



DEPARTMENT OF DEVELOPMENT SERVICES – PLANNING DIVISION

REPORT: 74 New Park Avenue, Hartford, CT

For consideration: November 18, 2020

STAFF REPORT

TO: HARTFORD PRESERVATION COMMISSION

FROM: Grant Losapio, Consultant
Email: oneplan@hartford.gov

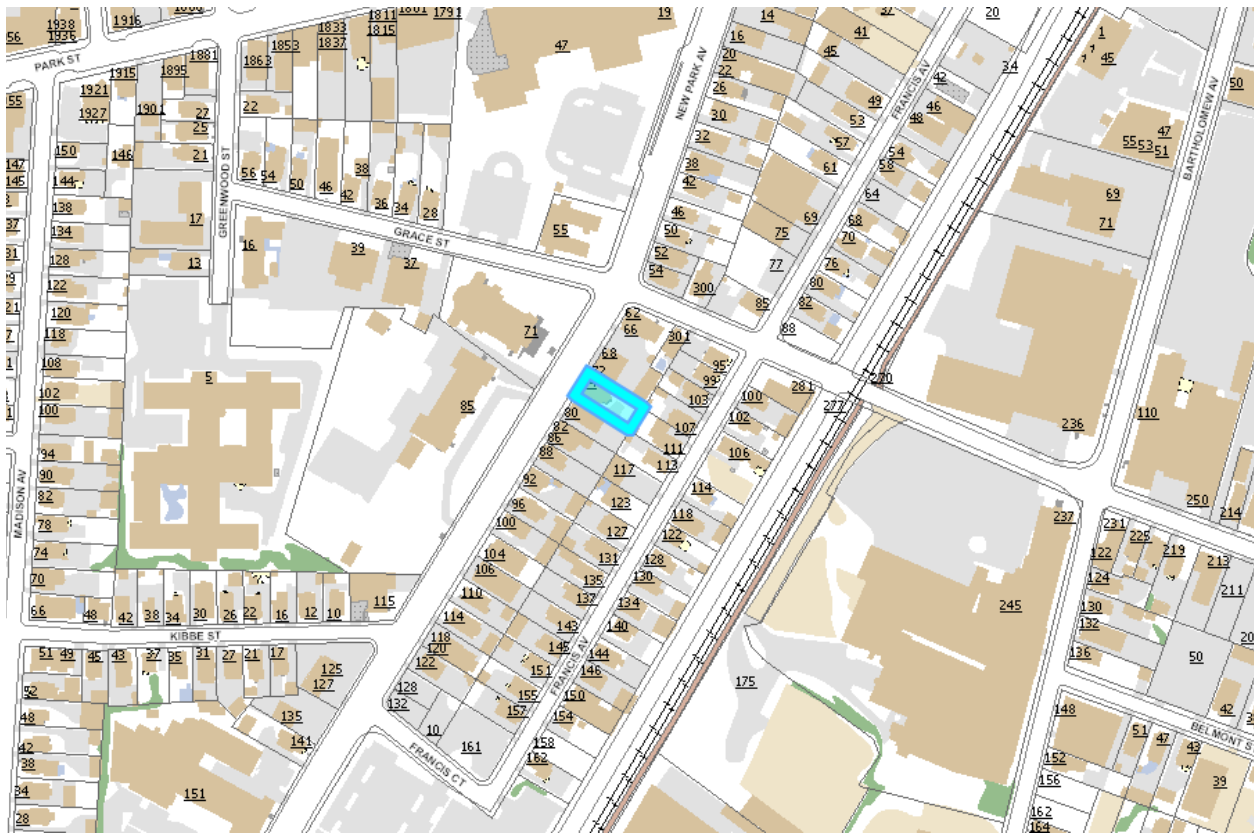
PROJECT: 74 New Park Avenue
PARCEL ID: 137-481-081

ZONE: NX-2 **HISTORIC DISTRICT:** Parkville National Historic District

TYPE: ARTICLE XII HISTORIC PRESERVATION COMMISSION
Sec. 28-170 through 28-221

APPLICANT: ROCEDU Homes One, LLC

OWNER: ROCEDU Homes One, LLC



Location Map (City of Hartford GIS Mapping)

BACKGROUND INFORMATION

Application is for the replacement of the existing rear side porch at 74 New Park Avenue. Per the Applicant's narrative this is to meet "Fire Marshall Brian Kennedy requirement".

The existing building at 74 New Park Ave is a three-story multi family frame tenement with low-pitch hipped roof and vinyl siding. The original structure was built in 1893 in a vernacular style with Italianate influences. A one-story storefront was added to the south elevation of the building in 1915.

LEGAL STANDARD

The Commission reviews and acts upon all applications for Document of Suitability. No person or entity may, without first applying and obtaining the approval of the Commission, file an application for a demolition permit, or for a building permit for any protected property as designated in the Historic Preservation Ordinance Sec. 28-219.

STANDARD SPECIFIC TO THE USE

The commission shall adopt the Secretary of the Interior's Standards for Rehabilitation and the Hartford Guidelines for Renovations and Additions to Historic Buildings.

According to page 19- "*Windows and Doors*" of the adopted *Guidelines for Renovations and Additions to Historic Buildings*, NOT recommended practices include: "*Changing size or location of window or door openings.*"

According to page 21- "*Roofing*" of the adopted *Guidelines for Renovations and Additions to Historic Buildings*, recommended practices include: "*Replace roofing only with matching materials.*"

According to page 22- "*Entrances and Porches*" of the adopted *Guidelines for Renovations and Additions to Historic Buildings*, NOT recommended practices: "*Applying inappropriate new materials.*"

According to page 25- "*Ornamentation and Trim*" of the adopted *Guidelines for Renovations and Additions to Historic Buildings*, "*Replacing missing elements with simplified elements compatible with original style is preferable to misrepresenting historical detail.*"

FINDING OF FACTS

CURRENT USE: Mixed Use

YEAR BUILT: 1893

STYLE: Vernacular w/ Italianate influences

Particular Mention in historic nomination: n/a

Current Conditions: This building is in fair condition.

Condition of other properties in neighborhood: Other properties in this area of New Park Avenue include a mixture of apartment/mixed use buildings with Italianate and vernacular styles, residences with colonial revival and vernacular styles, and gothic style religious assembly type structures. Buildings range from fair to good condition. Most of the apartment and mixed use buildings in this area have either retained their original brick siding or have replaced the original siding with vinyl. Many structures have enclosed or altered the historic details of the front porches that address New Park Avenue.



Figure 1. Google Streetview, **dated June 2019**. View of the front of subject property and the adjacent properties. Depicts the subject property in a state of poor condition. A portion of the rear porch system proposed to be replaced is visible on the right (south) side of the structure in this image.



Figure 2. Google Streetview, **dated July 2015**. View of the front of subject property and the adjacent properties. Depicts the front stoop entry, prior to its removal, door locations, and the original symmetrical front façade window layout.



Figure 3. Google Streetview, **dated June 2011**. View of the front of subject property. Depicts the front stoop entries, prior to their removal, and the exposed natural stone foundation.



Figure 4. Photo provided by the applicant, taken from Attachment 3 of this report. Depicts subject property with a new front porch structure and alterations to the doors and windows on the New Park Ave façade of the structure.



Figure 5. Google Streetview, dated June 2019. View from Subject Property looking north on New Park Ave. Depicts the variety of commercial, residential, mixed use, and religious assembly buildings in the area.



Figure 6. Google Streetview, dated June 2019. View from Subject Property looking south on New Park Ave. Depicts the variety of commercial, residential, and mixed use buildings in the area.

