



## DEPARTMENT OF DEVELOPMENT SERVICES – PLANNING DIVISION

REPORT: 111 Terry Road, Hartford, CT 06105

For consideration: August 19, 2020

### STAFF REPORT

**TO:** HARTFORD PRESERVATION COMMISSION  
**FROM:** Grant Losapio, Consultant  
Email: [oneplan@hartford.gov](mailto:oneplan@hartford.gov)

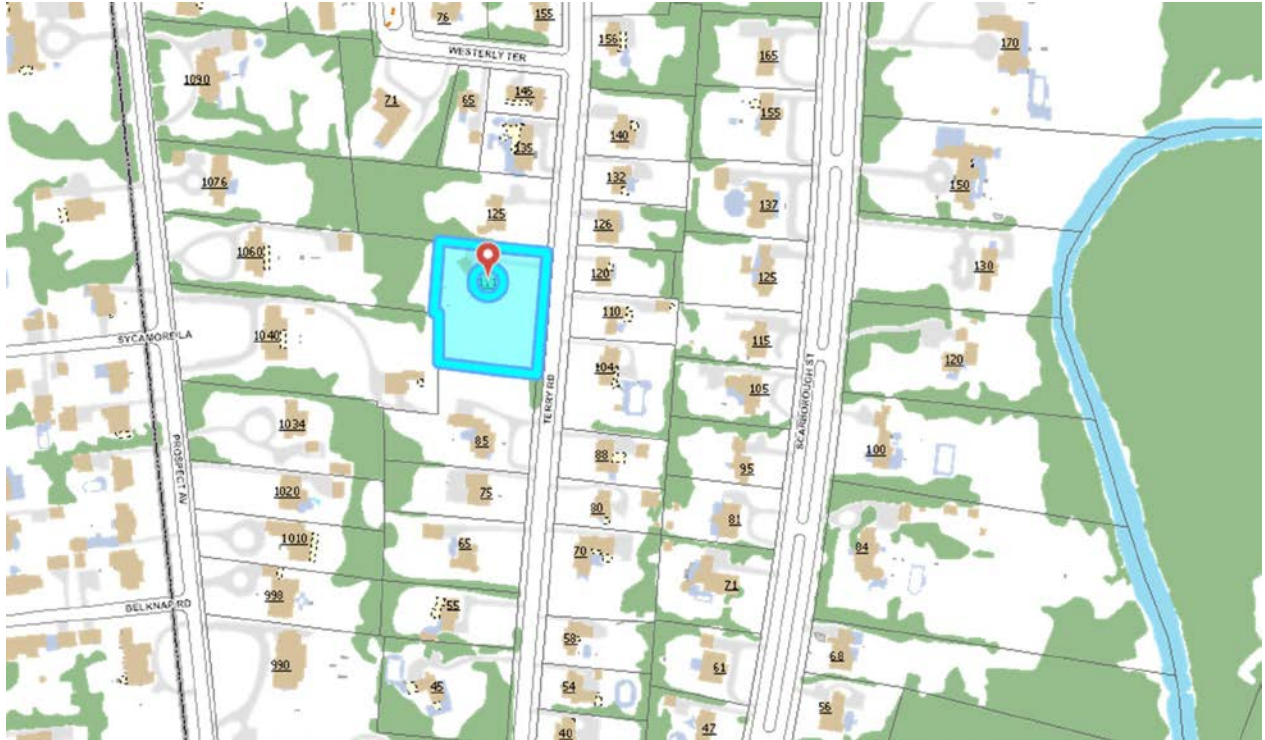
**PROJECT:** 111 Terry Road  
PARCEL ID: 130-178-006

**ZONE:** N1-1                      **HISTORIC DISTRICT:** Prospect Avenue National Historic District

**TYPE:** ARTICLE XII HISTORIC PRESERVATION COMMISSION  
Sec. 28-170 through 28-221

**APPLICANT:** Thomas Affsa

**OWNER:** Annelieke Schauer



Location Map

### **BACKGROUND INFORMATION**

The residence at 111 Terry Road is a 2 ½ story gable-ended structure built in 1940 in the Colonial Revival style, having Brick exterior and Slate roof.

