

Street 131-133 Brook Street

City Hartford County Hartford State CT Zip 06120-2579

Name of Historic District or National Register property _____

Listed individually in the National Register of Historic Places; date of listing _____

Located in a Registered Historic District; name of district _____

Part 1 – Evaluation of Significance submitted? Date submitted 7/11/2022 Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building 1924 Estimated total rehabilitation costs (QRE) \$894,777

Number of buildings in project 1 Floor area before / after rehabilitation 7,464 / 7,464 sq ft

Start date (estimated) 04/01/2023 Use(s) before / after rehabilitation Resi. / Resi.

Completion date (estimated) 04/01/2024 Number of housing units before / after rehabilitation 6 / 6

Application includes phase(s) 1 of 1 phases Number of low-moderate income housing units before / after rehabilitation 6 / 6

Intend to elect IRS 60-month phased rehabilitation

3. Project Contact (if different from applicant)

Name Eryn Boyce Company The Public Archaeology Laboratory, Inc.

Street 26 Main Street City Pawtucket State RI

Zip 02860 Telephone (401) 288-6318 Email Address eboyce@palinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that (check one or both boxes, as applicable):

I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Adam Stein Signature (Sign in ink) [Signature] Date 09/13/2022

Applicant Entity Bedford Gardens Redevelopment LLC SSN _____ or TIN 88-3903626

Street One Washington Mall, Suite 500 City Boston State MA

Zip 02108 Telephone (617) 742-4500 Email Address mrobayna@WINNCO.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

12/30/2022

[Signature]

Date National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

Historic Property Name 131-133 Brooks Street Project Number 45622

Property Address, City, State 131-133 Brooks Street, Hartford, CT

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
2. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.
3. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT. *IF THERE ARE AREAS WHERE NO HARDWOOD FLOORING IS PRESENT, ANY REPLACEMENT FLOORING MUST BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING. SUBMIT FOR REVIEW PROPOSED FLOORING PRODUCT SPECIFICATIONS INCLUDING MATERIAL, COLOR, PATTERN, & UNIT DIMENSIONS.*

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

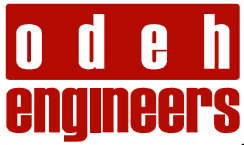
November 23, 2022
Date

[Handwritten Signature]
State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

12/30/2022
Date

[Handwritten Signature]
National Park Service Signature



1223 Mineral Spring Ave
North Providence, Rhode Island 02904

100 Summer Street, 13th Floor
Boston, Massachusetts 02110

August 18, 2023

Matthew Robayna
One Washington Mall
Suite 500
Boston, MA 02108

RE: Bedford Gardens Balconies

Dear Matthew:

The condition of the existing balconies at the Bedford Gardens buildings was observed by Odeh Engineers on May 6, 2022, and May 24, 2023, to have varying degrees of structural deterioration and insufficiency which may lead to failure of the balconies.

- Several of the columns lacked adequate anchorage and/or foundations at their base (refer to photos 1 & 2).
- Several of the connections are showing deterioration and columns are not appropriately connected to girders (refer to photo 3).
- The deck, stairs, railings, and framing are showing deterioration at several locations (refer to photo 4).
- Most stair stringers are inadequately connected to the main framing (refer to photo 5).
- The foundation walls below the balconies are severely cracked and spalled at several locations (refer to photo 6).
- The railing geometry and heights throughout do not appear to conform to the requirements of the Connecticut State Building Code.
- Some of the columns appear to be bowed, indicating they are beginning to fail.

Considering these conditions, it is recommended that the balconies be demolished and re-built in accordance with current building code and structural design criteria.

Sincerely,

A handwritten signature in black ink, appearing to read 'DJO'.

David J. Odeh
SE (CA, IL) PE, F.SEI, F.ASCE
Principal

A handwritten signature in black ink, appearing to read 'Robert A. Bowen'.

Robert A. Bowen
PE (PA)
Structural Engineer

Phone: 401.724.1771

Fax: 401.724.1981



Photo 1: This balcony column base has no anchorage and no apparent foundation.



Photo 2: Several columns are lacking anchorage, foundations or have foundation damage.



Photo 3: The framing connections are showing signs of deterioration and columns are not sufficiently connected to the girders.



Photo 4: The deck, stairs, railings, and framing are showing signs of deterioration at several locations.



