PZ-HIST-23-000318

Menu Reports Help

File Date: 12/06/2023

Application Status: Additional Info Required

Assigned To: Alexander Castro

Description of Work: PZ-HIST-23-000269 Visit this application and decision to use composite windows. Composite windows are 25,000, $5000 less than wood. Vinyl windows are more afforc

Application Detail: Detail

Application Type: Historic Preservation

Documents:

File Name	Document Group	Category	Description	Type	Docum
Sigourney composite wi...	PLNG_COA	Product Specs		application/pdf	Upload
342 Sigourney.pdf	PLNG_COA	Owners Authoriz...		application/pdf	Upload
ACFrOgDF0W_-ANqgmouTXC...	PLNG_COA	Photos		application/pdf	Upload

Show all

Address: 344 SIGOURNEY ST, HARTFORD, CT 06112

Owner Name: JDM RESIDENTIAL REDEVELOPMENT LLC

Owner Address: 30 SCHOOL HOUSE LANDING, GRANBY, CT 06026

Application Name:

Parcel No: 199215055

Contact Info:

Name	Organization Name	Contact Type	Contact Primary Address	Status
Jannelle Marshall		Applicant	Mailing, 3 Ryefield Ho...	Active

Licensed Professionals Info:

Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: $0.00

Total Fee Assessed: $200.00

Total Fee Invoiced: $200.00

Balance: $150.00

Custom Fields: PLNG_COA_CF

GIS Information

Zoning District
N-2-3

Zoning Overlay
_

FEMA Flood Zone
_

Land Use Per Assessor
RESIDENTIAL THREE FAMILY

NRZ
UPPER ALBANY NRZ

Neighborhood
UPPER ALBANY

Local Historic District
_

Historic District
_

Historic Landmark/Site

State Historic District
_

Dispersion met?
No

Identify Dispersion
_

National Historic District
Upper Albany

General Project Information

Is this application a result of a violation notice?
No

Zoning Enforcement Case ID #
_

Is this a contributing building or structure?
Unknown

Is this proposed work visible from the street?
Yes

Historic Review Types

New Construction/Addition
No

Exterior Alteration
Yes

Demolition
No

Signage
No

Solar Panel
No

Other
PZ-HIST-23-000269

Does this project include a demolition?
No

If a demolition request, what alternatives have you sought?
–

Exterior Alterations

Windows
√

Doors

Porches/Walkways

Siding

Roofs

Mechanical Appurtenances

Other
–

Describe the existing conditions and materials
wood windows that need to be replaced

Describe the proposed materials
Vinyl with wood trim

Hardships and Reason for Hardships

Is this an owner-occupied principal residence?
No

Is this a non-owner occupied residential building containing six (6) or fewer dwelling units?
No

Is this a commercial and industrial building?
No

Is this a request for demolition where there is no feasible and prudent alternative to demolition?
No

Other Payment Required

Green Infrastructure Fund

Amount
–

City Tree Fund

Amount
–

Complete Street Fund

Amount
–

Describe Reason for Payments
–

Reason for Request

Reason for Request
–

Recommendation

Recommendation

–

Adverse Impacts on Neighboring Lands

–

Suitability as Presently Zoned

–

Consistency with POCD

–

This is a dynamic label.

PLNG_COA_DIGEPLAN
Enhanced Doc List

–

Reason for Hardship

Cost of historic preservation recommendations:

√

Economic circumstances of the applicant:Lack of availa

√

Impact of the historic preservation recommendations on the district as a whole and on property value

Dates and Notices

Application Received	**Open Hearing Deadline**	**Close Hearing Deadline**
–	–	–
Decision Deadline	**Extensions Requested?**	**If yes, describe how the dates abo**
–	–	–
Notice sent to NRZ/CRCOG	**Legal Ad #1**	**Legal Ad #2**
–	–	–
Sign Affidavit Received	**Certificate of Mailings Returned**	**Notice of Decision Published**
–	–	–
Recordation Date	**Approval Expiration Date**	**Sign Deposit Check #**
–	–	–
Sign Deposit Date Received	**Sign Deposit Check Amount**	**Public Hearing Date**
–	–	–
Public Hearing Time	**Meeting Link or Location**	**Document Link**
–	–	–

Certificate of Compliance

As-Built Drawing Date	**Type of Bond**	**Escrow Account #**
–	–	–
Bonding Company Name	**Bonding Contact Name**	**Bonding Primary Phone #**
–	–	–
Bonding Email	**Drawings Number of Sheets**	**Drawings Last Revised**
–	–	–

Prior Approvals

Type of Permit/Authorization	Issued By	Issued Date	Expiration Date
City Commission or Board Approval	Historic Review - PZ-HIST-23-000269	11/15/2023	

Resolution Clauses

Type	Comment

Workflow Status:

Task	Assigned To	Status	Status Date	Action By
Application Intake	Alexander Castro	Additional I...	12/13/2023	Alexander Castro
Planning and Zoning Re...				
Public Notice				
Historic Commission				
Notice of Decision				
Appeal Period				
Permit Issuance				
Permit Status				
Certificate of Plannin...				
Case Complete				

Condition Status:

Name	Short Comments	Status	Apply Date	Severity	Action By

Application Comments:

View ID	Comment	Date

Initiated by Product: ACA

Scheduled/Pending Inspections:

Inspection Type	Scheduled Date	Inspector	Status	Comments

Resulted Inspections:

Inspection Type	Inspection Date	Inspector	Status	Comments

Renovation to Existing Residence

342 Sigourney Street
Hartford, Connecticut 06105
August 13, 2018

DRAWING LIST

BUILDING CODE INFORMATION

2012 International Existing Building Code
2012 IRC portion of 2016 State Building Code

CLASSIFICATION OF WORK: LEVEL 3 ALTERATION
HISTORIC BUILDING

Use group: R-2, (Residential- 3 dwelling units)

Type of construction: 5B Unprotected.

Height: Existing 3 Stories

First Floor Area	= 1,229 sf
Second Floor Area	= 1,229 sf
Third Floor Area	= 864 sf
Total Habitable Area	= 3,322 sf

Occupancy Load = 3,322 / 200 = 17

LEVEL 3 ALTERATION	Required	Provided
IEBC 803 BUILDING ELEMENTS & MATERIALS 803.2 Shafts & Vertical openings 803.2.1 Exception (11)	30 Min. F. R.	30 Min. F. R.
IEBC 803.4 Interior Finishes IBC 2012- Table -803.9 Interior Finishes	Class-B (stairs) Class-C (all others)	Class-B (stairs) Class-C (all others)
IEBC 804.2.2 (1) FIRE PROTECTION: (Sprinklers) CT Amendement of IBC 2012 Sec. 903.2.8 Exception (3)	N/A	N/A
IEBC 804.4.1.6 Fire Alarm IFC 2012 Sect. 1103.7.6	N/A	N/A
IEBC 804.4.3 Smoke detectors CT Amendment of IEBC Section 804.4.3	Required	Provided
Carbon Monoxide Detectord CT Amendment of IEBC Section 804.5	Required	Provided
IEBC 805.3.1 MEANS OF EGRESS: (Number of Exits) IBC 2012, Sec. 1015.1, & Table 1015.1	2 Means of egress	2 Means of egress
IEBC 9052 Means of Egress Lighting CT Amendment of IBC Section 1006.1 (Exeption-3)	N/A	N/A
IEBC 9053 Exit Signs IBC 2012 Sect. 1011.1 (Exception-3)	N/A	N/A
IEBC 906 HANDICAPPED ACCESSIBILITY:	N/A	N/A

Valerio Giadone R.A.

21 Ashley Street, Hartford, Connecticut, 06105 email: giadone@comcast.net Tel. (860) 524-0248

SPECIFICATIONS AND NOTES

0.1 CONTRACT AND CONDITIONS

1. Contract shall be AIA Document A107, Agreement Between Owner and Contractor, or other approved contract.

2. Payments shall be as stipulated in the Agreement. Applications to be reviewed & approved by The Owner.

3. The Owner reserves the right to make material substitutions with ample notice to the Contractor.

4. The Owner reserves the right to request that the Contractor break down the prices of his Subcontractors at the time of negotiations.

5. Contractor is required to satisfy himself by personal examination of the site of the work as to the existing conditions, and the difficulties likely to be encountered in the construction of the work. Failure to visit the site will in no way relieve the Contractor from the necessity of furnishing any materials, or performing any work that may be required to complete the work in accordance with the drawings and specifications and without additional cost to the Owner.

6. No changes which affect the contract price shall be made to the project without the review and approval of the Owner. The Contractor shall advise the Owner of any changes required before proceeding with the work. Submit AIA Document G701, Change Order Form, for Owner approval before performing "said changes", unless otherwise directed by Owner.

7. The Contractor shall secure and pay for all permits, as-built foundation survey (if applicable), licenses, testing & inspections (as applicable), installing sanitary, water, gas, elect., cable TV, telephone, and misc. site utilities, curb cuts, site work and drainage, etc. Owner will furnish existing site survey, perc. tests, test borings, etc. if required.

8. Before submitting a requisition for final payment, Contractor shall secure and deliver the required Certificate of Occupancy to the Owner and submit a complete release of all liens arising out of this contract or receipts in full covering all labor, materials and equipment (as applicable) for which a lien could be filed, satisfactory to the Owner to indemnify the Owner against such at the time of final payment.

9. Contractor shall complete all punchlist items to satisfaction of Owner.

10. Contractor shall call for all pertinent inspections from the local authorities and not proceed with future phases of the project until same are passed by respective town officials.

11. Allowance amounts (if applicable) as described herein are for materials only, unless noted otherwise. The labor for the application or installation of allowance items shall be included in the bid price.

12. The separation of this specification into Divisions 1-16 is for convenience only. It is the responsibility of the General Contractor to determine who is to price and/or perform every part of this project, as well as to coordinate all aspects of this project.

13. The Contractor shall perform all construction in a good and workmanlike manner using materials that are of acceptable quality and properly rated by authorities having jurisdiction.

14. Architect has not been retained during Bid & Construction Phases. Therefore, all inspections & checking construction for conformance with plans & applicable codes, checking construction for proper structural connections, field changes & decisions, contractor meetings, reviewing & approving applications for payment, reviewing & approving submittals/samples, punch lists, reviewing & approving change orders for "extras", etc. are the Owner's responsibility.

15. The General Conditions of the Contract for Construction, AIA Document A201, is hereby incorporated into these construction documents.

16. No Subcontractor shall be allowed to work on the project until such Subcontractor has supplied to the Architect and Owner evidence that such Subcontractor has in effect a policy of insurance covering such Subcontractor for general liability claims in an amount of not less than $500,000 for each occurrence, and for its owned and non-owned vehicles and for Workers' Compensation coverage.

17. In no event shall Contractor use the services of any Subcontractor or materialman on the project without first supplying to the Architect and Owner the names of each Subcontractor or materialman and evidence of insurance coverage.

18. The amount of liability insurance required of the Contractor shall be not less than $1,000,000 and shall include automobile liability coverage for Contractor's owned and non-owned vehicles. Vandalism and theft of materials shall be the responsibility of the Contractor, who shall carry "all risk" insurance to cover his materials and tools during construction period.

19. All required insurance policies are to be in effect during total length of construction period. All Certificates of Insurance shall be secured and presented to the Architect and Owner prior to commencement of the work.

20. The Owner shall carry adequate property insurance on the value of construction for fire, theft, vandalism, and liability insurance.

21. Contractor shall arrange with the municipality and utility companies for the permits and connections that are part of any and all utilities of this project, including all required procedures.

22. No work to start until approval has been obtained from the Dept. of Buildings & any other authorities having jurisdiction, and all necessary permits have been secured.

23. Contractor shall warrant the work against any defects in workmanship or materials installed or provided by the Contractor for the period of one (1) year, starting from the issuance of Certificate of Occupancy All touch ups or follow ups shall be done by the punch list method as follows: Thirty (30) days after completion of all work stated in the Contract. The Owner shall be responsible for all appliance warranty cards. It is understood and agreed that problems caused by the normal shrinkage of materials and minor settlement do not constitute defects in materials or workmanship. The Contractor shall guarantee against any roof leaks for a period of one (1) year after the above date.

1.1 GENERAL CONDITIONS

1. All work shall be performed in accordance with the CT State Building Code, CT State Fire Safety Code, as well as any other applicable codes, ordinances and regulations of the City of Hartford, Water District regulations, Department of Environmental Protection, Utility regulations, etc., as applicable to work being performed.

2. The drawings and specifications are intended to cover all the materials, labor, incidentals, and services for the satisfactory completion of the work.

3. All manufactured items shall be installed per the respective manufacturers' specifications, recommendations and installation instructions & requirements. Contractor shall thoroughly review all information pertinent to manufactured items.

4. The job site shall be kept clean during construction, including the removal of debris from the house daily and from the premises when dumpsters are full. Provide temporary weathertight enclosures as deemed necessary to protect the new areas from the dust, dirt, debris from construction and from the elements. Repair any damage to new construction caused by lack of proper protection of such, without additional cost to Owner.

5. All surfaces, including windows, siding, etc. shall be cleaned prior to final payment.

6.

7. Contractor shall remedy without additional cost to the Owner any defects resulting from faulty materials, equipment or workmanship.

8. Contractor shall repair/replace at his expense any damages to the property of the Owner caused by his work or the work of his Subcontractors, methods of construction, exposure to weather, trafficking and storage of materials, and dust or dirt from construction.

9. Telephone communication with the site shall be maintained during working hours during length of construction and shall be paid by Contractor. Contractor shall maintain full set of latest drawings and specifications on site.

10. Locate dumpster and staging area per Owner's approval.

11. Contractor shall properly secure property at the end of each day.

12. Contractor shall verify all dimensions prior to construction and advise the Architect of any discrepancies. Do not scale dwgs., use dimensions as shown.

13. These drawings & specifications are instruments of service and will remain the property of the Architect, whether the project for which they are prepared is executed or not. They shall not be used on any other project, except by written authorization by Architect.

1.2 SUBMITTALS AND RESPONSIBILITIES

1. The Contractor shall provide to the Owner, for approval, shop drawings or fixture/product cut sheets of the following items before ordering, fabricating, or installing:

A. HVAC system.
B. Hardware.
C. Light fixtures & electrical equipment.
D. Plumbing fixtures and equipment..
C. HVAC equipment.
D. Kitchen layout (cabinets, countertop, appliances).

2. The Contractor shall submit to Owner, for approval, the following samples before ordering, fabricating or installing (as applicable):

A. Wood flooring.
B. Interior & exterior paint & stains.
C. Wood siding.
D. Roof shingles.
E. Special millwork (if any), trim & mouldings.
F. Elec. faceplates & misc. exposed elec., mech. & plumbing elements.
G. Gutters & leaders.
H. Contertops, cabinets, etc. for kitchens & vanities.

Nore: Submit any other items which may come up during construction, as requested by Owner.

Note: Any items either not specified on drawings or not included in these specifications, are to be figured at mid-range costs. Bidders may elect to list any critical items with their projected "allowance" figure in their bid.

3. The following items are not in the contract and will be supplied by Owner and installed by Contractor, unless otherwise noted.

A. Specialty lights & misc. items (labelled "X" on Lighting Plan).
B. Appliances

1.3 DEMOLITION

1. Remove designated building elements as shown on plans.

2. Contractor shall take every precaution to protect building and site elements, which are to remain, during construction.

3. Contractor is responsible for the removal of all debris from site.

1.4 PROPOSED WORK

1. Provide all labor & material for work as shown on plans. All elements noted on plans & described in specifications are to be included, unless otherwise noted. Any unclear items are to be addressed by Contractor, prior to finalizing contract.

2. All new elements including hardware, trim, siding, roof shingles, etc. are to require Owner's selection review & approval.

3. Contractor shall review construction and sequencing with Owner during pre-construction meeting.

2.1 SITEWORK

1. All erosion & sedimentation control devices shall be in place prior to commencing any excavation, as per City requirements.

2. The Contractor shall store all materials in such a way as to preserve the integrity of the adjacent properties, existing site, new and existing utilities.

3. OMIT

4. Verify location of all utilities prior to excavation. Use services of "Call Before You Dig". Call 1-800-922-4455 at least 48 hours prior to beginning excavation.

5. Excavate to proper depths as shown on the drawings to achieve the specified elevations of footings and slabs. Excavate and grade to achieve the levels for walks, porch, and perimeter grades. Remove any old existing roots in preparation for new foundation work. Provide all cut & fill, compaction, rough & finish grading, etc. for a complete job. Contractor is responsible for calculating & providing proper quantities of fill to allow a gradual grading away from building to permit proper drainage, swales, etc. for a complete job, as well as removing excess earth from site, with no additional cost to owner. Any excess cuts of soil shall be corrected with no additional cost to owner.

6. OMIT

7. Remove excavated rocks & boulders (if any). Remove roots of cut trees.

8. Contractor shall perform seeding and install plantings, shrubs, trees, etc.

9. OMIT

10. Connect all roof leaders to existing sub-surface drainage system or as indicated on drawings. Provide cleanouts as required.

11. OMIT

12. OMIT

13. OMIT

14. Remove excess material from site. No construction debris or trees, etc. are to be buried on site.

15. Contractor shall be responsible for any damage caused to existing pavement, curbs, utilities, or any other site elements to remain.

