

PZ-HIST-23-000323

Menu Reports Help

File Date: [12/10/2023](#)

Application Status: [Additional Info Required](#)

Assigned To: [Alexander Castro](#)

Description of Work: [The goal is to add an in-law suite to the already existing sun porch. We will utilize the sun-porch and add to it, with the structure moving into the back yard. It would be mirrored and be transitioned to a 4 season room. The windows and structure will all remain the same, it will be upgraded however, to allow it to be environmentally more efficient and a structure will not change. The addition will be off of the back of the sun-porch and go straight into the back yard. The new structure will match the existing house. Stucco and windows will match what currently exists in the rest of the house. We will use a composite window so it matches the rest of the house, yet is an efficient window.](#)

Application Detail: [Detail](#)

Application Type: [Historic Preservation](#)

Documents:	File Name	Document Group	Category	Description	Type	Docur
	Powell Presentation.pdf	PLNG_COA	Plans	These are the rough...	application/pdf	Upload
	Powell Presentation.pdf	PLNG_COA	Photos	Photos are included...	application/pdf	Upload
	Powell Presentation.pdf	PLNG_COA	Product Specs		application/pdf	Upload
	Owner Authorization Fo...	PLNG_COA	Owners Authoriz...		application/msword	Upload
	Powell Presentation 2.pdf	PLNG_COA	Plans	Please use this lin...	application/pdf	Upload

[Show all](#)

Address: [191 ELIZABETH ST, HARTFORD, CT 06105](#)

Owner Name: [POWELL IAN B](#)

Owner Address: [191 ELIZABETH ST, HARTFORD, CT 06105](#)

Application Name:

Parcel No: [109298064](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	POWELL IAN B	POWELL IAN B	Owner	Mailing, 191 Elizabeth...	Active
	Jaime Powell		Owner	Mailing, 191 Elizabeth...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #
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Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$250.00](#)

Total Fee Invoiced: [\\$250.00](#)

Balance: [\\$0.00](#)

Custom Fields: [PLNG_COA_CF](#)

GIS Information

Zoning District

[N-1-1](#)

Zoning Overlay

-

FEMA Flood Zone

-

Land Use Per Assessor

[RESIDENTIAL ONE FAMILY](#)

NRZ

[WEST END NRZ](#)

Neighborhood

[WEST END](#)

Local Historic District

-

Historic District

-

Historic Landmark/Site

State Historic District

-

Dispersion met?

[Yes](#)

Identify Dispersion

-

National Historic District

[Prospect Avenue](#)

General Project Information

Is this application a result of a violation notice?

[No](#)

Zoning Enforcement Case ID #

-

Is this a contributing building or structure?

[Yes](#)

Is this proposed work visible from the street?

[No](#)

Historic Review Types

New Construction/Addition

[Yes](#)

Exterior Alteration

[No](#)

Demolition

[Yes](#)

Signage

[No](#)

Solar Panel

[No](#)

Other

-

Does this project include a demolition?

[No](#)

If a demolition request, what alternatives have you sought?

-

Exterior Alterations

Windows

[√](#)

Doors

[√](#)

Porches/Walkways

[√](#)

Siding

Roofs

[√](#)

Mechanical Appurtenances

Other

-

Describe the existing conditions and materials

[Existing materials is Stucco on the outside of the entire house. Windows are thin .not efficient. There are 60 small windows on the sun-porch. Dry-rotted wood around the windows with holes allowing air to flow in.](#)

Describe the proposed materials

[Proposed materials will be keeping the sun-porch as it exists, just making it a 4 season room with efficient insulation, windows, flooring, etc. Nothing externally will be changed. The addition will utilize composite windows that will match the current windows in the rest of the house. The plan for the exterior will be Stucco to match the house as well.](#)

Hardships and Reason for Hardships

Is this an owner-occupied principal residence?

[Yes](#)

Is this a non-owner occupied residential building containing six (6) or fewer dwelling units?

[No](#)

Is this a commercial and industrial building?

[No](#)

Is this a request for demolition where there is no feasible and prudent alternative to demolition?