Photo 5: Most of the stair stringers are not adequately connected to the main framing.



Photo 6: The foundation walls below the balconies are severely cracked and spalled at several locations.

**BEDFORD GARDENS 88 LLC
338 ASYLUM STREET
HARTFORD, CT 06103**

September 8, 2023

RE: Bedford Gardens Apartments Portfolio
119-121, 120-122, 123-125, 124-126, 127-129, 128-130, 131-133, 132-134, 135-137 Bedford
Street and 131-133 Brook Street, Hartford, Connecticut

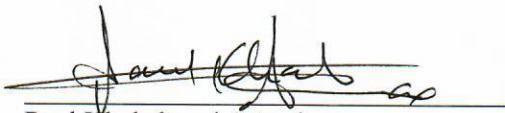
To Whom It May Concern:

This letter confirms that the fee simple owner, Bedford Gardens 88 LLC is aware of the Historic Review Applications being submitted by WinnDevelopment Company LP to the Hartford Historic Commission for the following ten properties in Hartford, Connecticut, by the Public Archaeology Laboratory, Inc.:

1. 119-121 Bedford Street
2. 120-122 Bedford Street
3. 123-125 Bedford Street
4. 124-126 Bedford Street
5. 127-129 Bedford Street
6. 128-130 Bedford Street
7. 131-133 Bedford Street
8. 132-134 Bedford Street
9. 135-137 Bedford Street
10. 131-133 Brook Street

Bedford Gardens 88 LLC consents to this submission.

Sincerely,

A handwritten signature in black ink, appearing to read "Paul Khakshouri", is written over a horizontal line. The signature is stylized and cursive.

Paul Khakshouri, Member
Bedford Gardens 88 LLC

Property Name: 119-121 Bedford Street
Property Address: 119-121 Bedford Street, Hartford
SHPO Project Number: 12311

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- The building does not appear to qualify as a certified historic structure



Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on [the program's website](#).

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 120-122 Bedford Street
Property Address: 120-122 Bedford Street, Hartford
SHPO Project Number: 12312

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- The building does not appear to qualify as a certified historic structure



Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on [the program's website](#).

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 123-125 Bedford Street
Property Address: 123-125 Bedford Street, Hartford
SHPO Project Number: 12313

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- The building does not appear to qualify as a certified historic structure



Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on [the program's website](#).

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 124-126 Bedford Street
Property Address: 124-126 Bedford Street, Hartford
SHPO Project Number: 12314

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- The building does not appear to qualify as a certified historic structure



Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on [the program's website](#).

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 127-129 Bedford Street
Property Address: 127-129 Bedford Street, Hartford
SHPO Project Number: 12315

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
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- The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- The building does not appear to qualify as a certified historic structure



Authorized Signature

October 11, 2022

Date

In order to qualify for a reservation of tax credits, prior to filing a state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits, Form ITC-300b, the owner or authorized agent of the owner is required to obtain approval of the proposed rehabilitation plan from the SHPO. Please submit a state Part 2 application, Request for Approval of Rehabilitation Plan, Form ITC-300a, with the required documentation. The application is available for download on [the program's website](#).

NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 128-130 Bedford Street
Property Address: 128-130 Bedford Street, Hartford
SHPO Project Number: 12316

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
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- The building does not appear to qualify as a certified historic structure



Authorized Signature

October 11, 2022

Date

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NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 131-133 Bedford Street
Property Address: 131-133 Bedford Street, Hartford
SHPO Project Number: 12317

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
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Authorized Signature

October 11, 2022

Date

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NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 131-133 Brook Street
Property Address: 131-133 Brook Street, Hartford
SHPO Project Number: 12318

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
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Authorized Signature

October 11, 2022

Date

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NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 132-134 Bedford Street
Property Address: 132-134 Bedford Street, Hartford
SHPO Project Number: 12319

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
- The building appears to contribute to the significance of a potential historic district and will likely be listed if nominated by the State Historic Preservation Office
- The building appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the State and/or National Register nomination or district documentation on file is expanded
- The building does not appear to qualify as a certified historic structure



Authorized Signature

October 11, 2022

Date

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NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Property Name: 135-137 Bedford Street
Property Address: 135-137 Bedford Street, Hartford
SHPO Project Number: 12320

The CT State Historic Preservation Office (SHPO) has reviewed the Part 1 application, "Determination of Historic Structure Status," for the above-listed building and has determined that:

For NR/SR-Listed Properties

- The building qualifies as a certified historic structure
- The building does not qualify as a certified historic structure

For Preliminary Determinations

- The building appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- The building appears to meet the State Register Criteria for Evaluation and will likely be listed in the State Register of Historic Places if approved by the Historic Preservation Council.
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Authorized Signature

October 11, 2022

Date

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NOTE: submission of the state Part 2 application prior to the commencement of construction is required. However, any costs incurred prior to **approval** of the state Part 2 application shall not be considered as qualified rehabilitation expenditures for purposes of computing the amount of a tax credit reservation.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 119-121 Bedford Street
Project Address: 119-121 Bedford Street
SHPO Project: 12311

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation..
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.

In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary



documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 120-122 Bedford Street
Project Address: 120-122 Bedford Street
SHPO Project: 12312

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.



In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 123-125 Bedford Street
Project Address: 123-125 Bedford Street
SHPO Project: 12313

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.



In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 124-126 Bedford Street
Project Address: 124-126 Bedford Street
SHPO Project: 12314

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.
5. Skylight: The existing skylight must be preserved and not covered by new roofing. Photos of the preserved skylight must be submitted with the Part 4 Application – Request for Final Certification of Completed Rehabilitation.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment



is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.

In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 127-129 Bedford Street
Project Address: 127-129 Bedford Street
SHPO Project: 12315

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.



In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 128-130 Bedford Street
Project Address: 128-130 Bedford Street
SHPO Project: 12316

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.



In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 131-133 Bedford Street
Project Address: 131-133 Bedford Street
SHPO Project: 12317

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.



In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 131-133 Brook Street
Project Address: 131-133 Brook Street
SHPO Project: 12318

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.



In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 132-134 Bedford Street
Project Address: 132-134 Bedford Street
SHPO Project: 12319

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.



Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation..
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.

In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary



documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.

Project Name: 135-137 Bedford Street
Project Address: 135-137 Bedford Street
SHPO Project: 12320

The CT State Historic Preservation Office has reviewed the Part 2 application, "Request for Approval of Proposed Rehabilitation Plan," for the above-listed building and has determined that:

- The proposed rehabilitation plan described herein meets the *Standards*. This is a preliminary approval. Certification of rehabilitation can only be issued to the owner of a certified historic structure after the rehabilitation is completed.
- The proposed rehabilitation plan described herein meets the *Standards* **provided** the following conditions are met.
- The proposed rehabilitation plan described herein does not meet the *Standards*. Comments attached.


Authorized Signature

November 22, 2022
Date

CONDITIONS

The following conditions must be met prior to filing the state Part 3 application, Request for Preliminary Certification and Reservation of Tax Credits:

1. State Historic Preservation Review Board (SRB) Approval: The National Register nomination must be approved by the SRB prior to submitting a Part 3 Application – Request for Preliminary Certification and Reservation of Tax Credits. No reservation for tax credits will be issued before the nomination is approved.
2. Windows: More information about the proposed windows is required prior to approval. In order to ensure the proposed windows meet the Standards, detailed dimensioned shop drawings of the proposed replacement windows, showing them in relation to the wall assembly, must be submitted to the SHPO for review and approval prior to installation.
3. Main Entrance: Prior review and approval by the SHPO of the main entrance design, including dimensions, materials, and profiles, is required.

The remaining conditions must be met prior to filing the state Part 4 application, Request for Certification of Completed Rehabilitation include:

4. Flooring: General Note M on the proposed drawings provides for new LVT flooring throughout dwelling units and individual kitchen and baths per the unit matrix. The SHPO does not approve any plan to replace the historic hardwood flooring with LVT.

If, at any time prior to completion of the rehabilitation project, changes are contemplated to approved work, please use a Part 2 Amendment form to request approval from this office. The Part 2 amendment is solely for the purpose of ensuring that the project work continues to meet the program standards for rehabilitation.



In order to qualify for a reservation of tax credits, you are required to file a Part 3 application, "Request for Preliminary Certification and Reservation of Tax Credits," Form ITC 300b, with the necessary documentation. When that application is filed, a fee based on the estimated Qualified Rehabilitation Expenditures may be required.

If you have any questions, please contact me by telephone or e-mail at (860) 500-2362 or julie.carmelich@ct.gov, respectively.