16. Slope grades away from building for proper drainage. Provide swales as required for proper site drainage.

17. No backfilling shall be done near foundations, until adequate bracing has been provided.

18. Contractor shall finish grade all areas of site. Slope grade away from building for proper drainage. Spread minimum 4" topsoil over graded and tamped base.

3.1 CONCRETE

1. If any field conditions preclude compliance with the drawings and/or conditions specified, the Contractor shall immediately notify the Architect and shall not proceed with any affected work.

2. Materials

A. Concrete shall be in accordance with the latest American Concrete Institute Building Code, ACI 318. All concrete shall develop design compressive strengths at 28 days.

B. Reinforcing bars shall conform to the requirements of ASTM A 615 (grade 60).

C. Welded wire fabric shall conform to the requirements of ASTM A 185 6x6 10/10 WWF (welded wire fabric).

D. Porous Base: 6" Bank run gravel or crushed stone.

E. Vapor Barrier: 6 mil polyethylene.

3. Minimum compressive strength of concrete (f'c):

A. Basement/Foundation Walls: 3000 psi.
B. Basement Slab: 2500 psi.
C. Conc. walk: 3500 psi.

4. Soil Bearing Capacity: 1500 psf (Contractor to verify).

5. Concrete shall be air entrained. Total air content (percent by volume of concrete) shall be not less than 5% or more than 7%.

6. Footings are intended to bear on undisturbed naturally occurring soil having the minimum bearing capacity noted above. Contractor shall remove any obsolete foundation remnants, and unsuitable soil, fill & compact for minimum bearing requirements.

7. Calcium chloride or admixtures containing calcium chloride are not permitted.

8. Use water reducing admixture in all concrete.

9. Use accelerating admixture in concrete placed at ambient temperatures below 50 deg. F. No concrete shall be placed at freezing temperatures, without taking proper precautions, in compliance with ACI.

10. Protect concrete work from physical damage or reduced strength which could be caused by frost, freezing action or low temperatures, in compliance with ACI 306.

11. When hot weather conditions exist that would seriously impair quality and strength of concrete, place concrete in compliance with ACI 305.

12. All anchor bolts, rebars, etc. shall conform to all standards of A.I.S.C. Manual and shall be free of rust and oil.

13. Provide 1/2" diam. x 18" galvanized anchor bolts at 4'-0" o.c. for all sill plates and within 12" of corners (unless otherwise noted, see details).

14. Provide min. of 5"x5"x1/2" steel column base plates (unless otherwise noted).

15. Provide 5"x10"x1/2" steel column caps for carrying beams (unless otherwise noted).

16. All reinforcing, unless otherwise noted, shall be continuous and shall have lapped splices. Reinforcement cover, unless otherwise noted, is as follows:

A. Walls: 3".
B. Slabs: 1 1/2" from top & bottom.
C. Grade Beams: 3" from top, bottom & sides.

17. Coordinate top of slab elevations with requirements shown on drawings. Tops of interior slabs shall be level or pitched as indicated on plans. Tops of exterior slabs shall pitch away from structure, unless otherwise noted. Coordinate foundation walls and slabs with plumbing, mechanical, and electrical requirements.

18. Remove snap ties from walls, patch defects once formwork is removed.

19. Slabs shall have troweled finish, float to required level (seal slabs per division 7, as applicable).

20. Install miscellaneous sleeves, bolts, pockets, anchors, vents, flashings, etc. as required.

5.1 METALS

1. See Division 3 for concrete reinforcing and anchor bolts.

2. See Division 6 for clips, hangers, fasteners, etc. used in structural and non-structural wood framing.

3. See Division 7 for metal flashing, vents, drip edges, etc.

4. Structural Steel: All structural steel shall conform to ASTM A36 and shall conform to the specifications and requirements of the latest edition of the American Institute of Steel Construction (AISC) Manual of Steel Construction.

5. Steel shelf angles, if any, in contact with earth, concrete or masonry shall be galvanized.

6. Foundation vents shall be galvanized.

7. Metal light wells (if applicable) around basement windows shall be galvanized.

8. Gutters & downspouts shall be bracketed copper w/ mesh covers. Units shall be sized per load. Review specific vertical routing of downspouts with Architect, prior to installation.

9. Provide all miscellaneous bolts, angles, plates, ties, etc. as required or deemed necessary for a complete job.

10. Bearing plates shall be at least 1/4" thk. See plans and details for specific sizes. Plates shall be set in non-shrink grout.

6.1 WOOD

A. Materials

1. Dimension Framing Lumber: shall be straight and free of defects, 19% maximum moisture content, of the following species and grade:

Douglas Fir-Larch No. 2
Repetitive member use: Fb = 1006 psi
Single member use: Fb = 875 psi
Horizontal shear: Fv = 95 psi
Modulus of Elasticity: E = 1,600,000 psi

Rafters, joists, studs & posts shall be kiln dried.

2. Laminated Veneer Lumber: (Microlam LVL) manufactured by the Trus Joist Corporation. Fb = 2800 psi minimum, Fv = 285 psi, E = 2,000,000 psi. and identified as required in ANSI/AITC A190.1 and ASTM D 3737.

3. Pressure Treated Southern Yellow Pine: shall be used for sills and plates in contact with concrete foundation walls and slabs, deck & porch const., and wherever noted on Sections & Details.

4. Roof & Wall Sheathing: 1/2" thk. A.P.A. rated plywood sheathing. Exposure 1 Grade CD or CDX. and shall be fastenedt directly to structural framing members.

5. Roof Sheathing for Wood Shingle Roofing (if applicable): 1x3 spruce lathe at 5" o.c. & bulked solid on ridges & valleys.

6. Subfloor: 3/4" thk. plywood, tongue & grooved, glu-nailed.

7. Use joist and beam hangers, fasteners, clips, ties, etc. as required for a complete job, for proper connections. Use Simpson Strong-Tie connectors. Flush header conditions are to require strap-type hangers for beams and joists with strap to rest on top (full width) of supporting beams. For Microlam LVL beams & headers and TJI joists, use proper hangers, fasteners, etc. as required, as shown in Trus-Joist Corporation Reference Guide and Simpson Strong-Tie: Connectors For Use With Wood Web Products. Provide Simpson Strong-Tie connectors at floor to floor connections, roof rafters to wall bearing connections, at roof ridge connections.
Use connection: CMTS, HTS30C, LSTA, types respectively and install as recomended by manufacturer.

8. See Framing Plans & Basement Plan for structural sizes.

B. Design Loads

First Floor: 40 psf live load (Living areas)
Second Floor: 30 psf live load (Bed rooms)
40 psf live load (bathrooms)
Attic Floor: 30 psf live load (Bed rooms)
Roof: 30 psf live load

Soil Bearing Capacity: 1500 psf (Contractor to verify)

C. Execution (as applicable)

1. All nailing & fastening shall be in strict compliance with the State of CT Nailing Code & Building Code or where applicable standards are greater, the American Plywood Association, the Trus Joist Corporation and the Simpson Strong-tie Company, Inc. All exterior nails shall be galvanized.

2. TJI Joist Floor Nailing Requirements (if applicable):

A. Nail joists at bearings with 4-8d common nails (2 each side), 1 1/2" minimum from end to avoid splitting.

B. Nail TJI joist blocking or rim to bearing plate with 8d nails at 6" on center. When used for shear transfer, nail to bearing plate with same nailing as the plywood shear schedule.

C. Nail TJI rim joist, 3/4" CDX plywood rim, or plywood closure to TJI joist with 4-8d common nails, two each at top and bottom flange. With 14" and 16" TJI rim joists, use 16d nails.

Note: See Trus-Joist Reference Guide for Floor Details, filler and backer block information, special requirements, etc. for proper installation.

3. Microlam LVL Beams and Headers Nailing Requirements:

A. When top loaded, fasten together multiple beams with a minimum of 2 rows of 16d nails at 12" o.c. Use 3 rows of 16d nails at 12" o.c. for 14", 16" and 18" beams. For side loaded beams, check Trus-Joist Reference Guide or check with Architect.

Note: See Trus-Joist Reference Guide for Details and special requirements for proper installation.

4. For all flitch plates, sandwich steel plates between 2x's with 1/2" diam. stl. bolts @ 2'-0" o.c., staggered top and bottom, and (2) 1/2" diam. bolts (vertically) at each end of beam.

5. Beams made up of 4 or more elements to be bolted with 1/2" diam. stl. bolts @ 2'-0" o.c., staggered top and bottom, and (2) 1/2" diam. bolts (vertically) at each end of beam.

6. Base and bearing plates to be properly located as to ensure alignment of beams and columns.

6.A Top plate. Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and intersections with bearing partitions. End joints in top plates shall be offset at least 24 inches. Joints in plates need not occur over studs. Plates shall be not less than 2-inches nominal thickness and have a width at least equal to the width of the studs.

Exception: A single top plate may be installed in stud walls, provided the plate is adequately tied at joints, corners and intersecting walls by a minimum 3-inch-by- 6-inch by a 0.036-inch-thick galvanized steel plate that is nailed to each wall or segment of wall by six 8d nails on each side, provided the rafters or joists are centered over the studs with a tolerance of no more than 1 inch (25 mm). The top plate may be omitted over lintels that are adequately tied to adjacent wall sections with steel plates or equivalent as previously described.

7. Provide min. bearing length of 3 1/2" for all Microlam LVL beams & headers.

8. Openings in floors, walls, ceilings or roofs shall be double framed. Provide double floor joists below partitions parallel to floor framing.

9. Grade marked lumber for structural use and sheathing shall bear grade mark as delivered to site.

10. All built-up wood beams to be spiked together, U.O.N.

11. All built-up wood columns to be spiked together.

12. Provide 5"x5"x1/2" steel column base plates, U.O.N.

13. Provide 5"x10"x1/2" steel column caps for beam bearing, U.O.N.

14. Provide solid blocking or diagonal bridging (wd. or metal) between floor joists at 8' max. intervals. Provide cats in walls greater than 8'-0" high.

15. Fire stop concealed floor penetrations and cut off all stud walls in excess of 8'-0". Firestopping shall consist of U.L. approved noncombustible materials, securely fastened in place.

16. Provide firestopping at all concealed spaces of stud walls including furred or studded-off spaces and at ceiling to roof levels, interconnections between horizontal spaces (i.e. soffits over cabinets, drop ceilings, cove ceilings, etc.) and openings around vents, pipes, with noncombustible materials.

17. The integrity of all firestopping shall be continuously maintained, and shall not be concealed from view until inspected and approved.

18. Stagger panel joints of plywood sheathing and decking, avoid horizontal panel joints on walls at floors, glue and nail subfloors to floor joists.

19. Glue and nail plywood sheathing to studs in internal shear walls.

20. Materials shall be stored off the ground and are to be covered and protected from the elements.

21. Any requests for alternatives or deviations are to be reviewed with Architect for possible analysis and approval, prior to construction.

22. If any field conditions preclude compliance with the drawings and/or conditions specified, the contractor shall notify the architect and shall not proceed with any affected work.

23. Provide vertical supports below all beams and headers: min. (2) 2x6 built-up spiked posts or min. (2) 2x4 built-up spiked posts, as required, u.o.n. Provide solid blocking below beams with multiple studs or posts equal to or exceeding width of beam supported. Blocking is to be solid & continuous from beam down to foundation or other supporting structure.

24. Add plywood fillers at headers, as may be required.

25. Provide solid blocking between studs in all bearing walls at mid-height.

26. Drilling and notching-studs. Drilling and notching of studs shall be in accordance with the the state oc Ct Building codes and thefollowing:

1. Notching. Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25 percent of its width. Studs in nonbearing partitions may be notched to a depth not to exceed 40 percent of a single stud width.

2. Drilling. Any stud may be bored or drilled, provided that the diameter of the resulting hole is no more than 60 percent of the stud width, the edge of the hole is no more than 5/8 inch (16 mm) to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior walls or bearing partitions drilled over 40 percent and up to 60 percent shall also be doubled with no more than two successive doubled studs bored. See Figures R602.6(1) and R602.6(2).

Exception: Use of approved stud shoes is permitted when they are installed in accordance with the manufacturer's recommendations.

27. All plate, header, rafter & ridge heights, etc. have been calculated as per horizontal floor plan dimensions. Any deviations in the field may require vertical height adjustments by Contractor in order to accommodate roof pitch and overall dimensional coordination. If there is uncertainty about the need for potential adjustments, or if assistance is required for calculating modified heights, Contractor shall check with Architect prior to construction.

28. All structural wood work shall conform to NFPA "National Design Specifications for Stress-Grade Lumber and Its Fastenings". All structural work to comply with CT State Building Code.

General Notes

No.	Revision/Issue	Date

NORTH

SEAL

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RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

SPECIFICATIONS

Project No:	
Date: July, X 2018	S-1
Scale: NTS	

6.2 EXTERIOR WOODWORK AND TRIM

A. Materials (as applicable)

1. Exterior wide board trim shall be cedar or clear pine (as applicable).

B. Execution

1. Install plumb, level, straight and true with no distortions. All joints are to be tight and flush.

2. Install standing and running trim with minimum number of joints possible using full length pieces to the greatest extent possible.

3. Backprime lumber for painted finish exposed on exterior.

4. See drawings for specific locations of exterior woodwork.

6.3 ARCHITECTURAL WOODWORK

1. See Division 8 for interior and exterior doors and windows.

A. Materials

1. Painted Interior Trim shall be clear or finger jointed pine or poplar. MDO board may be used for flat trim in all areas to be painted.

2. Interior trim with natural finish, if any, shall be pine or oak.

3. Misc. wood trim, base & mouldings as shown on dwgs. Install wood base in all areas.

4. Interior door & window casing: match existing.

5. Interior wood shelving shall be 3/4" Birch. Clear laqueur finish.

6. Kitchen cabinets shall include all cabinets, countertops, backsplash panels (as applicable), & trim. Provide shop dwgs. for Owner review and approval, prior to ordering. Coordinate all appliance selections with Owner.

7. New wood flooring shall match existing tongue & grooved flooring installed over 15# felt.

7.1 THERMAL AND MOISTURE PROTECTION

1. Comply with State of CT Energy Conservation Code.

2. Contractor shall verify building envelope thightenness by blower door test.
Blower door test to meet <7 ACH at 50 Pa

A. Materials

1. All insulation materials by Owens Corning or approved equal to meet required "R" values.

2. Batt insulation (see sections/details for locations and where kraft or foil-faced type is required):

A. 6" thk. R-19
B. 3 1/2" thk. R-15
C. 9 1/2" thk. R-30

3. R-26 closed cell foam insulation at all exterior walls.(if applicable)

4. Sound attenuation batt shall be 3 1/2" thk. unfaced (if applicable).

5. Aluminum or plywood insulation baffles at eave ends and foam channels (as applicable), as required to assure proper air circulation in roofs at eaves and in cathedral ceilings.

6. 4 mil polyethylene vapor barrier at interior face of studs.

7. 30 mil rubber waterproof membrane barrier below concrete slab.

B. Execution

1. Install foam channels (where shown on sections/details, if applicable), and insulation baffles in roof structure as required to assure free circulation of air within roof structure.

2. Drill 1/2" diam. holes in rafters wherever headers occur (i.e. skylights, etc.), which block the flow of air, in order to provide adequate ventilation in all rafter bays.

3. Insulate, in general, as follows:

A. R-30 in floors over unheated spaces.
B. R-5 at perimeter insulation for slab on grade.
C. R-49 in roof structures above attics.
D. R-19 in ceiling between second floor unheated attics.

4. Install vapor barriers.

7.2 ROOFING

A. Materials

1. 30 year Architectural fiberglas asphalt shingles by GAF, Georgia Pacific, or approved equal.

2. Ice guard roof membrane by W.R. Grace.

3. Galvanized roofing nails.

4. Aluminum drip edges, aluminum roof and wall flashing, as required. Ridge and eave vents (See Section 7.3: Flashing and Sheet Metal).

B. Execution

1. Ice guard roof membrane shall be installed at valleys and crickets: 24" wide folded into valleys, 18" lap above crickets.

2. Install roof shingles as per manufacturer's instructions over 15# felt.

3. For roof slopes less than 4:12 (if applicable), provide strip asphalt shingles (wind resistant w/ factory applied adhesive), double underlayment & cemented eave flashing, as per code.

7.3 FLASHING AND SHEET METAL

1. Materials, assemblies and workmanship shall conform to SMACNA architectural metalwork standards.

A. Materials

1. Aluminum flashing for typical roof, wall, door, sill, valley and cricket conditions. Flash all joints between materials, at all openings, breaks in building envelope, & changes in roof pitch, as applicable.

2. Ridge Vent shall be Shinglevent II by Air Vent, Inc. or Cor-vent. Cover with cap shingles.

3. Soffit vents shall be 2" continuous aluminum screen vent at all roof overhang conditions (u.o.n.). See sections/details.

4. Aluminum drip edge at all roof edge conditions.

5. Roof/wall vents shall be Flash Filtervent by Air Vent, Inc. (if applicable).

6. Fasteners: same metal as flashing/sheet metal or other non-corrosive metal as recommended by sheet manufacture. Match finish of exposed heads with material being fastened.

7. Provide drip flashing at all openings, material joints, as applicable.

8. Caulking & sealants.

B. Execution

1. Coat back-side of aluminum flashing with a sulphur free bituminous coating where required to separate metals from corrosive substraits or provide permanent separation.