[No](#)

Other Payment Required

Green Infrastructure Fund Amount

-

City Tree Fund Amount

-

Complete Street Fund Amount

-

Describe Reason for Payments

-

Reason for Request

Reason for Request

Recommendation

Recommendation

Adverse Impacts on Neighboring Lands Suitability as Presently Zoned

Consistency with POCD

This is a dynamic label.

PLNG_COA_DIGEPLAN
Enhanced Doc List

Reason for Hardship

Cost of historic preservation recommendations:

Economic circumstances of the applicant: Lack of availa

Impact of the historic preservation recommendations on the district as a whole and on property value

Dates and Notices

Application Received

Open Hearing Deadline

Close Hearing Deadline

Decision Deadline

Extensions Requested?

If yes, describe how the dates abc

Notice sent to NRZ/CRCOG

Legal Ad #1

Legal Ad #2

Sign Affidavit Received

Certificate of Mailings Returned

Notice of Decision Published

Recordation Date

Approval Expiration Date

Sign Deposit Check #

Sign Deposit Date Received

Sign Deposit Check Amount

Public Hearing Date

Public Hearing Time

Meeting Link or Location

Document Link

Certificate of Compliance

As-Built Drawing Date

Type of Bond

Escrow Account #

Bonding Company Name

Bonding Contact Name

Bonding Primary Phone #

Bonding Email

Drawings Number of Sheets

Drawings Last Revised

Prior Approvals

Type of Permit/Authorization Issued By Issued Date Expiration Date

Resolution Clauses

Type Comment

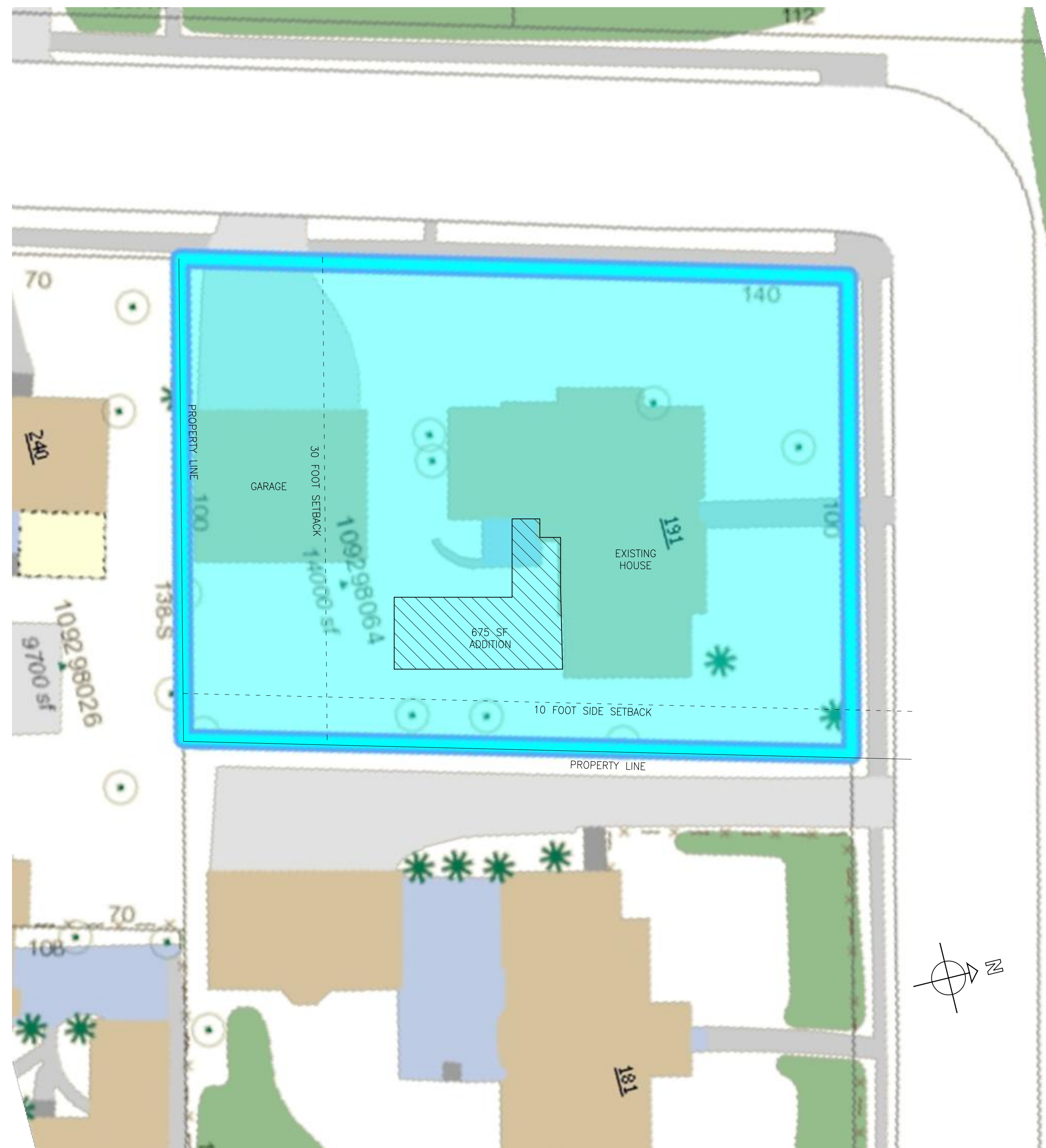
Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Intake		Additional I...	12/13/2023	Alexander Castro
	Planning and Zoning Re...				
	Public Notice				
	Historic Commission				
	Notice of Decision				
	Appeal Period				
	Permit Issuance				
	Permit Status				
	Certificate of Plannin...				
	Case Complete				