**Proposed Project:** The applicant seeks to demolish an existing 6'x6' mudroom on the driveway (North) side of the home and extend the existing slab beneath to accommodate and construct a new 6'x11' mudroom. The design proposes a wood frame construction, cedar clapboards, pvc trim, slate roof, copper flashing, and re-use of the existing side window and exterior door.

### **LEGAL STANDARD**

The Commission reviews and acts upon all applications for Document of Suitability. No person or entity may, without first applying and obtaining the approval of the Commission, file an application for a demolition permit, or for a building permit for any protected property as designated in the Historic Preservation Ordinance Sec. 28-219.

### **STANDARD SPECIFIC TO THE USE**

The commission shall adopt the Secretary of the Interior's Standards for Rehabilitation and the Hartford Guidelines for Renovations and Additions to Historic Buildings.

According to page 18- *"Wood siding and trim"* of the adopted ***Guidelines for Renovations and Additions to Historic Buildings***; *"If vinyl siding is used, try to avoid covering wood detail and be sure to vent behind vinyl or aluminum siding."*

According to page 19- *"Windows and Doors"* of the adopted ***Guidelines for Renovations and Additions to Historic Buildings***; *"Consider repair and restoration first. Replace only when repair is not possible... Replace to match as closely as possible the dimensions and profiles of existing components such as stiles rails, muntins, glazing bars (interior and exterior) and area of glass..."*

### **FINDING OF FACTS**

**CURRENT USE:** Residential  
**YEAR BUILT:** 1940

**PROPOSED USE:** Residential  
**STYLE:** Colonial Revival

**Particular Mention in historic nomination:** n/a

**Current Conditions:** This building is in good condition.

**Condition of other properties in neighborhood:** Other properties on Terry Road are primarily in good condition. Many properties retain their Colonial Revival, Tudor Revival, or Georgian Revival historic style and original wood clapboard, brick, or stucco siding. Terry Road contributes to the historic district through its retention of its residential fabric, building shape, and form, which is characteristic of early 20<sup>th</sup> century residential development.

**COMMENTS RECEIVED** (None received as of August 6, 2020)

### **ANALYSIS**

Staff does not believe that demolishing the existing 6'x6' mudroom and construction of a new 6'x11' mudroom at 111 Terry Road will negatively impact the historic character of the neighborhood, which is largely characterized by the retention of original forms of early 20<sup>th</sup> century residences. The use of wood clapboard siding and slate roof will be in keeping with the historic materials of the home. In the provided elevation, some PVC paneling is shown in the gable area of the new construction. Staff believes that anywhere PVC siding is proposed, proper ventilation should be utilized. Re-use of the existing door and side window is also proposed and would be a great opportunity to retain historic character, however, should this re-use become unfeasible or some windows need replacing in the new design, staff believes these components should be replaced to match as closely as possible the dimensions and profiles of existing components.

### **STAFF RECOMMENDATION**

Staff recommends approval of this application with the following condition(s):

1. Wherever vinyl siding is used, proper ventilation behind vinyl will be provided;
2. Wherever windows or doors cannot be salvaged for re-use and are in need of replacement, these components shall be replaced to match as closely as possible the dimensions and profiles of existing components.

**A draft resolution follows.**

### **ATTACHMENTS**

1. Photographs of the property.

**REVIEWED,**

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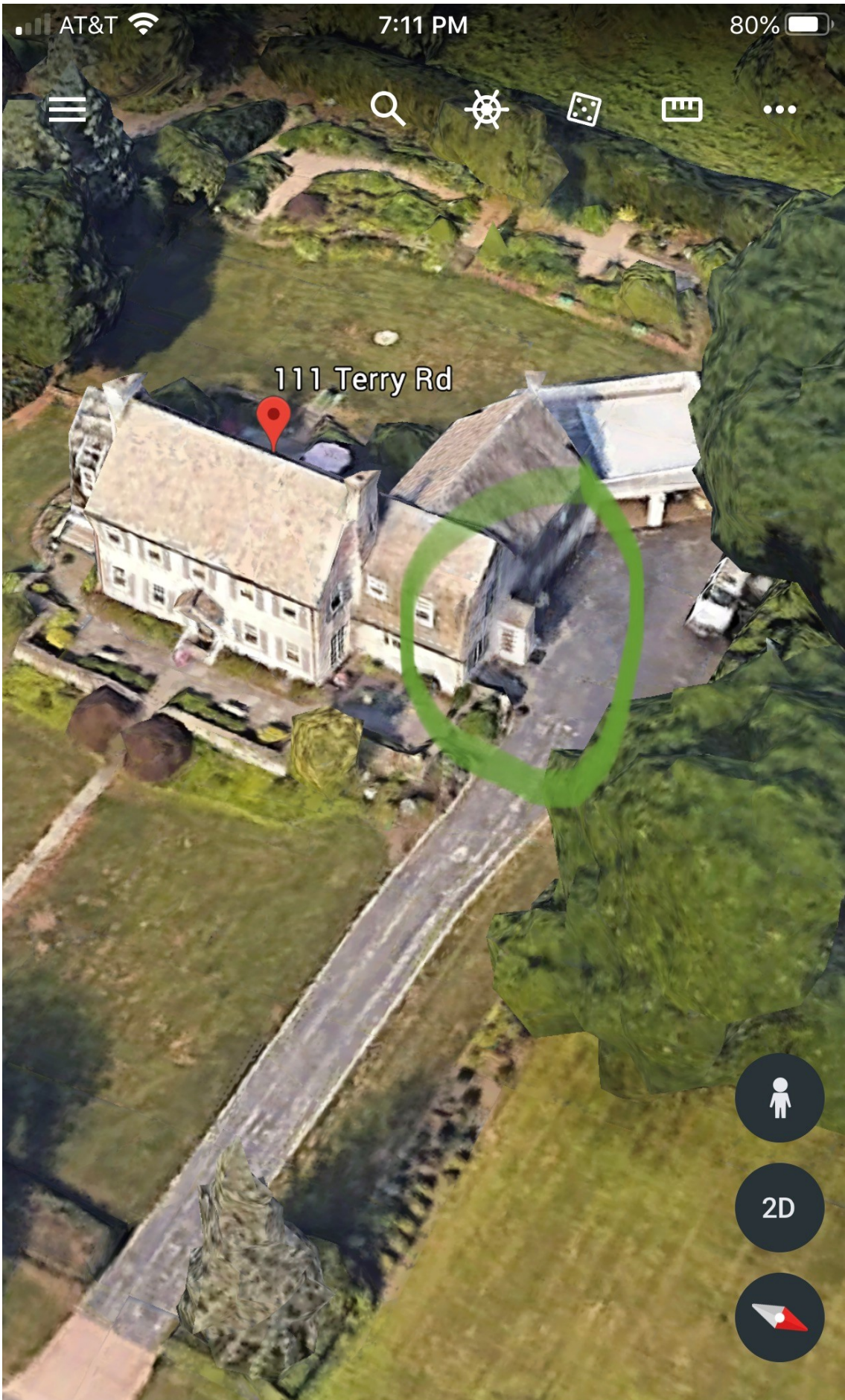
Aimee Chambers, Director



**CITY OF HARTFORD  
HISTORIC PRESERVATION COMMISSION RESOLUTION  
111 TERRY ROAD  
HISTORIC PRESERVATION PROPOSAL**

- Whereas,** The City of Hartford Historic Preservation Commission reviewed the proposal to demolish an existing mudroom and construct a new mudroom at 111 Terry Road; and
- Whereas,** The property is located in the Prospect Avenue National Historic District; and
- Whereas,** The structure is a 2 ½ story building of Colonial Revival style; and
- Whereas,** The applicant proposes to demolish an existing 6'x6' mudroom, extend the existing concrete pad and foundation, and construct a new 6'x11' mudroom; and
- Whereas,** The proposed gable roof will be protected with slate roofing and the exterior siding will be cedar clapboard siding with painted PVC panel siding at the gable area; and
- Whereas,** The proposed exterior trim will be PVC and copper flashing will be utilized where the roofline of the new mudroom meets the existing home; and
- Whereas,** The existing side window and exterior door will be salvaged and re-used; and
- Whereas,** The proposed work is consistent with the City's Historic Design Principles;
- Now therefore Be It
- Resolved,** The City of Hartford Historic Preservation Commission hereby approves the proposed work with the following conditions:
- Install proper ventilation behind any vinyl siding;
  - Install components to match as closely as possible the dimensions and profiles of existing components, wherever windows and doors cannot be salvaged and re-used;
- Be It Further,
- Resolved,** This 19th day of August 2020.





AT&T

7:11 PM

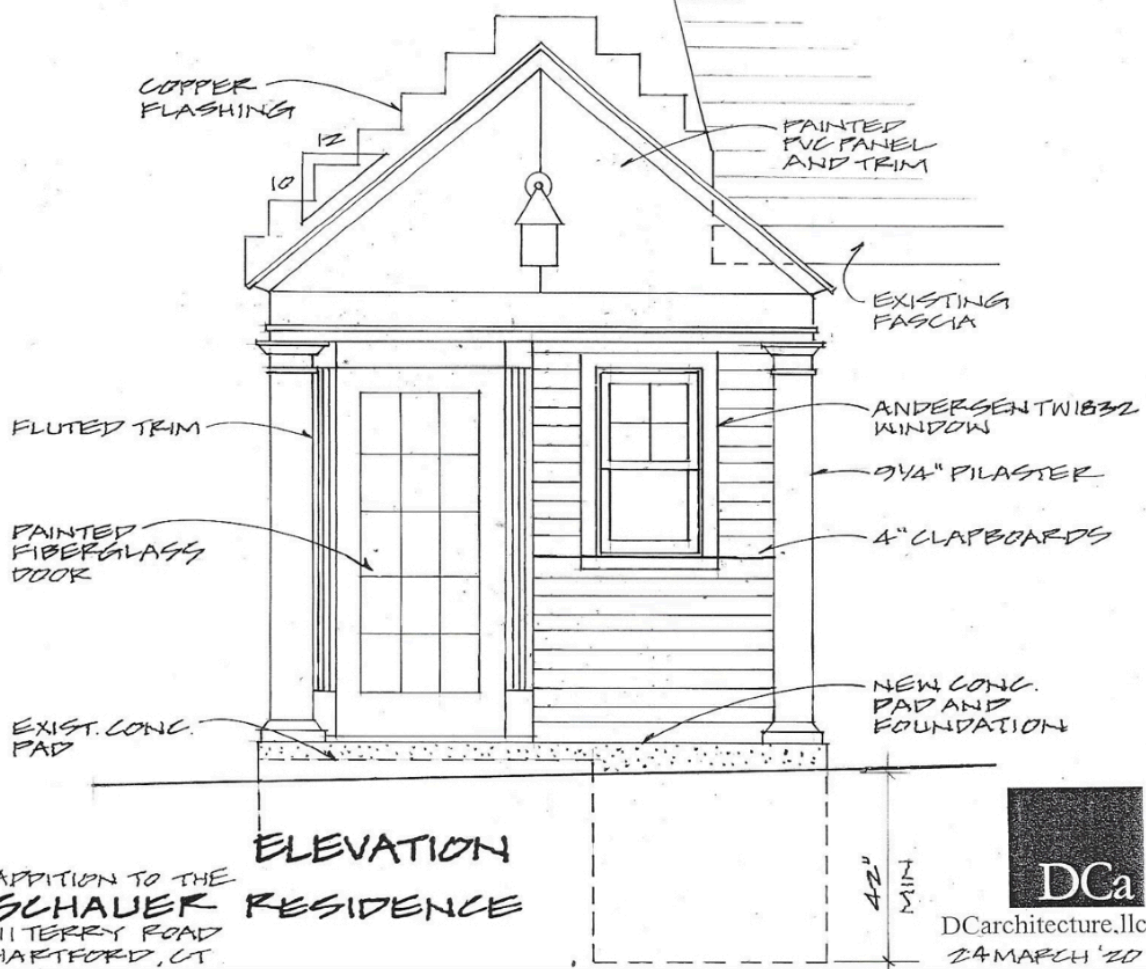
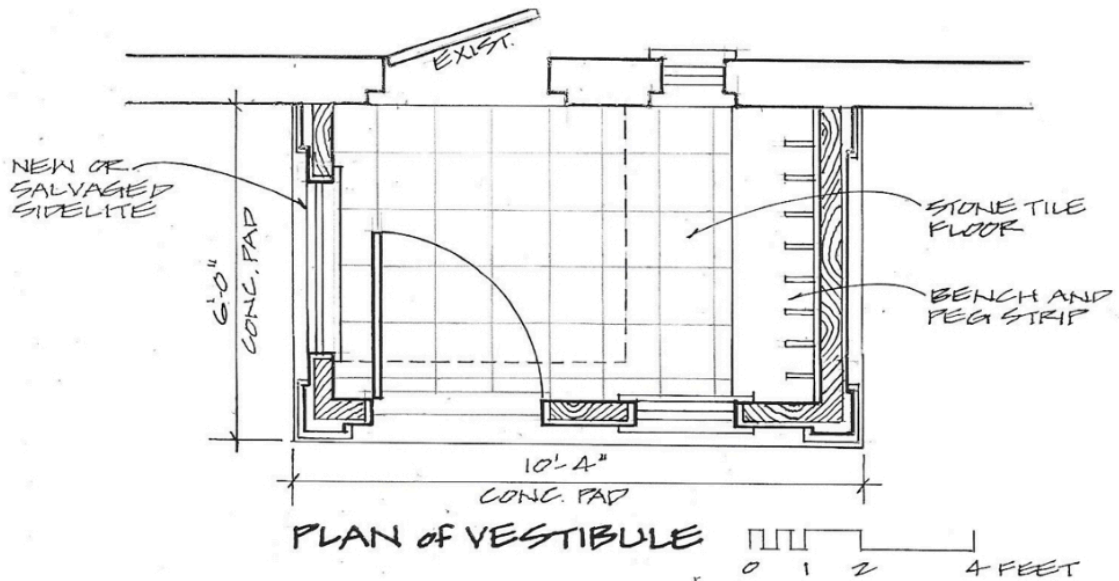
80%











**Description** One of the most durable and plentiful of the Vermont slates. A pleasure to work with for the slate craftsman—cuttable and consistent. This stone is grey/green when freshly quarried and a naturally harmonious blend of greens, greys and buff after weathering.

**Origin** Vermont

Lengths (inches)	Widths (inches)	Exposure (3" Headlap, inches)
24	12, 14	10.5
22	11, 12, 14	9.5
20	10, 11, 12	8.5
18	9, 10, 11, 12	7.5
16	8, 9, 10, 11, 12	6.5
14	7, 8, 9, 10, 11, 12	5.5
12	6, 7, 8, 9, 10, 12	4.5
Thickness (inches)	Pounds per Square	
Nominal $1\frac{1}{4}$ – $3\frac{3}{8}$	850–950	
$3\frac{3}{8}$ – $1\frac{1}{2}$	1,300–1,400	
$1\frac{1}{2}$ – $3\frac{1}{4}$	1,800–2,100	
$3\frac{1}{4}$ –1	2,700–3,000	
1– $1\frac{1}{4}$	3,600–4,000	

*Please note that not all sizes are available in every thickness. Call for availability.*

### Slate General Properties

- 100% natural product
- Exceptionally durable, 100-year useful life
- Proven historic performance & beauty
- Non-combustible—Class A Fire Resistant
- Resistant to acid rain, ultra-violet light & chemicals
- Withstands freeze/thaw cycles & high temperatures
- Rated Class 3 and Class 4 Hail Impact Resistance ( $3\frac{3}{4}$  to 2 inch ice balls)

	This Slate*	ASTM Standards:
Breaking Load	582 pounds	575 pounds minimum
Water Absorption	0.151%	0.25% maximum
Depth of Softening	0.0019"	0.002" maximum
ASTM Rating	S1	

*\*As tested by ASTM. Test report available upon request.*

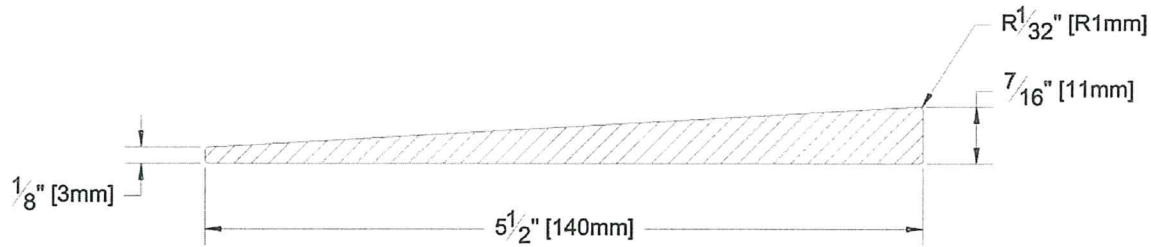
363 Vermont 30 South, Poultney, VT 05764

802-287-2295 | Fax 802-287-2296 | [newenglandslate.com](http://newenglandslate.com) | Formed by Nature, Crafted by Hand





# Siding



PRODUCT NAME: 1/2 x 6 Clear VG SF Bevel KD WRC 6' - 20'  
PATTERN NAME: Bevel

GRADE: Clear Vertical Grain  
PROFILE: Smooth Face Bevel

NOMINAL THICKNESS: 1/2"  
NOMINAL WIDTH: 6"

FINISHED THICKNESS: Butt: 7/16", Tip: 1/8"  
FINISHED WIDTH: 5-1/2"

LENGTH: 6' - 20' Odd & Even  
TRIM BACKS: Max 20% 6' - 7'  
GREEN / KILN DRIED: Kiln Dried  
GRAIN: VG  
SOLID / FJ: Solid  
PRODUCT LINE:

PULLED TO LENGTH / NESTED: Nested  
PACKAGE SIZE: 4000 fsm  
HEIGHT: 5 Bundles  
WIDTH: 8 Bundles  
PIECES PER BUNDLE: 10  
END CAPS: Yes  
PAPER WRAP / BOXED: Paper Wrap  
FACE TO BE PROTECTED: Smooth Face

COMMENTS: n/a

LAST UPDATED:

August 22, 2018

12180 MITCHELL ROAD, RICHMOND BC, V6V 1M8

TERMINALFOREST.COM

## ARCHITECTURAL GUIDE SPECIFICATIONS

The following are parts of a guide specification for incorporation into architectural specifications. Complete details, specifications and descriptive text for the installation of copper roofs, gutters, flashings, etc., are contained in the Revere manual *Copper & Common Sense*.

### General

#### QUALITY ASSURANCE

Unless otherwise shown or specified, comply with applicable recommendations and details in *Copper & Common Sense* by Revere Copper Products, Inc.

### Products

#### Material Data

##### Physical Properties

Atomic wt.	63.54
Specific gravity	8.89 to 8.94
Density	.0322lb./cu.in.
Coefficient of thermal expansion	0.0000098

Thickness	Theoretical	Minimum	Wt/Sq. Ft
16 oz.	0.0216"	0.0204"	1.00 lb.
20 oz.	0.0270"	0.0258"	1.25 lb.
24 oz.	0.0323"	0.0308"	1.50 lb.
32 oz.	0.0431"	0.0411"	2.00 lb.

Mechanical properties	Temper designation			
	Soft	Cold-rolled		
	060	H00	H01	H02
Tensile strength	30-38	32-40	34-42	37-46
Yield strength	-	20	28	30
Elongation	45%	30%	25%	10%
Rockwell F Scale	65	54-82	60-84	77-89

#### MATERIALS

A. Copper- Select copper or coppers as required for aesthetics.

1. **Standard sheet copper:** cold rolled ounce weight (12-ounce, 16-ounce, 20-ounce, and/ or 32-ounce as noted on drawings) copper sheet complying with ASTM B370. Unless otherwise noted, temper shall be H00.

2. **ContinentalBronze:** Our pre-aged copper is shipped with a natural brown/ bronze copper oxide finish. This material has no chemicals on the surface and will patina over time, in most environments the copper surface will eventually weather to a green patina.

3. **Tin-zinc alloy coated copper:** cold rolled ounce weight (12-ounce, 16-ounce, and 20-ounce as noted on drawings) copper coated both sides with tin-zinc alloy. Base copper sheet or coil shall comply with ASTM B370. Finish and appearance shall be that of Revere **FreedomGray™**.

4. **Pan-forming copper:** cold rolled ounce weight (12-ounce, 16-ounce and/ or 20-ounce as noted on drawings) copper in coil complying with ASTM B370 and manufactured in accordance with specifications for Revere **Ultrapan™**.

5. **Textured copper:** Solid copper having a designated minimum copper content of 99.5% or higher, in thickness ranging from .008" to .135", as specified on drawings. Finish and appearance shall be that of **Liberty Collection™ Rigidized©** textured copper.

6. **Copper composite panel:** Thermoplastic core coated both sides with lightweight copper sheet, with a protective film on exterior skin. Total thickness shall be 4mm or 6mm as specified on drawings. Finish and appearance shall be that of Revere **Alpolic Composite Panel™**.

B. Solder- shall conform to ASTM B32.

For **FreedomGray** tin/zinc alloy coated copper- Pure tin or lead-free, high-tin solders such as Number 497 by Johnson Manufacturing.

C. Fasteners- for plain copper, **Continental Bronze** and **FreedomGray** tin/zinc alloy coated copper shall be copper, copper alloy or non-magnetic, series 300 stainless steel.

### Execution

#### STORAGE AND COORDINATION

A. Store all architectural copper sheet and coils (plain/bare, Continental Bronze, and /or FreedomGray) off the ground in an enclosed structure so as to maintain dry conditions and exclude condensation. Do not store on bare ground under tarp.

B. Handle sheets and formed shapes in a manner to reduce scratches.

**Note:** The use of gloves may minimize fingerprints during initial weathering. Fingerprints fade and disappear with addition weathering. However, in arid locations they may persist for an extended period.

#### INSTALLATION

A. Except as otherwise shown or specified, comply with Revere Copper Products, Inc. recommendations and instructions as published in *Copper & Common Sense* and published Revere literature.

B. Separate and protect dissimilar metals as recommended by manufacturers of dissimilar metals (other than copper).

C. Solder plain/bare copper or **FreedomGray** in accordance with instructions published by Revere Copper Products, Inc.

**Note:** Prior to soldering plain/bare copper, **ContinentalBronze** or **FreedomGray**, areas to be soldered must be mechanically cleaned to produce a bright, unoxidized surface. Plain/bare copper and **ContinentalBronze** should be pre-tinned before soldering. It is not necessary to remove the tin-zinc alloy coating from the **FreedomGray**.

### CLEANING

Do **not** chemically or abrasively clean plain/bare copper, **ContinentalBronze** and/or **FreedomGray**. If necessary, construction dirt may be washed from copper with clean, fresh water only. Do **not** use soaps, detergents or other cleaning agents.

### PROTECTION

Protect plain/bare copper, **ContinentalBronze** and/or **FreedomGray** from oils, greases, masonry cleaning compounds, iron and steel fines and fasteners, and other construction materials that may stain or discolor copper surface. To minimize condensation or water stains, at the end of each workday, remove tarps or other protections placed on copper. Manufacturing representatives are available for assistance or on-site meetings.

**Refer to current manufacturer's SDS for safety and handling information.**



**Revere Copper Products, Inc.**

One Revere Park, Rome, NY 13440-5561

For technical assistance:

1-800-448-1776 ext. 2554

[www.reverecopper.com](http://www.reverecopper.com)

email: [archcopper@reverecopper.com](mailto:archcopper@reverecopper.com)

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Alpolic Composite Panel is a trademark of Mitsubishi Chemical America. Rigidized is a registered trademark of Rigidized Metals Corporation. ZT/TZ alloy is a trademark of Revere Copper Products, Inc.