2. Flash all roof bends, intersects with wall, valleys, penetrations and chimneys, as required, with step flashing, etc.

3. Provide closed valleys (overlapping shingles).

4. Install all ridge vents, soffit vents, drip edges, fasteners, etc. for a complete job.

5. Caulk and seal all exterior joints around windows, misc. openings & penetrations, as applicable. Weatherstrip as required.

7.5 EXTERIOR SIDING

A. Materials

1. Provide new exterior siding to match existing as required.

2. Air Infiltration Barrier: Tyvek, manufactured by DuPont.

3. Nails: galvanized.

B. Execution

1. Preplan coursing to maximize alignment with door, window and other trim.

2. Sealants, stains, etc. as per Division 9.

3. Install plumb, level, straight and true with no distortions. All joints are to be tight and flush; allow for movement due to potential temperature & humidity changes.

8.1 DOORS & WINDOWS

1. See Door & Window Schedules for all types & sizes. See Floor Plans for referenced locations.

2. The Owner shall approve all door hardware prior to ordering.

3. Door glazing, glazing flanking doors within 12", glazing within 18" of finish floor and over 9 sf, and glazing adjacent tub/shower platforms shall be safety glass per requirements of the State of CT Building Code.

A. Materials

1. As selected by owner: Use clear double-pane insulating low E glass units. Exterior aluminum clad (color by Owner), with permanent interior, exterior grilles and spacer & insect screens.
Provide jamb extensions, installation clips, etc. as required for a complete job.

2. OMIT

3. Provide & install all hardware, locks, etc. for a complete job. Owner to approve selections.5B. Execution

1. Install units plumb and level per manufacturer's instructions.

2. Strip all window and door openings with 15# felt or Tyvek fold inside rough openings before installing units.

9.1 GYPSUM BOARD

A. Materials

1. 1/2" Gypsum Board: Typical walls & ceilings.

2. 1/2" Moisture Resistant Gypsum Board: All Bathroom walls & ceilings, Kitchen and Laundry Rm. walls at sinks, and any other areas subject to exposure or potential moisture.

3. 5/8" Firecode Gypsum Board: Garage and Utility Rm. (if applicable) walls and ceiling.

B. Execution

1. All gypsum board shall be screwed to wood structural members as per CT State Building Code requirements.

2. Gypsum board shall be fitted with all corner and casing beads for a complete installation.

3. Drywall finishing joint tape compound over screws and joint tape compound and tape over joints between gypsum panels. Compound shall be applied in 3 coats.

4. Align all new gyp. bd. with existing wall & ceiling finish surfaces for a continuous finish. Tape, spackle, sand & paint all new surfaces, including affected existing areas.

9.4 WOOD FINISH ON FLOORS

A. Extent: see finish plans.

B. Materials
1. Oil Stain: Minwax or equal.
2. Urethane: Water borne, Pacific Strong or equal.

C. Execution

1. Wood floors shall be scraped and sanded and stained with oil base stain (2 coats). Color to be selected by Owner. Finish over stain shall be Urethane (3 coats). Sand lightly between coats.

9.5 PAINTING

A. Extent: exterior trim & clapboard siding, interior woodwork, walls & ceilings.

B. Materials (as applicable)

1. Exterior stains and preservatives: Cabot, Olympic or equal.
2. Exterior trim primer: Pittsburgh Paints.
3. Exterior trim paint: Pittsburgh Paints latex or oil based.
4. Exterior metal primer & paint: Sherman Williams.
5. Concrete slab sealer: Sherman Williams Concrete and Terazzo sealer.
6. Interior walls, ceilings & trim primer & paint: Pittsburgh Paints.
7. Natural interior woodwork finish: Wood stain & wax finish by Minwax or equal.

C. Execution

1. Provide samples for Owner's approval, prior to ordering.

2. Exterior trim, siding, doors, decks, porches, railings, and fascias, etc. to receive one coat primer and two coats of paint.

3. Interior paint finish: one coat of primer and two coats of paint for all wood trim (designated to be painted), interior doors, windows & columns, and gyp. bd. walls & ceilings, in all areas.

4. Natural interior woodwork finish: 0-2 coats of stain and 1-2 coats of wax, polished, as determined by Owner.

Notes: 1. All surfaces to receive a finish; if unsure about type, check with Owner.
2. Alternate paint, stain or preservative products require prior approval.
3. If Contractor proposes less coats than specified, call attention within bid.

15.0 MECHANICAL

1. All plumbing, & heating work shall be performed in strict compliance with the 2012 International Residential code, CT state building & Fire Codes, as well as any other applicable codes, or the City of Hartford.

2. All plumbing, & heating work shall be fully integrated. The resulting systems shall be fully operational and in perfect working order.

3. Plumbing & HVAC Subcontractors shall secure separate permits for their work, as per Town requirements.

4. Plumbing & HVAC Subcontractors shall provide all labor & material for a complete job. All material shall be U.L. approved.

15.1 PLUMBING

1. All plumbing work shall be performed in strict compliance with CT State Building & Plumbing Codes and any other applicable codes, ordinances & regulations of the City of Hartford and local Dept. of Public Works & Health.

A. Equipment

1. Plumbing Subcontractor shall check existing water service, etc. for capacity and proposed requirements, during initial investigation & estimating of costs. 4. Install all plumbing fixtures and fittings. Installation shall include all necessary water distribution piping, venting of fixture groups, traps, drain piping, as well as misc. hangers, sleeves, clips, etc. for a complete installation.

2. The plumbing fixtures are subject to final approval by the Owner before ordering. Provide itemized cost figures. Provide cuts, types, colors, etc. for Owner's review and selection.

3. Supply piping shall be copper, 1/2" to each fixture and 3/4" to each fixture group, as required by code. Insulate all piping not located in heated spaces.

4. Waste line piping shall be PVC, 3" from water closets, 1 1/2" from other fixtures, and 4" to main or as required by code.

5. Vent risers shall be installed throughout the system connecting to the waste lines and carried through roof (properly flashed). Locate roof vents per Owner's approval.

6. Provide non-freeze type exterior spigots (if applicable).

7. Cleanouts shall be installed at the end of each horizontal run, at each branch connection, and at base of all vertical stacks, same size as pipe they serve.

8. Arrange hot water supply piping for adequate circulation.

9. All piping shall be properly pitched and valved for drainage of system.

10. Provide main house shut-off and drain. All fixtures to have individual shut-offs.

11. Provide and install all propane gas piping & hook-ups for gas water heater, Kitchen cooktop & dryer, (if applicable), with strict compliance with applicable codes, ordinances, and Town requirements.

12. All work shall be guaranteed for one full year after date of acceptance by Owner.

15.2 HEATING.

1. All heating work shall be performed in strict compliance with CT State Building & Fire Codes, NEC, ASME, SMACNA ASHRAE, and any other applicable codes, ordinances & regulations of the Town of Lyme and local Dept. of Public Works & Health.

2. The heating system shall maintain 70 degrees inside when zero degrees outside and 75 degrees inside when 95 degrees outside.

A. Equipment

1. All piping, coils, filters, fans, etc. 2. Thermostats & controls,
3. All electrical components. 4. Exhaust fans with ductwork to exterior of house (cooktop hood). 5. All necessary insulation of equipment, ductwork & piping.

B. Execution

1. HVAC Subcontractor shall calculate heating & cooling loads and size system accordingly. Determine zones for optimum environmental control. Review all system requirements with Owner.

2. Verify size, location & other requirements for tank. Include all necessary metering and control devices. Secure all necessary permits and city approvals.

3. Provide & install entire HVAC system for a complete installation for existing and new areas. System & installation shall comply with all regulations & requirements, state & local codes & ordinances, Town requirements, Bldg. Dept. approvals, etc.

4. Contractor shall provide access and insulated spaces, to meet system requirements.

6. Electrical hook-ups to HVAC system, exhaust fans and all electrical equipment shall be performed by Electrical Subcontractor.

5. Install Kitchen cooktop hood exhaust systems.

6. Provide Owner with manufacturer's specifications, instruction manuals, etc.

7. Provide and install all gas piping & hook-ups for gas water heater, kitchen cooktop & dryer. in strict compliance with applicable codes, ordinances, and city requirements. Determine whether this is done by either Plumbing or HVAC Subcontractor.

8. All exposed elements (i.e. grilles, etc.) to be approved by Owner.
All work shall be guaranteed for one full year after date of acceptance by Owner.

16.1 ELECTRICAL

1. All Electrical work shall be fully integrated into other systems. The resulting system shall be fully operational and in perfect working order. The Electrical Subcontractor shall secure separate permits for his work. All electrical work shall be performed in strict compliance with the 2014 National Electrical Code (NFPA-70), CT State Building & Fire Codes, as well as any other applicable codes, ordinances and regulations. All material shall be U.L. approved.

The electric service shall be of sufficient capacity to meet the needs of this project. Electrical Subcontractor shall provide any and all calculations as may be requested by the Utility Co. or the City of Hartford. Provide 200 amp service. 3. Electrical Subcontractor shall provide all labor & material for a complete job.

A. Equipment & Systems

1. Lighting fixtures, lamps, including wiring, switches, dimmers, outlets & plates.
2. G.F.I. outlets.
3. Power wiring for all mechanical equipment.
4. Exhaust fans, wiring & controls.
5. Circuit breaker panel, disconnect, sub-panels, and electric meter.
6. Wiring & connections for all Kitchen appliances & equipment.
7. Telephone wiring. B. Execution

1. Connect to electric service. Verify size based on demand. Include and coordinate all necessary metering and control devices. Secure all necessary permits.

2. Electrical Subcontractor shall calculate electrical loads, and shall secure separate permit for his work, as per City requirements.

3. Electrical, TV, & Telephone service (as may be applicable) to be buried in PVC conduits, as per code, from existing street utilities.

4. Electrical Contractor shall determine the number of circuits required for safe operation.

5. Provide Owner with manufacturer's instructions, manuals, etc. for equipment.

6. Final location of switches, receptacles, thermostats, & fixtures shall be confirmed with the Owner at the job site. All switch groups shall be grouped according to the drawings in banks with single cover plates.

7. Locate all outlets as required by code and as directed by owner.

8. Provide & install G.F.I.'s at Kitchen, Laundry Rm., Bathrooms, garage, exterior areas, etc. as required by code.

9. Plates, switches & colors to be approved by Owner. Submit samples for approval.

10. OMIT.

11. Furnish & install direct wired 120V combination smoke/ carbon monoxide detectors (w/ battery backup) as required by code, and as shown on plans.

12. All work shall be guaranteed for one full year after date of acceptance by Owner. Install thermostat wiring before enclosing walls. Coordinate with HVAC Subcontractor.

13. Electrical Subcontractor shall provide Owner with selection cuts for electrical fixtures & components.18. Install all wiring, starters, switches, etc. for mechanical & other systems, as required. Coordinate with G.C. & other trades.

General Notes

No.	Revision/Issue	Date

NORTH

SEAL

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RENOVATIONS To:

342 Sigourney Street
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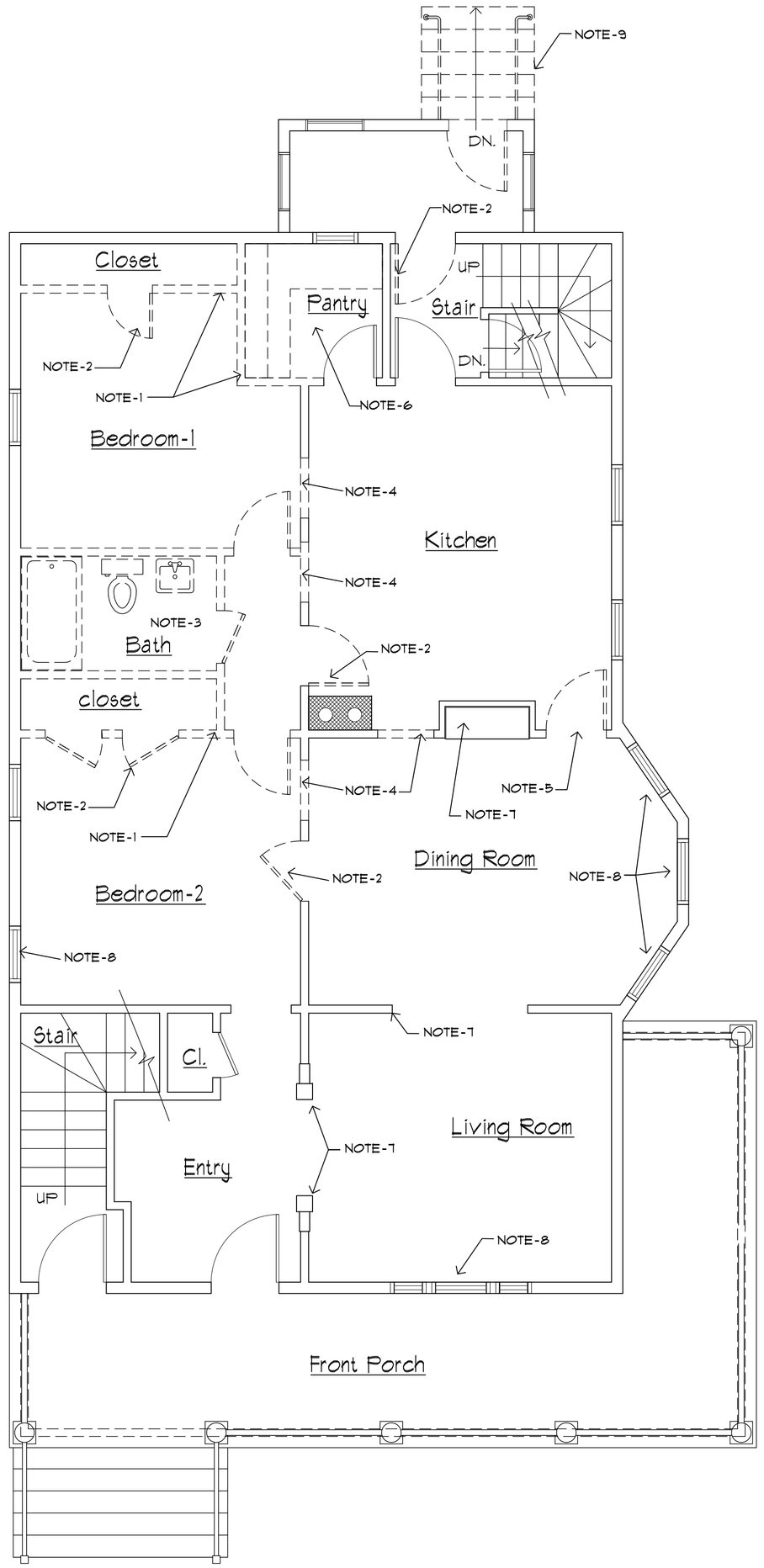
SPECIFICATIONS

Project No:	S-2
Date: July, X 2018	
Scale: NTS	



1 A-1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

A. Remove all existing electrical fixtures, devices, and wires back to the source, as required for new electrical system.

B. Remove all existing plumbing fixtures, pipes, etc. as required for new plumbing work.

C. Remove all existing mechanical equipment, pipes, ductwork, and all associated items as required for new mechanical system installation.

D. Remove and replace all damaged or deteriorated flooring or framing components to remain.

E. Remove all damaged or deteriorated wall and ceiling finishes as required for new construction. Retain and protect undamaged drywall or plaster finish where possible.

F. Where existing plaster walls and ceilings are indicated for removal, all plaster and lath shall be removed down to bare framing. Remove any miscellaneous plumbing and wiring as required unless indicated otherwise.

G. When removing existing components, care must be taken to ensure that adjacent surfaces to remain are not damaged. Repair any damage which might occur. Prepare for new finishes or layout.