Condition Status: Name Short Comments Status Apply Date Severity Action By

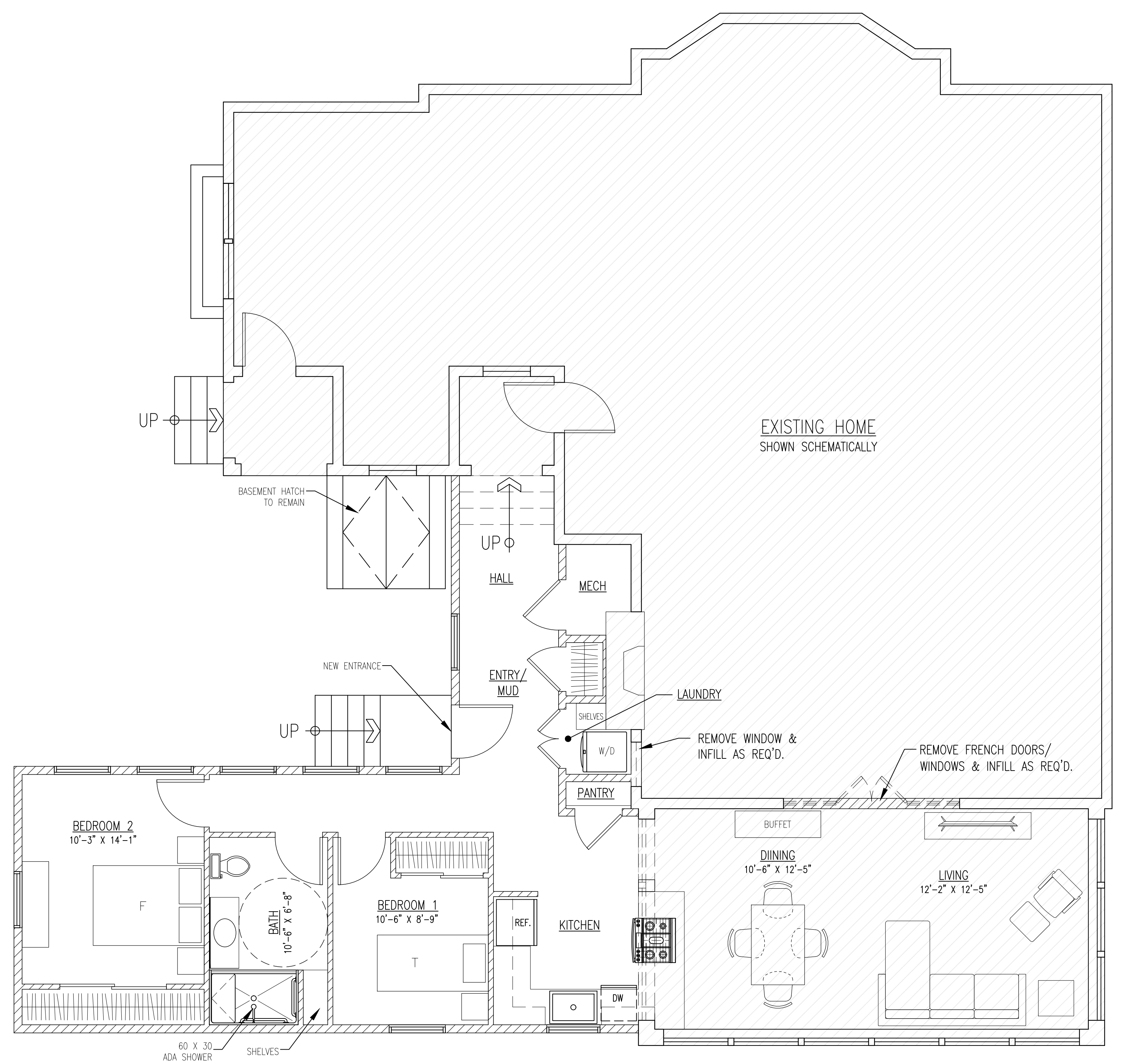
Application Comments: View ID Comment Date

