



## DEPARTMENT OF DEVELOPMENT SERVICES – PLANNING DIVISION

REPORT: 240 S Marshall Street, Hartford, CT 06110

For consideration: August 19, 2020

### STAFF REPORT

**TO:** HARTFORD PRESERVATION COMMISSION

**FROM:** Grant Losapio, Consultant  
Email: [oneplan@hartford.gov](mailto:oneplan@hartford.gov)

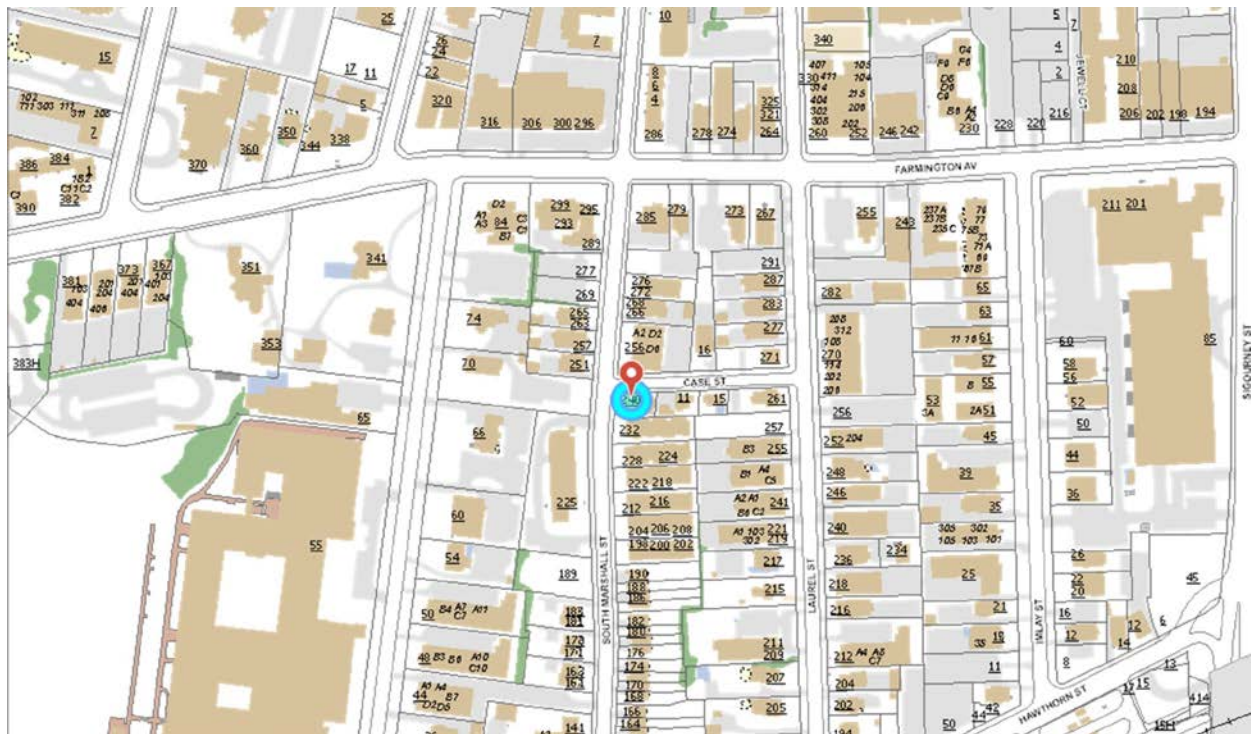
**PROJECT:** 240 S Marshall Street  
PARCEL ID: 180-407-013

**ZONE:** N2-2      **HISTORIC DISTRICT:** Asylum Hill National Historic District

**TYPE:** ARTICLE XII HISTORIC PRESERVATION COMMISSION  
Sec. 28-170 through 28-221

**APPLICANT:** SLP Contractors LLC / Juan Salazar

**OWNER:** SLP Contractors LLC



Location Map

### **BACKGROUND INFORMATION**

The residence at 240 S Marshall Street is a 2 ½ story wood frame structure built in 1910 in the Queen Anne style, having Wood Shingle exterior. The applicant first applied to HPC 9/18/19.

**Proposed Project:** The applicant seeks to rehabilitate the structure and make interior and exterior repairs to the building including:

1. Rebuild attic level and finish the interior for human occupancy.
2. Rebuild roof and roof dormers. At south side provide two dormers where one was before.
3. Provide new architectural asphalt roofing shingles.
4. Replace damages to exterior wood shake siding with new wood siding to match existing.
5. Replace damaged or deteriorated exterior wood trim and provide new wood trim to match existing.
6. Replace existing windows, and provide new windows, where missing, with new vinyl replacement windows.

### **LEGAL STANDARD**

The Commission reviews and acts upon all applications for Document of Suitability. No person or entity may, without first applying and obtaining the approval of the Commission, file an application for a demolition permit, or for a building permit for any protected property as designated in the Historic Preservation Ordinance Sec. 28-219.

### **STANDARD SPECIFIC TO THE USE**

The commission shall adopt the Secretary of the Interior's Standards for Rehabilitation and the Hartford Guidelines for Renovations and Additions to Historic Buildings.

According to page 24 - "*Siding*" of the adopted ***Guidelines for Renovations and Additions to Historic Buildings***; "*Replace siding in original material or, if no evidence is available, use material and styles compatible to your building's architectural character.*"

According to page 27 - "*Designing Alterations and Additions*" of the adopted ***Guidelines for Renovations and Additions to Historic Buildings***; "*Alterations and Additions which are in character with the style, detail and massing of the existing building. Alterations and minor additions may reproduce historical style. Larger additions may be contemporary in style and detail, as long as they are compatible in materials, massing and scale to the original.*"

### **FINDING OF FACTS**

**CURRENT USE:** Residential  
**YEAR BUILT:** 1910

**PROPOSED USE:** Residential  
**STYLE:** Queen Anne

**Particular Mention in historic nomination:** n/a

**Current Conditions:** This building is in poor condition and has suffered from fire damage. The entire roof structure and attic have been consumed by the fire and the remaining structure has suffered heavy damage.

**Condition of other properties in neighborhood:** Other properties in this area of S Marshall Street consist mostly of apartment buildings and multi-family homes in fair to good condition. The apartment building adjacent to the subject property has also suffered fire damage. Some homes in

the area retain a mixture of Colonial, Queen Anne, and Neo-Classical architectural forms and their original Wood Shingle siding.

**COMMENTS RECEIVED** (None received as of August 12, 2020)

**ANALYSIS**

On September 18, 2019 during the HPC meeting, Mr. Valerio Giadone, Hartford Preservation Alliance, gave an overview of the proposal and stated that he spoke with the applicant regarding the design which was proposed at the time. The applicant, Mr. Juan Salazar was not present to address or answer questions from the Commission. There were no other testimony or comments from the public and the Public Hearing was closed. The Commission discussed the proposal, and Commissioner Lynn Ferrari made a MOTION to DENY WITHOUT PREJUDICE the proposal to give the applicant an opportunity to provide drawings that show the proper changes. The original staff report is included for reference.

Staff believes that the proposed rehabilitation work meets the Guidelines for Restoration and Additions to Historic Buildings and will restore historic character in this building if as much of the wood shingle siding is salvaged as is feasible and any new wood shingle siding is selected to match as closely as possible the style, size, and color of the existing siding materials.

Applicant shall also provide material, construction, manufacturer, and finish information with regard to the proposed windows and roofing material.

**STAFF RECOMMENDATION**

Staff recommends approval of this application with the following condition(s):

1. As much of the wood shingle siding as feasible shall be salvaged and repaired.  
Any new wood shingle siding shall match as closely as possible the style, size, and color of the existing siding materials.
2. Applicant shall provide material, construction, manufacturer, and finish information with regard to the proposed windows and roofing material.

**A draft resolution follows.**

**ATTACHMENTS**

1. Photographs of the property.
2. Architectural floor plans and elevations.
3. September 18, 2019 Staff Report

**REVIEWED,**

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Aimee Chambers, Director



**CITY OF HARTFORD**  
**HISTORIC PRESERVATION COMMISSION RESOLUTION**  
**240 S MARSHALL STREET**  
**HISTORIC PRESERVATION PROPOSAL**

- Whereas,** The City of Hartford Historic Preservation Commission reviewed the proposal for rehabilitation at 240 S Marshall Street; and
- Whereas,** The property is located in the Asylum Hill National Historic District; and
- Whereas,** The structure is a 2 ½ story wood frame building of Queen Anne style; and
- Whereas,** The applicant proposes to rehabilitate the structure and make interior and exterior repairs to the building including:
1. Rebuild attic level and finish the interior for human occupancy.
  2. Rebuild roof and roof dormers. At south side provide two dormers where one was before.
  3. Provide new architectural asphalt roofing shingles.
  4. Replace damages exterior wood shake siding with new wood siding to match existing.
  5. Replace damaged or deteriorated exterior wood trim and provide new wood trim to match existing.
  6. Replace existing windows, and provide new windows, where missing, with new vinyl replacement windows; and
- Whereas,** Staff believes that the proposed rehabilitation work will restore historic character of this building and its contribution to the historic districts; and
- Whereas,** The proposed work is consistent with the City's Historic Design Principles;
- Now therefore Be It
- Resolved,** The City of Hartford Historic Preservation Commission hereby approves the proposed work with the following conditions:
1. As much of the wood shingle siding as feasible shall be salvaged and repaired. Any new wood shingle siding shall match as closely as possible the style, size, and color of the existing siding materials.

2. Applicant shall provide material, construction, manufacturer, and finish information with regard to the proposed windows and roofing material.

Be It Further,

**Resolved,**      This 19th day of August 2020.





Figure 1: 240 South Marshall Street. View from S. Marshall St. looking east. Prior to fire damage.



Figure 2: 240 South Marshall Street. View from S. Marshall St. looking east. Current condition.





Figure 3: 240 South Marshall Street. View from S. Marshall St. looking north east. Prior to fire damage.



Figure 4: 240 South Marshall Street. View from S. Marshall St. looking north east. Current condition





Figure 5: 240 South Marshall Street. View from S. Marshall St. looking south east. Prior to fire damage.



Figure 6: 240 South Marshall Street. View from S. Marshall St. looking south east. Current condition.





Figure 7: 240 South Marshall Street. View from Case St. looking south west. Prior to fire damage

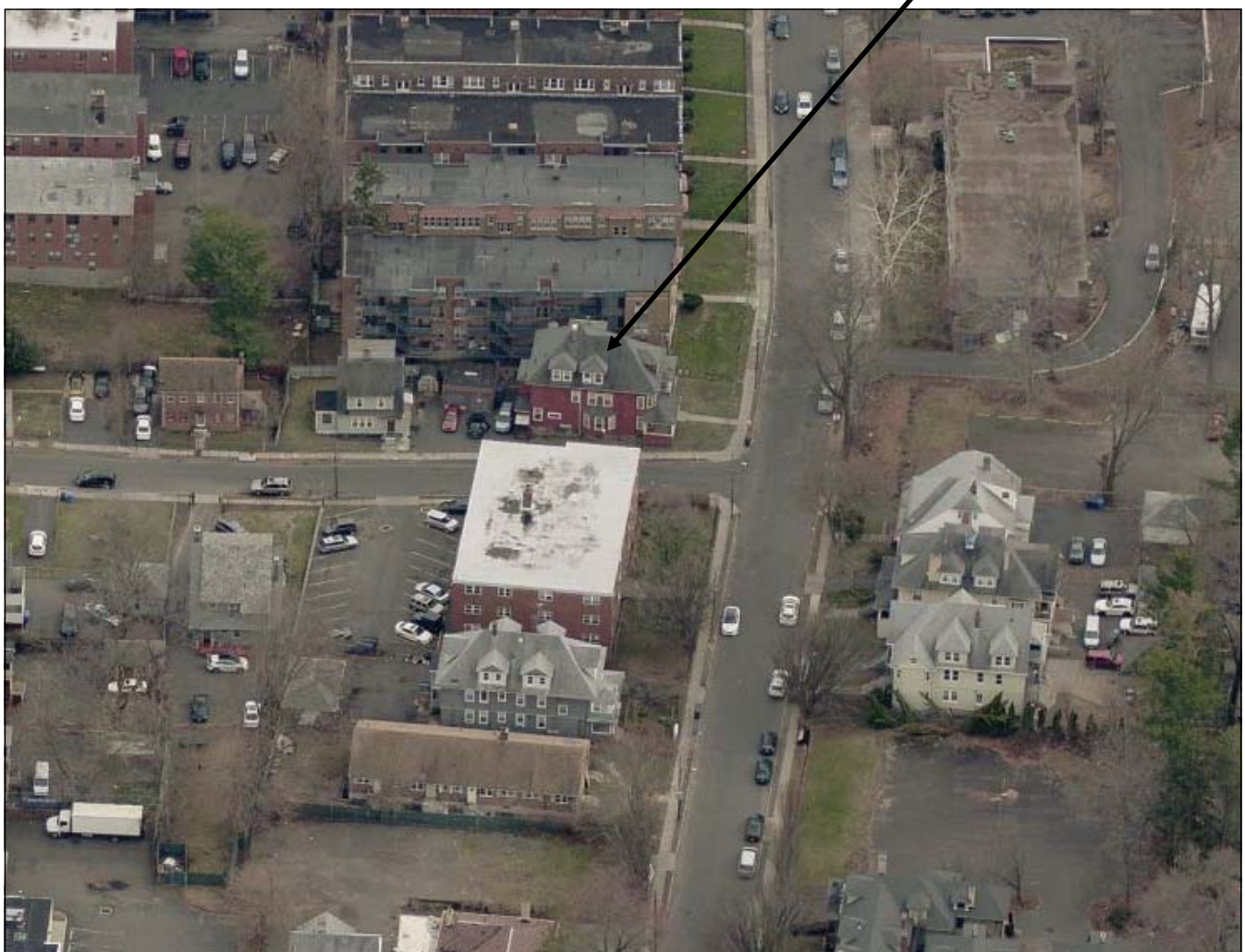


Figure 8: 240 South Marshall Street. View from Case St. looking south west. Current condition.



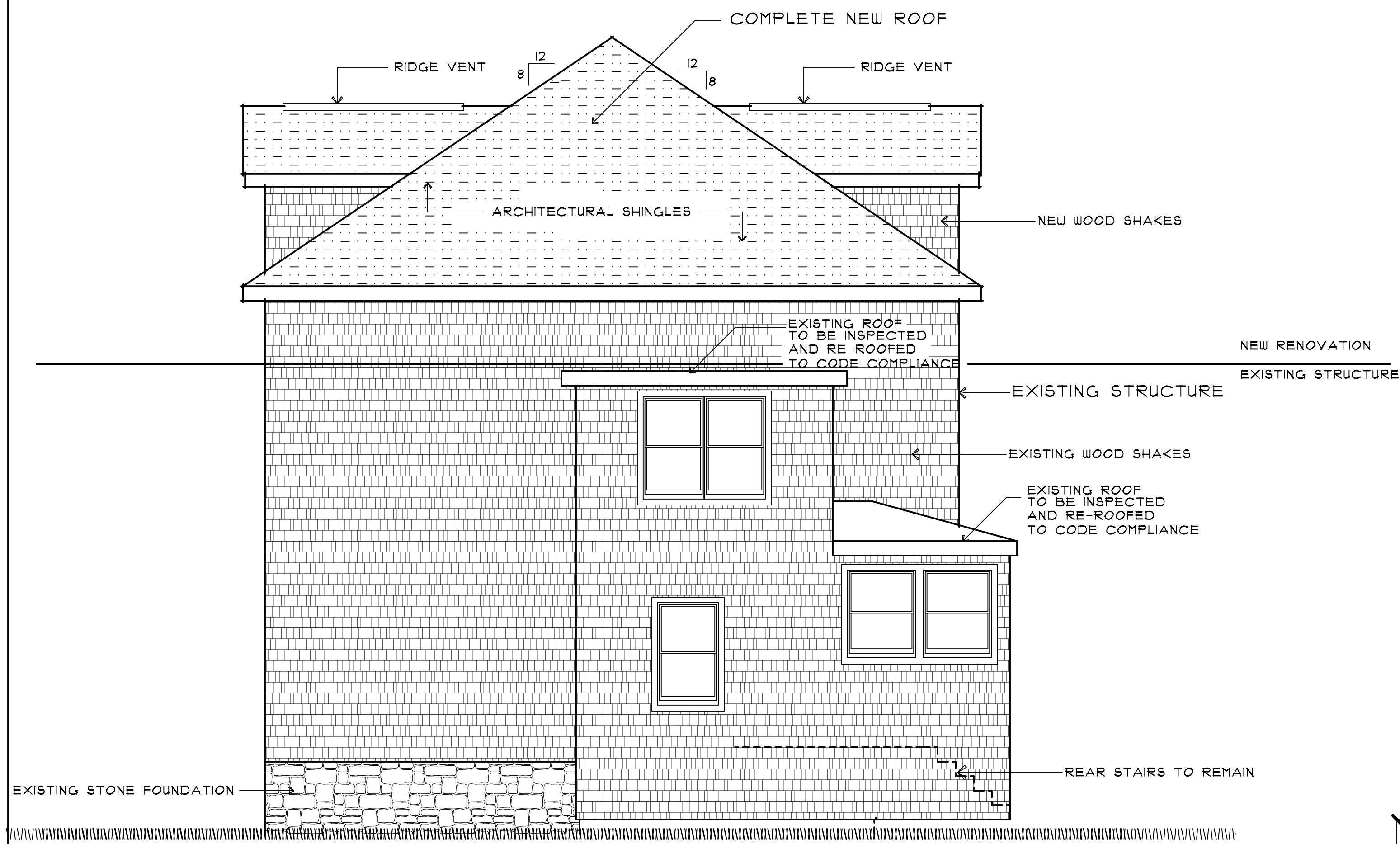


Figure 9: 240 South Marshall Street. View looking south.



240 South Marshall Street.

Figure 10: bird's eye view of South Marshall Street looking south.



## REAR ELEVATION

SCALE: 1/4" = 1'-0"

### BUILDING CODE DATA

1. 2018 STATE BUILDING CODE
2. 2015 INTERNATIONAL BUILDING CODE
3. 2009 ICC/ANSI A117-1
4. 2015 INTERNATIONAL MECHANICAL CODE
5. INTERNATIONAL ENERGY CONSERVATION CODE/2015
6. 2015 NATIONAL PLUMBING CODE
7. 2017 NATIONAL ELECTRICAL CODE
8. 2001 WFCM FOR 110 MPH WIND DESIGN

#### NOTE:

THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND STRUCTURAL ELEMENTS INCLUDING BEAM SIZES, LALLY COLUMN PLACEMENT AND SPACING ETC. BEFORE BEGINNING CONSTRUCTION. ALL CONSTRUCTION TO BE PERFORMED IN STRICT COMPLIANCE OF ALL NATIONAL STATE AND LOCAL BUILDING CODES.

#### NOTE:

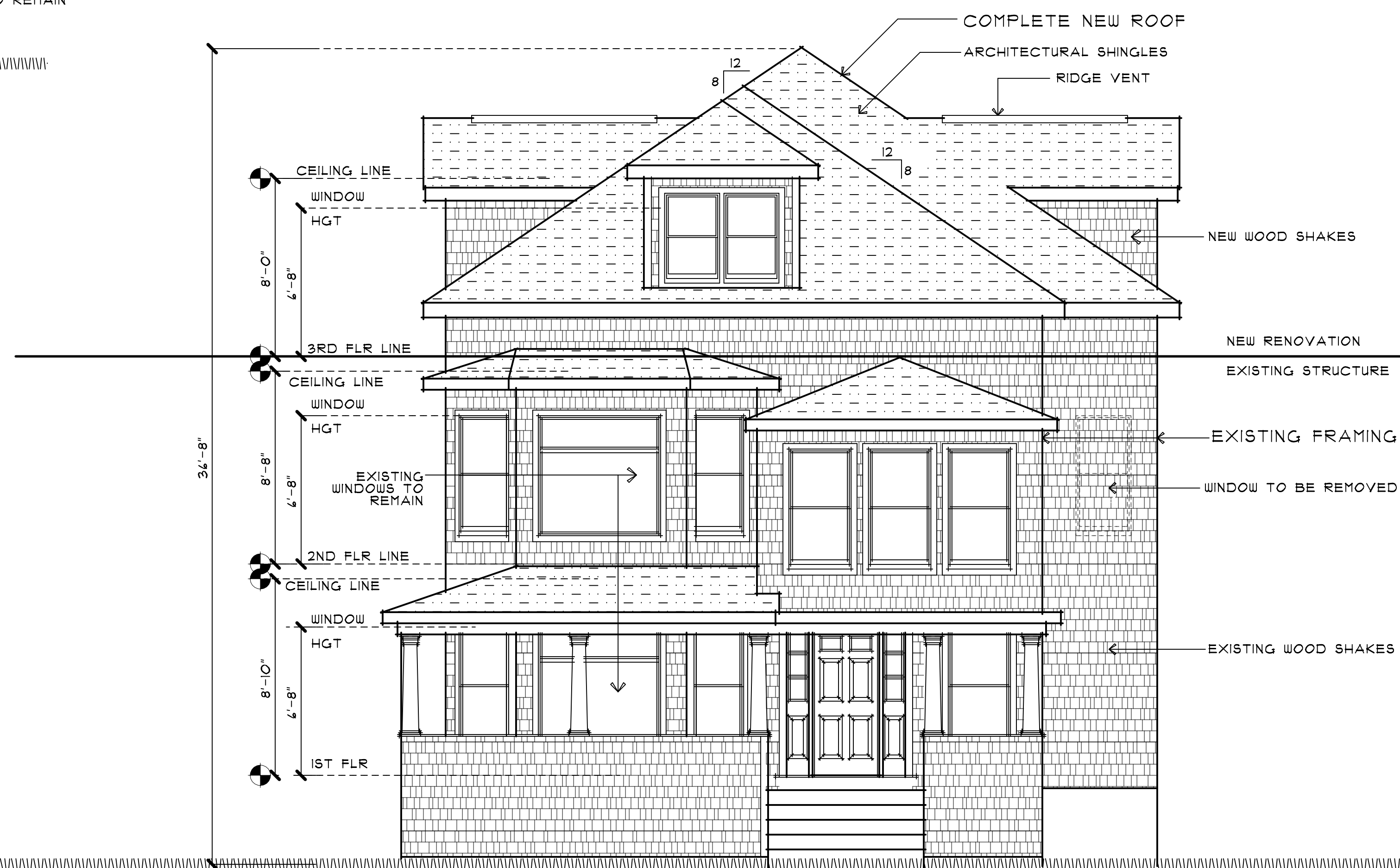
IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW ALL CONSTRUCTION DOCUMENTS FOR ACCURACY AND COMPLETENESS AND REPORT ANY CHANGES THAT MUST BE MADE TO THE FINAL PLANS BEFORE CONSTRUCTION. THE ACCURACY OF THESE PLANS ARE THE SOLE RESPONSIBILITY OF THE BUILDING CONTRACTOR.

TABLE R301.2(1)  
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			INTER- MEDIAN TEMP.	ICE BARRIER REQUIREMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	CLIMATE ZONE
	SPEED mph	TOPOGRAPHIC EFFECTS		WEATHERING	FROST LINE DEPTH	TERMITES						
40 psf	100		B	SEVERE	42" DEPTH	MODERATE TO HEAVY	1 DEG F	YES	TBD LOCALLY	1500 OR LESS	50 DEG F	5A

## LIST OF ABBREVIATIONS

I	AND	LB.	POUNDS
P	AT	PSF	POUNDS PER SQUARE FOOT
APPROX.	APPROXIMATE (LY)	PSI	POUNDS PER SQUARE INCH
FT.	FOOT/FEET	P.T.	PRESSURE TREATED
F.F.L.	FINISHED FLOOR LEVEL	REBAR	REINFORCED STEEL
H	HEIGHT	REQ'D	REQUIRED
IN.	INCHES	SQ.FT.	SQUARE FOOT/FEET
LVL	LAMINATED-VENEER LUMBER	T & G	TONGUE AND GROOVE
MAX.	MAXIMUM	TYP.	TYPICAL
MIN.	MINIMUM	W	WIDTH
#	NUMBER	W/	WITH
O.C.	ON CENTER	W.W.M.	WELDED WIRE MESH

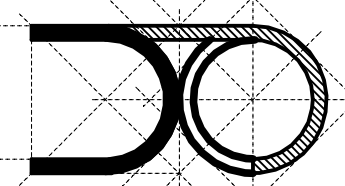


## FRONT ELEVATION

SCALE: 1/4" = 1'-0"

YOUNG DESIGNS  
UNLIMITED LLC

RESIDENTIAL DESIGN / SPACE DESIGN



P.O. BOX 111  
SCOTLAND, CONNECTICUT 06224-0011  
CELL#: (860) 908 3509

### FRONT & REAR ELEVATIONS

DATE: MARCH 29, 2019  
SCALE: AS NOTED

DRAWN BY: *B. YOUNG*

DATA REF: 8399

REVISIONS: DATE:  
1/15/20

Private Residence  
at  
240 South Marshall Street  
Hartford, Conn.

FIRST FLOOR	1214 SQ.FT.
SECOND FLOOR	1214 SQ.FT.
SECOND FLOOR	130 SQ.FT.
TOTAL	3,358 SQ.FT.

SHEET NO.

AI





## RIGHT SIDE ELEVATION

SCALE: 1/4" = 1/4" = 1'-0"



## LEFT SIDE ELEVATION

SCALE: 1/4" = 1/4" = 1'-0"

### RIGHT & LEFT ELEVATIONS

DATE: MARCH 29, 2019  
SCALE: AS NOTED  
DRAWN BY: *B. YOUNG*  
DATA REF: 8399  
REVISIONS: 

REVISIONS	DATE

Private Residence  
at  
240 South Marshall Street  
Hartford, Conn.

FIRST FLOOR	1214 SQ.FT.
SECOND FLOOR	1214 SQ.FT.
SECOND FLOOR	130 SQ.FT.
TOTAL	3,358 SQ.FT.

SHEET NO.

A2

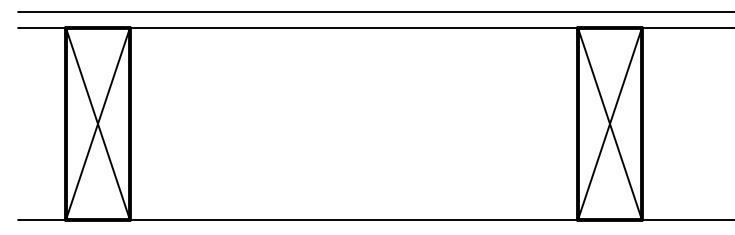
DESIGN No. U305  
Fire-Resistance Ratings - ANSI/UL 263

1 HOUR FIRE RATED CEILING BETWEEN BASEMENT AND  
1ST FLOOR APARTMENT AS PER THREE FAMILY DWELLING  
SEPERATION.

BASE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED  
AT RIGHT ANGLES TO FLOOR JOIST 16" O.C. WITH 1 1/8" TYPE S  
W OR S DRYWALL SCREW 1" O.C.

FACE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD OR  
GYPSUM VENEER BASE APPLIES RIGHT ANGLES TO JOISTS  
WITH 1 1/8" TYPE G DRYWALL SCREWS 12" O.C. AT JOISTS AND  
INTERMEDIATE JOINTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C.  
PLACED ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM  
BASE.

ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD  
APPLIED AT RIGHT ANGLES TO EACH SIDE  
OF 2"X6" WOOD STUDS 16" O.C. WITH 1 1/8" TYPE S  
OR W DRYWALL SCREWS 1" O.C. VERTICAL JOISTS  
STAGGERED 16" O.C. HORIZONTAL JOISTS STAGGERED  
24" O.C. ON OPPOSITE SIDES

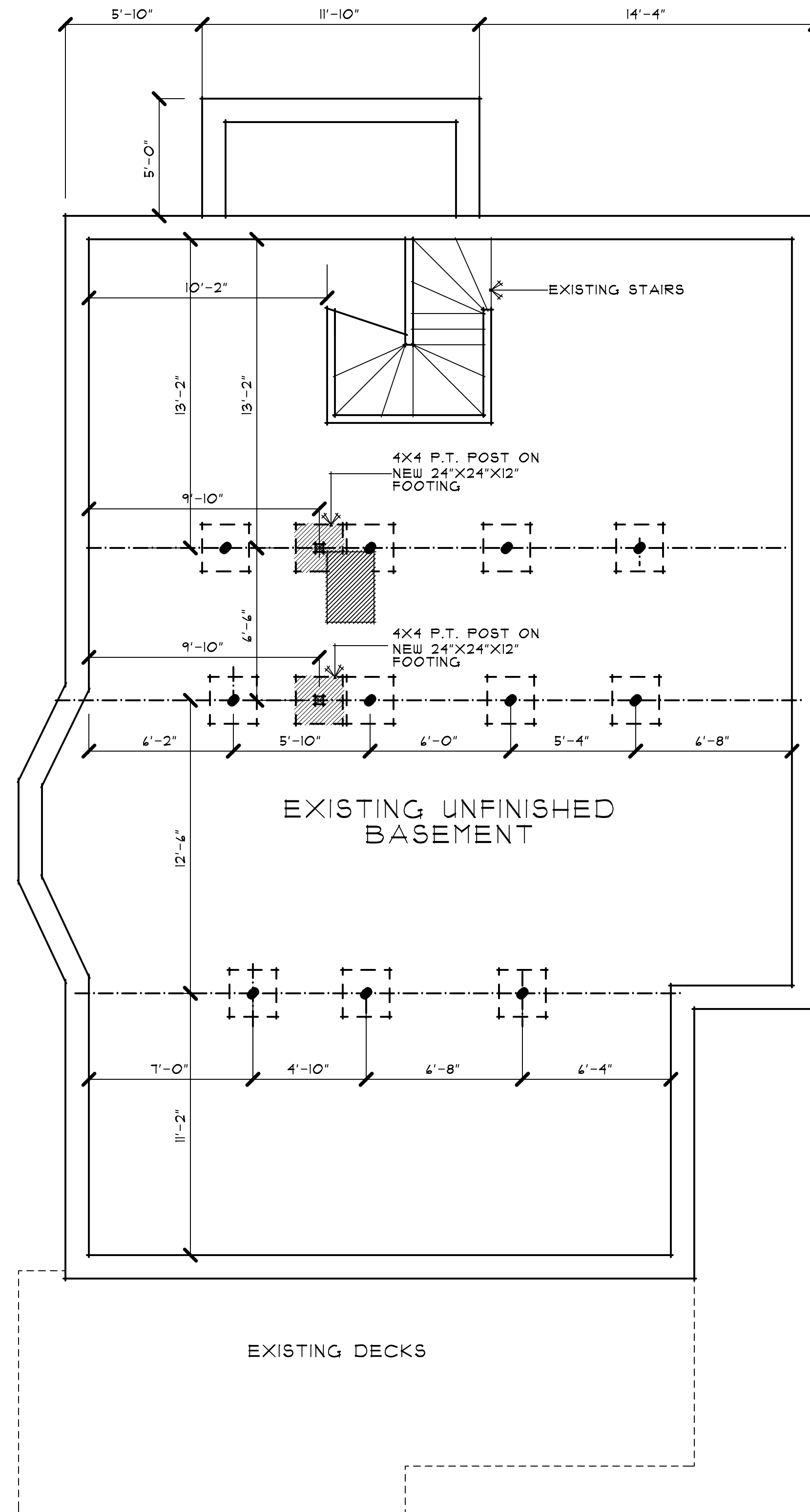


1 HOUR FIRE RATED  
SEPARATION WALL

NOT TO SCALE

METAL TIE DOWN SCHEDULE

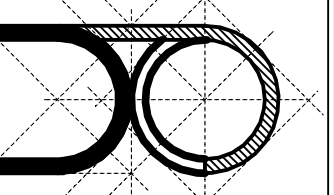
- 1 SIMPSON H25A HURRICANE  
TIE AT EACH RAFTER UNLESS  
OTHERWISE NOTED
- 2 SIMPSON LUS28 JOIST HANGER  
AT ALL SINGLE JOIST
- 3 SIMPSON LUS28-2 JOIST HANGER  
TYPICAL AT ALL DOUBLE JOIST
- 4 SIMPSON A35 CLIP AT EACH RAFTER
- 5 SIMPSON ABU4 POST BASE  
AT POST
- 6 SIMPSON AC4 POST CAP TYP  
AT BASE
- 7 SIMPSON ACE4(MIN) CORNER  
POST CAP
- 8 SIMPSON HDU4-SDS2.5  
HOLDOWNS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

YOUNG DESIGNS  
UNLIMITED LLC  
RESIDENTIAL DESIGN / SPACE DESIGN  
P.O. BOX 111  
SCOTLAND, CONNECTICUT 06224-0011  
CELL#: (860) 308 3501



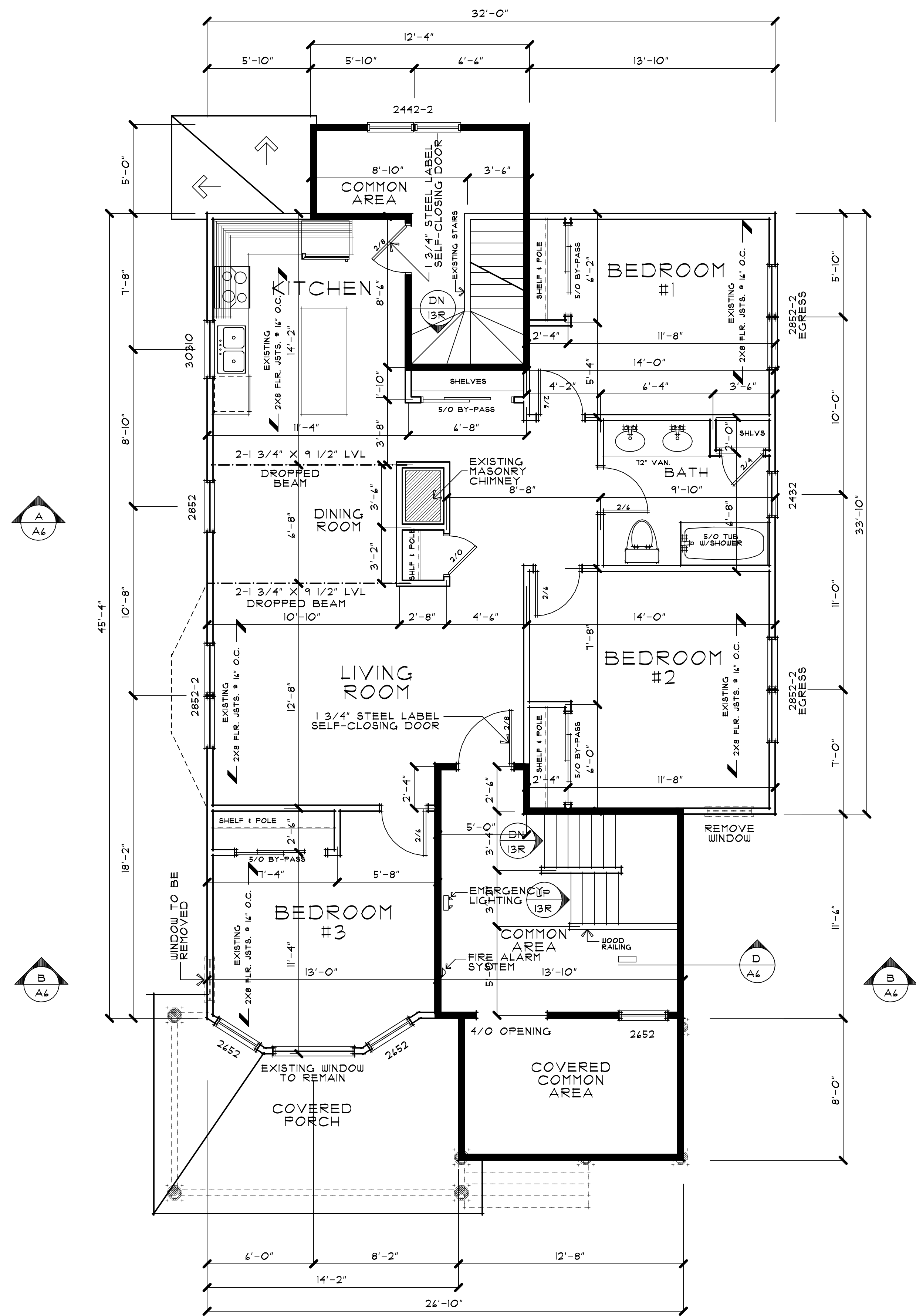
FOUNDATION  
PLAN

DATE: MARCH 29, 2019  
SCALE: AS NOTED  
DRAWN BY: B. YOUNG  
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REVISIONS: DATE:  
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Private Residence  
at  
240 South Marshall Street  
Hartford, Conn.

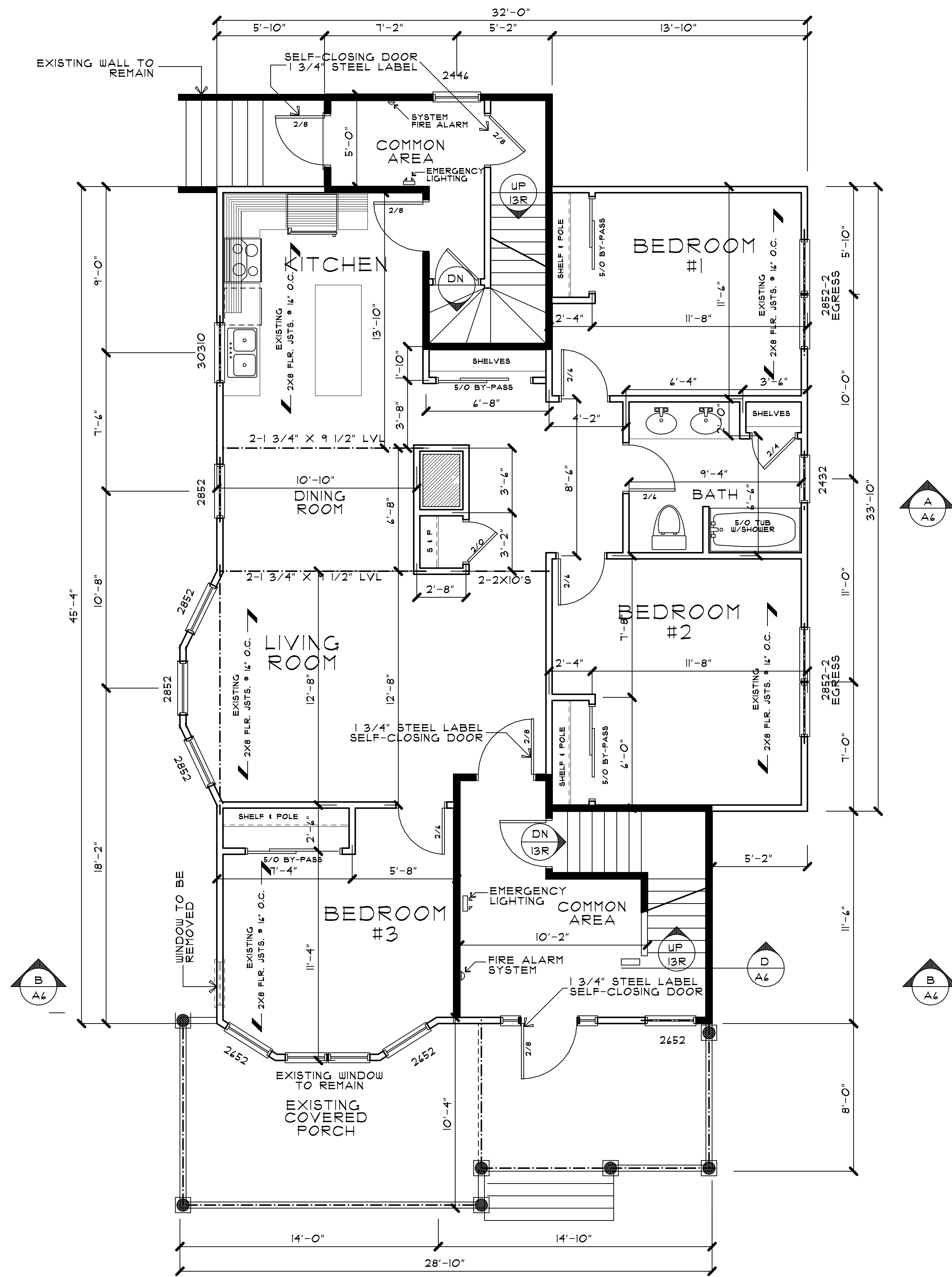
FIRST FLOOR 1214 SQ.FT.  
SECOND FLOOR 1214 SQ.FT.  
SECOND FLOOR 130 SQ.FT.  
TOTAL 3358 SQ.FT.

SHEET NO.  
A3



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"





Governing Building Codes

All construction shall comply with the: 2015 International Residential Code

- 1. All framing lumber shall be douglas fir of the following grades.  
2x4 studs - standard or better  
Joists/Beams/2x6 studs - no.2 or better  
#2 D.F. base-value FB 815  
E=1,600,000
- 2. Approved naturally durable or pressure-preservatively treated wood shall be used for those portions of wood members that form the structural supports of building, balconies, porches or similar permanent building appurtenances when such members are exposed to the weather without adequate protection from a roof, eave overhang or other covering that would prevent moisture or water accumulation on the surface or at joints between members such member shall include:  
A. Horizontal members such as girders, joists, and decking  
B. Vertical members such as posts, poles and columns  
C. Both horizontal and vertical members
- 3. All nails shall be hot-dipped galv. where exposed to weather.
- 4. Double joists under all partitions.
- 5. There shall be no nailing into end grain end connectors shall be made W/ 1/4 GA. galv. mtl. connectors, joist hangers, Etc..
- 6. All footing to rest on undisturbed soil of min. 2500 PSF bearing capacity.
- 7. All fill to be compacted in layers of not more than 8".
- 8. Compact to 95% optimum.
- 9. All concrete to be min. 3000 P.S.I. @ 28 days except as noted
- 10. All parts of foundation walls below grade but above the level of the lower floor shall be dampproofed on the outside W/ at least one layer coat of asphalt paint.
- 11. Design Live Loads

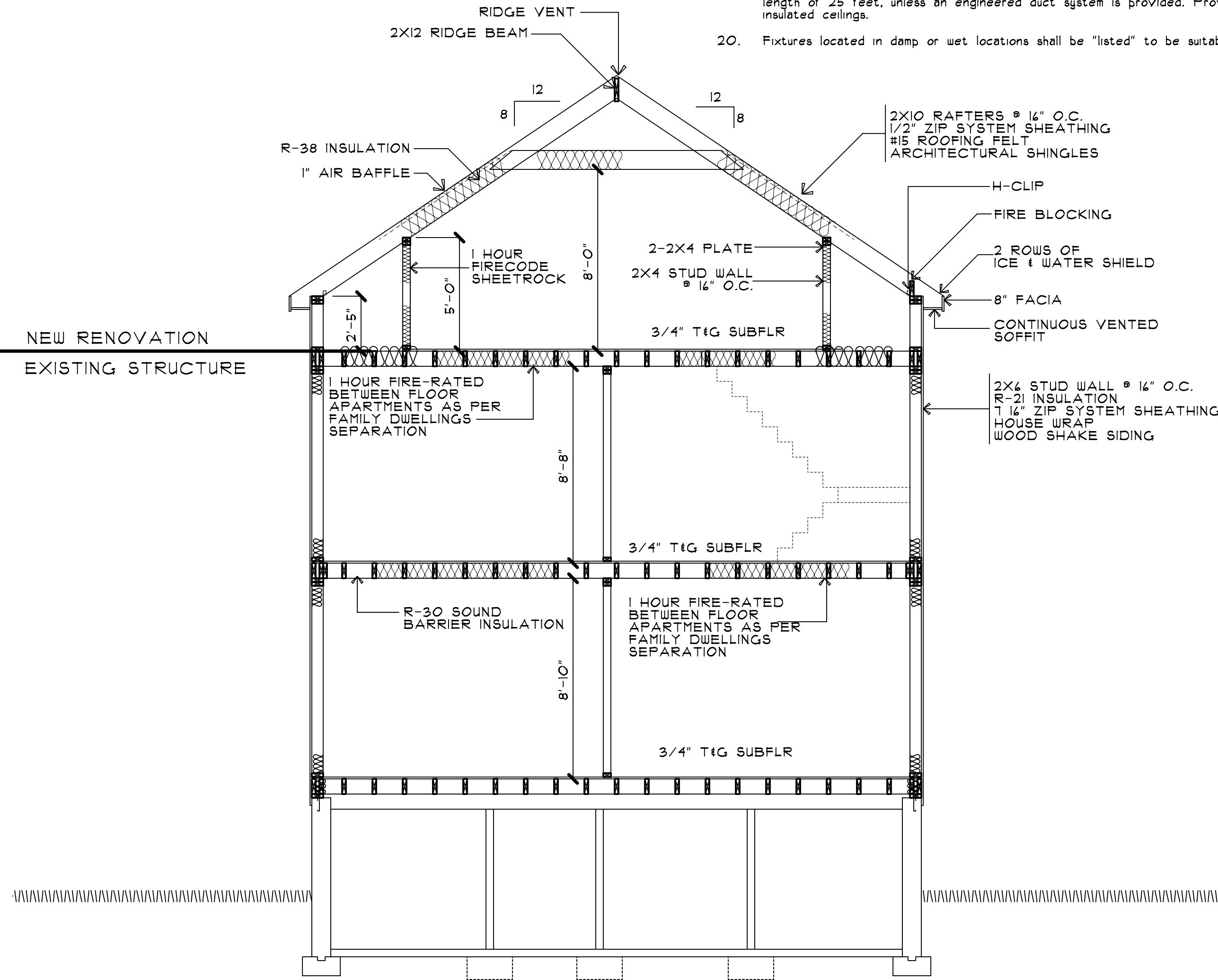
Living Area Loads	40 PSF
Sleeping Area Load	30 PSF
Roof Load	30 PSF
Deck Load	40 PSF
Exterior Balcony Load	40 PSF

Governing Building Codes

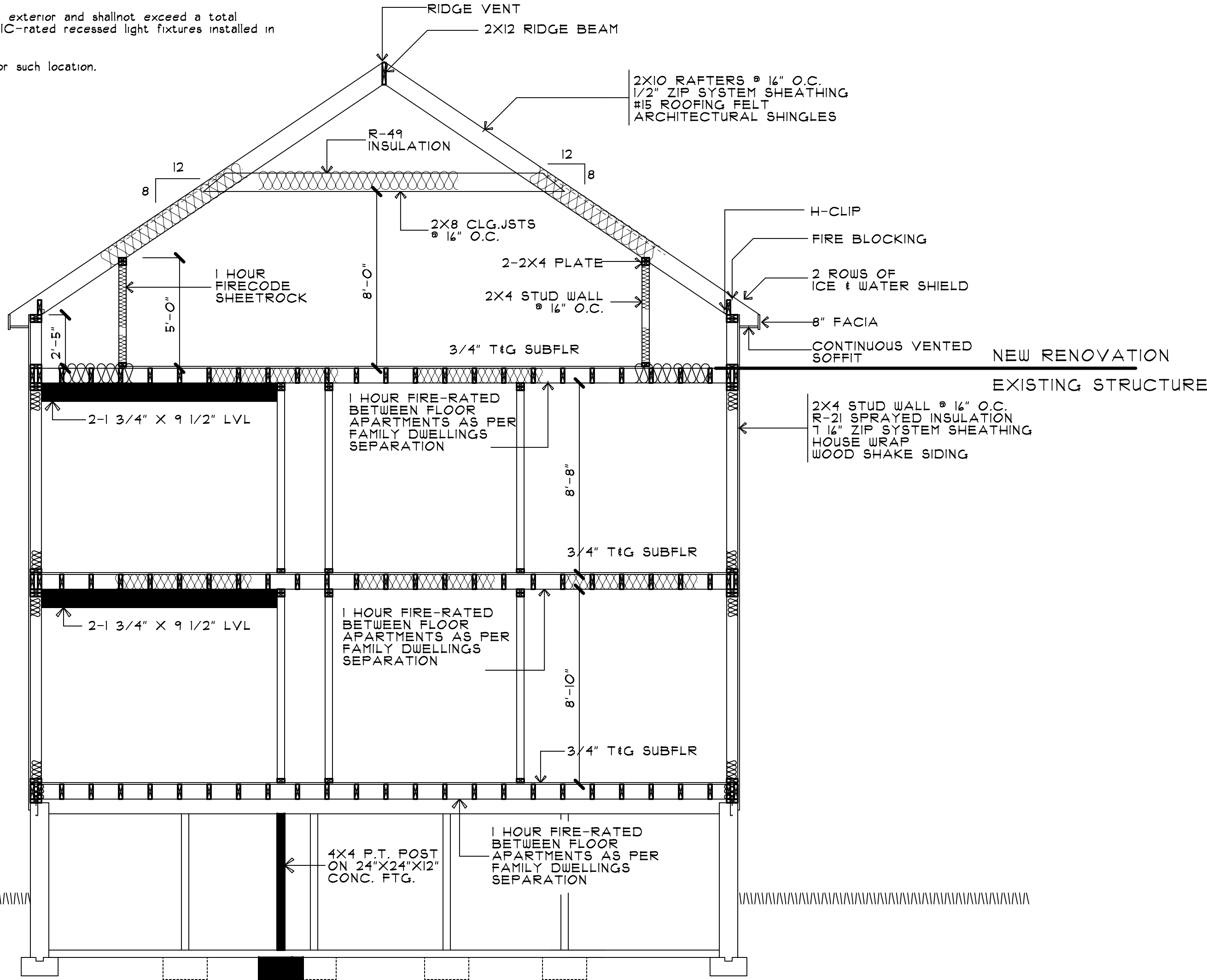
All construction shall comply with the: 2015 International Residential Code  
All construction shall comply with the: 2018 Connecticut State Building Code

- 1. All products listed by ICC/N.E.R. number(s) shall be installed per the report and manufacturer's written instructions. Product substitution(s) for product(s) listed shall also have an ICC approved evaluation report(s) or be approved.
- 2. Exterior wall bottom sill plate, shall be pressure treated or equal, and shall bear/extend minimum 4 inches above finished grade.
- 3. Miscellaneous site structures, pools, spas, fences, site walls, retaining walls, and gas storage tanks require separate permits.
- 4. All exits to be operatable from the inside without the use of a key or special knowledge.
- 5. Doors leading into house from garage shall be self-closing.
- 6. Exterior wall penetrations by pipes, ducts or conduits shall be caulked.
- 7. Provide roof attic ventilation per ( R804.1)
- 8. Lumber shall bear an approval grading stamp. (R502.1)
- 9. Fire blocking shall comply with (R402.8) and be maximum 10ft. O.C. horizontal or vertical.
- 10. Floor-ceiling assemblies with a concealed space in excess of 1000 square feet shall have draft stops installed that divide the concealed space into approximately equal areas. Draft-stopping material shall comply with (R502.12)
- 11. Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or 5/8" when framing members are 24" o.c. or use labeled sag-resistant gypsum ceiling board, Table R102.1.3 (d).
- 12. Shower area walls shall be finished with smooth, hard non-absorbant surface, such as ceramic tile, to a height of not less than 12 inches above the drain inlet. When gypsum wallboard is used as a base for tile or wall panels, water-resistant gypsum wallboard shall be used. Water-resistant gypsum board shall not be used over a vapor retarder, in areas of high humidity or on ceilings where the frame spacings exceeds 12 inches on center for 1/2" gypsum, and 16" on center for 5/8" gypsum. (R102.4.2)
- 13. Showers and tub-shower combinations shall be provided with control valves of the pressure balance or thermostatic mixing valve type.
- 14. R314.1 Smoke Detection and notifications. All smoke detectors shall be listed and labeled in accordance with UL 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 12
- 15. R315.1 Carbon monoxide alarms. For new construction, an approved carbon monoxide alarm shall be installed outside of each separated sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages.
- 16. N102.4.1.2.. Blower Door Testing.
- 17. Domestic dishwashing machines connected to a disposer shall have the discharge installed as high as possible, not lower than 2" above the flood rim of the sink.
- 18. Register, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides in addition to being connected to the ductwork they serve.
- 19. The clothes dryer shall be provided with a 4-inch diameter exhaust to the exterior and shall not exceed a total length of 25 feet, unless an engineered duct system is provided. Provide IC-rated recessed light fixtures installed in insulated ceilings.
- 20. Fixtures located in damp or wet locations shall be "listed" to be suitable for such location.

- 24. Provide GFCI protection for receptacles at within 4ft. of all lavatories, sinks and basins.
- 25. Provide GFCI protected receptacles at all exterior, bathroom and garage locations.
- 26. Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory.
- 27. All circuits supplying receptacle outlets in all 15 and 20amp branch circuits shall be AFCI protected.
- 28. Receptacle outlets shall be installed so that no point along the floor line in a wall space is more than 4ft., measured horizontally, from an outlets in that space, including any wall space 2 feet or more in width.
- 29. Bathroom receptacle outlets shall be supplied by at least one 20-ampere branch circuit. Such circuits shall have no other outlets.
- 30. Provide a separate 20-ampere branch circuit to the laundry.
- 31. Provide a minimum of two 20-amp small appliance branch circuits for kitchen/dining/breakfast.
- 32. The two or more 20-ampere small appliance branch circuits shall have no other outlets, except the receptacle installed solely for electric supply to an electrical clock on the kitchen/ding/breakfast areas or receptacle for supplemental equipment and lighting for gas-fired ranges, ovens or counter-mounted units.
- 33. Receptacle outlets for ranges and clothes dryers shall be a 3-pole with a ground type. Four-wire, grounded-type flexible cords will be required for connection of ranges and clothes dryers. The bonding jumper shall not be connected between the neutral terminal and the frame of the appliance.
- 34. Provide a concrete encased grounding electrode of not less than 20 feet of #4 bare copper (220 ampere service).
- 35. Provide bonding to the water piping, gas and metal building systems. (minimum #4 for 200-amp service).
- 36. All metal piping systems, metal parts of electrical equipment, and pump motors associated with the hydro massage tub shall be bonded together using a copper bonding jumper, insulated, covered, or bare, not smaller than No.8 solid. Metal parts of listed equipment incorporating an approved system of double insulation and proving a means for grounding internal non-accessible, non-current-carrying metal parts shall not be bonded.
- 37. ALL EXPOSED LUMBER TO BE PRESSURE TREATED GRADED SPECIES.
- 38. ALL BUILDING LUMBER TO BE DOUGLAS FIR LARCH NO. 2 OR BETTER
- 39. ROOF POSTS TO BE PLACED AS NECESSARY TO SUPPORT LENGTHY MEMBERS.
- 40. Headers: all exterior openings to be 2-2x10's unless otherwise noted.  
Interior headers to be 2-2x8's unless otherwise noted
- 41. All cantilevers need to be blocked.
- 42. Ice barrier is required to extend from the lowest edges of all roof surfaces to a point of least 24" inside the exterior wall line of the building per IRC 905.1.2 measured horizontally.
- 43. Radon mitigation prep is required. Section AF103.
- 44. Per R311.7.8, continuous handrail is required on at least one side of the basement, first floor and second floor also F.T. Wood deck stairs.
- 45. All Electrical services to be designed and installed by others.
- 46. All Plumbing services to be designed and installed by others.
- 47. All Mechanical & HVAC services to be designed and installed by others.



CROSS SECTION B  
SCALE: 1/4" = 1'-0"



CROSS SECTION A  
SCALE: 1/4" = 1'-0"

YOUNG DESIGNS  
UNLIMITED LLC

RESIDENTIAL DESIGN / SPACE DESIGN

SCOTLAND, CONNECTICUT 06224-0044  
P.O. BOX 94  
CELL#: (860) 9083504

CROSS SECTIONS & GENERAL NOTES

DATE: MARCH 29, 2019  
SCALE: AS NOTED  
DRAWN BY: B. YOUNG  
DATA REF: 8399  
REVISIONS: 1/15/20

Private Residence  
at  
240 South Marshall Street  
Hartford, Conn.

FIRST FLOOR 1214 SQ.FT.  
SECOND FLOOR 1214 SQ.FT.  
SECOND FLOOR 130 SQ.FT.  
TOTAL 3358 SQ.FT.

SHEET NO.  
A6



# CITY OF HARTFORD

## DEPARTMENT OF DEVELOPMENT SERVICES - PLANNING DIVISION

### HISTORIC PRESERVATION COMMISSION

250 Constitution Plaza, 4th floor, Hartford, Connecticut 06103-1822

For consideration: September 18, 2019

#### STAFF REPORT

**TO:** **HARTFORD PRESERVATION COMMISSION**

**FROM:** Valerio Giadone, on behalf of the City of Hartford, Dept. of Development Services.  
Tel. 860-372-0134 Email: [valerio.giadone@hartford.gov](mailto:valerio.giadone@hartford.gov)

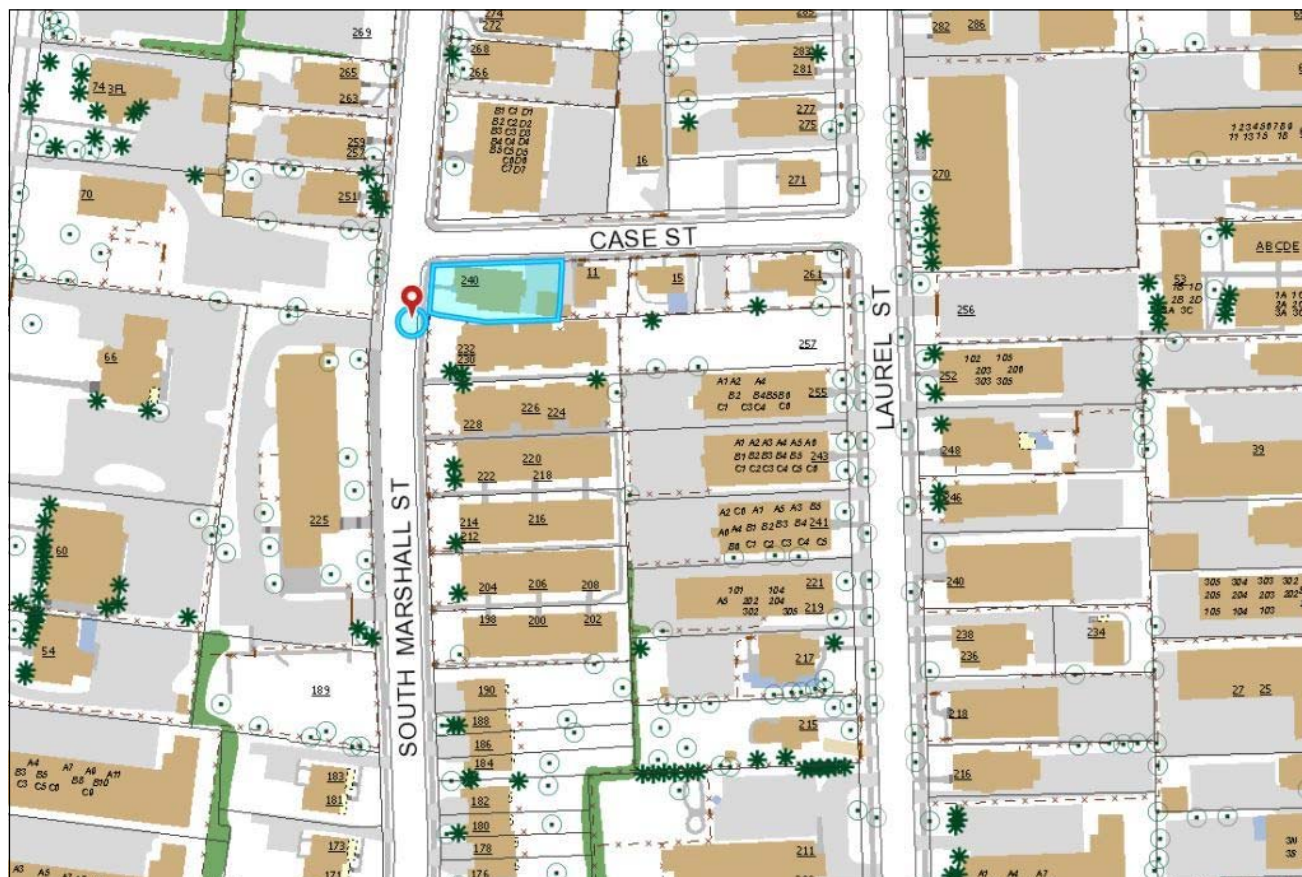
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Parcel ID: 180-407-013

**ZONE:** N2-2 **HISTORIC DISTRICT:** Laurel & Marshall Streets National Historic District

**TYPE:** ARTICLE XII HISTORIC PRESERVATION COMMISSION  
Sec. 28-170 through 28-221

**APPLICANT:** Juan Salazar

**OWNER:** Juan Salazar - SLP Contractors LLC



Location Map



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## **STANDARD SPECIFIC TO THE USE**

The commission shall adopt the Secretary of the Interior's Standards for Rehabilitation and the Hartford Guidelines for Renovations and Additions to Historic Buildings.

According to page 27- "*Designing Alterations and Additions*" of the adopted ***Guidelines for Renovations and Additions to Historic Buildings***; "*Alterations and Additions which are in character with the style, detail and massing of the existing building. Alterations and minor additions may reproduce historical style. Larger additions may be contemporary in style and detail, as long as they are compatible in materials, massing and scale to the original.*"

## **FINDING OF FACTS**

**CURRENT USE:** Residential

**PROPOSED USE:** Residential

**YEAR BUILT:** circa 1910

**STYLE:** Queen Anne

**Particular Mention in historic nomination:** None

**Current Conditions:** This property has suffered for fire damage. The entire roof structure and attic have been consumed by the fire and the remaining structure has suffered heavy damage.

**Condition of other properties in neighborhood:** Other properties on this block of South Marshall Street consists mostly of apartment buildings in fair to good condition. The apartment building adjacent to the subject property has also suffered fire damage.

**COMMENTS RECEIVED** (None requested or received as of September 6th, 2019)

**ANALYSIS**

Staff has reviewed proposed rehabilitation drawings and has made the following recommendations.

**FRONT ELEVATION:**

1. Dormer and dormer windows should be the same size as the original.
2. Large window with stain glass detail at first and second floor of bay window shall remain.
3. Indicate existing wood shakes siding to remain and new wood shakes to match existing where required.

**REAR ELEVATION:**

1. It appears that the proposed rear stair is missing on the rear elevation. Please show stair and handrails
2. Indicate existing wood shakes siding to remain and new wood shakes to match existing where required.
3. Do not show corner trim at building corners. (The wood shake siding is mitered at the corners) Typical.

**RIGHT SIDE ELEVATION:**

1. Dormer windows should fit within the dormer face elevation as the original windows.
2. Show existing trim to remain around windows. (Typical).
3. Indicate existing wood shakes siding to remain and new wood shakes to match existing where required.

**LEFT SIDE ELEVATION:**

1. Revise third floor plan so that the size of the dormer is the same as those indicated on the elevation. Both dormers shall be the same size. Dormer windows should fit within the dormer face elevation as the original windows. Show roof eave below dormers as the original dormers and roof detail. (Typical).
2. Show missing window at second floor right side.
3. Indicate window to be removed at first floor left side.
4. Show trim at all windows.
5. Indicate existing wood window sashes to be removed and new vinyl replacement window to be provided.
6. All new windows shall be 1/1 to match original windows design. (Typical on all elevations).
7. Show missing rear stair and handrails at first floor left side.

Applicant shall provide material, construction, manufacturer, and finish information with regard to proposed windows and roofing material.

Staff believes that proposed rehabilitation work as designed does not meet the Guidelines for Restorations and Additions to Historic Building and recommends to table this application until the proposed design is revised as required.

In the event that the applicant is able to revise and bring acceptable drawings at the hearing, the commission may consider the application for approval. A separate resolution for this eventuality has been prepared.

**STAFF RECOMMENDATION**

Staff recommends to table this application to allow the applicant to revise and resubmit proposed drawings.

A draft resolution follows;

**ATTACHMENTS**

1. Drawings
2. Photographs of the property and neighborhood.
3. Staff proposed revisions to exterior elevation

**REVIEWED,**



Aimee Chambers, Director



**CITY OF HARTFORD  
HISTORIC PRESERVATION COMMISSION RESOLUTION  
240 SOUTH MARSHALL STREET  
HISTORIC PRESERVATION PROPOSAL**

- Whereas,** The City of Hartford Historic Preservation Commission has reviewed the request for the rehabilitation of 240 South Marshall Street; and
- Whereas,** the property is located in the Laurel & Marshall Streets National Historic District; and
- Whereas,** the structure is a 2 1/2 story wood frame building of Queen Anne style; and
- Whereas,** the applicant proposes to rehabilitate the structure and make interior and exterior repairs to the building including:
1. Rebuilt attic level and finish the interior for human occupancy.
  2. Rebuild roof and roof dormers. At south side provide two dormers where one was before.
  3. Provide new architectural asphalt roofing shingles.
  4. Replace damaged exterior wood shake siding with new wood siding to match existing.
  5. Replace damaged or deteriorated exterior wood trim and provide new wood trim to match existing.
  6. Replace existing windows, and provide new windows, where missing, with new 6/1 double hung vinyl replacement windows; and
- Whereas,** staff believes that proposed rehabilitation work as designed does not meet the Guidelines for Restorations and Additions to Historic Building; and
- Whereas,** the proposed rehabilitation work is not consistent with the City's Historic Design Principles;
- Now therefore be It
- Resolved,** The City of Hartford Historic Preservation Commission hereby tables the proposed application so that the applicant may provide revised drawings meeting the Guidelines for Restorations and Additions to Historic Building

Be It Further,

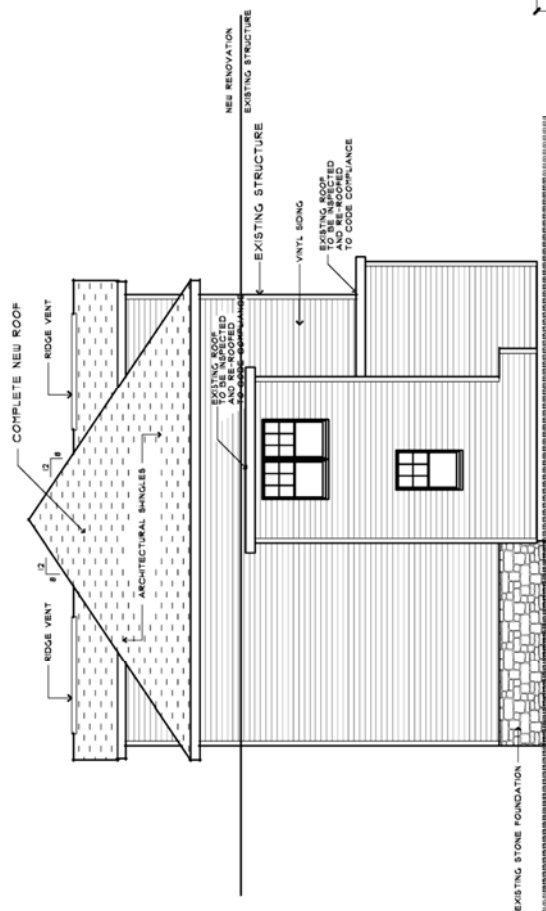
**Resolved,** This 18th. day of September 2019.





**CITY OF HARTFORD  
HISTORIC PRESERVATION COMMISSION RESOLUTION  
240 SOUTH MARSHALL STREET  
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  3. Provide new architectural asphalt roofing shingles.
  4. Replace damaged exterior wood shake siding with new wood siding to match existing.
  5. Replace damaged or deteriorated exterior wood trim and provide new wood trim to match existing.
  6. Replace existing windows, and provide new windows, where missing, with new 1/1 double hung vinyl replacement windows; and
- Whereas,** staff believes that proposed rehabilitation work will restore the historic character of this building and it's contribution to the historic district; and
- Whereas,** the proposed rehabilitation work is consistent with the City's Historic Design Principles;
- Now therefore be It
- Resolved,** The City of Hartford Historic Preservation Commission hereby approves the proposed work as submitted.
- Be It Further,
- Resolved,** This 18th. day of September 2019.

[illegible]

## REAR ELEVATION

SCALE: 1/4" = 1'-0"

## BUILDING CODE DATA

1. 2018 STATE BUILDING CODE
2. 2015 INTERNATIONAL BUILDING CODE
3. 2015 INTERNATIONAL MECHANICAL CODE
4. 2015 INTERNATIONAL ENERGY CONSERVATION CODE/2015
5. 2015 NATIONAL PLUMBING CODE
6. 2015 NATIONAL ELECTRICAL CODE
7. 2011 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704 RATING
8. 2001 WFCM FOR 10 MPH WIND DESIGN

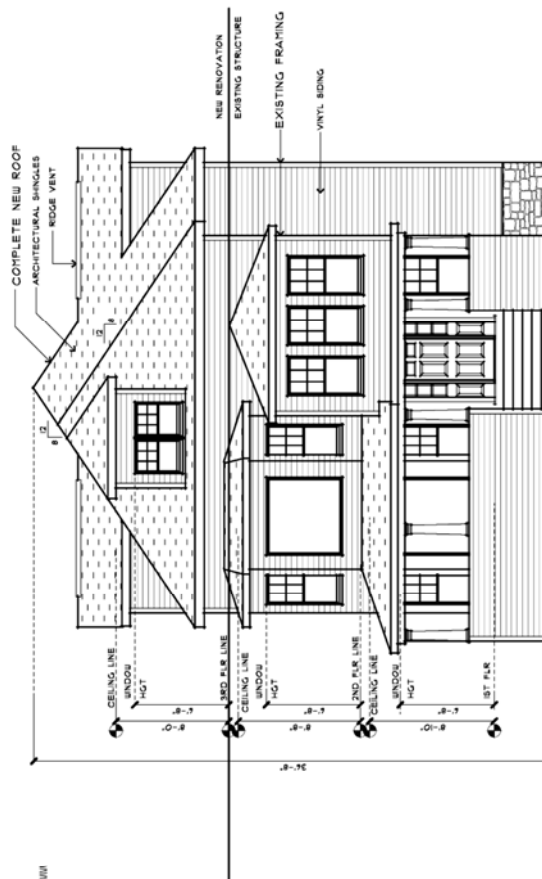
NOTE: THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND STRUCTURAL ELEMENTS INCLUDING BEAM SIZES, LALLY COLUMN PLACEMENT AND SPACING ETC BEFORE BEGINNING CONSTRUCTION. ALL CONSTRUCTION TO BE PROPOSED IN STRICT COMPLIANCE.

NOTE: IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW THE CONSTRUCTION DOCUMENTS FOR ACCURACY AND COMPLETENESS AND REPORT ANY CHANGES THAT MAY BE REQUIRED TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY ON THE BUILDING CONTRACTOR'S SIDE OF THE PROJECT IS TO PROVIDE AN ACCURATE AND COMPLETE SET OF CONSTRUCTION DOCUMENTS.

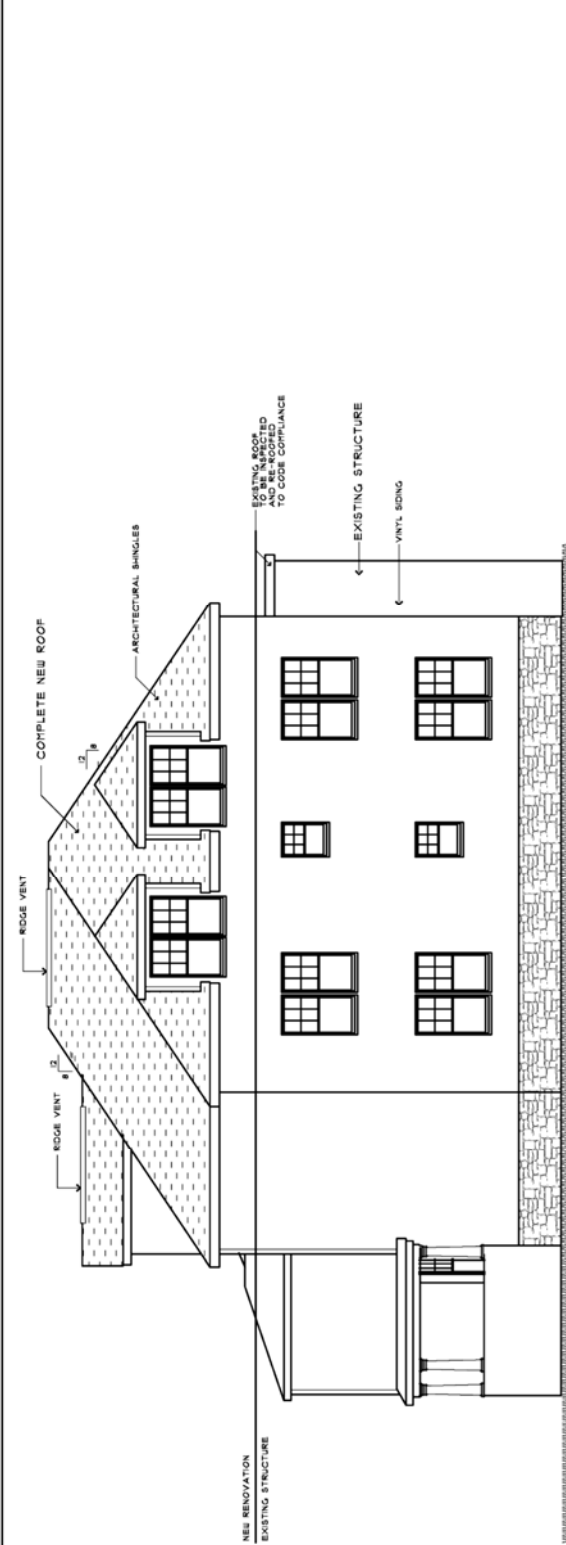
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA  
TABLE R301.2(1)

GROUND TANK RATING (LOAD)	WIND DESIGN		SEISMIC RISK CATEGORY	SUBJECT TO DAMAGE FROM			WIND SPEED (MPH)	WIND DIRECTION	WIND PRESSURE (PSF)	WIND EFFECT (PSF)	WIND EFFECT (PSF)	WIND EFFECT (PSF)
	WIND SPEED (MPH)	WIND DIRECTION		WIND SPEED (MPH)	WIND DIRECTION	WIND DIRECTION						
40 psf	100	B	B	SEVERE	42" DEPTH	NORMAL TO (HEAVY)	1 DEG N	YES	1500 LOCALLY	100 PSF	100 PSF	100 PSF

## FRONT ELEVATION

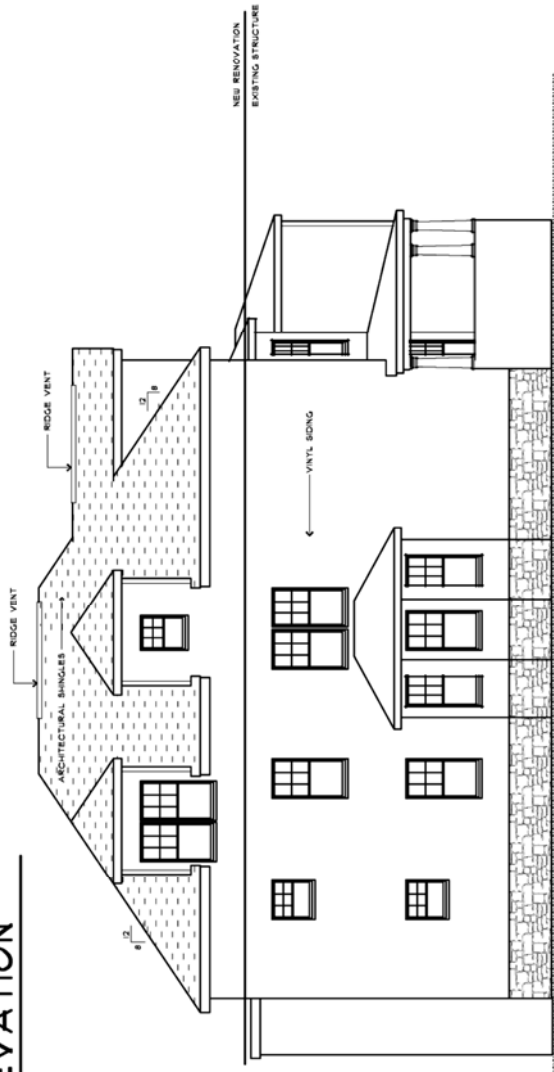
SCALE:  $1/4^{\circ} = 1^{\circ}$ 

YOUNG DESIGNS UNLIMITED LLC RESIDENTIAL DESIGN / SPACE DESIGN P.O. BOX 14		RIGHT 1 LEFT ELEVATIONS	DATE: MARCH 24, 2014 SCALE AS NOTED DRAWN BY: B. YOUNG DATA REV. 03/14 REVISIONS:	Private Residence at 240 South Marshall Street Hartford, Conn	FIRST FLOOR SECOND FLOOR TOTAL SHEET NO. A2
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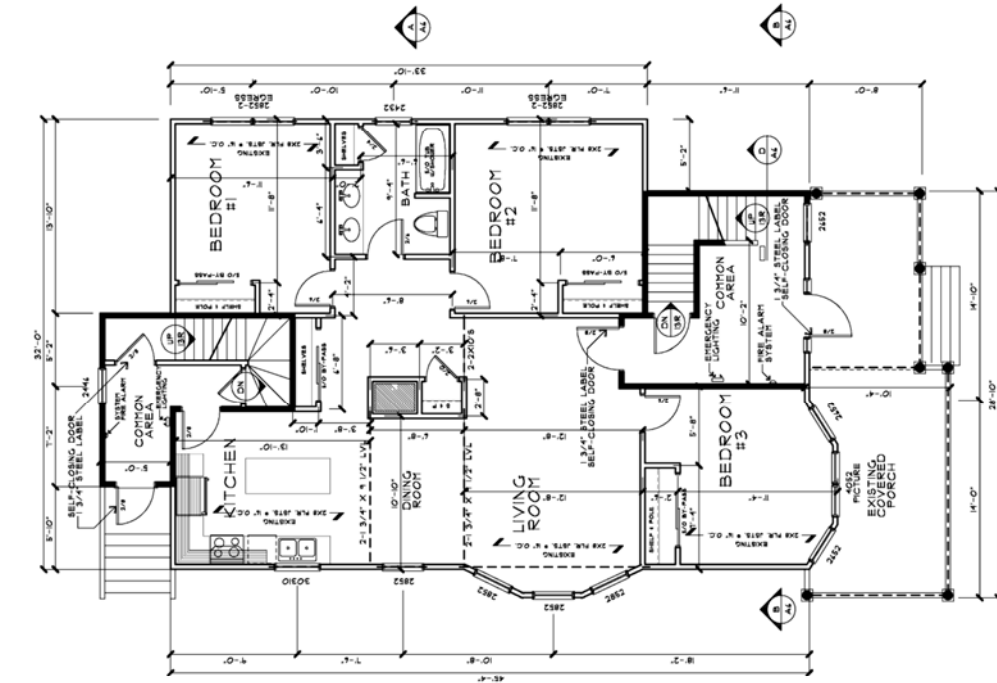
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1/4" = 1'-0"



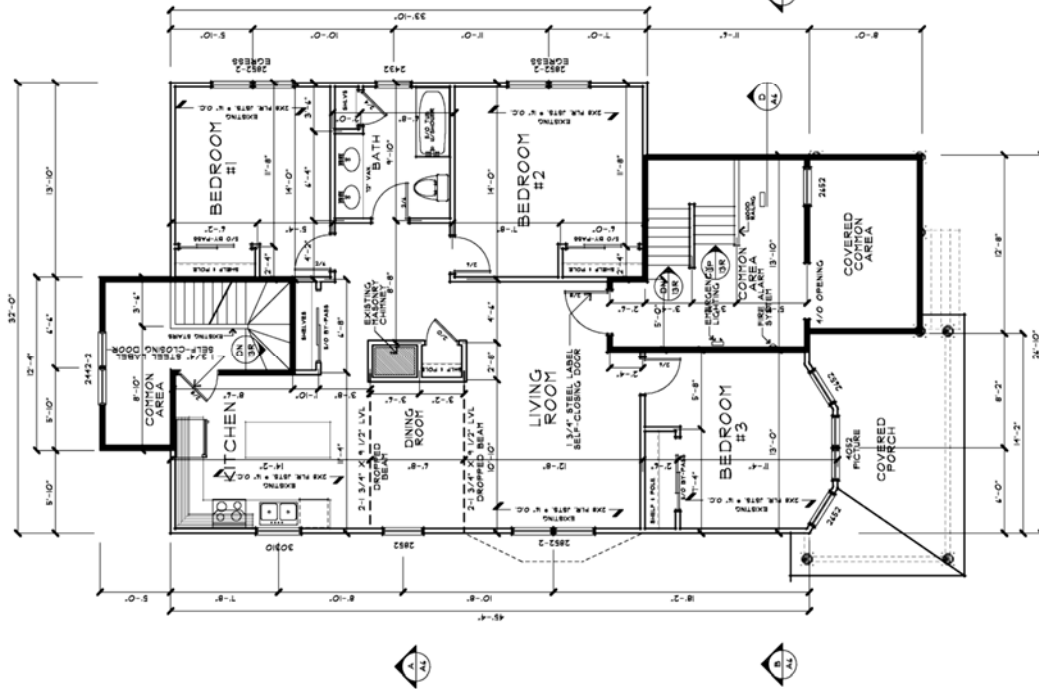
LEFT SIDE ELEVATION

SCALE: 1/4" = 1/4" = 1'-0"



# FIRST FLOOR PLAN

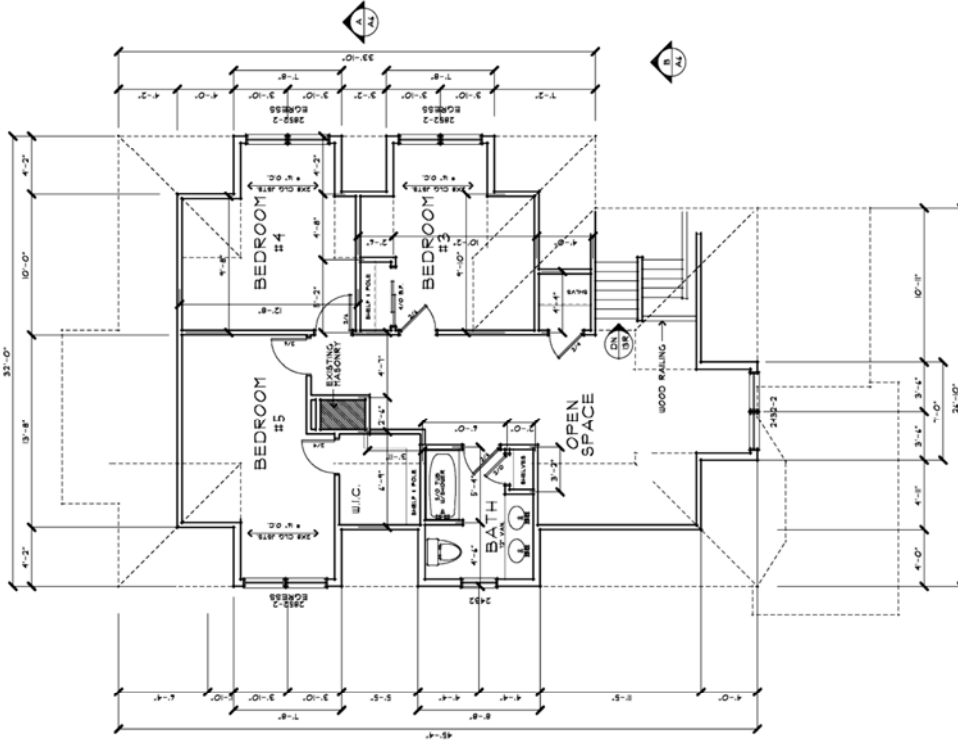
SCALE: 1/4" = 1'-0"



## SECOND FLOOR PLAN

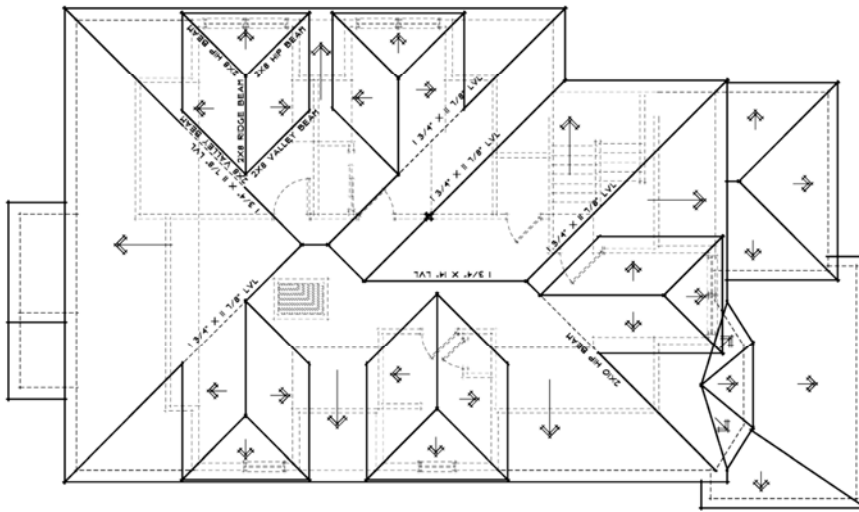
SCALE:  $1/4" = 1'-0"$





### THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



**ROOF PLAN**

SCALE: 1/4" = 1'-0"



Figure 1: 240 South Marshall Street. View from S. Marshall St. looking east. Prior to fire damage.



Figure 2: 240 South Marshall Street. View from S. Marshall St. looking east. Current condition.





Figure 3: 240 South Marshall Street. View from S. Marshall St. looking north east. Prior to fire damage.



Figure 4: 240 South Marshall Street. View from S. Marshall St. looking north east. Current condition





Figure 5: 240 South Marshall Street. View from S. Marshall St. looking south east. Prior to fire damage.



Figure 6: 240 South Marshall Street. View from S. Marshall St. looking south east. Current condition.





Figure 7: 240 South Marshall Street. View from Case St. looking south west. Prior to fire damage

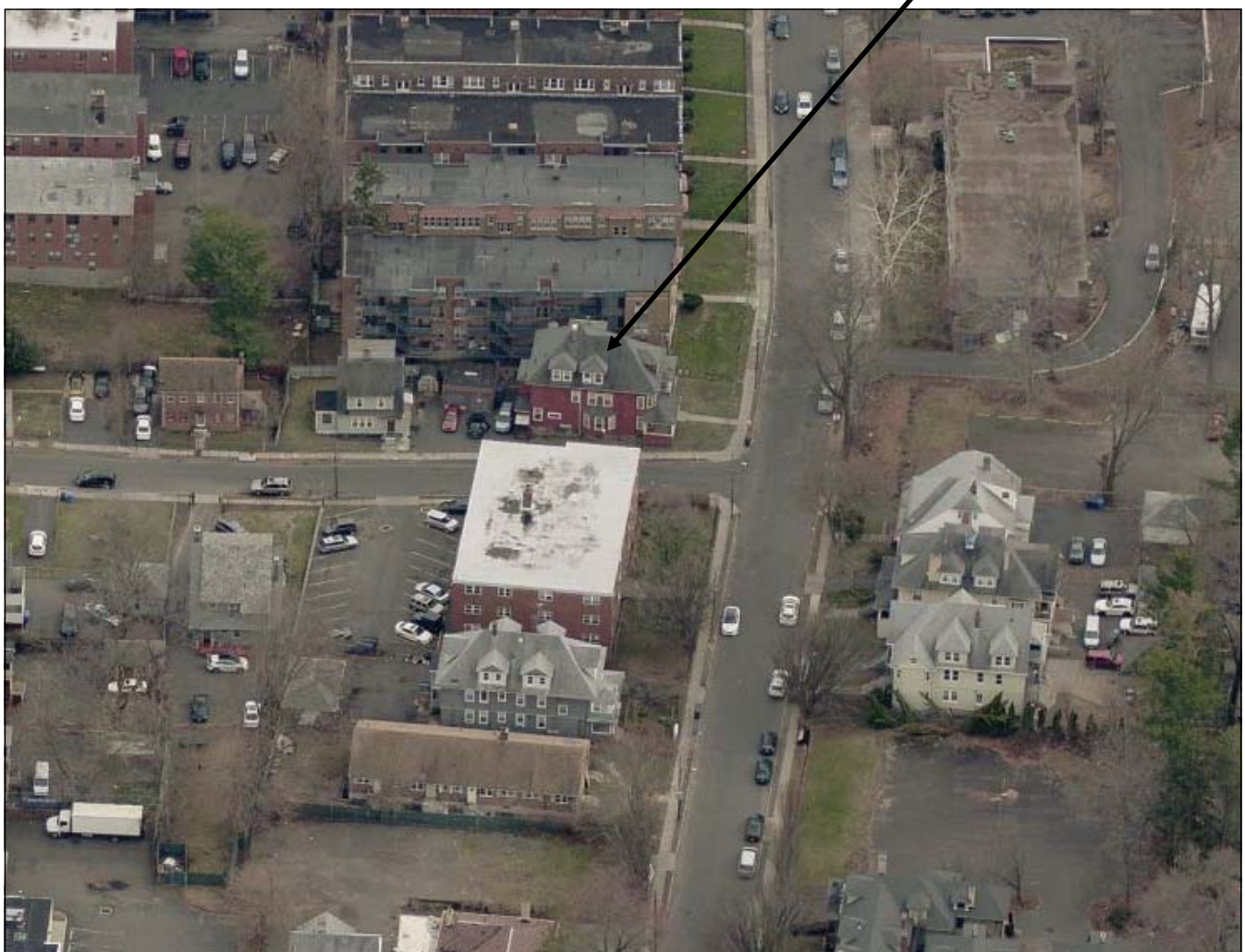


Figure 8: 240 South Marshall Street. View from Case St. looking south west. Current condition.





Figure 9: 240 South Marshall Street. View looking south.



240 South Marshall Street.

Figure 10: bird's eye view of South Marshall Street looking south.