H. Retain and protect all existing finish wood floor, wood trim, and millwork unless noted otherwise.

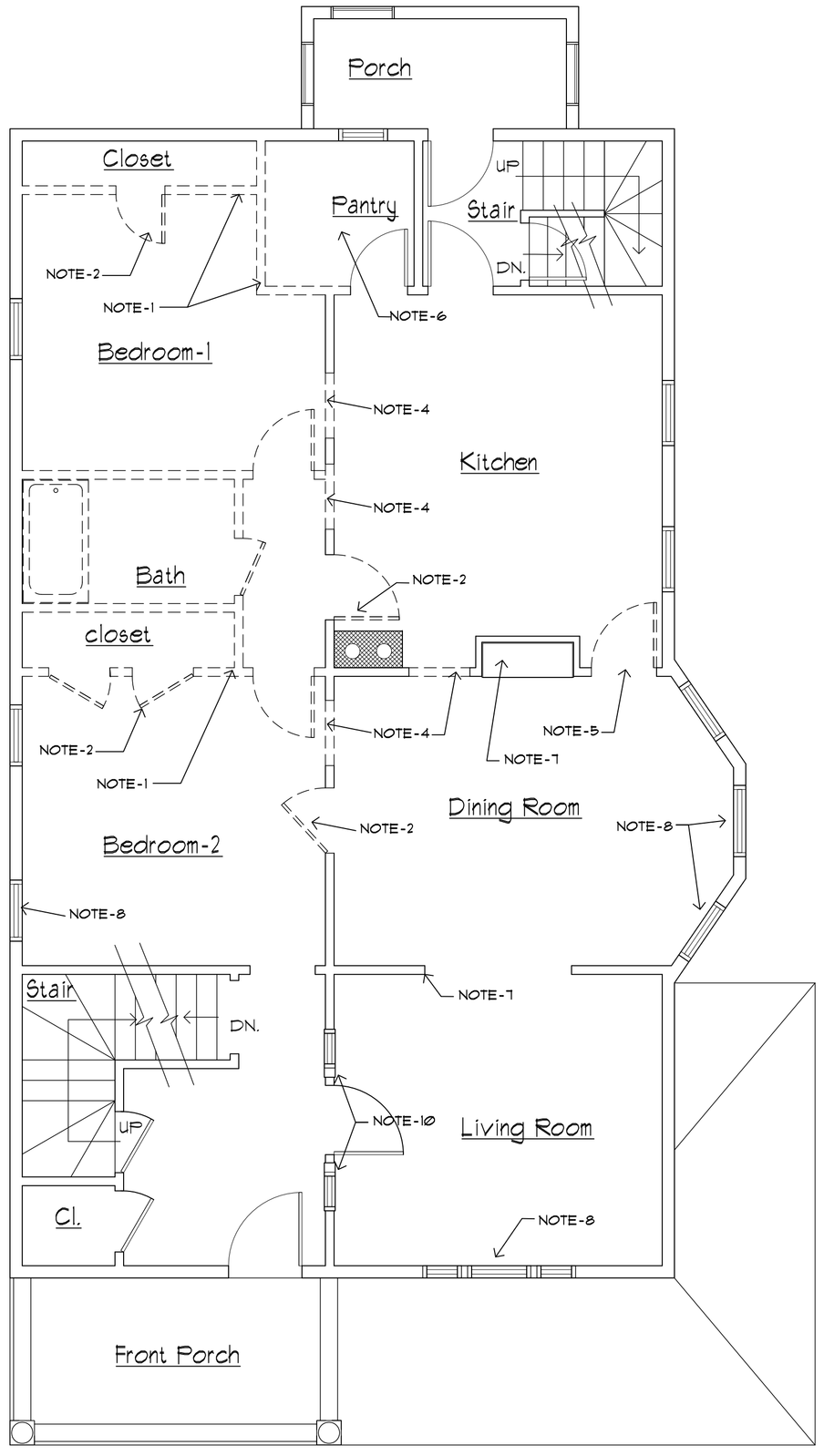
I. Retain drywall ceiling at second floor where existing.

J. All components slated for demolition shall be removed and legally disposed of off site.

K. Provide temporary shoring as required during demolition and maintain in place until permanent supports are installed. Maintain safe conditions at all times.

DEMOLITION NOTES

1. Remove existing walls and all associated electrical, plumbing etc. remove and salvage wood trim for reuse.
2. Carefully remove and salvage doors and trim for reuse.
3. Remove all plumbing fixtures, walls including all associated plumbing and electrical, remove floor finish to original wood sub-floor. Salvage all wood trim for reuse.
4. Remove portion of wall and frame door opening for new door location. See construction plans.
5. Carefully modify door, door frame, hardware and trim so as to make door swing in opposite direction.
6. Remove all shelves, cabinets etc. as required for new construction.
7. Retain and protect existing millwork, and trim unless noted otherwise. Typical.
8. Remove existing windows. Salvage and protect all interior and exterior trim for reuse. Typical.
9. Remove existing concrete stairs and metal railing in it's entirety.
10. Remove sidelights and modify existing door trim as required. See construction drawings.



1 A-1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

General Notes

No.	Revision/Issue	Date

NORTH

SEAL

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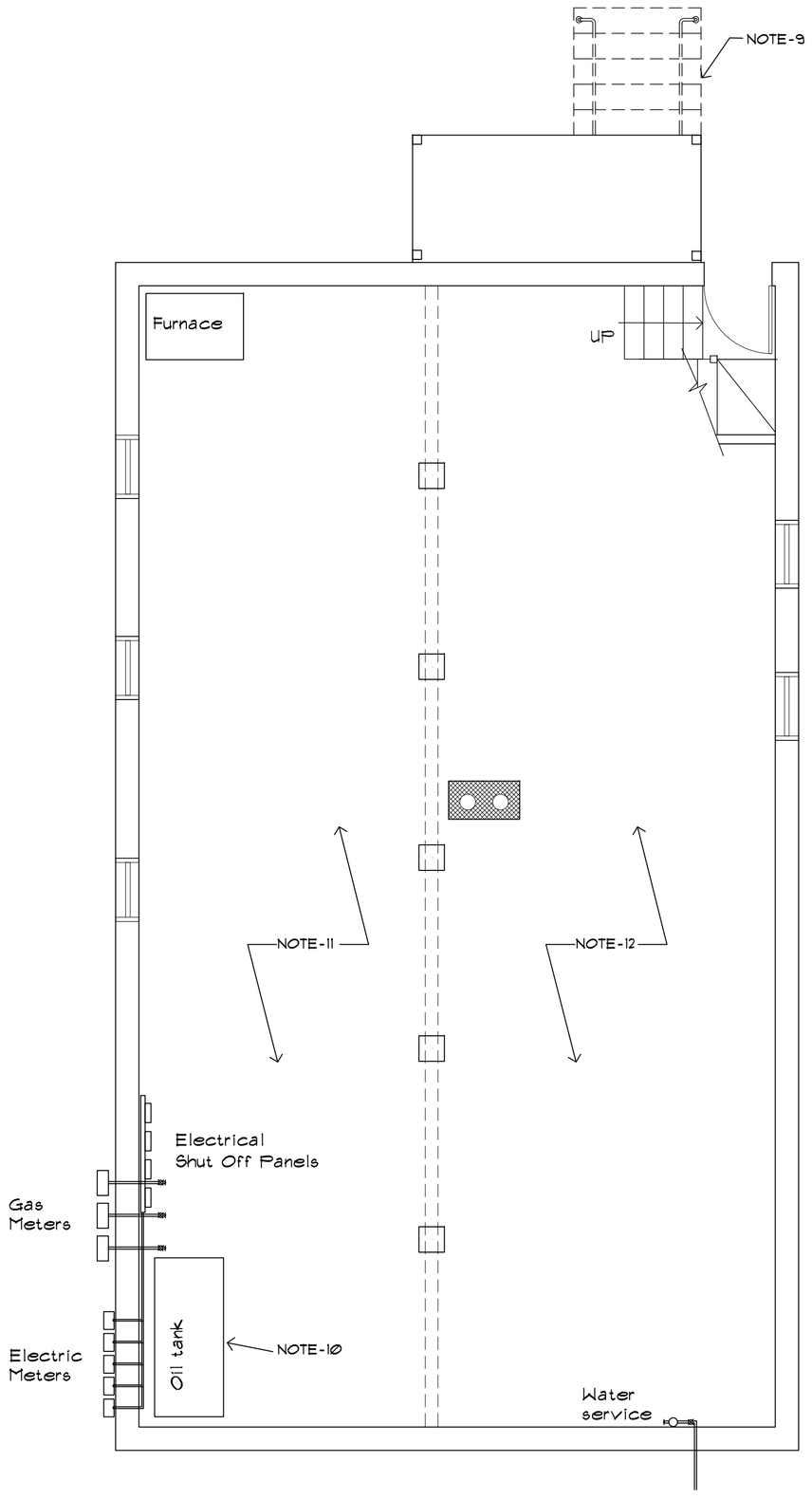
DEMOLITION PLANS

Project No:	
Date: July, X 2018	D-1
Scale:	



1 / A-1 BASEMENT PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES:

A. Remove all existing electrical fixtures, devices, and wires back to the source, as required for new electrical system.

B. Remove all existing plumbing fixtures, pipes, etc. as required for new plumbing work.

C. Remove all existing mechanical equipment, pipes, ductwork, and all associated items as required for new mechanical system installation.

D. Remove and replace all damaged or deteriorated flooring or framing components to remain.

E. Remove all damaged or deteriorated wall and ceiling finishes as required for new construction. Retain and protect undamaged drywall or plaster finish where possible.

F. Where existing plaster walls and ceilings are indicated for removal, all plaster and lath shall be removed down to bare framing. Remove any miscellaneous plumbing and wiring as required unless indicated otherwise.

G. When removing existing components, care must be taken to ensure that adjacent surfaces to remain are not damaged. Repair any damage which might occur. Prepare for new finishes or layout.

H. Retain and protect all existing finish wood floor, wood trim, and millwork unless noted otherwise.

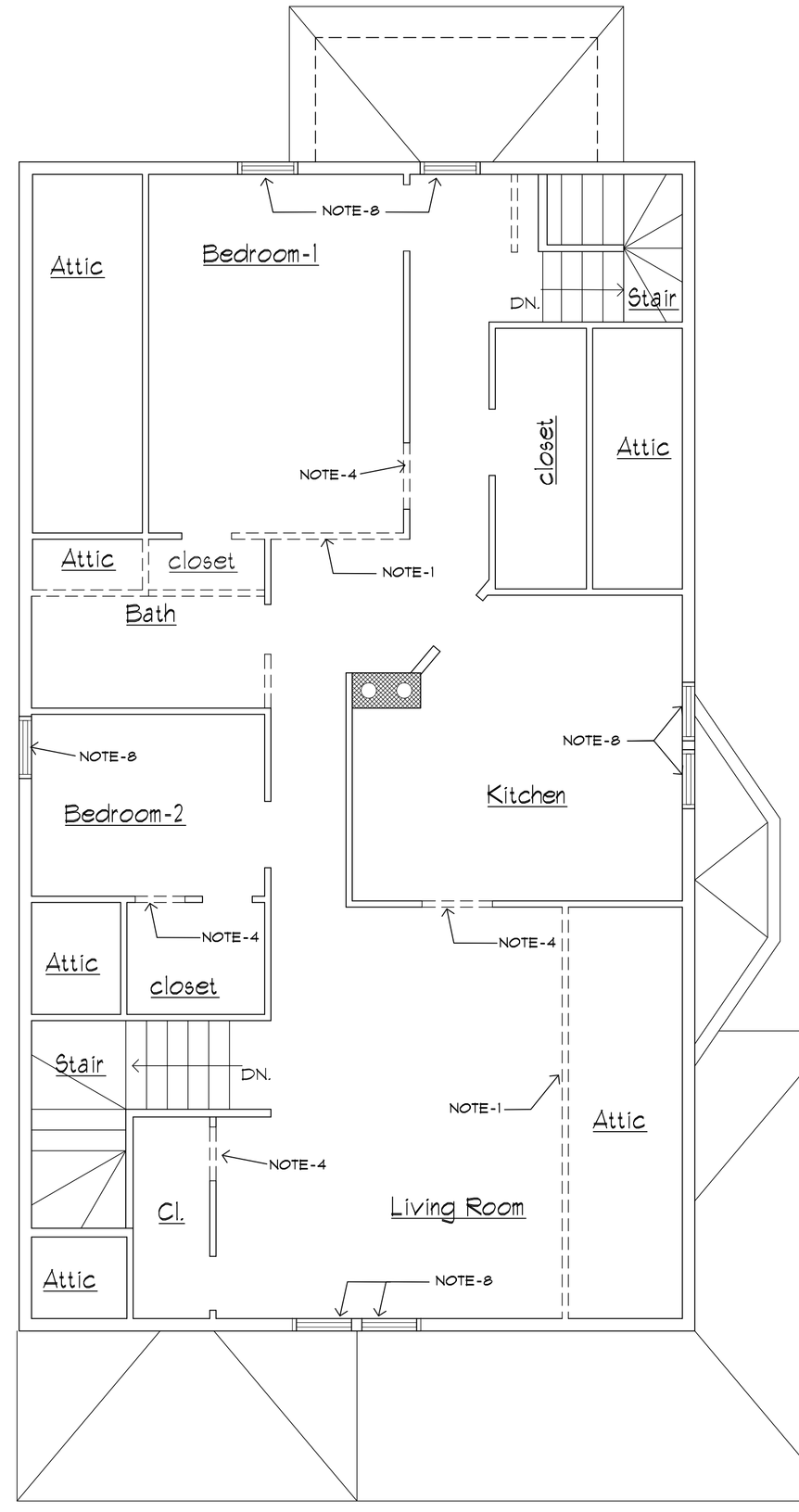
I. Retain drywall ceiling at second floor where existing.

J. All components slated for demolition shall be removed and legally disposed of off site.

K. Provide temporary shoring as required during demolition and maintain in place until permanent supports are installed. Maintain safe conditions at all times.

DEMOLITION NOTES

1. Remove existing walls and all associated electrical, plumbing etc. remove and salvage wood trim for reuse.
2. Carefully remove and salvage doors and trim for reuse.
3. Remove all plumbing fixtures, walls including all associated plumbing and electrical, remove floor finish to original wood sub-floor. Salvage all wood trim for reuse.
4. Remove portion of wall and frame door opening for new door location. See construction plans.
5. Carefully modify door, door frame, hardware and trim so as to make door swing in opposite direction.
6. Remove all shelves, cabinets etc. as required for new construction.
7. Retain and protect existing millwork, and trim unless noted otherwise. Typical.
8. Remove existing windows. Salvage and protect all interior and exterior trim for reuse. Typical.
9. Remove existing concrete stairs and metal railing in it's entirety.
10. Carefully remove and properly dispose of any remaining fuel oil from oil tank. Remove and properly dispose of oil tank.
11. Remove remaining concrete floor. Install all underground utilities as required, and provide new concrete floor as indicated on construction plans.
12. Remove all abandoned, damaged, and deteriorated plumbing, equipment, electrical wires, etc. as required for new construction.



1 / A-1 THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

General Notes

No.	Revision/Issue	Date

NORTH SEAL

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RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

Project No:	
Date: July, X 2018	
Scale:	

GENERAL NOTES

1. General Contractor shall field verify all dimensions and conditions and shall notify Architect of any discrepancies prior to start of construction.
2. G.C. to provide all demolition and dumping as is necessary to complete the work.
3. All materials are to be new unless noted otherwise.
4. All lumber in contact with concrete or masonry shall be pressure treated.
5. Floor construction shall remain continuous across all mechanical chases throughout the entire building. All floor penetrations shall be firestopped as required.
6. Provide firestopping at all duct pipe and other penetrations through rated firewalls and partitions. Use UL rated sealants and caulking as manufactured by Dow, 3M or approved equal. Follow manufacturer's installation instructions.
7. All plumbing, heating and sprinkler piping to be concealed in walls and floors, unless noted otherwise.
8. Provide metal UL fire rated plumbing access panels. Panels are to be 18"x 18" with keyed locks. Provide panels to access bathroom plumbing traps. Field verify locations.
9. Provide all necessary chases and "box outs" for plumbing and heating piping as required to complete the work.
10. Refasten loose floor boards and take out high spots. Remove squeaks.
11. "Patch, repair and restore" shall mean to original "like new" condition.
12. All hollow vertical spaces in walls shall be firestopped at each floor level.
13. Provide masonry infill at all abandoned flue penetrations at existing chimneys within all units and in all basements. Provide PVC for vented boiler & H.W.
14. All new walls to be of wood frame construction with ½" gypsum wall board on both sides. At areas of infill, provide a smooth, continuous and flush condition with adjacent walls at both sides.
15. Provide new kitchen cabinets, countertop and appliances as indicated and as selected by owner.
16. Provide new plumbing fixtures as indicated and as selected by owner.
17. Provide new mechanical, electrical and plumbing system as required by codes and as selected by owner.

KITCHEN & BATHROOM NOTES

1. Provide ½" water resistant GWB at all kitchen and bathroom walls and ceiling.
2. Provide ceramic floor and wall tiles as selected by owner.
3. Provide 1/2" cement fiber board behind ceramic tile finish at walls and floors.
4. Provide and install all plumbing fixtures as indicated. All plumbing fixtures to be selected by owner.
5. All new plumbing shall be installed behind finished walls and ceilings. Where required increase size of wet wall to accommodate and secure all plumbing.
6. Provide all bathroom accessories as required and selected by owner. Provide solid wood blocking behind walls to secure all accessories.
7. Provide exhaust fan at all bathrooms.
8. G.C. to provide shop drawings for owner's review for all kitchen, bathroom and miscellaneous millwork as required by owner.
9. All finish flooring and wall base shall extend under all areas not covered by base cabinetry.