Initiated by Product: ACA

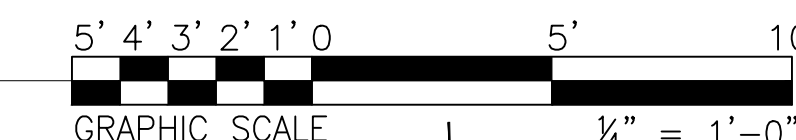
Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments



G1 SITE LOCATION PLAN
SCALE: 1/16"=1'-0"



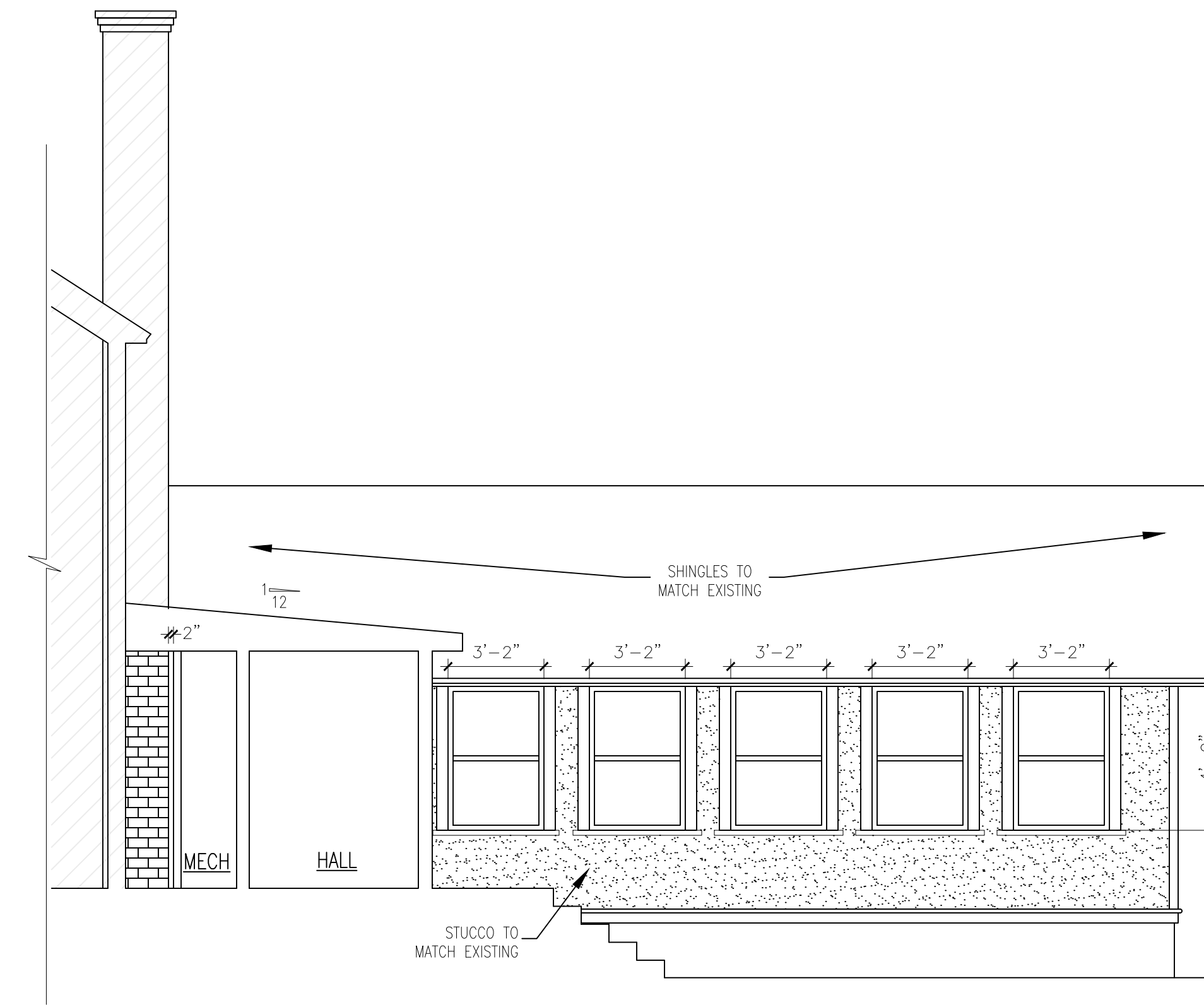
G5 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"



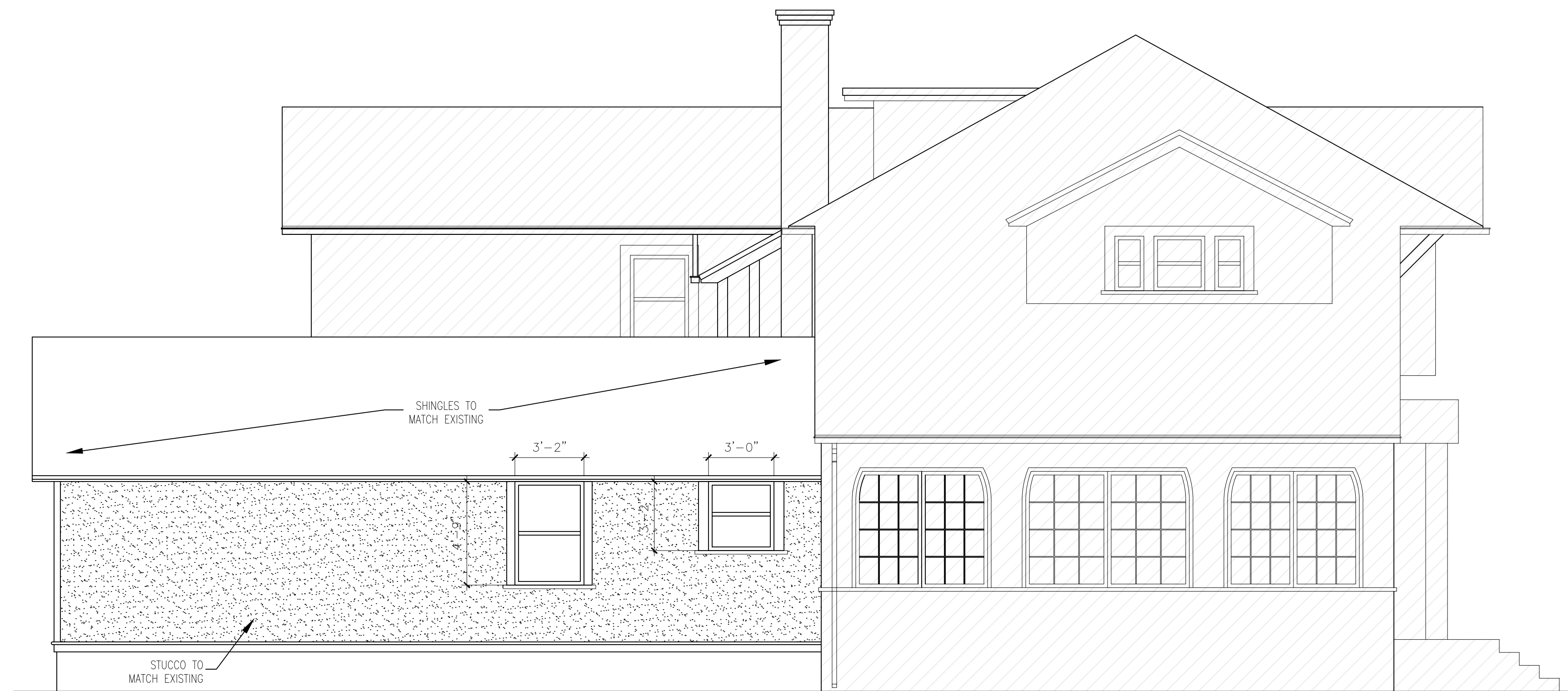
NOTES:
REVISIONS:
OWNER: JAIME & IAN POWELL 191 ELIZABETH STREET HARTFORD, CT 06105
BUILDER:
MEP ENGINEER:
STRUCTURAL / CIVIL ENGINEER:
ARCHITECT JAHNKE ARCHITECTURE, LLC 91 WARRENTON AVENUE HARTFORD, CT 06105 860.748.5924
PHASE: SCHEMATIC DESIGN
ADDITIONS & RENOVATIONS 191 ELIZABETH ST. HARTFORD, CT
DRAWING NAME: SITE & FLOOR PLAN
DO NOT SCALE GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS COORDINATE ANY DIMENSIONAL INCONGRUENCIES BY ARCHITECT
JOB #: 22-020 FILE NAME: Powell_SD_080923
© 2023 JAHNKE ARCHITECTURE
DRAWN BY: ABM/JM/ILM DATE: 08.17.23
CHECKED BY: JWJ SCALE: AS NOTED
SHEET: A-1.0



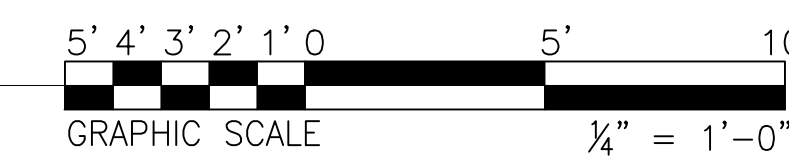
D2 PROPOSED SOUTH/SIDE ELEVATION
SCALE: 1/4"=1'-0"



D7 PROPOSED WEST/SIDE ELEVATION
SCALE: 1/4"=1'-0"



H2 PROPOSED EAST/REAR ELEVATION
SCALE: 1/4"=1'-0"



NOTES:

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JAIME & IAN POWELL
191 ELIZABETH STREET
HARTFORD, CT 06105

BUILDER:

MEP ENGINEER:

STRUCTURAL / CIVIL ENGINEER:

ARCHITECT
JAHNKE ARCHITECTURE, LLC
91 WARRENTON AVENUE
HARTFORD, CT 06105
860.748.5924

PHASE:

SCHEMATIC DESIGN

ADDITIONS &
RENOVATIONS

191 ELIZABETH ST.
HARTFORD, CT

DRAWING NAME:

EXTERIOR ELEVATIONS

DO NOT SCALE

GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS
COORDINATE ANY DIMENSIONAL INCONSISTENCIES BY ARCHITECT

JOB #: 22-020 FILE NAME: Powell_SD_080923

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DRAWN BY: ABM/JM/LLM DATE: 08.17.23

CHECKED BY: JWJ SCALE: AS NOTED

SHEET:

A-1.1



J-Arch
10-24-2023



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10-24-2023



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10-24-2023