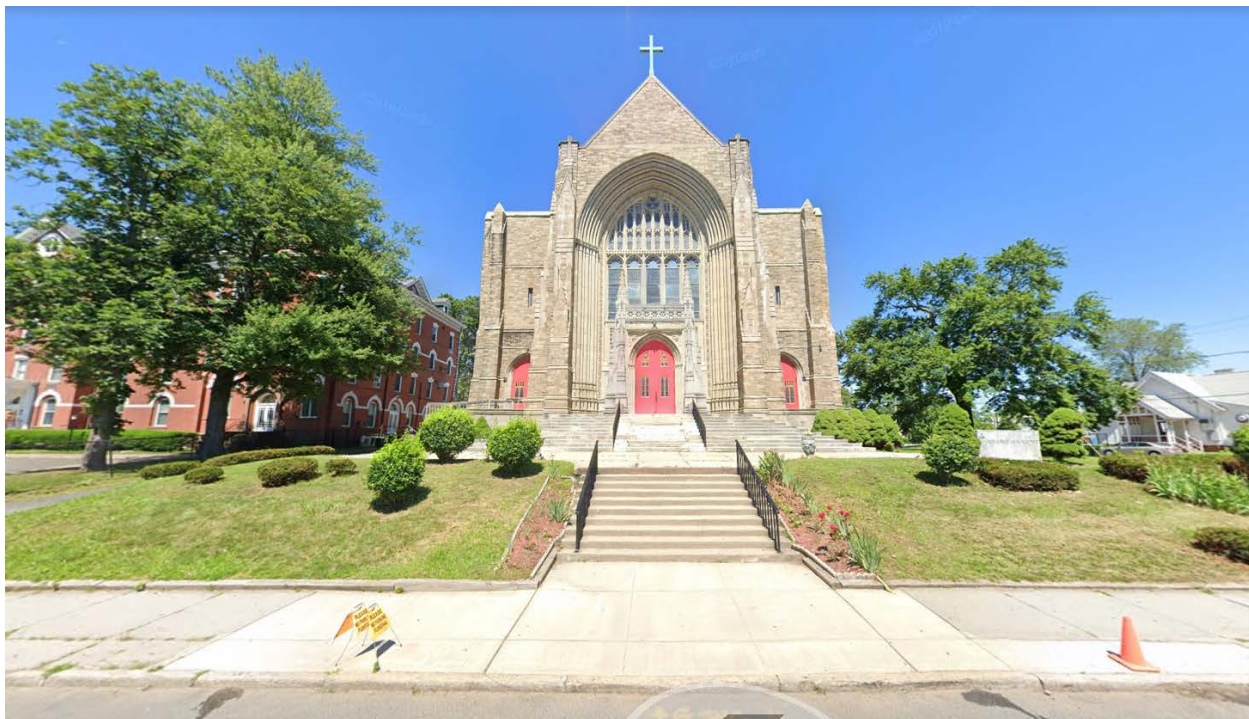


Figure 7. Google Streetview, dated June 2019. View from Subject Property looking across New Park Ave. Depicts the Gothic style architecture of the Our Lady of Sorrows Roman Catholic Church at 71 New Park Avenue.



Figure 8. Google Streetview, dated June 2019. View of the east side of New Park Avenue, just south of the subject property. Depicts the mixture of architectural styles in the neighboring properties and some of the front porch alterations that exist in the area.



Figure 9. Photo provided by the applicant, taken from Attachment 3 of this report. Depicts the existing back porch system at the subject property.



Figure 10. Google Streetview, dated June 2019. View from of the rear of the subject property from Francis Avenue. Depicts the portion of the back porch system that is visible from the street. Also depicts the low hip-gable roof with shingle roofing material.



Figure 12. Proposed aluminum standing seam roofing material for the back porch structure, taken from Attachment 5 of this report.

COMMENTS RECEIVED

(None received as of November 11, 2020)

ANALYSIS

The application is for replacing the existing back porch system, depicted in Figure 9 of this report, with a new back porch system which is detailed in the architectural drawings provided in Attachment 4 of this report. As depicted in Figures 1 and 10, portions of this back porch system on the south side of the building are visible from New Park Avenue and on the east side (rear) of the building are visible from Francis Avenue and are therefore subject to the provisions of the Historic Preservation Guidelines.

Upon further review of the provided architectural drawings (Attachment 4), the proposed roofing material information (Attachment 5), and correspondence with the applicant (Attachment 6), the proposed back porch system is to be built of dimensional pressure treated lumber (6"x6" main support posts, 4"x4" intermediate guardrail supports, 2"x4" guardrail cap), horizontal 1/4" stainless steel cables, painted plywood ceiling panels, 6" composite decking, and pre-finished standing-seam aluminum roofing.

Staff believes, due to the visibility of the proposed porch system, that new construction should adhere to the historic preservation guidelines. The proposed aluminum standing seam roofing does not match the existing low-pitch hipped roof shingle roofing material and would not be considered an appropriate new/replacement material. The proposed stainless-steel cabling is also a material and style that would not be considered an appropriate simplification of original porch baluster features.

Something worth noting and discussing is the changes to the front stoop entries, depicted in Figure 2 and 3, which have been replaced with the front porch structure depicted in Figure 4. During these alterations two front windows have also been removed and the location of one of the front doors has been shifted, altering the symmetry in the design of the front façade. Unfortunately, this new front porch, which appears to be constructed of dimensional pressure treated lumber, has obscured the view of the historic natural stone foundation that is depicted in Figure 3. This is significant because staff has not been able to find record of a resolution from the Historic Preservation Commission, approving this work to the front of the structure and the alterations appear to have negatively impacted the historic character of the building.

Staff believes that the proposed work is not consistent with the City's Historic Design Principles and this application should be tabled until the applicant is able to provide revised plans and material specifications that are in keeping with the Historic Preservation Guidelines.

In addition, staff believes that the applicant should provide record of Historic Preservation Commission approval for the alterations done to the front of the building and if that record cannot be provided, those alterations should be reviewed to determine compliance with the preservation guidelines and possible methods of restoring historic character of the structure's front façade.

STAFF RECOMMENDATION

Staff recommends tabling this application until the applicant is able to provide revised drawings and material specifications that are consistent with the Historic Preservation Guidelines.

A draft resolution follows.

ATTACHMENTS

1. Application
2. Property Card
3. Photos
4. Architectural Plans
5. Proposed Roofing Material
6. Materials Information Emails
7. Estimate

REVIEWED,

Aimee Chambers, Director



**CITY OF HARTFORD
HISTORIC PRESERVATION COMMISSION RESOLUTION
74 NEW PARK AVENUE
HISTORIC PRESERVATION PROPOSAL**

- Whereas,** The City of Hartford Historic Preservation Commission reviewed the proposal for the replacement of the existing back porch with a new back porch system at 74 New Park Avenue; and
- Whereas,** The property is located in the Parkville National Historic District; and
- Whereas,** The structure is a three-story multi family frame tenement building with low-pitch hipped roof and vinyl siding, built in 1893 in a vernacular styles with Italianate influences; and
- Whereas,** The applicant proposes to replace an existing back porch system with a new back porch system to be built of dimensional pressure treated lumber (6"x6" main support posts, 4"x4" intermediate guardrail supports, 2"x4" guardrail cap), horizontal ¼" stainless steel cables, painted plywood ceiling panels, 6" composite decking, and pre-finished standing-seam aluminum roofing; and
- Whereas,** The back porch system is visible on the south side of the building from New Park Avenue and visible from the east side of the building on Francis Avenue; and
- Whereas,** The proposed aluminum standing seam roofing and stainless steel cables do not match the existing materials and are not considered appropriate new materials within the historic preservation guidelines; and
- Whereas,** The proposed work is not consistent with the City's Historic Design Principles;
- Now therefore Be It
- Resolved,** The City of Hartford Historic Preservation Commission hereby tables the proposed work until the applicant is able to provide revised drawings and material specifications that are consistent with the Historic Preservation Guidelines.
- Be It Further,
- Resolved,** This 18th day of November 2020.

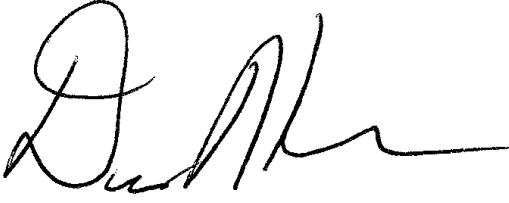
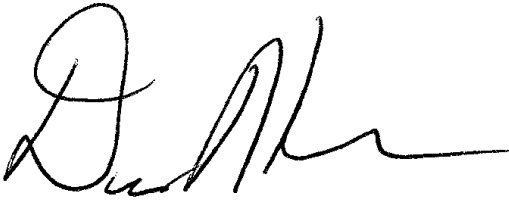
DDS- Planning & Zoning: Historic Review Application



Submission date: 9 October 2020, 11:46AM

Receipt number: 63

Question	Response
Property Information	
Property Address	Street: 74 - 76 New Park Ave City: Hartford State: CT Zip Code: 06106
Zoning District:	NX-2
Parcel ID:	137-481-081
Property Owner:	ROCEDU Homes One, LLC
Property Owner's Address:	Street: PO Box 1615 City: New York State: NY Zip Code: 10026
Phone:	(917)238-3989
Email:	roceduhomes@gmail.com
Applicant	
Please check if "Applicant" is the same as "Property Owner"	Please check if "Applicant" is the same as "Property Owner"
Name of Applicant:	
File Date:	
Address:	Street: City: State: Zip Code:
Phone:	
Email:	
Primary Point of Contact	
Name:	Duane Harden
Phone:	(917)238-3989
Email:	roceduhomes@gmail.com
Describe your application action(s) and provide as much detail as possible.	Replacing the existing back porch per Fire Marshall Brian Kennedy requirement
Proposed work:	Repairs
Current materials being repaired/replaced:	Pressure Treated Wood
Materials/products being used in work:	Pressure Treated Wood

Please upload all supporting materials and photographs below.	74NewParkAve_BackPorch_ArchitectPlans_Submission.pdf Invoice 8076 - Back Porch.pdf medium (3).jpg large (4).jpg large (3).jpg large (2).jpg large (1).jpg large.jpg
Signatures	
Signature of Applicant:	 Uploaded signature image: DuaneHarden_Signature.png
Name of Applicant:	Duane Harden
Date:	10/09/2020
Signature of Property Owner:	 Uploaded signature image: DuaneHarden_Signature.png
Name of Property Owner:	ROCEDU Homes One, LLC
Date:	10/09/2020