FINISH NOTES

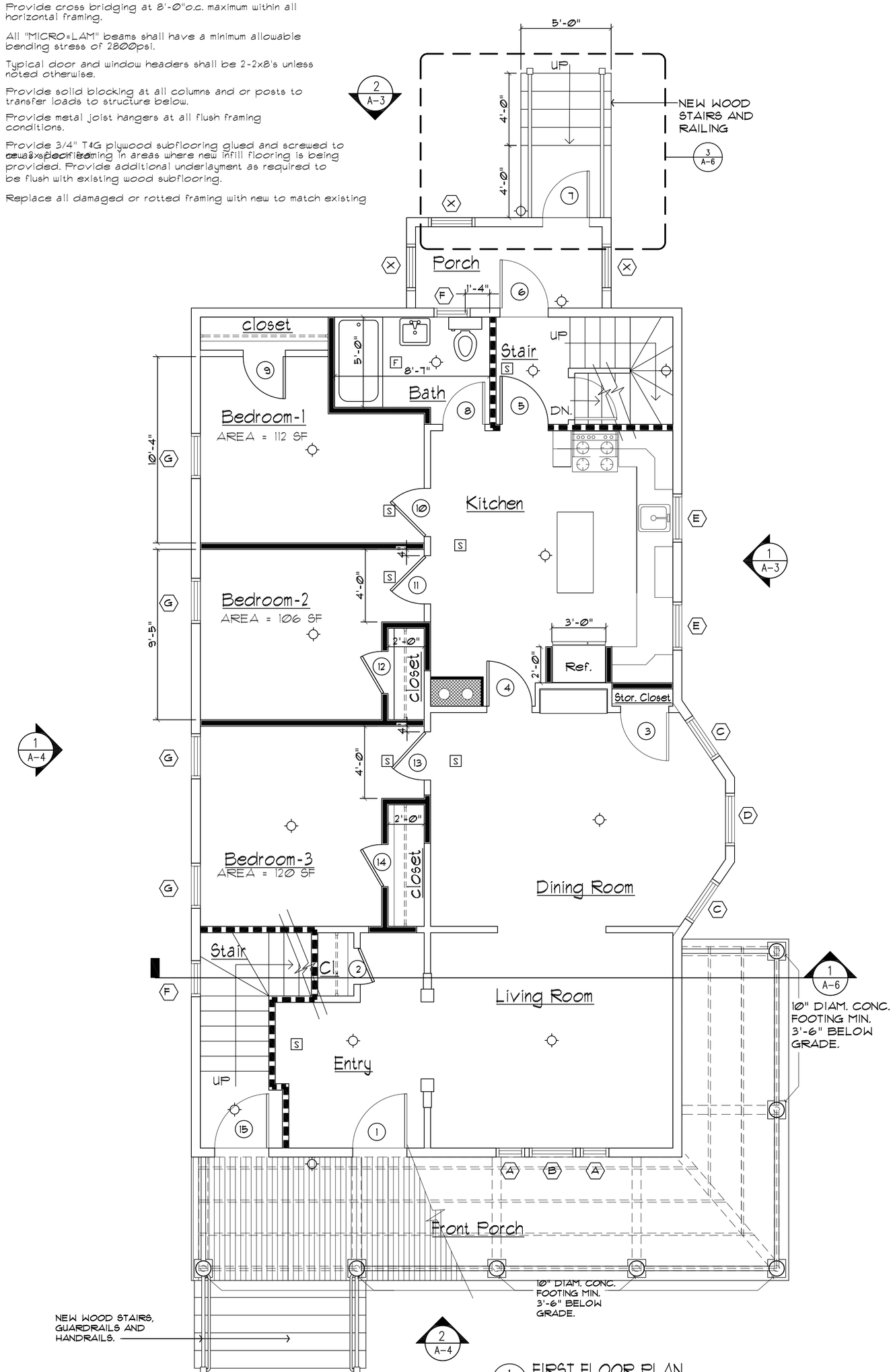
1. At all location where existing plaster finish is to remain, restore and finish for a smooth, even, and continuous surface free of cracks, dents, protrusions etc. At areas of demolition remove loose plaster, and prepare sub-surface for new drywall application.
2. At all floor areas where the existing walls are being removed, provide new wood floor to match existing wood and adjacent wood joints pattern. Sand and refinish all floors for a continuous even surface and finish.
3. Preserve and repair all interior wood trim at doors, windows, wall base, molding etc. Provide new trim where missing and where new doors or windows are provided. All new trim to match existing.
4. Where existing trim is painted, caulk prime and paint all new and existing trim.
5. Where existing trim is stained, clean and restore existing stained trim as required. New stained trim to match to match existing stained finish.
6. All new painted wood trim to be clear pine, free of knots or defects. Wood trim profiles, dimensions and details to match existing.
7. All closets shall be provided with hanging rod at 5'-4" A.F.F. with shelf above unless noted otherwise.
8. Provide 5 shelves spaced 12" O.C. vertically in all storage closets. Provide one shelf over washer and dryer.
9. All closets shall have the same floor treatment as the adjacent room.
10. Provide moisture resistant gyp. bd. behind all sinks, washing machines and in all bathrooms, unless shown otherwise on plans.
11. Interior paint and stain colors are to be selected by Owner.
12. Provide rubber reducing strips at all transitions between dissimilar flooring materials.
13. All new ceilings shall be installed to underside of framing above, unless indicated otherwise. Where suspended ceilings are indicated, locate ceiling as high as possible without interfering with mechanical ducts, piping and window heads. Provide a minimum ceiling height of 8'-0".

NEW FRAMING NOTES

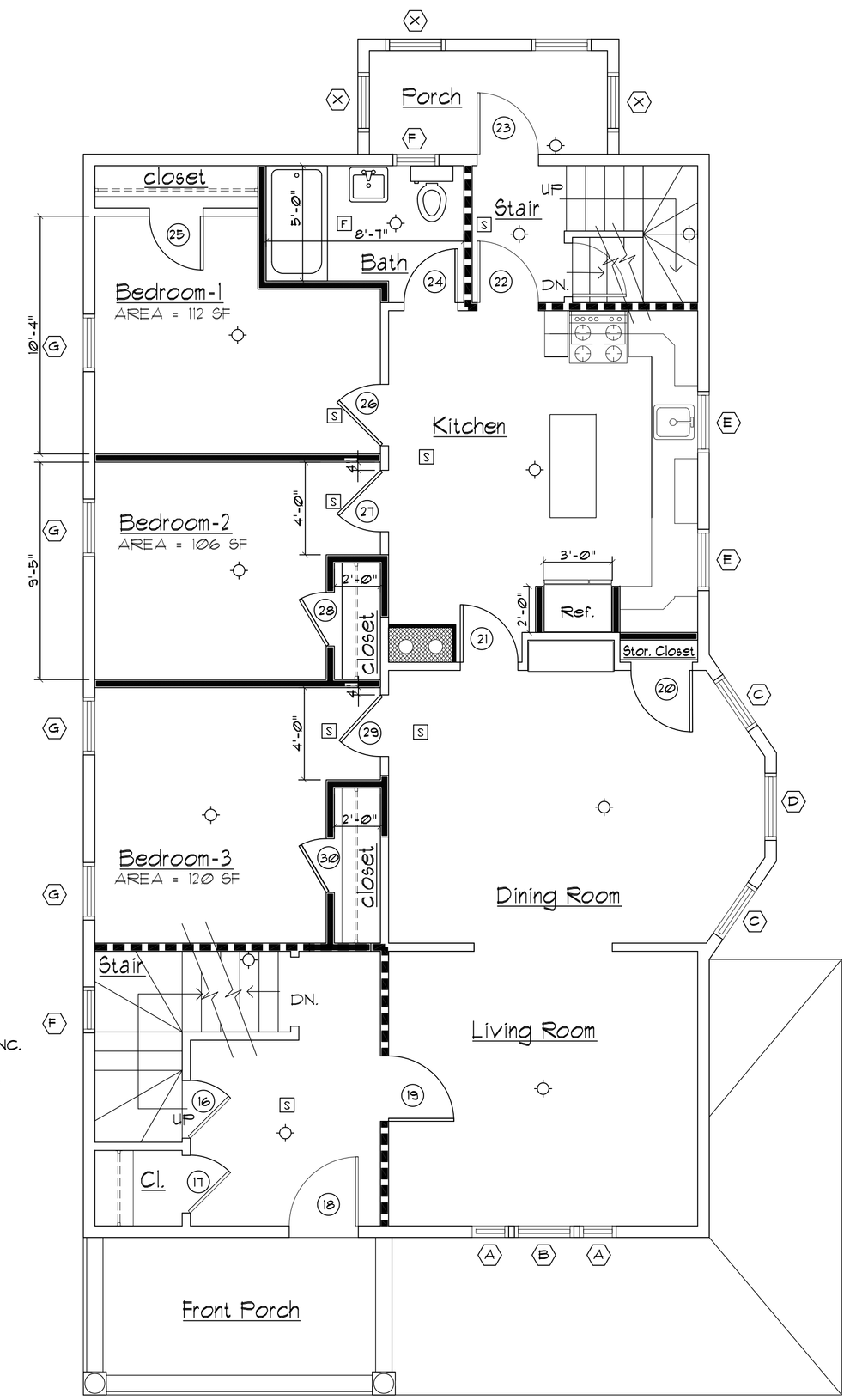
1. Inspect all existing framing components, and exposed sub-floors for damage or deterioration, and repair or replace any components as required.
2. All new framing lumber to be Hem-Fir, Spruce Pine-Fir or Douglas-Fir #2 or better with a base design bending stress of 825 psi minimum, Maximum moisture content 19%.
3. All new framing shall be spaced at 16"o.c. max. unless otherwise noted.
4. Provide cross bridging at 8'-0"o.c. maximum within all horizontal framing.
5. All "MICRO=LAM" beams shall have a minimum allowable bending stress of 2800psi.
6. Typical door and window headers shall be 2-2x8's unless noted otherwise.
7. Provide solid blocking at all columns and or posts to transfer loads to structure below.
8. Provide metal joist hangers at all flush framing conditions.
9. Provide 3/4" T&G plywood subflooring glued and screwed to ~~existing subflooring~~ framing in areas where new infill flooring is being provided. Provide additional underlayment as required to be flush with existing wood subflooring.
10. Replace all damaged or rotted framing with new to match existing

LEGEND:

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN (Type-1) (Provide gypsum Wall Board at all locations where missing).
- NEW WALLS. (Type-1)
- NEW 30 Min. FIRE RATED WALLS. (Type-2) UL DESIGN No. U 309
- (1) DOOR NUMBER
- (A) WINDOW TYPE
- ELEVATION MARK
- SECTION MARK
- DETAIL MARK
- (F) EXHAUST FAN
- (R) RECESSED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- (S) COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR



1 A-1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-Ø"



2 A-1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-Ø"

General Notes

No.	Revision/Issue	Date

NORTH

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RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

PROPOSED PLANS

Project No:

Date: July, X 2018

Scale:

A-1

DOOR SCHEDULE

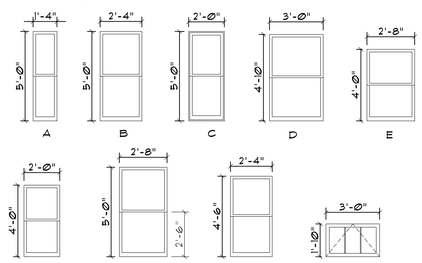
	No.	Size	New/Exstg.	Type	Door Mat.	Elev.	Frame Mat.	Function	Rating	Notes
	1	3'-Ø" x 6'-8"	Existing	Swing	Wood	D-1	Wood	Entry Lock	—	Note: 11
	2	2'-Ø" x 6'-8"	Existing	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 4
	3	2'-8" x 6'-8"	Existing	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 6
	4	2'-6" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	5	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Egress Lock	30 Min.	Notes: 8, 9, & 10
	6	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Egress Lock	30 Min.	Notes: 8, 9, & 10
ere)1	7	2'-8" x 6'-8"	New	Swing	Wood	D-3	Wood	Latch		
	8	2'-4" x 6'-8"	Existing	Swing	Wood	D-2	Wood	Privacy Lock	—	Notes: 3 & 4
	9	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Note: 7
	10	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Note: 7
	11	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Note: 7
	12	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Note: 7
	13	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Note: 7
	14	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Note: 7
	15	3'-Ø" x 6'-8"	Existing	Swing	Wood	D-1	Wood	Entry Lock	—	Note: 11
Rqrmnt.)	16									OMIT
Rqrmnt.)	17	2'-4" x 6'-8"	Existing	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 4
	18	2'-8" x 6'-8"	Existing	Swing	Wood	D-2	Wood	Latch	30 Min.	Notes: 3 & 4
	19	3'-Ø" x 6'-8"	New	Swing	Wood	D-2	Wood	Entry Lock	30 Min.	Notes: 8, 9, & 10
	20	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	21	2'-6" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	22	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Entry Lock	30 Min.	Notes: 8, 9, & 10
	23	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	30 Min.	Notes: 8, 9, & 10
	24	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Privacy Lock	—	Notes: 3 & 7
	25	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	26	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Note: 7
	27	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Note: 7
	28	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Note: 7
	29	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Note: 7
	30	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Note: 7
	31	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Entry Lock	30 Min.	Notes: 8, 9, & 10
	32	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	33	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	34	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	35	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Entry Lock	30 Min.	Notes: 8, 9, & 10
	36	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Notes: 3 & 7
	37	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	38	2'-6" x 6'-8"	New	Swing	Wood	D-2	Wood	Privacy Lock	—	Notes: 3 & 7
	39	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Bedroom Lock	—	Notes: 3 & 7
	40	2'-4" x 6'-8"	New	Swing	Wood	D-2	Wood	Latch	—	Notes: 3 & 7
	41	2'-8" x 6'-8"	New	Swing	Wood	D-2	Wood	Entry Lock	30 Min.	Notes: 8, & 9
	42	3'-Ø" x 6'-4"	New	Swing	Wood	D-2	Wood	Latch	30 Min.	Notes: 8, & 9

WINDOW SCHEDULE

Elev.	Size	Mat.	Function	Clear Opening	Clr. Area		Notes
A	1'-4"W x 5'-Ø" H	WD	D.H.				Notes: 1, 2, & 3
B	2'-4"W x 5'-Ø" H	WD	D.H.				Notes: 1, 2, & 3
C	2'-Ø"W x 5'-Ø" H	WD	D.H.				Notes: 1, 2, & 3
D	3'-Ø"W x 5'-Ø" H	WD	D.H.				Notes: 1, 2, & 3
E	2'-8"W x 4'-Ø" H	WD	D.H.				Notes: 1, 2, & 3
F	2'-Ø"W x 4'-Ø" H	WD	D.H.				Notes: 1, 2, & 3
G	2'-8"W x 5'-Ø" H	WD	D.H.	2'-5"W x 2'-5" H	5.8 SF	E	Notes: 1, 2, & 3
H	2'-4"W x 4'-6" H	WD	D.H.				Notes: 1, 2, & 3
I	3'-Ø"W x 1'-10" H	WD	AWNING				Notes: 1, 2, & 3

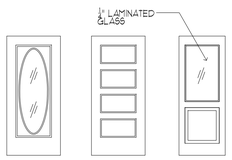
NOTES:

1. All dimensions are to be verified in field.
2. All windows to be new wood windows as manufactured by Marvin wood Ultimate double hung window to match existing windows design, or wood windows as selected by owner to match existing windows design.
3. All new windows to match existing window size unless noted otherwise.
4. All type "G" bedroom egress windows to be sized to meet emergency egress requirement.
5. Reuse existing interior and exterior trim to the extent possible. Provide new trim to match existing as required to match existing.
6. 'E' indicates egress window. Egress windows minimum opening size: 5.7 sf clear opening, 24" minimum Height, and 20" minimum Width. Window sill height max. 44"



WINDOWS ELEVATIONS

SCALE: 1/4"=1'-Ø"



DOOR ELEVATIONS

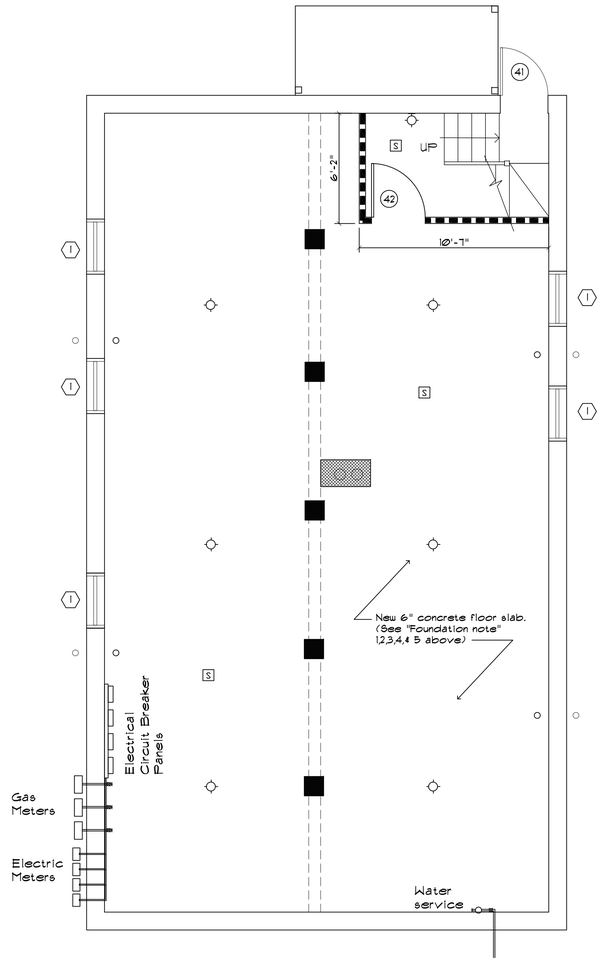
SCALE: 1/4"=1'-Ø"

DOOR NOTES:

1. Salvage and reuse existing serviceable doors and hardware to the extent possible.
2. Verify all door opening dimensions in field.
3. Contractor to verify all existing door hardware for proper operation and function. Repair, or replace malfunctioning or missing hardware with new hardware to match existing or as selected by owner.
4. Restore existing door and repair for proper operation.
5. Re-use existing door. Provide new wood frame, and hardware as required. Mount door and secure frame for a sealed and secure condition.
6. Carefully remove and modify door and hardware to swing in opposite direction.
7. New wood panel door and frame to match existing. Reuse existing salvaged wood door and trim to the extent possible. Provide new wood door or trim to match existing as required. Provide new hardware.
8. New fire rated solid core wood panel door and hardware in existing frame.
9. Provide new automatic door closer.
10. Provide egress hardware so that door is openable from the egress side and lockable from the stair side only.
11. Replace vision panel with ¼" laminated safety glass.

FOUNDATION NOTES

1. Provide 6" concrete floor slabs with 6x6 W1.4xW1.4 WWF, on 6 mil. poly vapor barrier on 6" compacted structural fill. Where slab elevation is lower than existing grade use 3/8" crushed stone 6" below slab.
2. Provide structural fill (95% compaction) under all concrete slabs where backfill is required.
3. All concrete shall have a strength of 4,000 psi, 28 days, for all, footings, foundation walls and slabs.
4. All footings shall bear on undisturbed soil or compacted structural fill where applicable, and be a minimum of 3'-6" below finish grade.
5. Provide control joints (C.J.) as required.

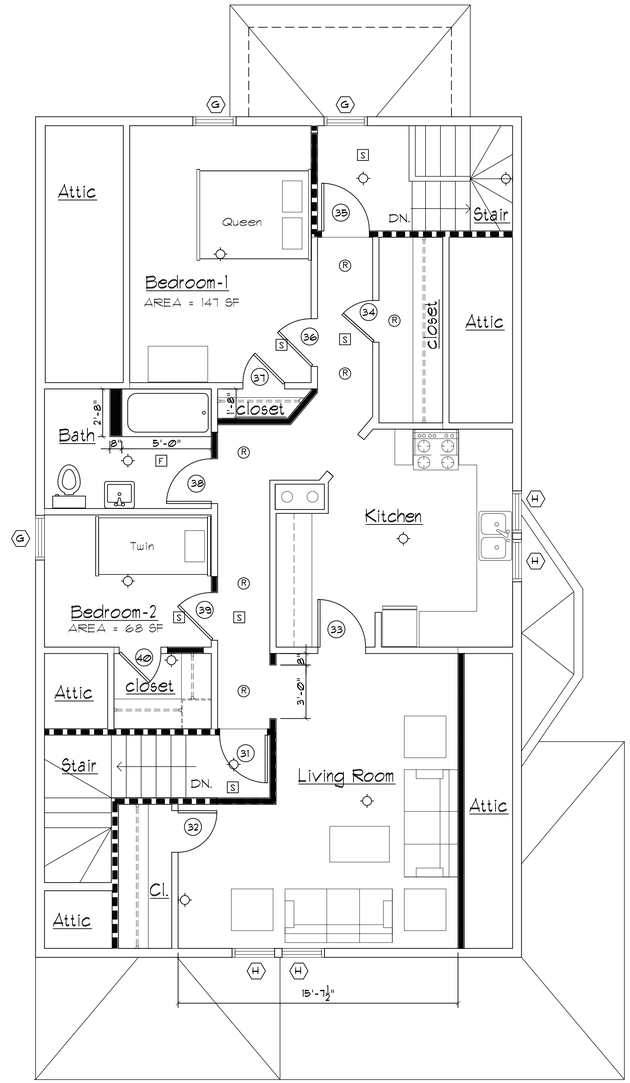


2 A-2 BASEMENT PLAN

SCALE: 1/4"=1'-Ø"

LEGEND:

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN (Type-1) (Provide gypsum Wall Board at all locations where missing).
- NEW WALLS. (Type-1)
- NEW 30 Min. FIRE RATED WALLS. (Type-2) UL DESIGN No. U 309
- DOOR NUMBER
- WINDOW TYPE
- ELEVATION MARK
- SECTION MARK
- DETAIL MARK
- EXHAUST FAN
- RECESSED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR



1 A-2 THIRD FLOOR PLAN

SCALE: 1/4"=1'-Ø"

General Notes

No.	Revision/Issue	Date

NORTH

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RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

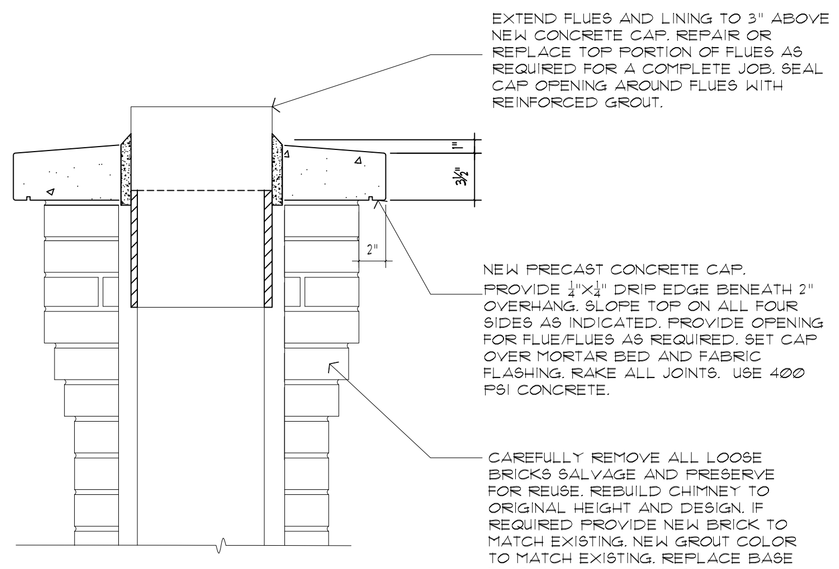
FLOOR PLANS

Project No:

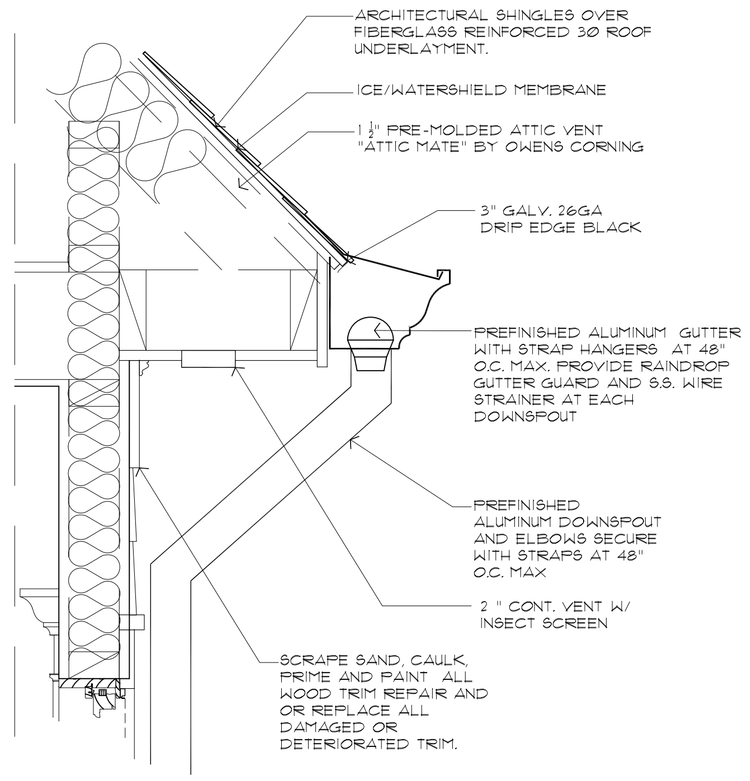
Date: July, X 2018

Scale:

A-2



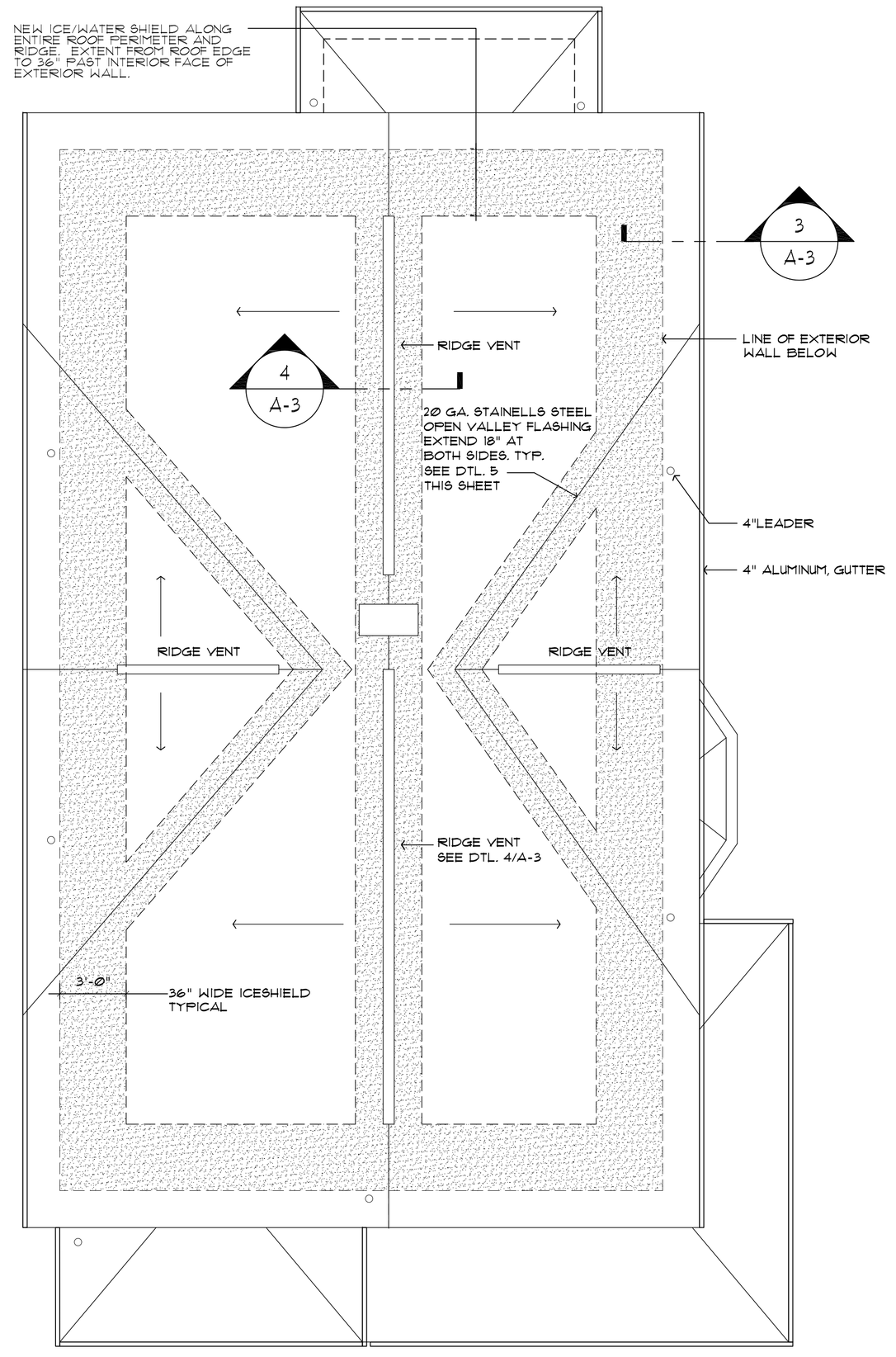
2 A-3 CHIMNEY CAP DETAIL
SCALE: 1 1/2"=1'-Ø"



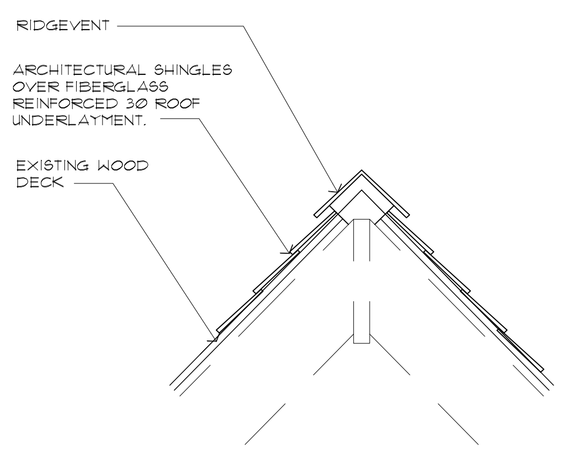
3 A-3 TYPICAL SOFFIT DETAIL
SCALE: 1 1/2"=1'-Ø"

GENERAL ROOFING NOTES:

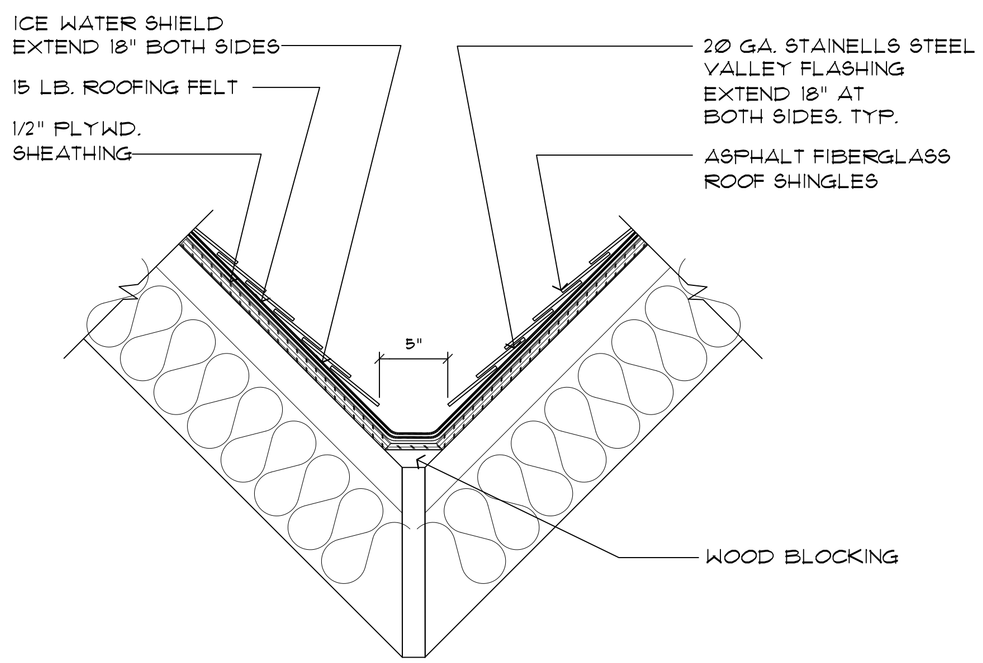
1. Remove all exist. asphalt shingle roofing, drip edge, base sheet, base flashing, etc. to surface of existing wood deck. Inspect existing wood deck for damage or deterioration and replace as required.
2. At areas of water damage along the roof eave trim, remove paint, scrape, sand, prime and paint to match existing.
3. Contractor shall verify and provide positive drainage from all points on roof.
4. Install fiberglass reinforced felt underlayment
5. Install new ice/water shield along entire roof perimeter, valleys, and roof ridge. extent from roof edge to 36" past interior face of exterior wall.
6. Replace all flashing at all roof penetrations, at all intersection of roof at walls around all chimneys, and all other locations as required.
7. Install new architectural asphalt shingles class C roofing as selected by owner
8. Contractor shall verify acceptance of fasteners w/ wind uplift requirements & method of installation.
9. All dimensions are to be verified in field.
10. Replace all Gutters and leaders with new as required. Connect to existing storm line or as indicated on plans. Provide straps, fittings, splash blocks and all accessories as required for a complete installation.



1 A-3 ROOF PLAN
SCALE: 1/4"=1'-Ø"



4 A-3 RIDGEVENT DETAIL
SCALE: 1 1/2"=1'-Ø"



5 A-3 TYPICAL VALLEY FLASHING DETAIL
SCALE: 1 1/2"=1'-Ø"

General Notes

No.	Revision/Issue	Date

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RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

ROOF PLAN AND DETAILS

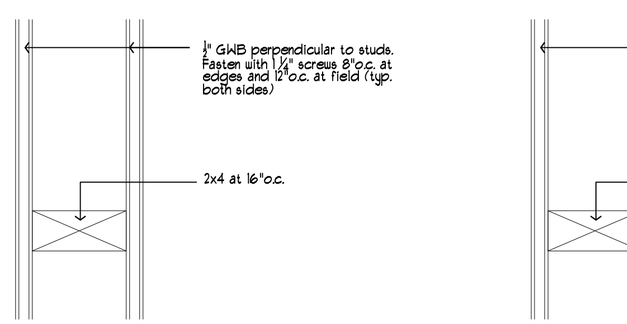
Project No:
Date: July, X 2018
Scale:

A-3

1 A-3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

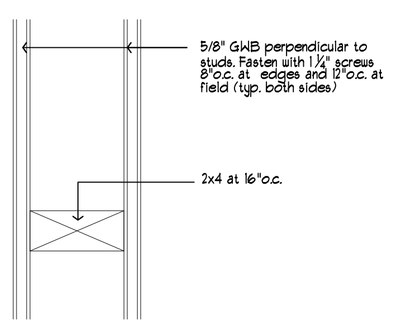
EXTERIOR ELEVATION NOTES:

1. REMOVE ALL EXISTING WINDOWS AND REPLACE WITH NEW WOOD WINDOWS AS INDICATED AND AS SELECTED BY OWNER.
2. REPAIR AND REFINISH EXISTING WINDOWS TRIM OR PROVIDE NEW TRIM AS REQUIRED TO MATCH EXISTING.
3. REMOVE ALL DETERIORATED AND DAMAGED WOOD SIDING AND TRIM.
4. REPAIR EXISTING WOOD SHEATHING AND PROVIDE NEW WHERE MISSING OR DETERIORATED.
5. PROVIDE NEW WOOD SIDING WHERE MISSING TO MATCH EXISTING.
6. PROVIDE WOOD TRIM WHERE MISSING OR DETERIORATED WITH NEW TO MATCH EXISTING.
7. REMOVE ALL LOOSE PAINT, SCRAPE, SAND, AND SEAL ALL EXTERIOR WALLS.
8. CAULK ALL JOINTS PRIOR TO PAINTING.
9. PRIME AND PAINT ALL EXTERIORS WALLS MINIMUM TWO COATS, COLORS TO BE SELECTED BY OWNER.