Unofficial Property Record Card - Hartford, CT

General Property Data

Parcel ID **137-481-081**
 Prior Parcel ID
 Property Owner **ROCEDU HOMES ONE LLC**

Mailing Address **PO BOX 1615**

City **NEW YORK**
 Mailing State **NY** Zip **10026**
 ParcelZoning **NX-2**

Account Number

Property Location **74-76 NEW PARK AVE**
 Property Use **APART/COMM**
 Most Recent Sale Date **6/6/2017**
 Legal Reference **07204-0121**
 Grantor **WELLS FARGO BANK NATIONAL TRUSTE**
 Sale Price **87,000**
 Land Area **6,055.000 acres**

Current Property Assessment

Card 1 Value Building Value **69,790**

Xtra Features
Value **0**

Land Value **19,950**

Total Value **89,740**

Building Description

Building Style **MIXED USE**
 # of Living Units **6**
 Year Built **1930**
 Building Grade **Average**
 Building Condition **N/A**
 Finished Area (SF) **4448**
 Number Rooms **20**
 # of 3/4 Baths **0**

Foundation Type **Concrete**
 Frame Type **Wood Frame**
 Roof Structure **FLAT**
 Roof Cover **Tar & Gravel**
 Siding **Alu/Vinyl**
 Interior Walls **PLASTER**
 # of Bedrooms **8**
 # of 1/2 Baths **0**

Flooring Type **COMBINATION**
 Basement Floor **CONCRETE**
 Heating Type **Steam**
 Heating Fuel **Gas**
 Air Conditioning **0%**
 # of Bsmt Garages **0**
 # of Full Baths **0**
 # of Other Fixtures **0**

Legal Description

Narrative Description of Property

This property contains 6,055.000 acres of land mainly classified as APART/COMM with a(n) MIXED USE style building, built about 1930 , having Alu/Vinyl exterior and Tar & Gravel roof cover, with 0 commercial unit(s) and 6 residential unit(s), 20 room(s), 8 bedroom(s), 0 bath(s), 0 half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.



Attachment 4: Architectural Plans



ROCEDU Homes One, LLC

PO Box 1615
New York, NY 10026
(212)831-3435 (office)
(646)490-4811 (fax)
roceduhomes@gmail.com

Date: September 11, 2020

To: Stephen Buccitti
City of Hartford
Division of License and Inspections
260 Constitution Plaza
Hartford, CT 06103

Cc: John Collins - City of Hartford via certified mail & email
Shawn Holloway - City of Hartford via email
W. Issac Bette - City of Hartford via email
Brian Mathews - City of Hartford via email
Richard Staples - Hartford Community Loan Fund via email
Stephen Borla - Hartford Community Loan Fund via mail email
Tyrone Graham - HomeCareServices via mail and email

Ref: 74 New Park Ave - Back Porch

Dear Inspector Buccitti:

As per our meeting at the property on August 20th between you, John Collins, Brian Mathews, Tyrone Graham, and I, an Architect has been hired and the plans are attached for a brand new fire egress. My deadline to have this submitted was September 8th and unfortunately I had an unexpected death occur and wake and funeral this week so just getting now to formally submit the plans to you that were due on the 8th. The Architect completed them on September 7th.

I never received a copy of the recent Violation issued on the property in person or via mail dated August 20th, however, Stephen Borla somehow received a copy and emailed a scan of it to me on September 10th. It is attached. Please update your records so all Violations or Correspondence are delivered to me at the mailing address of ROCEDU Homes One, LLC PO Box 1615 New York, NY 10026. Thank you.

Our agreement was for HomeCareServices to address all of your immediate safety concerns such that the units on the 1st floor and 2nd floor can be occupied. In the interim, I will submit these plans to W. Issac Bette for permit approval and request HomeCareServices to review the plans and provide us with a Quote for the installation of the new back porch.

I appreciate you and the Dept of Buildings working diligently to assist us with coming up with a solution to address any safety concerns you might have for the future residents of 74 New Park Ave. Again, as the Owner of this building when I had it initially inspected by Dept of Buildings and Fire Dept before applying for the mortgage I was only provided with a limited number of repair items that needed to be done for this back porch and those items were accounted for and approved in the initial Budget in which the City of Hartford

and Hartford Community Loan Fund based their lending on and started this project. Additionally, before purchasing this property I checked and the only violations that were on this property was for the illegal occupancy of the makeshift apartments on the 1st floor and it appears that whichever one of the previous Owner's of this property since 1930 never had a permit for the back porch construction.

Once I receive the Quote back from HomeCareServices I will provide it to you and I will apply for financing from (1) City of Hartford, (2) Hartford Community Loan Fund, or (3) another Lender. I hope we are able to find financing for this additional project requirement that wasn't addressed by the initial Inspectors, if not, I don't know what the solution will be as I'm already making a monthly payment back on taxpayers dollars on the City of Hartford mortgage and now my loan reserves have been completed and starting October 1st I must make monthly mortgage payments on the Hartford Community Loan Fund mortgage.

I must get these units rented immediately even during this COVID19 pandemic as without the rental income I will not be able to pay the real estate taxes, (2) mortgages on this property, and building insurance.

My top priority is to provide a clean, safe, and affordable apartment for the citizens of Hartford. Thank you for understanding and patience to solve this problem.

Respectfully,

A handwritten signature in black ink, appearing to read 'Duane Harden', with a long horizontal flourish extending to the right.

Duane Harden, Manager/Member
ROCEDU Homes One, LLC

Gave to Nicole Mon 8/31



LUKE A. BRONIN
MAYOR
CITY OF HARTFORD
Division of Licenses and Inspections
260 Constitution Plaza, 1st Floor
Hartford, Connecticut 06103

Notice Violation/Emergency and Order to Abate

Case #: BT-URGENT 2020-000507
Owner: Recede Homes LLC Date: 8/20/20
Address: PO Box 1615 New York NY 10026
Location (area): 7th New Park Time: 9am

REFER TO: ☐ International Residential Code ☒ International Building Code

- | | |
|--------------------------------------------------------------------------------------------|--------------------------------------------------------------------|
| <input type="checkbox"/> 1) Violations (Sec.113 / Sec.114) | <input type="checkbox"/> 2) Stop Work Order (Sec.114 / Sec.115) |
| <input checked="" type="checkbox"/> 3) Unsafe Structures and Equipment (Sec.115 / Sec.116) | <input type="checkbox"/> 4) Emergency Measures (Sec.116 / Sec.117) |
| <input type="checkbox"/> 5) Vacant Buildings (Sec.117 / Sec. 118) | |

Description of Violation(s)/Condition(s) Warranting Emergency Action:

Deficient Means of Egress Rear & Side
State of CT IBC Section 116 Unsafe Structures
IBC Section 116.1 Conditions - Deficient because of
inadequate means of egress or dangerous to human life
are to be taken down and removed or made safe
IBC Section 111.1.3 Fire Marshal Approval - No
certificate of occupancy if not in substantial compliance
with "CT State Fire Safety Code"

Rear & Side Means of egress to be made safe
Requiring Professional drawings/plans to be approved by
City Plan Reviewer Permit amended and work completed

<input type="checkbox"/> Do Not Occupy
<input type="checkbox"/> Structural
<input type="checkbox"/> Structure Fire
<input type="checkbox"/> Electrical
<input type="checkbox"/> Plumbing
<input type="checkbox"/> Mechanical
<input type="checkbox"/> Ceiling
<input type="checkbox"/> Car vs Building
<input type="checkbox"/> Means of Egress
<input type="checkbox"/> Work w/o Permit
<input type="checkbox"/> Hazardous
<input type="checkbox"/> Rated Assemblies
<input type="checkbox"/> Fire Protection

Permits Required to Correct: ☒ Electrical ☐ Mechanical ☐ Plumbing ☒ Building ☒ Other As needed
You are Required to Call: Steve Buccitti Stephen Buccitti 902

Inspector: Stephen Buccitti Witness: _____
Received By: Not Available Date: 8/24/20
Due Date for Completion of Abatement/Reinsertion: In Thirty Days

If not complied by due date, this will be escalated to the State of CT for prosecution.

All code sections reference the most recent adopted International Building Code CT amendments or the International Residential Code for One-and Two-Family Dwellings with amendments. This Order consists of a back page, refer to back for more detail.

You have been cited for a violation of one or more of the code sections described below. Please review the cover of this order and the description of violations and necessary actions to be carried out by you below.

Stop Work Order or Violations: Any illegal activity associated with the violation(s) must be discontinued immediately. The violation(s) noted in this notice must be abated. If you fail to immediately discontinue any illegal activity noted and abate the violation(s) listed within the timeframe specified, the City will pursue any and all appropriate proceedings at law and equity to restrain, correct or abate the violation(s). Such proceedings will be pursued at your expense. Expenses shall include, but not be limited to, legal fees and filing fees.

Unsafe Structures and Equipment: The Code requires that all unsafe structures or existing equipment be taken down and removed, or that they be made safe. Demolition of the structure, completion of repairs described or securing of the property to the satisfaction of the Building Official (where appropriate) are required to abate the unsafe condition. If you fail to abate the violation(s) listed within the timeframe specified, the City may pursue any and all appropriate proceedings at law and equity to correct or abate the violation(s). Such proceedings will be pursued at your expense. Expenses shall include, but not be limited to, legal fees and filing fees. In the alternative, if you fail to abate the violation(s) listed above within the timeframe specified, the City of Hartford or its contractors may abate the violation(s) and you will be billed for all costs associated with such abatement and the collection of amounts due. A lien will be placed on the property for any amount spent by the City in abating the violation(s) and collecting amounts secured by such lien.

You are required to advise the Building Official immediately of your acceptance or rejection of the terms of this order. If this department is not advised of your decision within five business days of your receipt of this order (receipt evidenced by the return of a signed receipt or failure to accept delivery notice), the Building Official will proceed with legal action or will cause necessary work to be done to comply with the terms of this order.

Should you decide to secure the property with the written consent of and to the satisfaction of the Building Official instead of making necessary repairs to abate the described violation(s) and fail to maintain the security of the property to the satisfaction of the Building Official (any such failure being evidenced by a repeat failed inspection for the same violation(s)) legal remedies or abatement of the violation(s) will be carried out by the City as described above and at your expense.

Emergency Measures: The described temporary safeguards/emergency work have been or will be promptly made to render the building or structure safe pursuant to Section 116.2/116.4 of the Building Code and a bill for such services is forthcoming. You are responsible for all costs associated with the work and collection of amounts due for such work and the City will pursue all means at its disposal to collect the amounts due including the placing of a lien against the associated property. It shall be unlawful for anyone to enter the premises except upon permission granted by the Building Official for purposes of making the required repairs or demolishing the premises.

Vacant Buildings: The Code requires that all temporarily unoccupied or abandoned buildings, structures, premises or portions thereof, including tenant spaces, shall be safeguarded and maintained. Completion of repairs described, securing of the property or demolition to the satisfaction of the Building Official are required to abate the violation(s). If you fail to abate the violation(s) listed within the timeframe specified, the City may pursue any and all appropriate proceedings at law and equity to correct or abate the violation(s). Such proceedings will be pursued at your expense. Expenses shall include, but not be limited to, legal fees and filing fees. In the alternative, if you fail to abate the violation(s) listed above within the timeframe specified, the City of Hartford or its contractors may abate the violation(s) and you will be billed for all costs associated with such abatement and the collection of amounts due. A lien will be placed on the property for any amount spent by the City in abating the violation(s) and collecting amounts secured by such lien.

Maintenance: The Code requires that buildings and structures, and parts thereof, shall be maintained in a safe and sanitary condition. Completion of repairs described or securing of the property to the satisfaction of the Building Official (where appropriate) are required to abate the noted violation(s). If you fail to abate the violation(s) listed within the timeframe specified, the City may pursue any and all appropriate proceedings at law and equity to correct or abate the violation(s). Such proceedings will be pursued at your expense. Expenses shall include, but not be limited to, legal fees and filing fees. In the alternative, if you fail to abate the violation(s) listed above within the timeframe specified, the City of Hartford or its contractors may abate the violation(s) and you will be billed for all costs associated with such abatement and the collection of amounts due. A lien will be placed on the property for any amount spent by the City in abating the violation(s) and collecting amounts secured by such lien.

Appeal: You may have a right to appeal this order pursuant to The Adopted State of Ct Building Code.

ARCHITECTURAL DESIGN GROUP

September 7, 2020

Invoice 2216

Duane Harden
74-76 New Park Ave
Hartford, CT

Project: Replacement rear egress porch/stairway

ARCHITECTURAL FEE

Work includes field measuring the existing conditions at the rear of the existing multifamily residence and a field visit to Hartford Building Department to ascertain the scope of detail the city will need to see in order to review and approve the construction drawings. Next, design a new exterior egress walkway/stairway system to provide adequate second and third floor rear exiting and finally, based on the new design, prepare a detailed set of construction drawings for the proposed new replacement rear egress porch/stairway. \$1,700.00

TOTAL AMOUNT NOW DUE \$1,700.00

74 -76 New Park Avenue

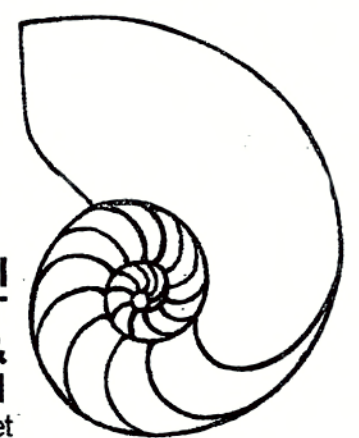
Hartford, Connecticut

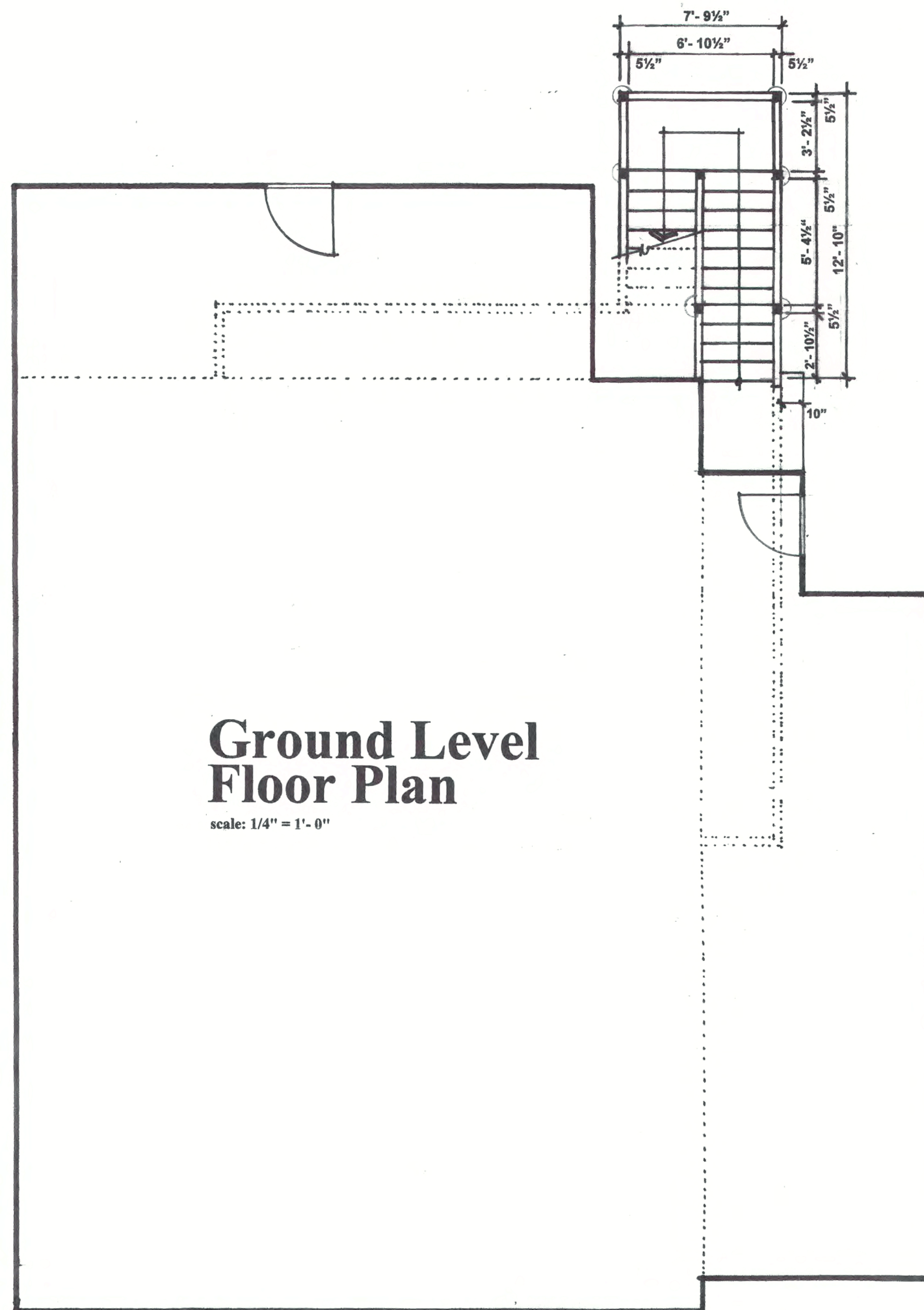
Replacement Egress
Porch/Stairway



**Architectural
Design
Group**

66 Woodchuck Hill
Road Simsbury CT
06092 Telephone &
Fax 860 651 • 8711
archdes777@comcast.net





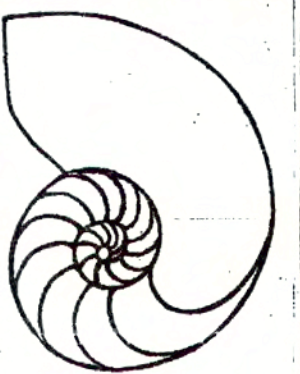
Ground Level Floor Plan

scale: 1/4" = 1'-0"



**Architectural
Design
Group**

66 Woodchuck Hill
Road Simsbury CT
06092 Telephone &
Fax 860 651-8711
archdes777@comcast.net



Project:

**74 -76 New
Park Avenue**

Hartford, Connecticut

**Replacement Egress
Porch/Stairway**

Ground Level Plan

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Architectural Design Group

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archdes777@comcast.net



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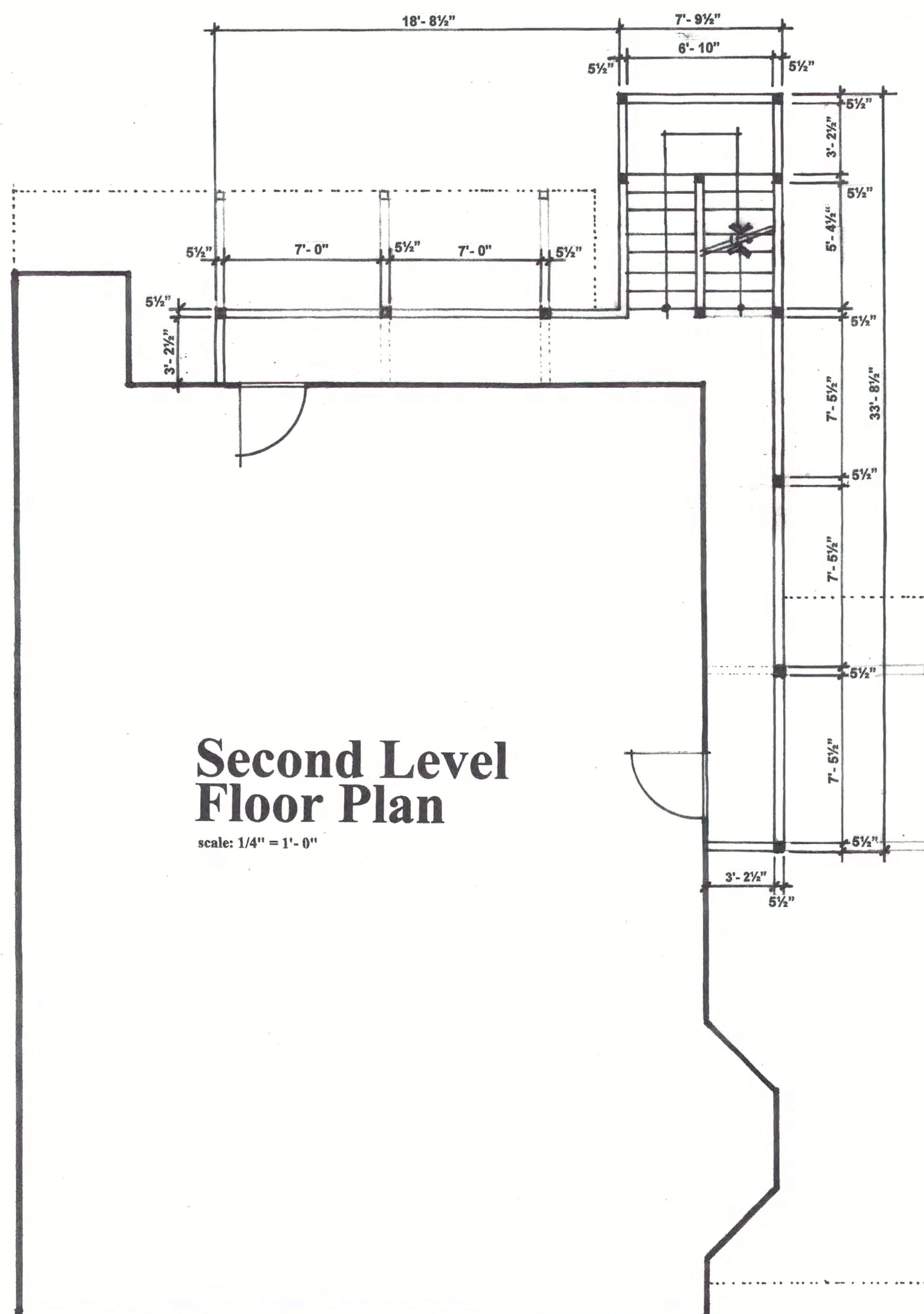
**74 -76 New
Park Avenue**

Hartford, Connecticut

**Replacement Egress
Porch/Stairway**

Second Level Plan

a13



Second Level Floor Plan

scale: 1/4" = 1'-0"

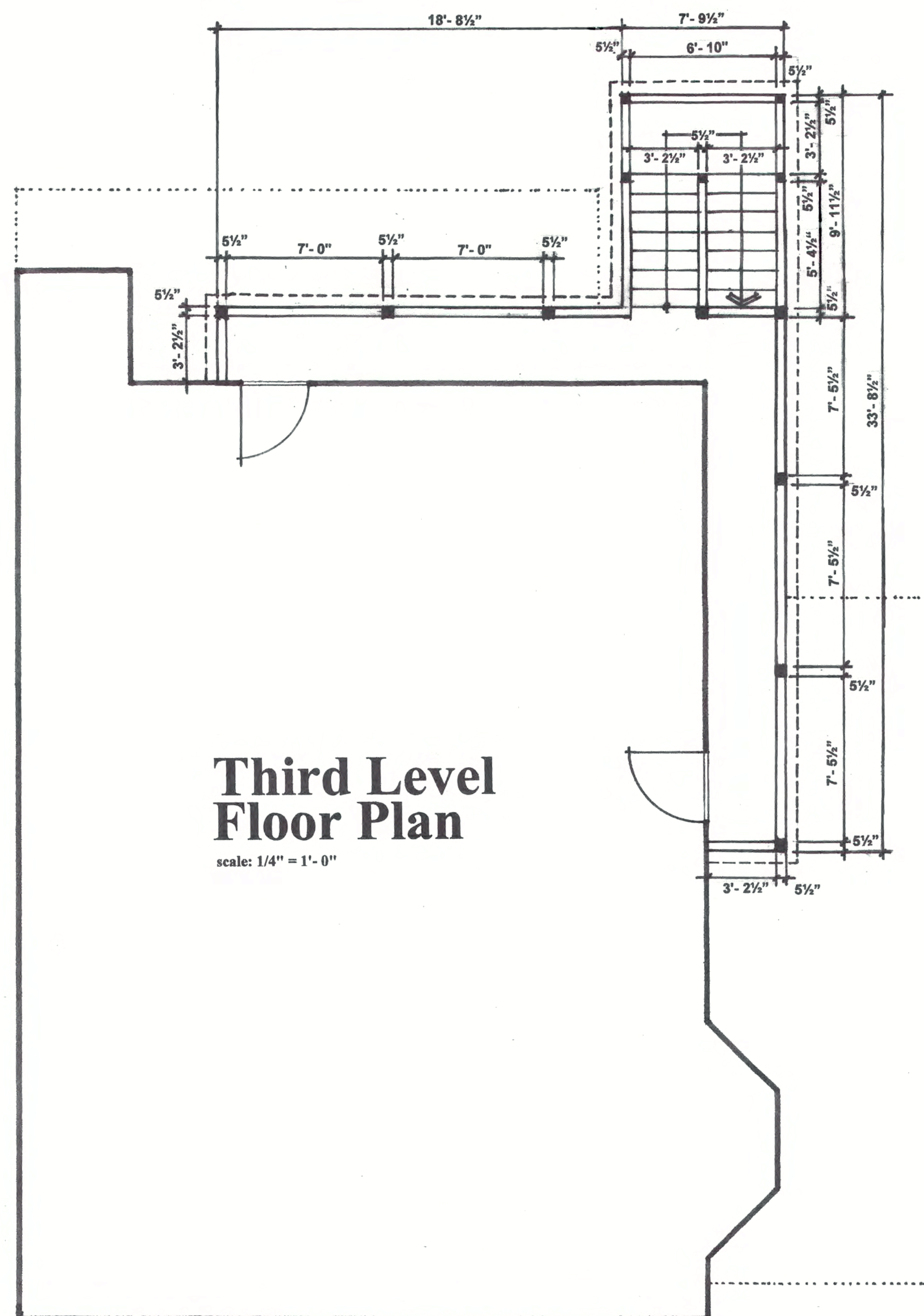


Project:

Hartford, Connecticut

Third Level Plan

a14



Third Level Floor Plan

scale: 1/4" = 1'- 0"

Architectural Design Group

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Fax 860 651-8711
archdes777@comcast.net



Project:

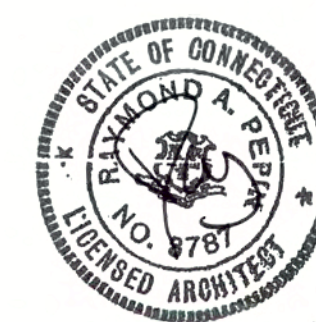
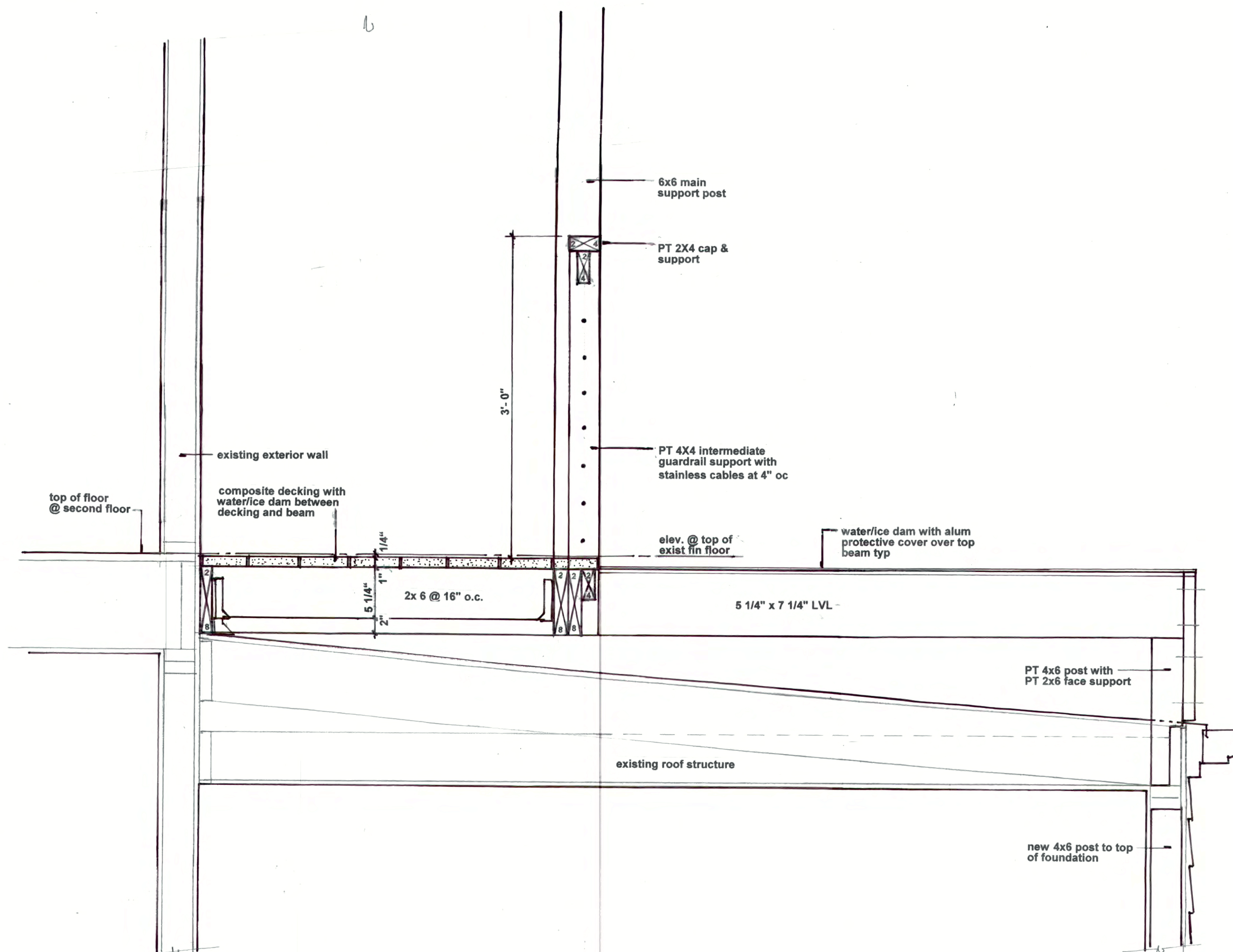
**74 -76 New
Park Avenue**

Hartford, Connecticut

**Replacement Egress
Porch/Stairway**

Section/Details

a15



Architectural Design Group

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Road Simsbury CT
06092 Telephone &
Fax 860 651-8711
archdes777@comcast.net



Project:

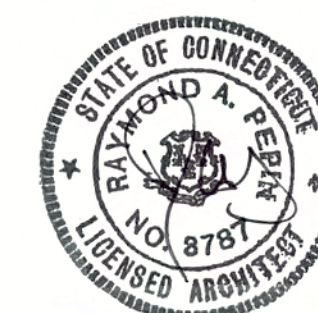
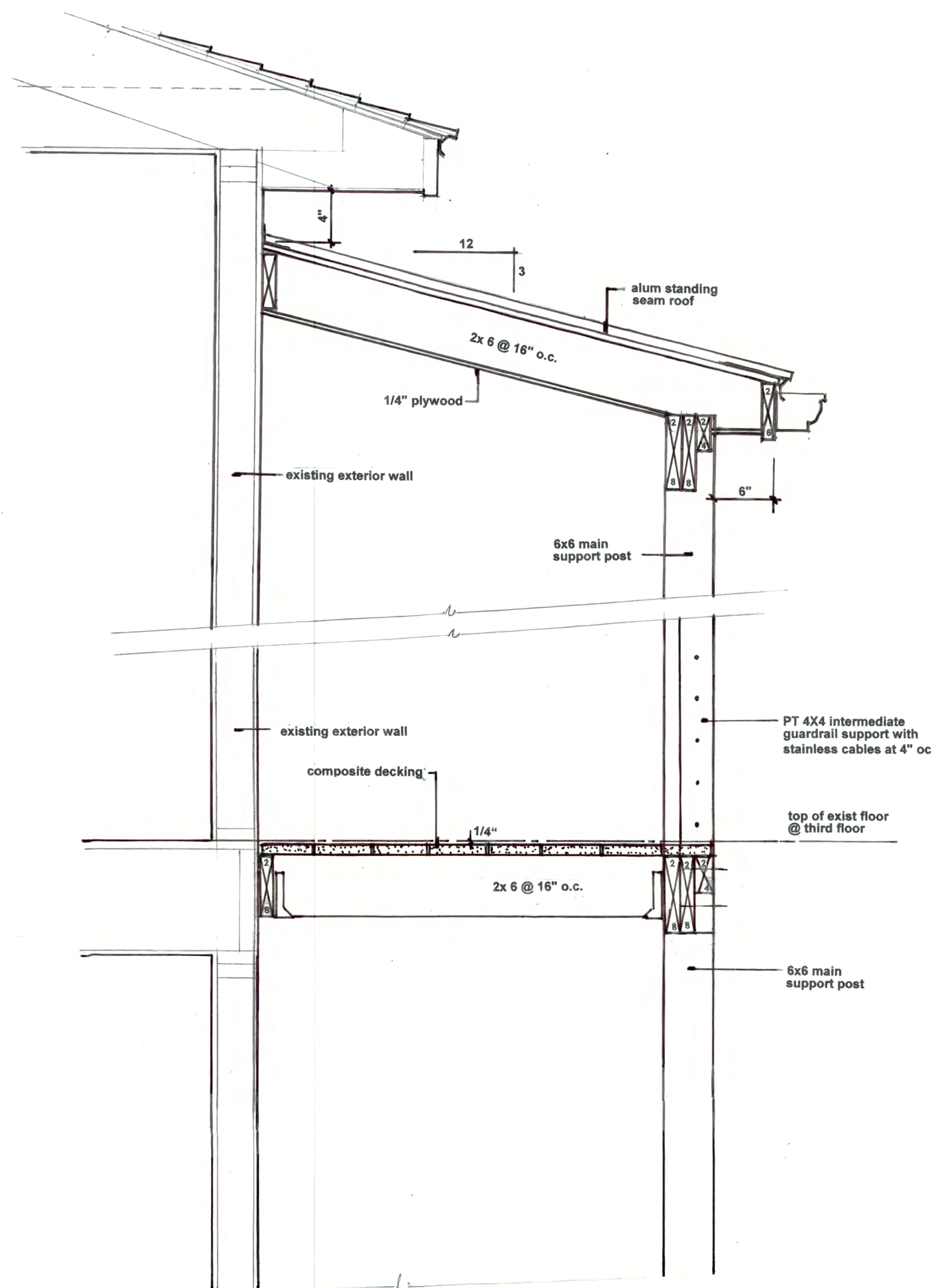
**74 -76 New
Park Avenue**

Hartford, Connecticut

**Replacement Egress
Porch/Stairway**

Section/Details

a16



RESIDENTIAL



Cover Photo:
Residence, Burr Ridge, IL
Architect: Michael Buss Architects
Installing contractor: Complete Flashings
Builder: McNaughton Brothers Construction
Material: Snap-Clad .032 aluminum
Color: Charcoal

Residence, Ponte Vedra Beach, FL
Architect: Jaycox Reinel Architects
General contractor: C. F. Knight Inc.
Roofing fabricator: Thorne Metal Systems
Material: PAC-CLAD Slate Gray .040 aluminum



Walls Residence, Little Rock, AR
Architect: Polk Stanley Wilcox Architects
Installing contractor: Covington Roofing & Sheet Metal
Material: PAC-CLAD 24 ga. steel
Color: Musket Gray



PAC-CLAD
P E T E R S E N

AN ELEGANT PALETTE

Petersen's extensive color palette includes options that are complementary to most architectural styles, building materials including brick, stone and wood, plus exterior products such as siding, windows and doors.

▲★ PATINA GREEN	▲★ TEAL	▲★ HEMLOCK GREEN	FOREST GREEN	HARTFORD GREEN
▲★ EVERGREEN	▲★ HUNTER GREEN	▲★ ARCADIA GREEN	▲★ MILITARY BLUE	BERKSHIRE BLUE
▲ GRAPHITE	▲★ CHARCOAL	INTERSTATE BLUE	▲★ SLATE BLUE	AWARD BLUE
MATTE BLACK	▲★ DARK BRONZE	▲ BURNISHED SLATE	▲★ AGED BRONZE	▲★ MEDIUM BRONZE
▲★ MANSARD BROWN	BURGUNDY	▲★ TERRA COTTA	▲★ COLONIAL RED	▲★ CARDINAL RED
MIDNIGHT BRONZE	▲★ MUSKET GRAY	▲★ SIERRA TAN	▲★ SANDSTONE	▲★ ALMOND
▲★ SLATE GRAY	▲★ CITYSCAPE	▲★ GRANITE	▲★ STONE WHITE	▲★ BONE WHITE

Premium Colors

▲●★ ANODIC CLEAR	▲●★ SILVERSMITH	●▲★ SILVER	●▲★ CHAMPAGNE	●▲★ COPPER PENNY
●▲★ ZINC	●▲★ WEATHERED ZINC	★ WEATHERED STEEL	★ WEATHERED COPPER	●▲★ AGED COPPER

▲ Cool Colors ● Metallic Colors ★ Energy Star Colors ★ Premium Colors

Due to limitations of the printing process, color representation on the grid above is not 100% accurate. Please request a free color guide from your Petersen rep, architect or contractor to confirm your color choice before placing an order.



Design: Stuart Cohen & Julie Hacker Architects
Photo: Tony Soluri Photography

A home with a metal roof stands with more pride than neighboring homes, and for good reason. The beauty of a metal roof is superior to the asphalt shingles most homeowners think of when envisioning a residential roof. A metal roof will perform better, too. The properties of metal combined with the incredible solar reflectivity of our superior PAC-CLAD paint coating can reduce the cost of heating and cooling a home. Additionally, a metal roof will last much longer and endure better than an asphalt or wood roof. While neighbors

complain about replacing their non-metal roofs, those living under metal roofs will beam with pride that theirs looks as good as the day it was installed.

SEE IT ON YOUR HOME TODAY

Drop a photo of any home into our online visualization tool to see how Petersen's PAC-CLAD products will look on it. Visit pac-clad.com and click on PAC E-Tools to work with the visualizer. Or, ask your contractor for assistance.

A LIFETIME INVESTMENT

Alvhem, Centreville, MD
Owner: Robert Dahl
Architect: Torchio Architects
Installing contractor: CitiRoof Corp.
Profile: Precision Series HWP
Color: Matte Black
Photo: Buchanan Studios Inc.

When considering a metal roof, discussions should focus on lifetime value, not upfront cost. A metal roof is for homeowners who appreciate its value. The price of a metal roof, which comes with an estimated lifetime of 50 years if properly maintained, can be up to three times the installed cost of other materials. In return for the investment, the made-in-the-USA metal roof will last 3 or 4 times longer than a typical residential roof.

METAL EXPERIENCE MATTERS

When choosing an architect or contractor, experience matters. A metal roof is a different animal that requires a specialized skill set to properly specify and install. Choosing architects and contractors with metal roof experience will maximize your metal roof's performance, and add a level of comfort to your decision.

NEW CONSTRUCTION OR REMODELING

A metal roof will look beautiful and perform well on a home built from the ground up, or on a home undergoing an exterior remodel or simple roof replacement. A good architect or designer can blend a Petersen metal roof or siding with any architectural style or color.

STEEL OR ALUMINUM

Petersen's PAC-CLAD metal roofing and siding products are available in either steel or aluminum. An experienced Petersen rep, architect or contractor will guide homeowners toward the material that's best for their home.

A GREEN, SUSTAINABLE PRODUCT

A Petersen metal roof is made with recycled content, qualifying it as a "green" or recycled-content product. It is also 100% recyclable at the end of its useful life, unlike other roofing materials which are routinely disposed of by the ton in landfills.

LITERALLY COOL COLORS

A PAC-CLAD metal roof from Petersen is available in 35 colors that are rated by the Cool Roof Rating Council, plus 31 that are Energy Star-rated. Coating technology that is specifically formulated for PAC-CLAD products reflects sunlight and cools a roof by emitting radiation to its surroundings. The roof stays cooler and reduces the amount of heat conducted to a home, saving up to 40% of a typical home's annual energy costs.

WARRANTY COVERAGE

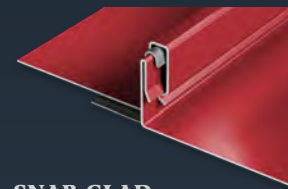
Petersen offers a limited 30-year finish warranty on its PAC-CLAD painted metal roof and siding panels. A weathertight warranty is available on selected metal roof products.

BEAUTIFUL PROFILES

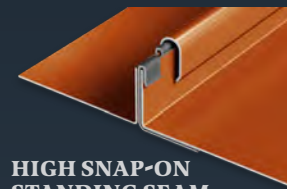


Private residence, Florida
Architect: T. S. Adams Studio Architects
Installing contractor: Cartercraft Roofing
Profiles: PAC-150, Flush panel
Colors: Weathered Zinc, Champagne

Metal Roofing



SNAP-CLAD



**HIGH SNAP-ON
STANDING SEAM**



**PAC-150
90° SINGLE LOCK**

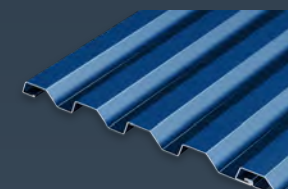


**PAC-150
180° DOUBLE LOCK**

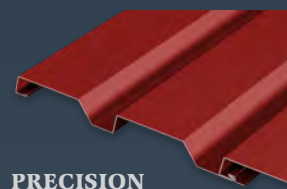


**REDI-ROOF
STANDING SEAM**

Siding



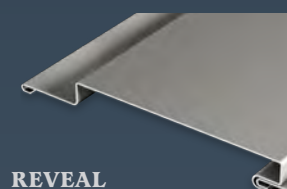
**PRECISION
SERIES HWP**



**PRECISION
SERIES
HIGHLINE 16-C**

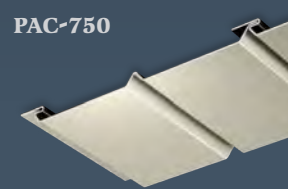


**FLUSH
PANEL**

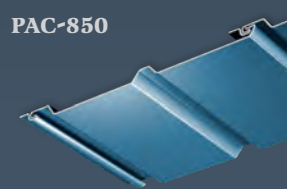


**REVEAL
PANEL**

Soffit Panels



PAC-750



PAC-850

Soffit panels come in solid, full-vented and half-vented variations.



Slotnick Residence, Glencoe, IL
Owner: Barry and Natalie Slotnick
Contractor: Scott Simpson Builders
Design Firm: Kipnis Architecture & Planning
Fabricator: Cedar Roofing Company
Roofing material: PAC-CLAD 24 ga. steel
Color: Silver Metallic



Mongue Residence, Milton, FL
Owner: The Mongue Family
Architect: Spencer Maxwell Bullock
General Contractor: Biggs Green Construction
Contractor: Specialty Contractors
Profiles: 7/8" Corrugated, Flush Panels & Flashings
Colors: Champagne Metallic & Copper Penny Metallic

RESIDENTIAL.PAC-CLAD.COM

800-PAC-CLAD INFO@PAC-CLAD.COM

Petersen offers national distribution through its six locations
 in Illinois, Georgia, Texas, Maryland, Arizona and Minnesota

Berschet, Paige

From: Property Manager <roceduhomes@gmail.com>
Sent: Monday, November 2, 2020 4:07 PM
To: Berschet, Paige; Bette, William
Cc: home care; homecare5000@gmail.com
Subject: Fwd: 74-76 New Park Ave - Historic Review Application
Attachments: 20190205_141355.jpg; NPA 74-76 Exterior Exit Stair Submission 200914.pdf; PAC-Res-Brochure-190315.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Paige,

This is from Architect Bob Hurd.

Let me know if you have any more questions.

Duane

----- Forwarded message -----

From: **Robert b. Hurd** <rbhurd@thearchitects.comcastbiz.net>
Date: Mon, Nov 2, 2020 at 4:04 PM
Subject: RE: 74-76 New Park Ave - Historic Review Application
To: Property Manager <roceduhomes@gmail.com>

Good afternoon Duane,

Here are my suggestions (**in red**) for the answers to Paige's questions:

- **Details on the materials on the current porch for each element (ex: pine flooring, balusters, pressure treated wood ceilings, roofing type, etc)**

The existing exterior exit stair is constructed using: pressure-treated 5/4" x 6" decking; pressure-treated 2" dimension lumber with cdx plywood railings; and pressure-treated fir or pine dimension lumber framing. See attached photo(s) of existing exterior exit stair.

- **Details on the materials (type of wood, roofing, etc.) and design of the proposed porch for each element, be sure to indicate the design of the spindles**

The proposed exterior exit stair is fully described in the attached drawings including: 5/4" x 6" composite decking (Trex or equal); vertical pressure-treated 2" dimension lumber with horizontal 1/4" diameter stainless steel cables at 4" o/c and horizontal pressure-treated 2" dimension lumber top rails; pre-finished standing-seam aluminum roofing; painted a/c plywood ceiling panels; and pressure-treated southern pine dimension lumber framing members. See the attached drawings prepared by your architect, Ray Pepin, for details.

- **Product specifications/cutsheets for the roofing proposed on the deck**

The proposed pre-finished standing-seam aluminum roofing panels will be similar to the Pac-Clad Redi-Roof Standing Seam Aluminum Roofing shown in the attached catalog.

You may forward this to Paige for her reaction. If desired, we can create a formal submission packet for delivery on Wednesday.

Bob

Robert B. Hurd, AIA

56 Arbor Street, Suite 403

Hartford, CT 06106

Tel: 860-232-2707

Cell: 860-402-6375

From: Property Manager <roceduhomes@gmail.com>
Sent: Monday, November 2, 2020 8:25 AM
To: Robert B. Hurd <rbhurdaia@gmail.com>
Cc: Robert b. Hurd <rbhurd@thearchitects.comcastbiz.net>
Subject: Fwd: 74-76 New Park Ave - Historic Review Application

Hi Bob,.

Can you call me for a 5min conversation on this?

Thanks,

Duane

----- Forwarded message -----

From: Hartford Planning Division <oneplan@hartford.gov>
Date: Fri, Oct 30, 2020, 5:13 PM
Subject: RE: 74-76 New Park Ave - Historic Review Application
To: Property Manager <roceduhomes@gmail.com>
Cc: Bette, William <William.Bette@hartford.gov>

Hello Duane,

Just a reminder that we need the following we will need the following by no later than Wednesday, November 4th, in order to order to appear on the agenda for the Wednesday, November 18th HPC Meeting:

- Details on the materials on the current porch for each element (ex pine flooring, balusters, pressure treated wood ceilings, roofing type, etc)
- Details on the materials (type of wood, roofing, etc.) and design of the proposed porch for each element, be sure to indicate the design of the spindles
- Product specifications/cutsheets for the roofing proposed on the deck
- Closer photos of the porch currently

Let me know if you have questions.

Best,

Paige Berschet

Department of Development Services

Planning Division

City of Hartford

260 Constitution Plaza, Hartford, CT 06103

(860)-757-9219 (860)-757-9029

oneplan@hartford.gov

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From: Hartford Planning Division
Sent: Thursday, October 22, 2020 2:32 PM
To: Property Manager <roceduhomes@gmail.com>
Cc: Bette, William <William.Bette@hartford.gov>; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 74-76 New Park Ave - Historic Review Application

Hello Duane,

Thanks!

Best,

Paige Berschet

From: Property Manager [<mailto:roceduhomes@gmail.com>]

Sent: Thursday, October 22, 2020 2:26 PM

To: Berschet, Paige <Paige.Berschet@hartford.gov>

Cc: Bette, William <William.Bette@hartford.gov>; Hartford Planning Division <oneplan@hartford.gov>

Subject: Re: 74-76 New Park Ave - Historic Review Application

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Please contact the helpdesk at 860-757-9411 if you have any questions.

Thank you .. I will get the Contractor to get you those answers

On Thu, Oct 22, 2020, 2:08 PM Berschet, Paige <Paige.Berschet@hartford.gov> wrote:

Hello Duane,

Following up on our phone conversation earlier, the Historic Review Application for 74-76 New Park Ave will need to be reviewed by the Historic Preservation Commission (HPC) because it is a complete demolition and rebuild of a porch and the HPC reviews all demolitions and new construction. In order to consider your application complete for the Wednesday, November 18th HPC Meeting we will need the following by no later than Wednesday, November 4th:

- Details on the materials on the current porch for each element (ex pine flooring, balusters, pressure treated wood ceilings, roofing type, etc)
- Details on the materials (type of wood, roofing, etc.) and design of the proposed porch for each element, be sure to indicate the design of the spindles
- Product specifications/cutsheets for the roofing proposed on the deck
- Closer photos of the porch currently

Please let me know if you have any questions.

Best,

Paige Berschet

Department of Development Services

Planning Division

City of Hartford

260 Constitution Plaza, Hartford, CT 06103

(860)-757-9219 (860)-757-9029

oneplan@hartford.gov

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Attachment 7: Estimate



Home Care Services, LLC

#HIC.0639458, 000796, 002368

116 Cottage Grove Rd

Bloomfield CT 06002

Phone: 860-967-8192

Fax: 860-724-0888

homecarellc@live.com

homecareservicellc.com

Service Information

ROCEDU Homes One, LLC
74 New Park Ave

Hartford CT 06106-2162

Contact: Duane Harden

Phone: (917) 238-3989

Fax:

Alt Contact:

Alt Phone:

E-Mail:

Job Name

Duane Harden - 8076

☐ Call Ahead

☐ Confirmed

Job Type

Estimate - Back Porch Rebuild

PO #

Contract

Billing Information

ROCEDU Homes One, LLC
Po Box 1615

New York NY 10026-0966

Marketing Campaign

Sales Rep	Terms	Type	Class
	Due on receipt		
Route	Scheduled	Start	End
AnaA	10/1/2020	04:00 PM	05:00 PM

Item	Quantity	Rate	Amount
02 Site Work - BACK PORCH	1	\$0.0000	\$0.00
Porch - THIRD FLOOR	1	\$0.0000	\$0.00
Demo - Remove roof shingles	1	\$0.0000	\$0.00
gutter			
downspout			
felt paper			
roof plyboard			
2in x 6in roof joists			
railing plyboard			
2in x 4in railing stud			
6in x 6in post			
1in x 6in floor board			
2in x 6in floor joist			
stairway			
railing			
stair			
Porch - SECOND FLOOR	1	\$0.0000	\$0.00
Demo - Remove downspout	1	\$0.0000	\$0.00
railing plyboard			
2in x 4in railing stud			
6in x 6in post			
1in x 6in floor board			
2in x 6in floor joist			
stairway			
Porch - FIRST FLOOR	1	\$0.0000	\$0.00
Demo - Remove stair boards	1	\$0.0000	\$0.00
stair case			
railing			
railing plyboards			
2in x 4in railing studs			
6in x 6in posts			
Porch - FIRST FLOOR STAIRWAY 13FT X 8FT - 13FT X 4FT	1	\$0.0000	\$0.00
Services - Dig 8in x 4ft concrete footing	1	\$0.0000	\$0.00
Install landing at the bottom of the stair of the stairway			
Install 6in x 6in posts			
Install stair stringers			
Install stair boards			
Install 2in x 4in railing studs			
Install hand railing			

DCH
8/24/21



Det H. S. 844

Labor and Material -



Home Care Services, LLC

#HIC.0639458, 000796, 002368

116 Cottage Grove Rd

Bloomfield CT 06002

Phone: 860-967-8192

Fax: 860-724-0888

homecarellc@live.com

homecareservicellc.com

Contract

Billing Information

ROCEDU Homes One, LLC

Po Box 1615

New York NY 10026-0966

Marketing Campaign

Sales Rep	Terms	Type	Class
	Due on receipt		
Route	Scheduled	Start	End
AnaA	10/1/2020	04:00 PM	05:00 PM

Service Information

ROCEDU Homes One, LLC

74 New Park Ave

Hartford CT 06106-2162

Contact: Duane Harden

Phone: (917) 238-3989

Fax:

Alt Contact:

Alt Phone:

E-Mail:

Job Name

Duane Harden - 8076

☐ Call Ahead

☐ Confirmed

Job Type

Estimate - Back Porch Rebuild

PO #

Return Visit Req'd?

Return Reason?

Project Start Date

10/06/2020

Project End Date

10/31/2020

Customer Signature: _____

Date: _____

HomeCare Services Rep: _____

Date: _____

Owner may cancel this transaction at any time prior to midnight of the (3rd) third business day after the date of this transaction. Cancellation fees may be incurred (including attorney fees) and shall be paid by the customer. Price/date subject to change due to unforeseen underlying conditions. All payments are final. Estimates is good for 30 days. Thank you for your business!

DCIT
Sally