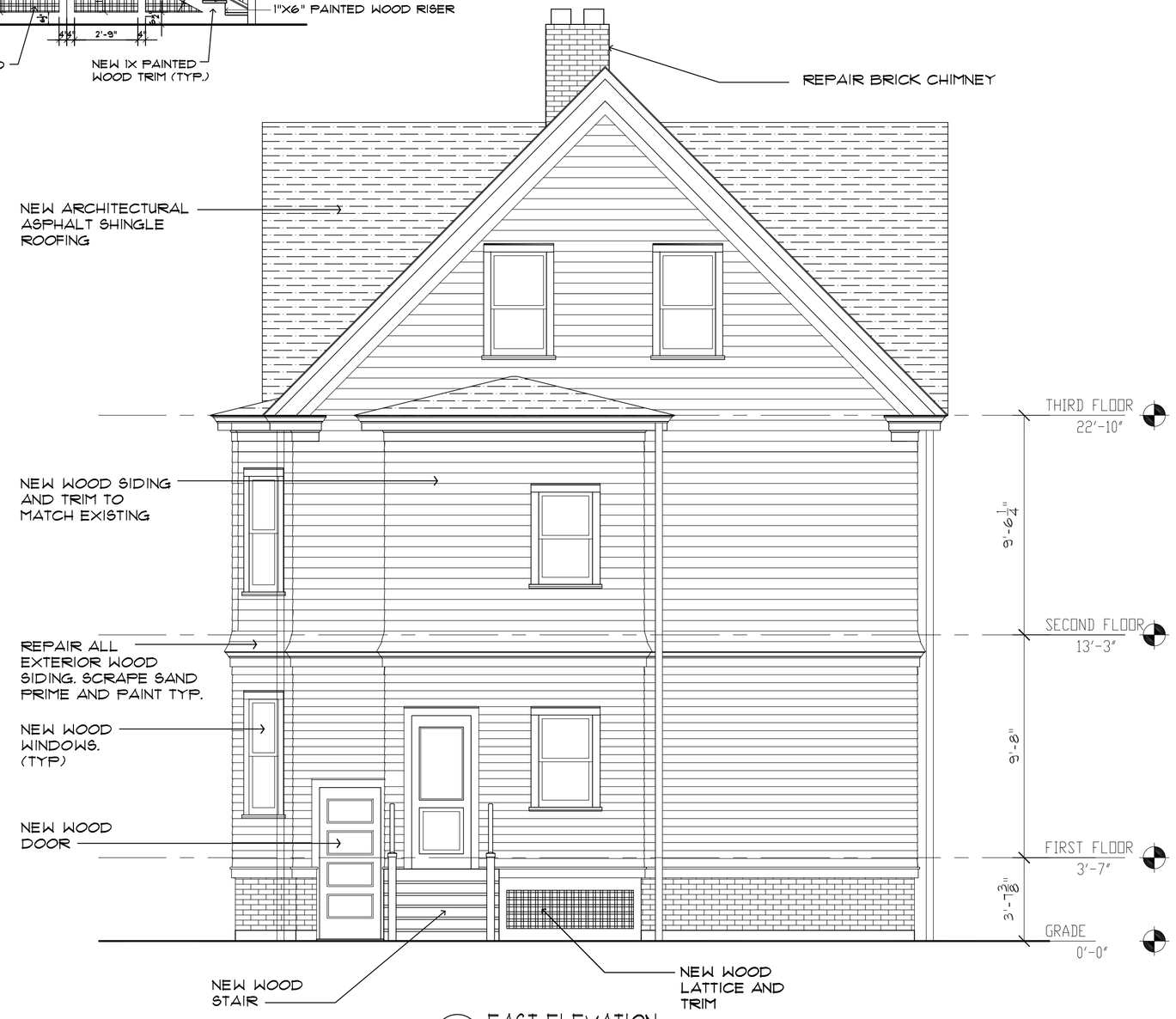


NOTE:
All interior walls shall be this type unless noted otherwise. Rating shall shall have the same rating as the assembly it is supporting

WALL TYPE - 1
NOT TO SCALE



WALL TYPE - 2
NOT TO SCALE
ONE HOUR FIRE RATING
UL DESIGN No. U 309



2 A-3 EAST ELEVATION
SCALE: 1/4"=1'-0"

General Notes

No.	Revision/Issue	Date

NORTH

SEAL

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RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

EXTERIOR ELEVATIONS

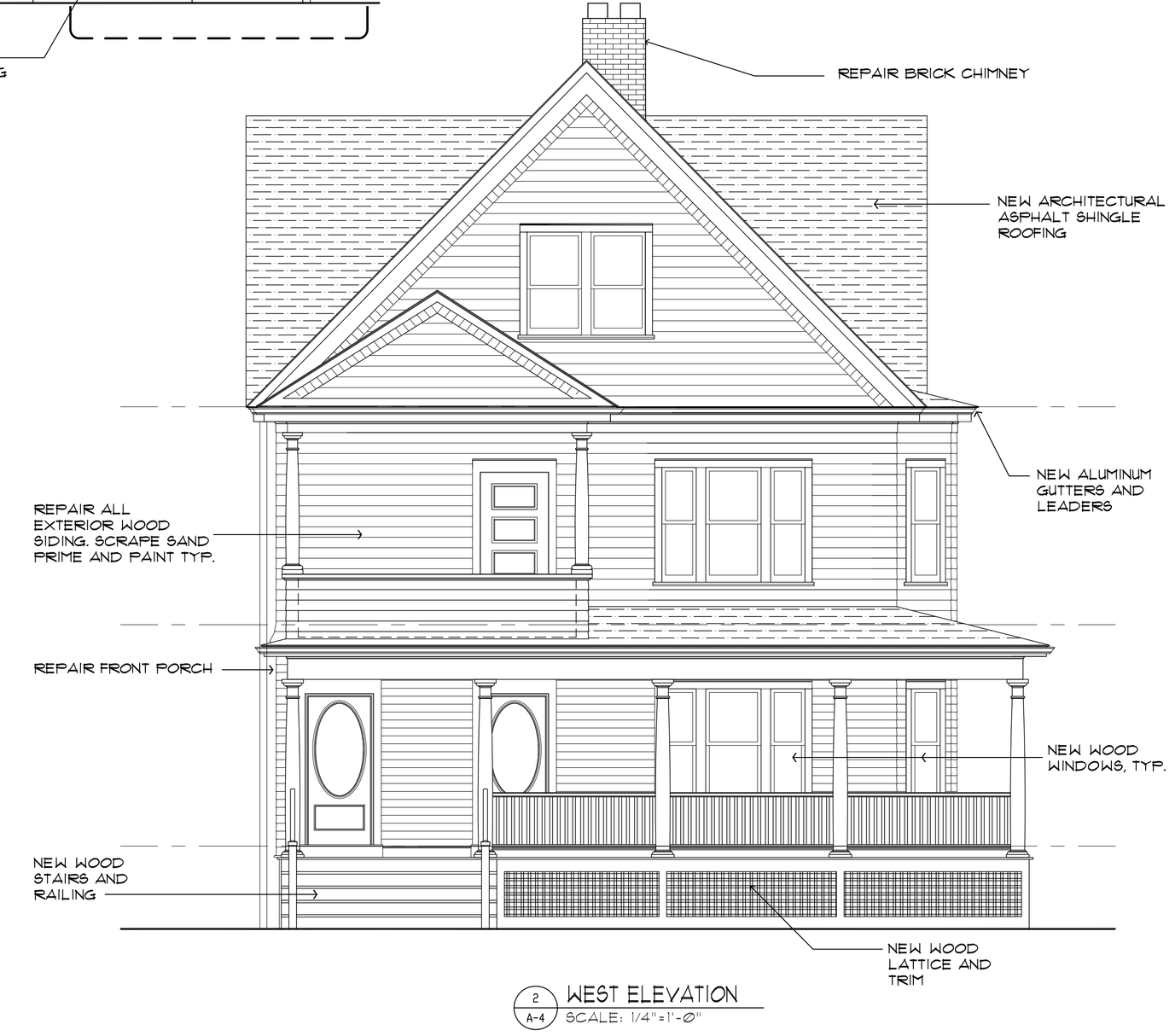
Project No:
Date: July, X 2018
Scale:

A-4

1 A-4 NORTH ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR ELEVATION NOTES:

1. REMOVE ALL EXISTING WINDOWS AND REPLACE WITH NEW WOOD WINDOWS AS INDICATED AND AS SELECTED BY OWNER.
2. REPAIR AND REFINISH EXISTING WINDOWS TRIM OR PROVIDE NEW TRIM AS REQUIRED TO MATCH EXISTING.
3. REMOVE ALL DETERIORATED AND DAMAGED WOOD SIDING AND TRIM.
4. REPAIR EXISTING WOOD SHEATHING AND PROVIDE NEW WHERE MISSING OR DETERIORATED.
5. PROVIDE NEW WOOD SIDING WHERE MISSING TO MATCH EXISTING.
6. PROVIDE WOOD TRIM WHERE MISSING OR DETERIORATED WITH NEW TO MATCH EXISTING.
7. REMOVE ALL LOOSE PAINT, SCRAPE, SAND, AND SEAL ALL EXTERIOR WALLS.
8. CAULK ALL JOINTS PRIOR TO PAINTING.
9. PRIME AND PAINT ALL EXTERIORS WALLS MINIMUM TWO COATS, COLORS TO BE SELECTED BY OWNER.



2 A-4 WEST ELEVATION
SCALE: 1/4"=1'-0"

FRONT PORCH NOTES:

1. TEMPORARILY SHORE FRONT PORCH STRUCTURE AND ROOF. RAISE PORCH SO THAT FLOOR SLOPE REACHES $\frac{1}{8}$"/FOOT. MAXIMUM.
2. REMOVE ALL BASE POSTS AND PROVIDE NEW CONCRETE FOOTINGS AND 4" DIAM. STEEL LOLLY COLUMNS.
3. REPLACE ALL DETERIORATED OR DAMAGED FLOOR JOIST, AND BEAMS,
4. REMOVE ALL BASE TRIM AND LATTICE.
5. SECURE ALL PORCH FRAMING TO MAIN STRUCTURE WITH MIN. $\frac{3}{4}$" DIA. X 6" ANCHOR BOLTS AT FIRST FLOOR, SECOND FLOOR, AND AT ROOF FRAMING .
6. REPLACE ALL DETERIORATED WOOD DECK WITH NEW WOOD DECK TO MATCH EXISTING.
7. REPLACE DAMAGED WOOD COLUMNS WITH NEW COLUMNS TO MATCH EXISTING.
8. REPLACE ALL DETERIORATED OR DAMAGED WOOD COMPONENTS WITH NEW WOOD COMPONENTS TO MATCH EXISTING.
9. PROVIDE NEW WOOD LATTICE, AND BASE TRIM WITH NEW AS DETAILED.
10. REPLACE ALL MISSING, AND DETERIORATED BALUSTERS WITH NEW TO MATCH EXISTING.
11. REMOVE ASPHALT ROOFING MATERIALS INCLUDING ROOF SHINGLES, ROOFING UNDERLAY, DRIP EDGES, GUTTERS AND LEADERS. INSPECT ROOF DECK FOR DAMAGE OR DETERIORATION, AND REPLACE AS NECESSARY, PROVIDE NEW ROOFING AND FLASHING AS INDICATED.
12. PROVIDE NEW GUTTERS AND LEADERS AS INDICATED.
13. REMOVE FRONT PORCH STAIRS AND HANDRAILS AND PROVIDE NEW STAIRS AND BALUSTERS AS INDICATED. ALL NEW RAILS AND BALUSTER COMPONENTS TO MATCH EXISTING ORIGINAL DESIGN.
14. SCRAPE, SAND, CAULK, SEAL, PRIME AND PAINT ALL EXISTING AND NEW PORCH WOOD COMPONENTS INCLUDING TRIM, RAILS BALUSTERS, LATTICE, SOFFIT, UNDERSIDE OF ROOF STRUCTURE, ETC. FOR A COMPLETE PORCH RESTORATION. ALL COLORS TO MATCH EXISTING.
15. SAND AND PAINT FLOOR DECK AS REQUIRED.

General Notes

No.	Revision/Issue	Date

NORTH | SEAL

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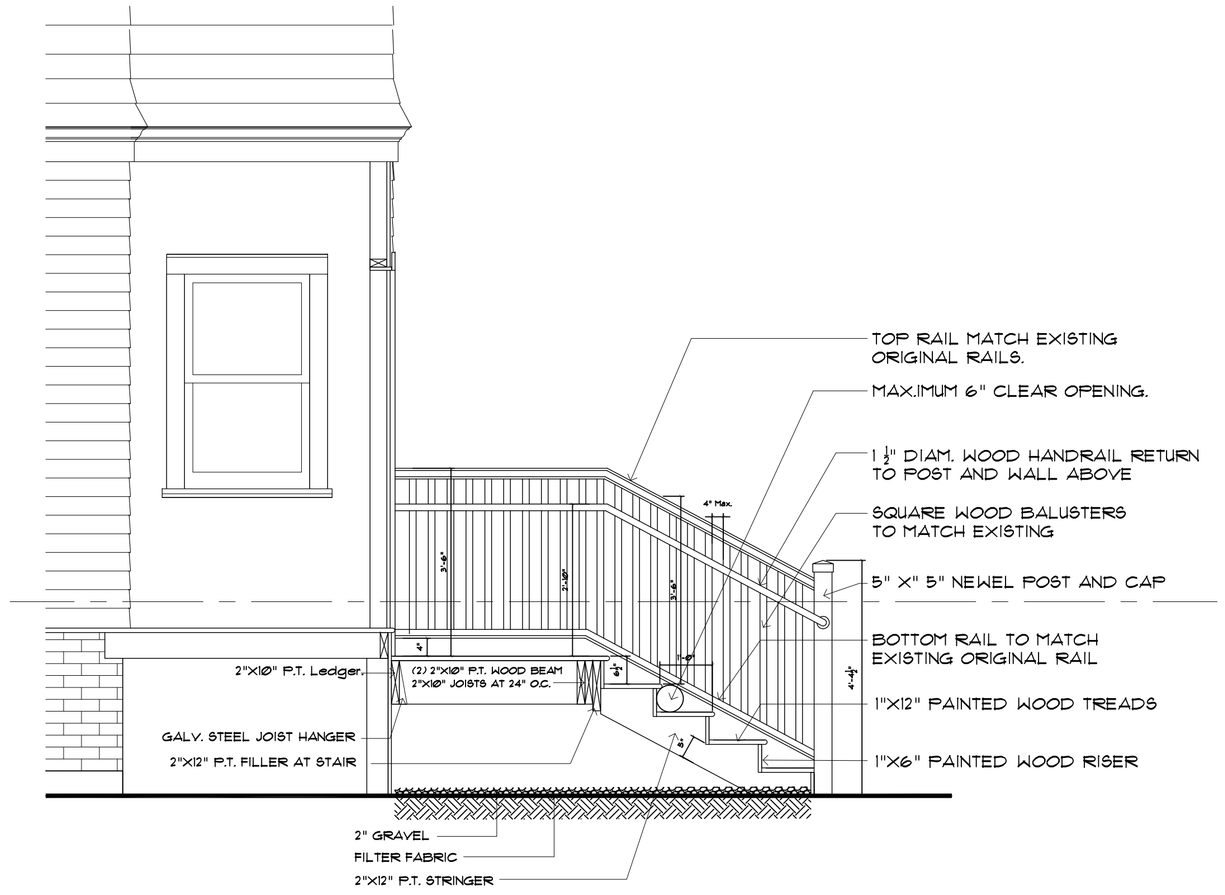
RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

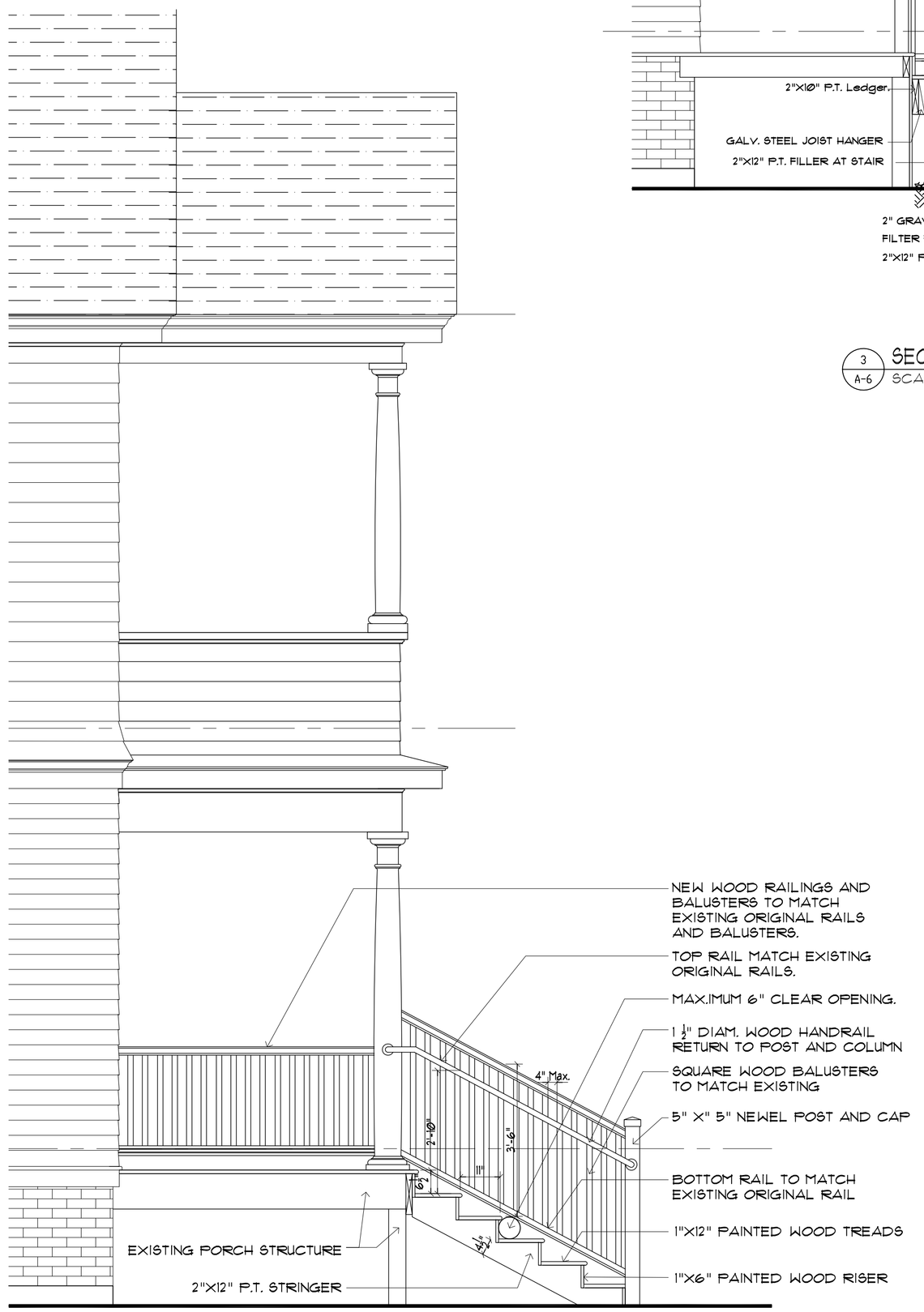
BUILDING SECTION AND DETAILS

Project No:
Date: July, X 2018
Scale:

A-5



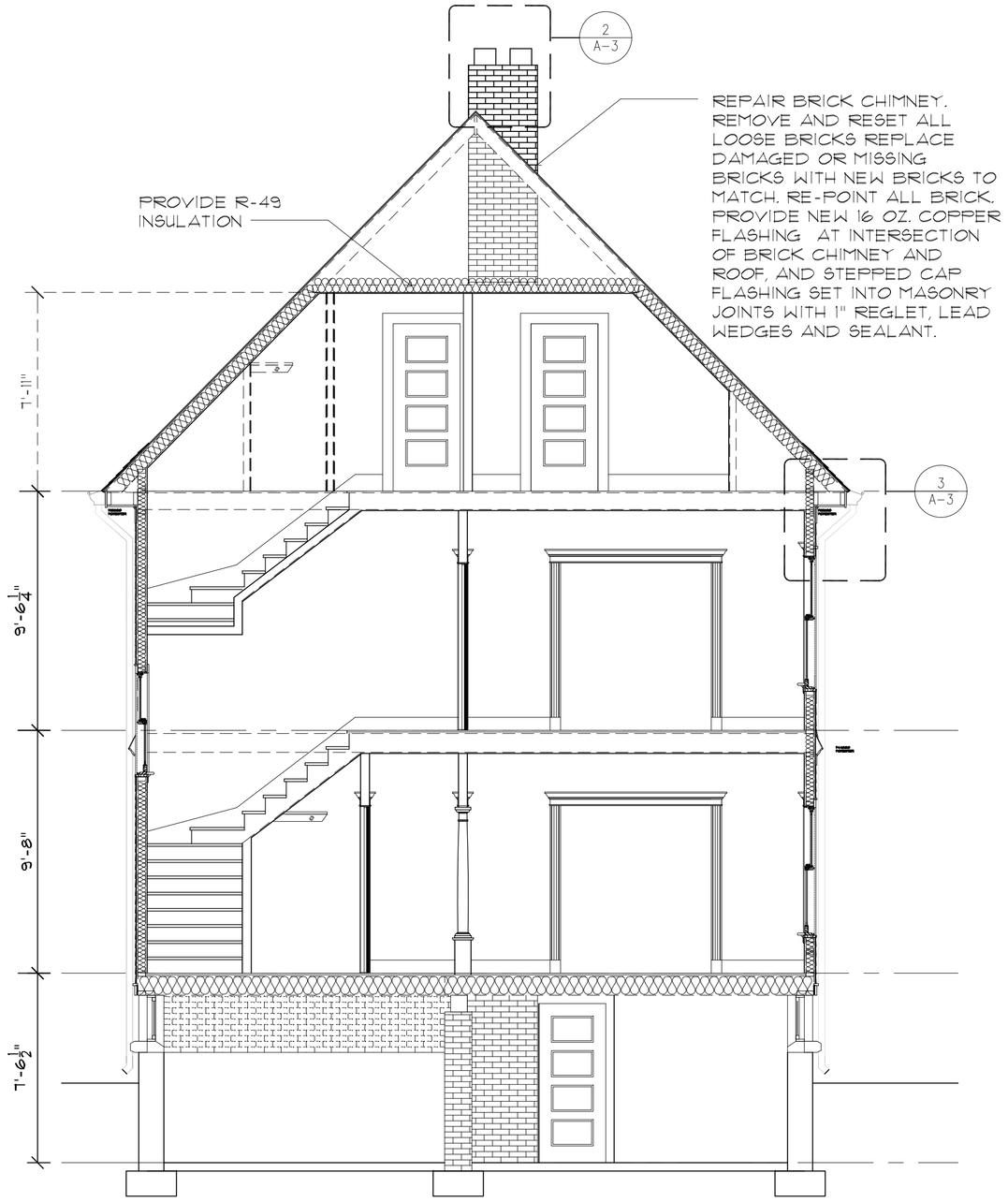
3 A-6 SECTION DETAIL
SCALE: 1/2"=1'-0"



2 A-6 SECTION DETAIL
SCALE: 1/2"=1'-0"

FRONT PORCH NOTES:

1. TEMPORARILY SHORE FRONT PORCH STRUCTURE AND ROOF. RAISE PORCH SO THAT FLOOR SLOPE REACHES $\frac{1}{8}$"/FOOT. MAXIMUM.
2. REMOVE ALL BASE POSTS AND PROVIDE NEW CONCRETE FOOTINGS AND 4" DIAM. STEEL LOLLY COLUMNS.
3. REPLACE ALL DETERIORATED OR DAMAGED FLOOR JOIST, AND BEAMS,
4. REMOVE ALL BASE TRIM AND LATTICE.
5. SECURE ALL PORCH FRAMING TO MAIN STRUCTURE WITH MIN. $\frac{3}{4}$" DIA. X 6" ANCHOR BOLTS AT FIRST FLOOR, SECOND FLOOR, AND AT ROOF FRAMING .
6. REPLACE ALL DETERIORATED WOOD DECK WITH NEW WOOD DECK TO MATCH EXISTING.
7. REPLACE DAMAGED WOOD COLUMNS WITH NEW COLUMNS TO MATCH EXISTING.
8. REPLACE ALL DETERIORATED OR DAMAGED WOOD COMPONENTS WITH NEW WOOD COMPONENTS TO MATCH EXISTING.
9. PROVIDE NEW WOOD LATTICE, AND BASE TRIM WITH NEW AS DETAILED.
10. REPLACE ALL MISSING, AND DETERIORATED BALUSTERS WITH NEW TO MATCH EXISTING.
11. REMOVE ASPHALT ROOFING MATERIALS INCLUDING ROOF SHINGLES, ROOFING UNDERLAY, DRIP EDGES, GUTTERS AND LEADERS. INSPECT ROOF DECK FOR DAMAGE OR DETERIORATION, AND REPLACE AS NECESSARY, PROVIDE NEW ROOFING AND FLASHING AS INDICATED.
12. PROVIDE NEW GUTTERS AND LEADERS AS INDICATED.
13. REMOVE FRONT PORCH STAIRS AND HANDRAILS AND PROVIDE NEW STAIRS AND BALUSTERS AS INDICATED. ALL NEW RAILS AND BALUSTER COMPONENTS TO MATCH EXISTING ORIGINAL DESIGN.
14. SCRAPE, SAND, CAULK, SEAL, PRIME AND PAINT ALL EXISTING AND NEW PORCH WOOD COMPONENTS INCLUDING TRIM, RAILS BALUSTERS, LATTICE, SOFFIT, UNDERSIDE OF ROOF STRUCTURE, ETC. FOR A COMPLETE PORCH RESTORATION. ALL COLORS TO MATCH EXISTING.
15. SAND AND PAINT FLOOR DECK AS REQUIRED.



1 A-6 BUILDING SECTION
SCALE: 1/2"=1'-0"

General Notes

No.	Revision/Issue	Date

NORTH

SEAL

Valerio Giadone Architect
21 Ashley Street
Hartford, CT. 06105
email: giadone@comcast.net Tel. (860) 524-0248

RENOVATIONS To:

342 Sigourney Street
Hartford Ct 06105

FRONT PORCH ELEVATION AND DETAILS

Project No:	A-6
Date: July, X 2018	
Scale:	

ANDERSEN WINDOWS & DOORS

SOLD BY:

Star Hardware/Surplus Hartford
2995 Main St
Hartford, CT 06120-1403
Fax: 860-246-5610

SOLD TO:

,

CREATED DATE
11/16/2023

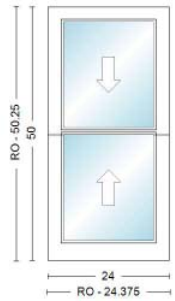
LATEST UPDATE
11/16/2023M

OWNER
Carlina Davis

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Unassigned Quote	Unassigned Project	4982639		

ORDER NOTES: **DELIVERY NOTES:**



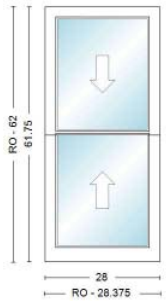
Item	Qty	Operation	Location	Unit Price	Ext. Price
100	**2**	**AA**	**None Assigned**	**$699.07**	**$1,398.14**

RO Size = 24 3/8" x 50 1/4" **Unit Size = 24" x 50"**

TWI 2'X4' 2", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433
Insect Screen 1: 400 Series Double-Hung-Insert, TWI 24 x 50 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	20.2020	20.5790	2.88710



Item	Qty	Operation	Location	Unit Price	Ext. Price
200	**2**	**AA**	**None Assigned**	**$796.93**	**$1,593.86**

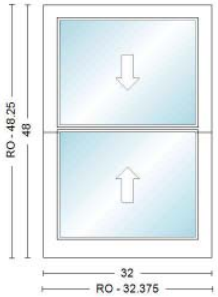
RO Size = 28 3/8" x 62" **Unit Size = 28" x 61 3/4"**

TWI 2' 4"X5' 1 3/4", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 28 x 61.75 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	24.2020	26.3290	4.42510



Item	Qty	Operation	Location	Unit Price	Ext. Price
300	**2**	**AA**	**None Assigned**	**$699.07**	**$1,398.14**

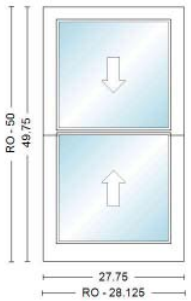
RO Size = 32 3/8" x 48 1/4" **Unit Size = 32" x 48"**

TWI 2' 8"X4', Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 32 x 48 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	28.2020	19.7440	3.86680



Item	Qty	Operation	Location	Unit Price	Ext. Price
400	**1**	**AA**	**None Assigned**	**$699.07**	**$699.07**

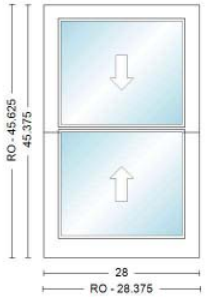
RO Size = 28 1/8" x 50" **Unit Size = 27 3/4" x 49 3/4"**

TWI 2' 3 3/4"X4' 1 3/4", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 27.75 x 49.75 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	23.9520	20.3290	3.38140



Item	Qty	Operation	Location	Unit Price	Ext. Price
500	**6**	**AA**	**None Assigned**	**$699.07**	**$4,194.42**

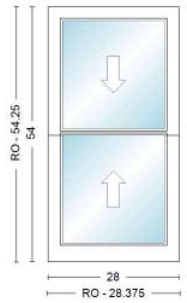
RO Size = 28 3/8" x 45 5/8" **Unit Size = 28" x 45 3/8"**

TWI 2' 4"X3' 9 3/8", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 28 x 45.375 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	24.2020	17.9540	3.01750



Item	Qty	Operation	Location	Unit Price	Ext. Price
600	**2**	**AA**	**None Assigned**	**$699.07**	**$1,398.14**

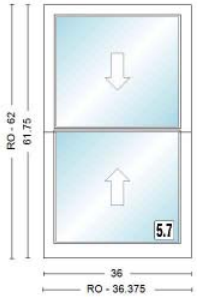
RO Size = 28 3/8" x 54 1/4" **Unit Size = 28" x 54"**

TWI 2' 4"X4' 6", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 28 x 54 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	24.2020	22.5790	3.79480



Item	Qty	Operation	Location	Unit Price	Ext. Price
700	**2**	**AA**	**None Assigned**	**$894.80**	**$1,789.60**

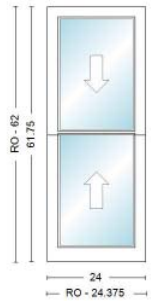
RO Size = 36 3/8" x 62" **Unit Size = 36" x 61 3/4"**

TWI 3'X5' 1 3/4", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 36 x 61.75 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	32.2020	26.3290	5.88780



Item	Qty	Operation	Location	Unit Price	Ext. Price
800	4	AA	None Assigned	$796.93	$3,187.72

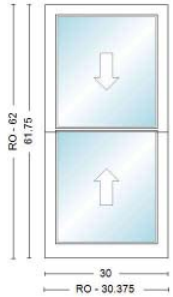
RO Size = 24 3/8" x 62" **Unit Size = 24" x 61 3/4"**

TWI 2'X5' 1 3/4", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 24 x 61.75 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	20.2020	26.3290	3.69370



Item	Qty	Operation	Location	Unit Price	Ext. Price
900	6	AA	None Assigned	$796.93	$4,781.58

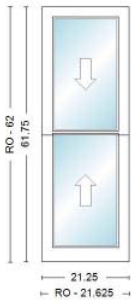
RO Size = 30 3/8" x 62" **Unit Size = 30" x 61 3/4"**

TWI 2' 6"X5' 1 3/4", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 30 x 61.75 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	26.2020	26.3290	4.79080



Item	Qty	Operation	Location	Unit Price	Ext. Price
1000	**5**	**AA**	**None Assigned**	**$699.07**	**$3,495.35**

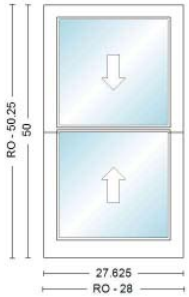
RO Size = 21 5/8" x 62" **Unit Size = 21 1/4" x 61 3/4"**

TWI 1' 9 1/4"X5' 1 3/4", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 21.25 x 61.75 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	17.4520	26.3290	3.19090



Item	Qty	Operation	Location	Unit Price	Ext. Price
1100	**1**	**AA**	**None Assigned**	**$699.07**	**$699.07**

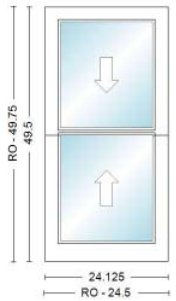
RO Size = 28" x 50 1/4" **Unit Size = 27 5/8" x 50"**

TWI 2' 3 5/8"X4' 2", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 27.625 x 50 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	23.8270	20.5790	3.40510



Item	Qty	Operation	Location	Unit Price	Ext. Price
1200	**1**	**AA**	**None Assigned**	**$699.07**	**$699.07**

RO Size = 24 1/2" x 49 3/4" **Unit Size = 24 1/8" x 49 1/2"**

TWI 2' 1/8"X4' 1 1/2", Unit, 0 Degrees - Flat, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Stainless Glass / Grille Spacer, Traditional, 1 Sash Locks White, WhiteJamb Liner, White, Half Screen, Aluminum

Optional Lock Hardware 1: TWI Traditional White PN:9069433

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 24.125 x 49.5 0 Degrees - Flat Half Screen Aluminum White

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)
A1	0.3	0.32	NO	A1	20.3270	20.0790	2.83430

SUB-TOTAL:	$25,334.16
FREIGHT:	$0.00
LABOR:	$0.00
TAX:	$1,608.72
TOTAL:	$26,942.88

CUSTOMER SIGNATURE_____DATE_____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors