



DEPARTMENT OF DEVELOPMENT SERVICES – PLANNING DIVISION
REPORT: Electrical Substation Special Permit Site Plan at 80 Seymour Street
for consideration August 24, 2021

STAFF REPORT

TO: Planning & Zoning Commission
PREPARED BY: Paul Ashworth, Senior Planner
paul.ashworth@hartford.gov

PROJECT: Hartford Hospital Electrical Substation
80 Seymour Street
PARCEL ID: 249-554-003
P&Z-COMM-2021-0447

ZONE: MX-2, Multi-Use Mix w/ Campus Overlay

TYPE: Special Permit for Site Plan Review per Section 6.13.5 for an electrical substation.

APPLICANT: Hartford Healthcare c/o Dave Casale

OWNER: Hartford Healthcare c/o Dave Casale



Overhead View – Hartford GIS 2021

BACKGROUND INFORMATION

The Applicant is requesting Special Permit review of their proposed site plan in order to utilize the fence height deviation authorized by Section 6.13.5 of the Zoning Regulations (Regulations) to allow a screen wall with an overall height of 12' in the MX-1 district. No previous actions have been taken on this project.

The subject property is located at the eastern corner of the Hartford Hospital property located between Retreat Ave, Seymour Street and Jefferson Street. More specifically the proposed construction is located along the northern side of Retreat Ave, approximately 70' from the intersection of Maple Ave and Retreat Ave. The site is currently occupied by a stone building known as the Hall-Wilson Laboratory building. The stone building is proposed to be demolished under separate cover, prior to the subject construction. The proposed scope of work includes the construction of an electrical substation. The proposed substation is to be screened from the street by a 12' tall screen wall made of brick, stone salvaged from the demolished building and in some areas metal louvers. Also included in the scope of work is the installation of several trees and the renovation and reduction in size of an existing parking area.

KEY APPLICATION TIMELINES

- Application Submission Date: July 12, 2021
- Date Application Accepted as Complete: July 12, 2021
- Application Date of Receipt: July 27, 2021 (sooner of either: date of next regularly scheduled meeting, or 35 days after acceptance of complete application)
- Public Hearing is scheduled to open on Tuesday, August 24, 2021; Open Hearing Deadline: September 30, 2021.
- Close Hearing Deadline (if opens August 24, 2021): (35 days after opening) Tuesday, September 28, 2021
- CT General Statutes Sec.8-7D allow that the applicant may consent to one or more extensions of time, provided the total extension of all time periods shall not be for longer than 65 days*.

LEGAL STANDARD

Standard for Application Type:

The Commission reviews special permits in accordance with Zoning Regulations section 1.3.4. Special permits may be approved, approved with conditions, or denied. Considerations the Commission may weigh in special permit review include: harmony with the plan of conservation & development; compliance with the purposes of the district; effect on existing development; creation of safety hazards in vehicular and pedestrian circulation; effects on traffic; compatibility with adjacent properties; suitability of arrangement of buildings, open space, and provision of light and air; impact on essential services; impact on stormwater runoff; impact on city services and infrastructure; tree and landscape provision; and pedestrian amenities. The Commission may deviate from the minimum requirements for building siting, height, street facades, accessory structures dimensions, tree installation, landscape installation, buffers, fencing, lighting, parking, signage, and street design by up to 15% upon certain findings.

STANDARD SPECIFIC TO THE USE

Section 6.13 Fence Requirement

Sec.6.13.2.B Maximum Height

- (1) Front & Corner Side Yards: No fence more than 4 feet high shall be constructed in a front yard or corner side yard in any district. In the ID and CX-2 districts, on lots not abutting a lot assigned to any other zoning district, no fence more than 6 feet high shall be constructed in a front yard.
- (3) Other Districts: In the DT, MS, CX-1, MX, NX and N Districts, and on any property used for residential purposes in any other district, the maximum height of any fence in a rear, side, or corner side yard is 6 feet except as otherwise provided in these regulations.

Sec.6.13.5 Deviations

Notwithstanding the provisions of these fence requirements, the commission can approve deviations of these regulations as a special permit to an overall site plan.

Section 3.3.8.B Transportation & Utilities: Electrical Service

- (1) Total lot coverage of all buildings and structures shall be not more than 30 percent of the area of the lot.
- (3) Transformers shall be located within buildings.
- (4) Any electric or other utility lines between the infrastructure and the street shall be underground.
- (5) The infrastructure shall be suitable screened from any adjacent residential property by a solid fence or planting screen which shall provide year-round screening. Refer to Sec.6.12 Screening of Necessary Appurtenances
- (7) Transportation and utilities are not required to satisfy a building type.

Section 6.12 Screening of Necessary Appurtenances

B. Utility Appurtenance Screening Requirements

Large Private Mechanical Equipment ³	Shall be fenced with opaque wood or brick-faced masonry on all sides facing right-of-way
Small Private Mechanical Equipment ⁴	Shall have landscape screening and a shrub bed containing shrubs spaced no more than 36" on center

Notes:

¹Vertical structured barrier to visibility at all times such as a fence or wall

²This tree, if located within 50' of a parking space, may be utilized to meet the minimum shade requirements

³Large private mechanical equipment is equal to or greater than 4' in height

⁴Small private mechanical equipment is smaller than 4' in height

FINDING OF FACTS

Subject Property

- Subject property is a portion of the larger parcel occupied by the Hartford Hospital campus.
- Subject property is directly across the street from an automobile repair use and medical office.
- Residential uses are located diagonally adjacent to the site on Retreat and Maple Ave.

- Existing non-designated historic stone building (Hall-Wilson Laboratory constructed Circa 1922) to be demolished.

Proposed Conditions

- Slight overall reduction in impervious area.
- Reduction in total parking from 7 to 5 spaces.
- Addition of three (3) shade trees, two (2) along an existing tree line along the street, and one (1) acting as a parking island shade tree.

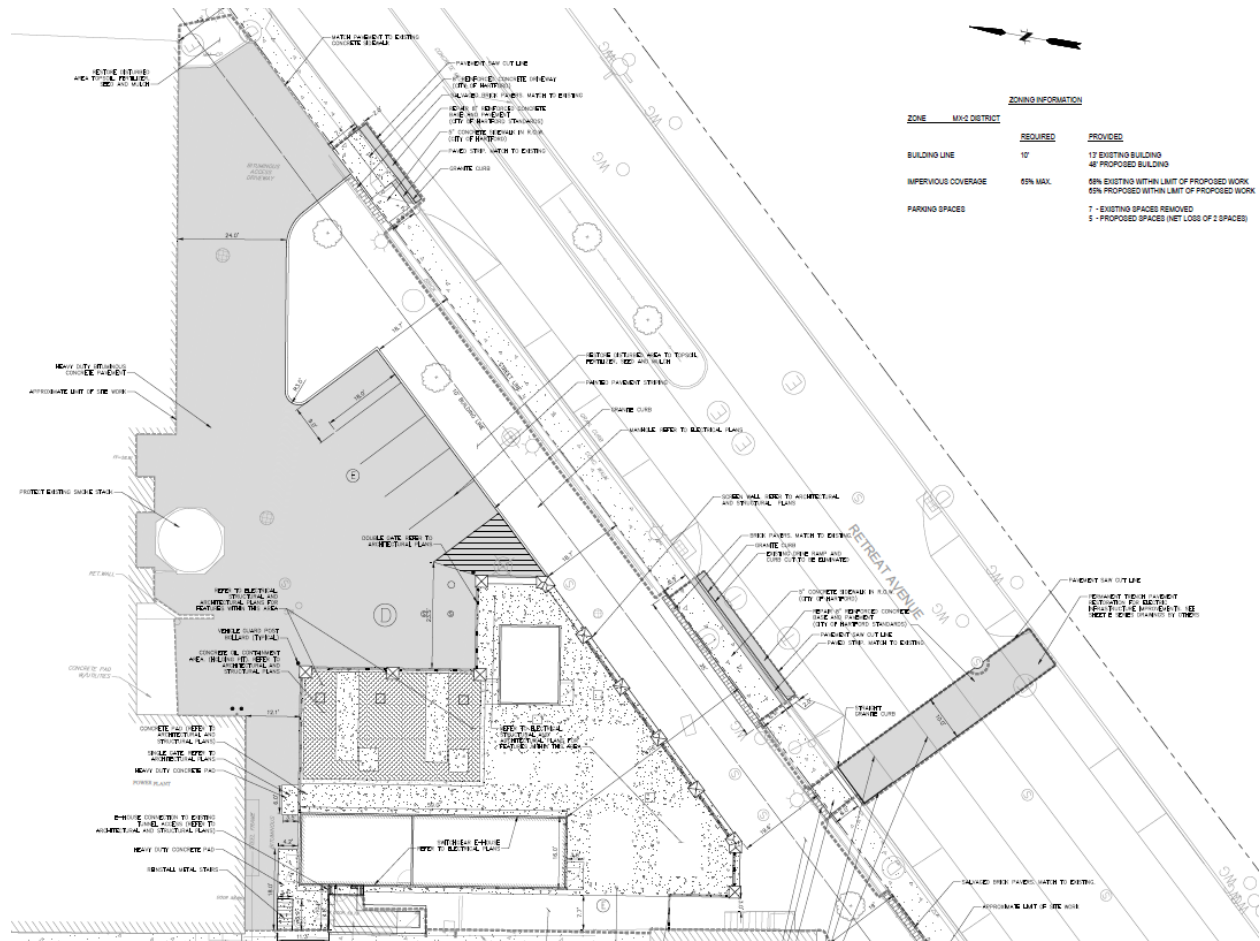


Figure 1. Site layout plan – Fuss & O’Neill 2021



Figure 2. Subject property viewed from the intersection of Retreat Ave and Maple Ave – Hartford Staff 2021



Figure 3. Subject property from northeast corner of disturbed area – Hartford Staff 2021



Figure 4. View of soon to be demolished Hall-Wilson Laboratory – Hartford Staff 2021



Figure 5. Newspaper announcement of construction of the Hall-Wilson Laboratory – Hartford Courant 1922

COMMENTS RECEIVED (DEPARTMENTS, AGENCIES, NRZs, PUBLIC)

The Frog Hollow NRZ was notified of the subject request via email on July 15, 2021. As of this writing no comments have been received.

ANALYSIS

The proposed electrical substation will occupy a section of the Hartford Hospital Campus currently occupied by the Hall-Wilson Laboratory and abutting other utility, mechanical, and grounds maintenance facilities. The new layout will remove the existing laboratory building and parking area, and replace them with various electrical utility facilities. Proposed utility facilities will be screened from the street and the rest of the campus by a screen wall with an overall height of twelve (12) feet. The parking area will be reconstructed at a reduced size in a similar location. This substation will replace an existing substation currently located within the hospital's Engineering and Laundry Building.

The proposed electrical utility facility is regulated by Section 3.3.8.B of the Regulations. The proposed design meets the requirements of this section in that all utility lines are below grade and the proposed screen wall appears to be sufficient to completely screen the use from any residential use. In addition, the section declares that utilities are not required to satisfy a building type and instead requires basic design standards such as a maximum 30% lot coverage by utility facilities, certain setbacks from adjacent properties, and that all transformers be located within buildings. The proposed design is part of a larger parcel within a campus setting. This context allows the proposed design to meet both the explicit requirement of the setback and building coverage requirement as well as the intent of the regulations to ensure the use does not negatively impact adjacent uses.

The design includes electrical transformers that are not proposed inside of a building. The design places these pad mounted transformers behind the screen wall but outside of any roofed building as required by Section 3.3.8.B. The screen wall provides significant visual protection from the public right-of-way and could be considered for purposes of this review a roofless building. However, this interpretation does not satisfy the requirement of Section 3.3.8.B. The applicant has provided "e-houses" or small buildings within the screened area to house other utility equipment. See Figure 6 below for the location of proposed e-houses. The design could be revised to include additional or expanded e-houses that could enclose the electrical transformers. The Applicant should also consider preserving the Hall-Wilson Laboratory exterior and housing the proposed transformers and utility equipment within the existing building's shell. The reuse of the Hall-Wilson Laboratory shell would preserve a historical asset while at the same time satisfying all of the requirements of Section 3.3.8.B. If the Hall-Wilson building is not large enough, a portion of the now proposed screened area could be included in the new design.

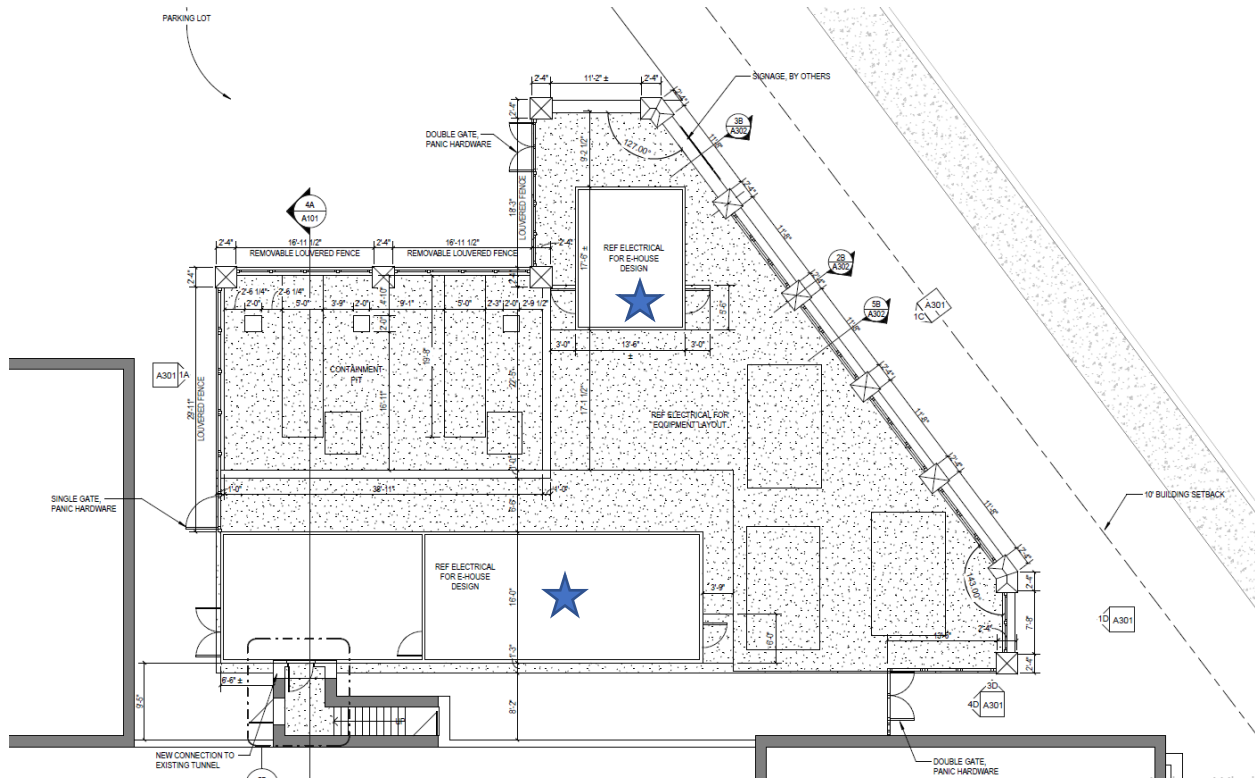


Figure 6. Substation plan showing proposed e-houses – Fuss & O’Neill 2021

Should the design remain as proposed, Staff recommends approval of the requested screen wall height deviation. The Regulations in Section 6.13 permit a maximum height of 6’ for any wall or fence within a corner side or front yard. However, the same section specifically allows for the Commission to authorize deviations to fence height. Section 6.12 not only permits but requires screen walls or fencing above the 6’ threshold in certain circumstances. Section 6.12 also requires a screen wall for large utility appurtenances but does not specifically state a maximum height. With these Regulatory sections taken as context, it appears the fence height deviation allowed by Section 6.13 was created specifically to allow a higher fence or wall height when necessary for screening.

The subject construction will have a minor positive impact on pedestrian facilities. The proposed construction will close a curb-cut and restore the sidewalk to match the surrounding context, thus eliminating a potential conflict point between pedestrians and automobiles. The remaining curb cut appears to be wider than the maximum 22’ per Section 7.5.3. Smaller curb cuts are associated with slower vehicle movements and safer pedestrian conditions. The Commission should consider requiring that the curb cut be reduced at least to the regulatory maximum. This requirement is expedient because the applicant has already proposed to remove and replace the sidewalk and curbing adjacent to the south edge of the curb cut.

STAFF RECOMMENDATION

Staff recommends approval of this application.

A draft resolution follows. To address the issues raised in the Analysis, staff proposes the following conditions of approval:

1. The above ground transformers shall be located within buildings sufficient to satisfy Section 3.3.8.B.(3) of the Regulations.
2. The remaining curb cut shall be reduced to the regulatory maximum width per Section 7.5 of 22'.

ATTACHMENTS

1. Project Narrative dated July 12, 2021
2. Stormwater Narrative dated August 10, 2021
3. Plan Set dated August 10, 2021

REVIEWED AND EDITED BY,

Aimee Chambers, Director



CITY OF HARTFORD
PLANNING & ZONING COMMISSION RESOLUTION
80 SEYMOUR STREET
SPECIAL PERMIT FOR SITE PLAN REVIEW AND FENCE HEIGHT DEVIATION

- Whereas,** The City of Hartford Planning & Zoning Commission reviewed the application and attached documents regarding the request for a special permit per Section 1.3.4 of the Zoning Regulations for site plan review of an electrical substation with a fence height deviation per Section 6.13.5; and
- Whereas,** The subject property is located in the MX-2, Multi-use Mix district with the Campus overlay; and
- Whereas,** Electrical substations are regulated under Section 3.3.8.B which requires certain design standards; and
- Whereas,** The proposed substation design meets all of the requirements of Section 3.3.8.B with the exception that some electrical transformers are not located within buildings; and
- Whereas,** The proposed twelve (12) foot high screen wall is appropriate for the proposed use, consistent with Section 6.12 regarding screening of utility appurtenances, and located such that it does not create a traffic visibility obstruction; and
- Whereas,** The proposed substation is located on the Hartford Hospital parcel and screened such that the utility facilities are generally not visible from any nearby residential uses; and
- Whereas,** The overall impervious surface area is reduced slightly as a result of the proposed construction; and
- Whereas,** The subject construction will have a minor positive impact on surrounding pedestrian facilities because one curb cut will be closed as part of this scope thereby eliminating a pedestrian and vehicle conflict point; and
- Whereas,** The remaining curb cut should be reduced in size to encourage slower vehicle movements and safer pedestrian conditions; and

Now therefore Be It

Resolved, That the City of Hartford Planning & Zoning Commission finds that the proposed screen wall height of twelve (12) feet **is/is not** appropriate to screen the new electrical substation and hereby **denies/approves** a deviation to the Regulations to allow the screen wall height per Section 6.13.5;

Resolved, That the City of Hartford Planning & Zoning Commission hereby **denies/approves** the request for a special permit per Section 1.3.4 of the Zoning Regulations for site plan review of an electrical substation as shown on the twenty-six (26) page plan set titled “New Primary Electric Substation Project” by Fuss & O’Neill las revised August 10, 2021, subject to the following conditions:

1. The above ground transformers shall be located within buildings sufficient to satisfy Section 3.3.8.B.(3) of the Regulations.
2. The remaining curb cut shall be reduced to the regulatory maximum width per Section 7.5 of 22’.

Be It Further,

Resolved, This 24th day of August, 2021.

Attachment 1 – Project Narrative dated July 12, 2021



MEMORANDUM

TO: City of Hartford Planning & Zoning Commission

FROM: Ronald Bomengen, Associate – Fuss & O'Neill, Inc.

DATE: July 12, 2021

RE: Hartford Hospital Substation Replacement Project – Request for Special Permit

Background

Hartford Hospital is proposing to replace its existing Electrical Substation No. 1 located in the existing Engineering and Laundry Building on Retreat Avenue. The new substation will be constructed in the location of the existing Hall-Wilson Laboratory Building, to be demolished, located off of Retreat Avenue. New feeder lines will be constructed from the existing Eversource electrical lines located in Retreat Avenue to the new substation.

Special Permit Request

A Special Permit has been requested to allow a 9 foot high wall to be placed around the substation area and equipment. Current zoning regulations only allow fencing or screening with a maximum height of 4 feet. Permitting the screening of the new substation area and equipment with walls 9 feet in height will result in a more aesthetically pleasing end product, provide greater security, and increase safety.

Consistency with the Plan of Conservation and Development

Hartford Hospital's mission is to improve the health and healing of the people and communities they serve. The proposed substation replacement project will provide Hartford Hospital with a more reliable source of backup energy which will allow Hartford Hospital to better safeguard its patients and manage the critical lifesaving services they provide to the community. This project is in harmony with and supports the City of Hartford's goal, within the Plan of Conservation and Development, to promote livable and sustainable communities.

Compliance with Zoning

The Hartford Hospital Campus located at 80 Seymour Street, including the location of the proposed new substation, is located within a MX-2, Multi-Use Mixed District zone. The overall hospital use at the site is in agreement with the purpose of the MX districts and the proposed site layout for the new substation complies with the applicable zoning requirements of the MX-2 District, with the exception of the proposed height of the walls surrounding the substation area. However, granting the Special Permit to allow the installation of higher wall panels will enhance the visual appearance of the site.

Compatibility with Neighboring Uses

Properties adjacent to the Hartford Hospital Campus and along Retreat Avenue are also located within a MX-2 District and include compatible uses for the district such as community housing

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MEMO- NAME OF PERSON(S) RECEIVING MEMO

July 12, 2021

Page 2 of 2

and other mixed-use type buildings with store fronts and office buildings. The proposed substation project will not change the primary hospital use of the property. The Hartford Hospital Campus will remain in harmony with the intended uses for the MX-2 District and will not be detrimental to existing development in the district.

Safety and Traffic

Installing 9 foot wall panels versus 4 foot wall panels or fencing around the substation area will increase safety to the general public. The higher walls will provide a greater deterrent for trespassers and/or vandalism. The proposed layout of the area will not create safety hazards in vehicular or pedestrian travel and the wall height will not impede motorist visibility in the area. Traffic levels of service will not be permanently impacted by the project.

Attachment 2 – Stormwater Narrative dated August 10, 2021



**Hartford Hospital
New Primary Electric Substation Project
45 Retreat Ave, Hartford, Connecticut**

**Stormwater Management Narrative
August 10, 2021**

Fuss & O'Neill has prepared this narrative to summarize the existing and proposed hydrologic conditions for the New Primary Electric Substation Project ("Project") located at Hartford Hospital. The site is located on 45 Retreat Avenue in Hartford, Connecticut.

The existing site consists of a building, grassed areas, low juniper plantings, utility structures, and associated sidewalks and parking. Stormwater runoff sheets flow towards Retreat Avenue or the onsite existing stormwater conveyance system which ultimately discharges to the MDC sewer system located in Retreat Avenue.

Proposed improvements for the Project include the construction of a primary electric substation, concrete utility pads and structures, juniper and tree plantings, and parking. Stormwater runoff from the proposed site will mimic existing conditions and continue to sheet flow towards Retreat Avenue or the onsite stormwater conveyance system. Ground coverage calculations demonstrate no net increase in impervious surface on site as compared to existing conditions. The peak flow rates for the 2- through 100-year design storm events at the design point (Retreat Ave) are provided below:

Design Storm Event	Existing Flow (CFS)	Proposed Flow (CFS)	Net Change (CFS)	Net Change (%)
2 Year	1.10	1.10	0.00	0.0%
10 Year	1.73	1.72	-0.01	-0.6%
25 Year	2.22	2.20	-0.02	-0.9%
100 Year	3.19	3.18	-0.01	-0.3%

As a result of the proposed improvements, it is anticipated that there will be no change in peak stormwater runoff as compared to existing conditions.

If you have any questions or need additional information, please contact Ronald Bomengen at (860) 646-2469; ext. 5253 or at RBomengen@fanod.com.

Sincerely,

146 Hartford Road
Manchester, CT
06040

t 860.646.2469
800.286.2469
f 860.533.5143

www.fandco.com

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Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Vermont

Ronald E. Bomengen, PE, LEED AP
Associate/Department Manager

F:\P2016\0045\510\Drainage\Report\20160045510_SW_Narrative.Docx

Corres.

Attachment 3 – Plan Set dated August 10, 2021

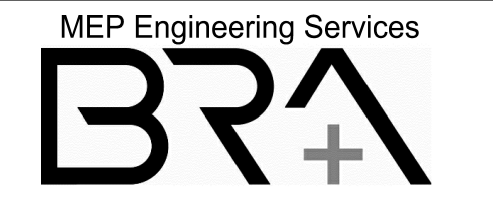
NEW PRIMARY ELECTRIC SUBSTATION PROJECT

RETREAT AVENUE · HARTFORD · CT

HARTFORD HOSPITAL

JULY 13, 2021

REVISED AUGUST 10, 2021



MEP Engineering Services
 Bard, Rao + Athanas
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 10 Guest St., 4th Floor
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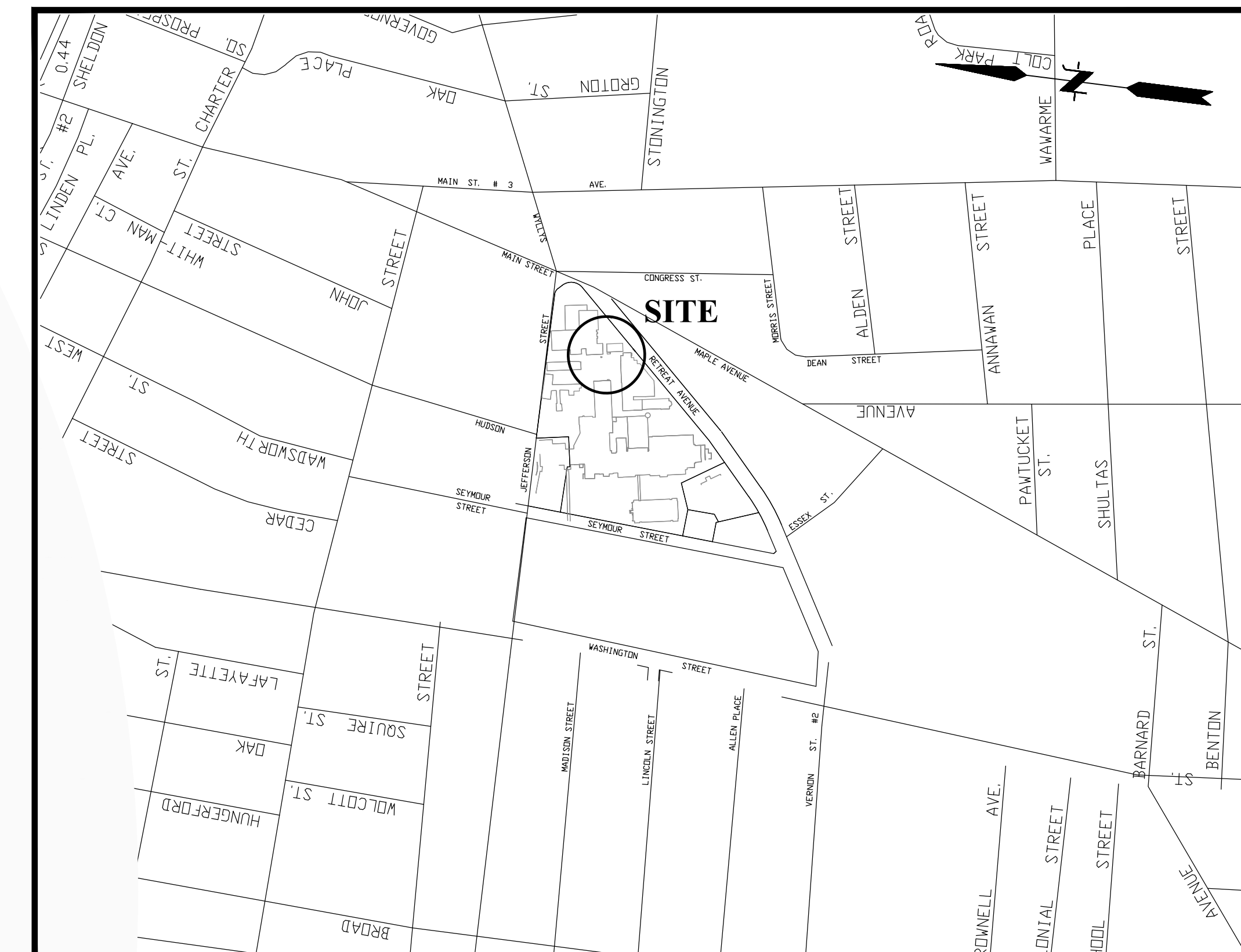
SHEET INDEX

SHEET No.	SHEET TITLE
GI-001	COVER SHEET
GI-002	GENERAL NOTES
EX-101 - EX-102	EXISTING CONDITIONS PLAN
CP-101 - CP-102	SITE PREPARATION PLAN
CE-101 - CE-102	EROSION AND SEDIMENT CONTROL PLAN
CS-101- CS-102	SITE LAYOUT PLAN
CG-101	SITE GRADING PLAN
CU-101	DRAINAGE & UTILITY PLAN
CD-501 - CD-504	SITE DETAILS
A101	SUBSTATION SITE PLAN
A301	SCREEN WALL ELEVATIONS
A302	EXTERIOR SECTIONS & DETAILS
L101	LANDSCAPE PLANTING PLAN
S001	GENERAL NOTES AND ABBREVIATIONS
S101	FOUNDATION PLAN
S200 - 202	FOUNDATION DETAILS

PROJECT TEAM

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 BOSTON MA 02135
 (617) 254-0016

SLAM
 80 GLASTONBURY BLVD
 GLASTONBURY CT 06033
 (860)657-8077



LOCATION MAP

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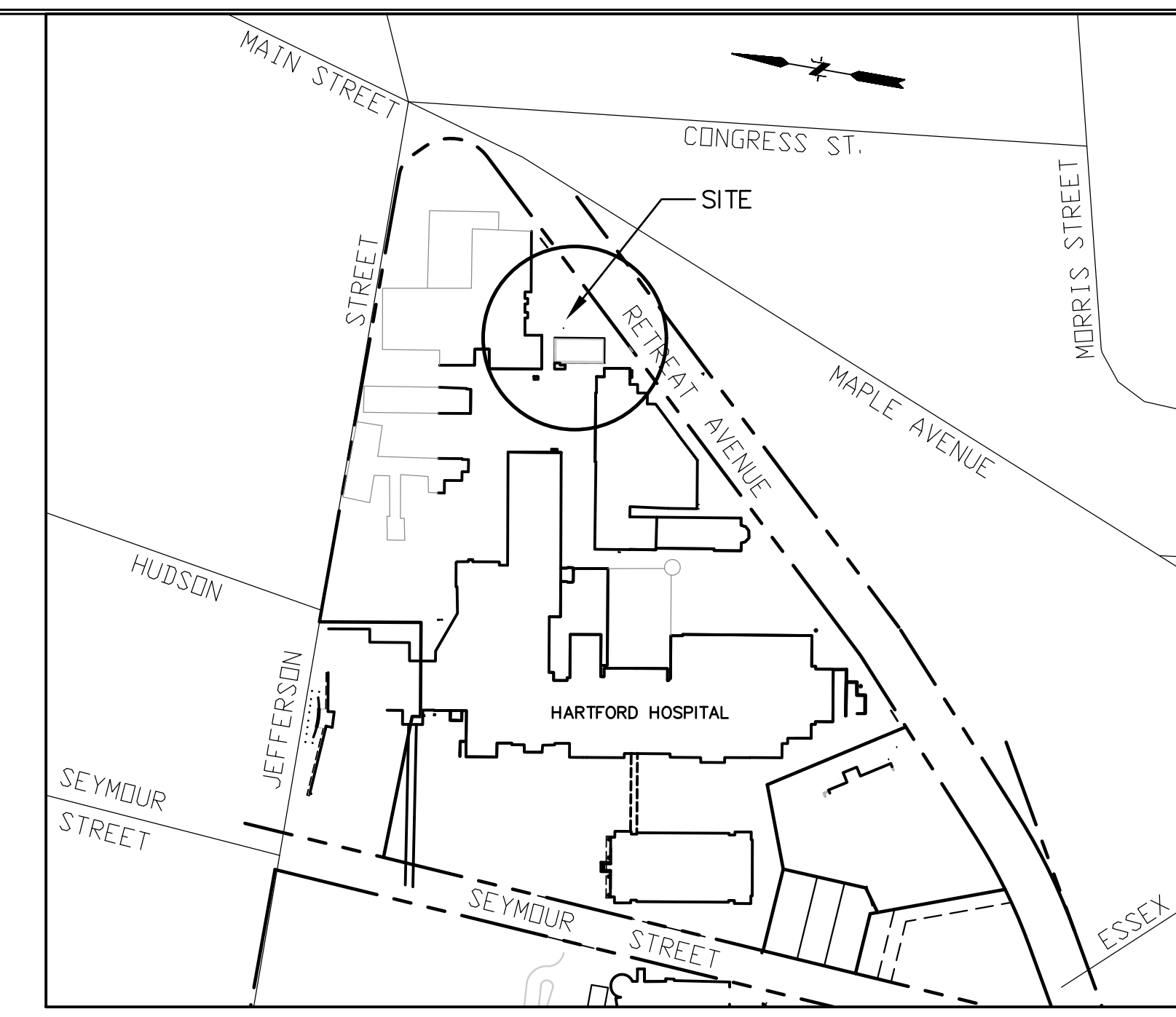
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 SUBSTATION PROJECT

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 COVER SHEET



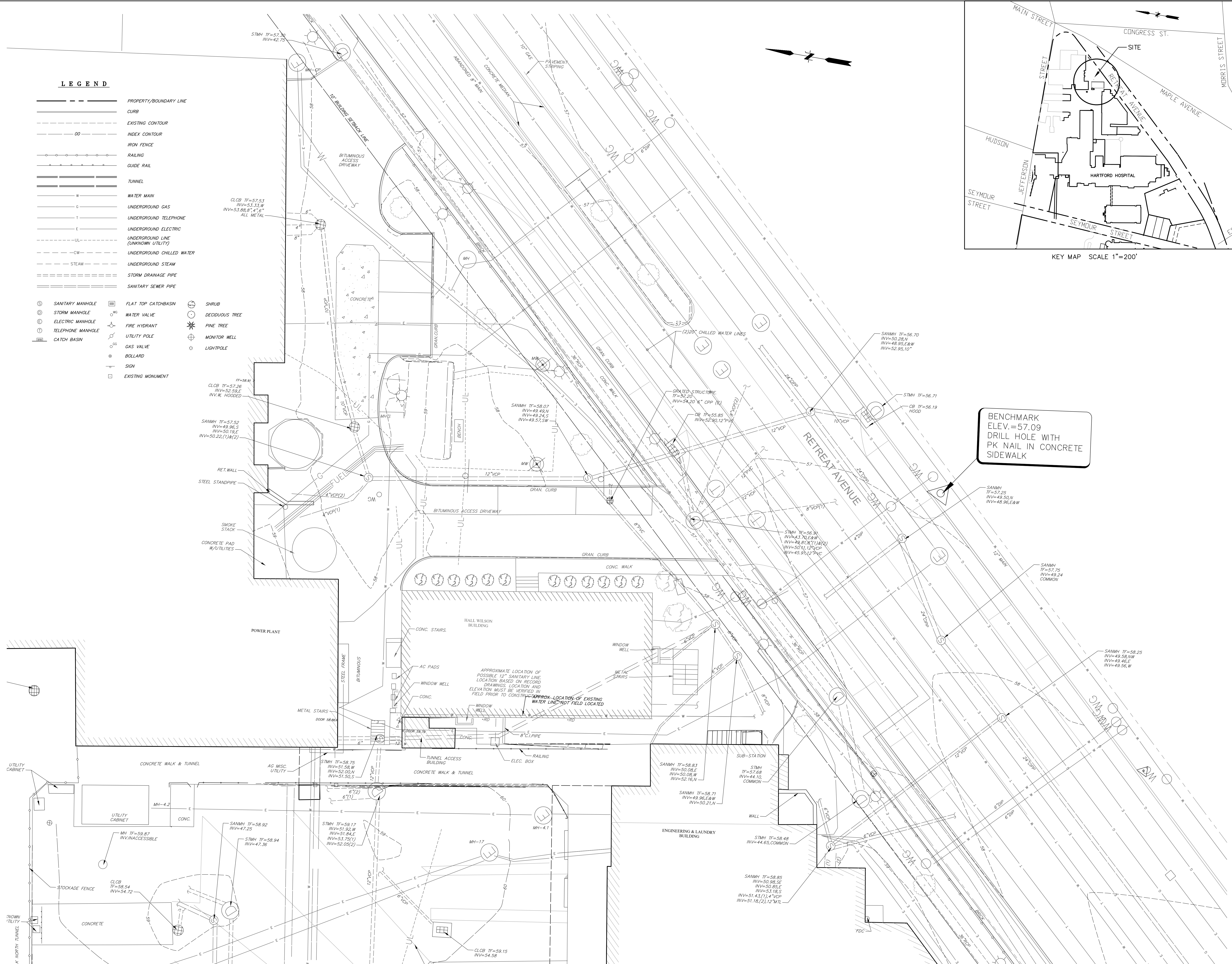
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JOB NO.: 20160045.S10	
DATE: 07/13/2021	



KEY MAP SCALE 1"=200'

LEGEND

- PROPERTY/BOUNDARY LINE
- CURB
- - - - - EXISTING CONTOUR
- - - - - INDEX CONTOUR
- - - - - IRON FENCE
- - - - - RAILING
- - - - - GUIDE RAIL
- TUNNEL
- W WATER MAIN
- G UNDERGROUND GAS
- T UNDERGROUND TELEPHONE
- E UNDERGROUND ELECTRIC
- UL UNDERGROUND LINE (UNKNOWN UTILITY)
- CW UNDERGROUND CHILLED WATER
- STEAM
- STORM DRAINAGE PIPE
- SANITARY SEWER PIPE
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ CATCH BASIN
- ▣ FLAT TOP CATCHBASIN
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ UTILITY POLE
- ⊙ GAS VALVE
- ⊙ BOLLARD
- ⊙ SIGN
- ⊙ EXISTING MONUMENT
- ⊙ SHRUB
- ⊙ DECIDUOUS TREE
- ⊙ PINE TREE
- ⊙ MONITOR WELL
- ⊙ LIGHTPOLE



BENCHMARK
ELEV. = 57.09
DRILL HOLE WITH
PK NAIL IN CONCRETE
SIDEWALK

NUMBER	DATE	REVISION

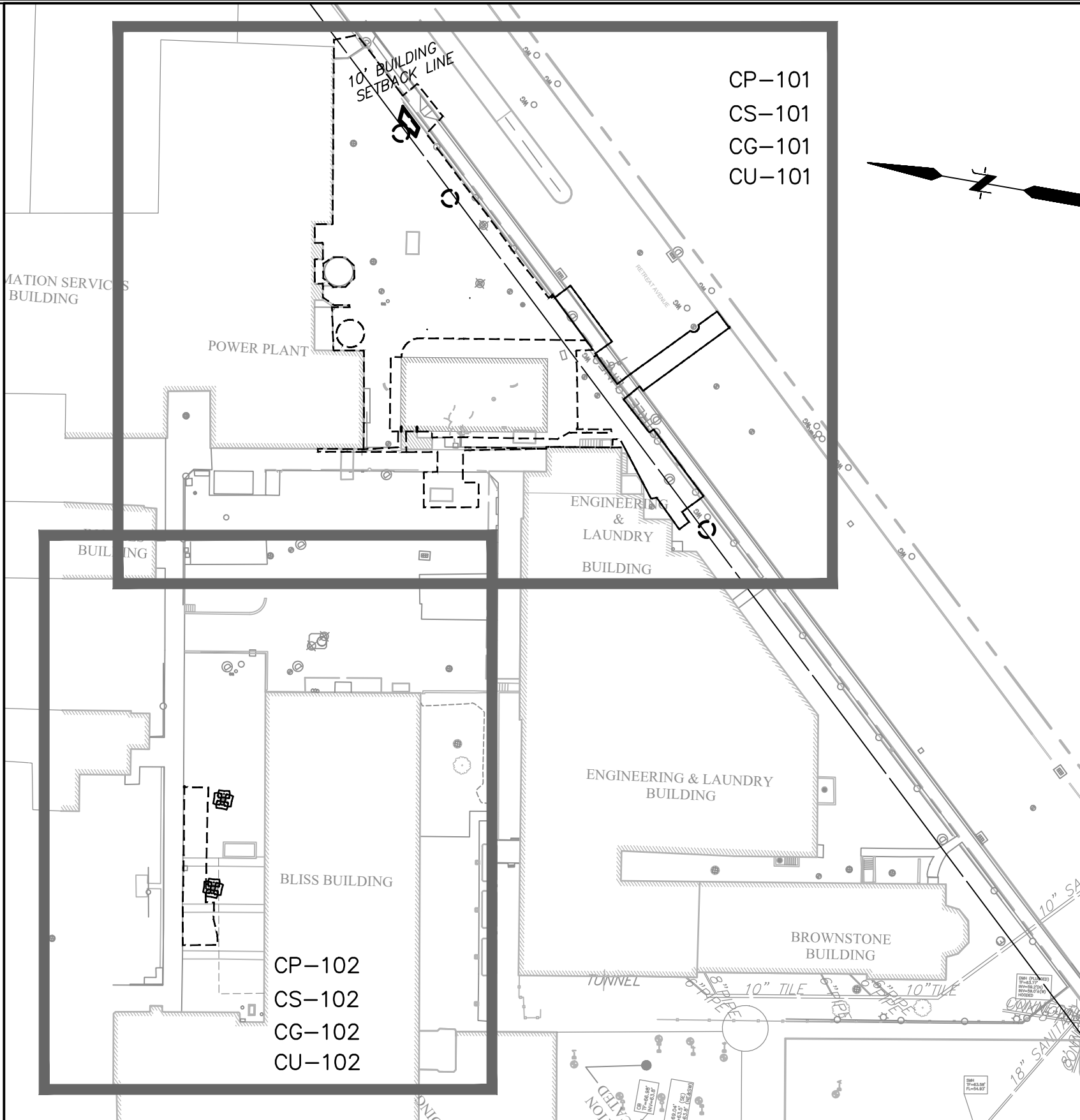
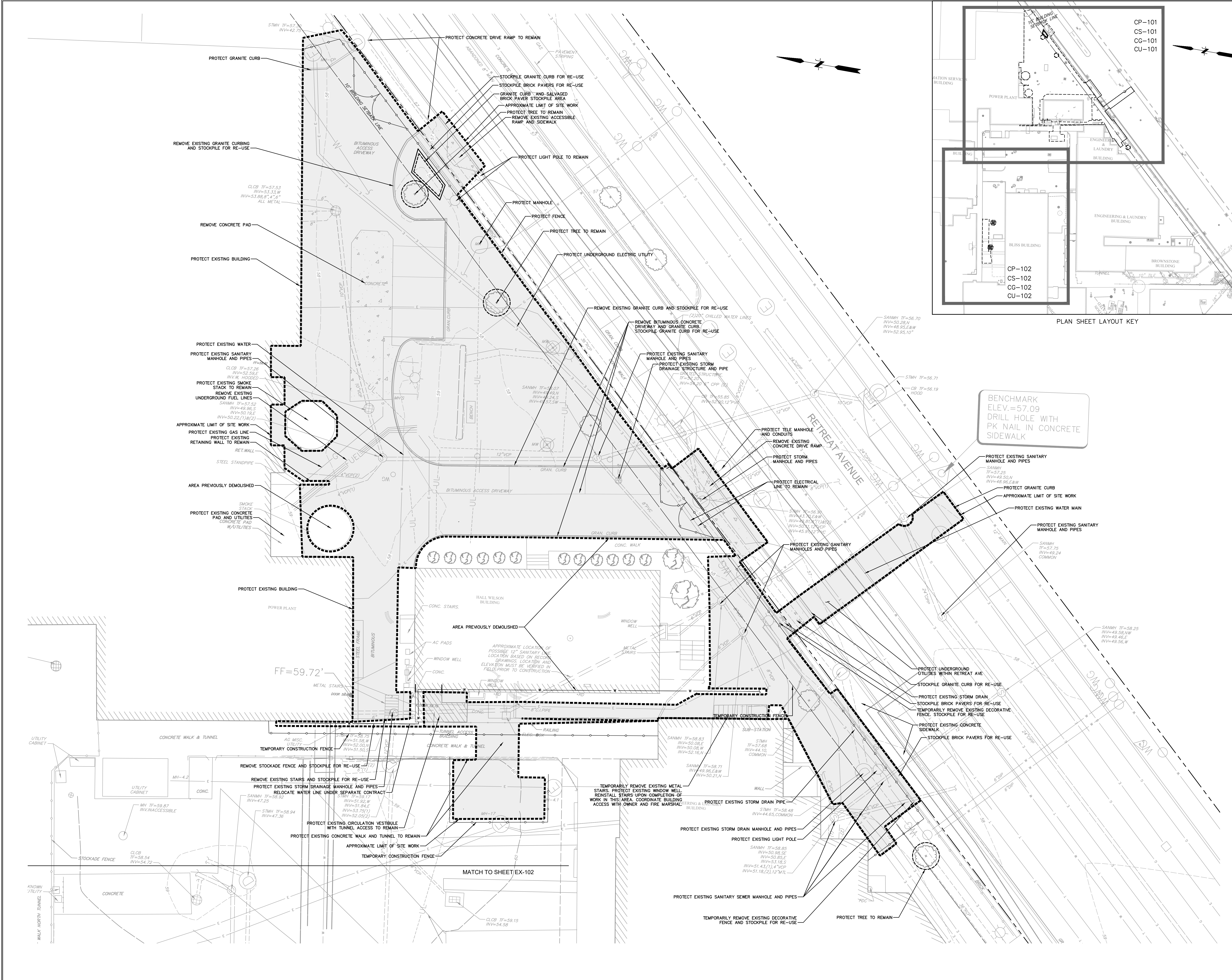
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DATE: 07/13/2021	

MATCH TO SHEET EX-102

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BENCHMARK
ELEV. = 57.09
DRILL HOLE WITH
PK NAIL IN CONCRETE
SIDEWALK

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A Hartford HealthCare Partner

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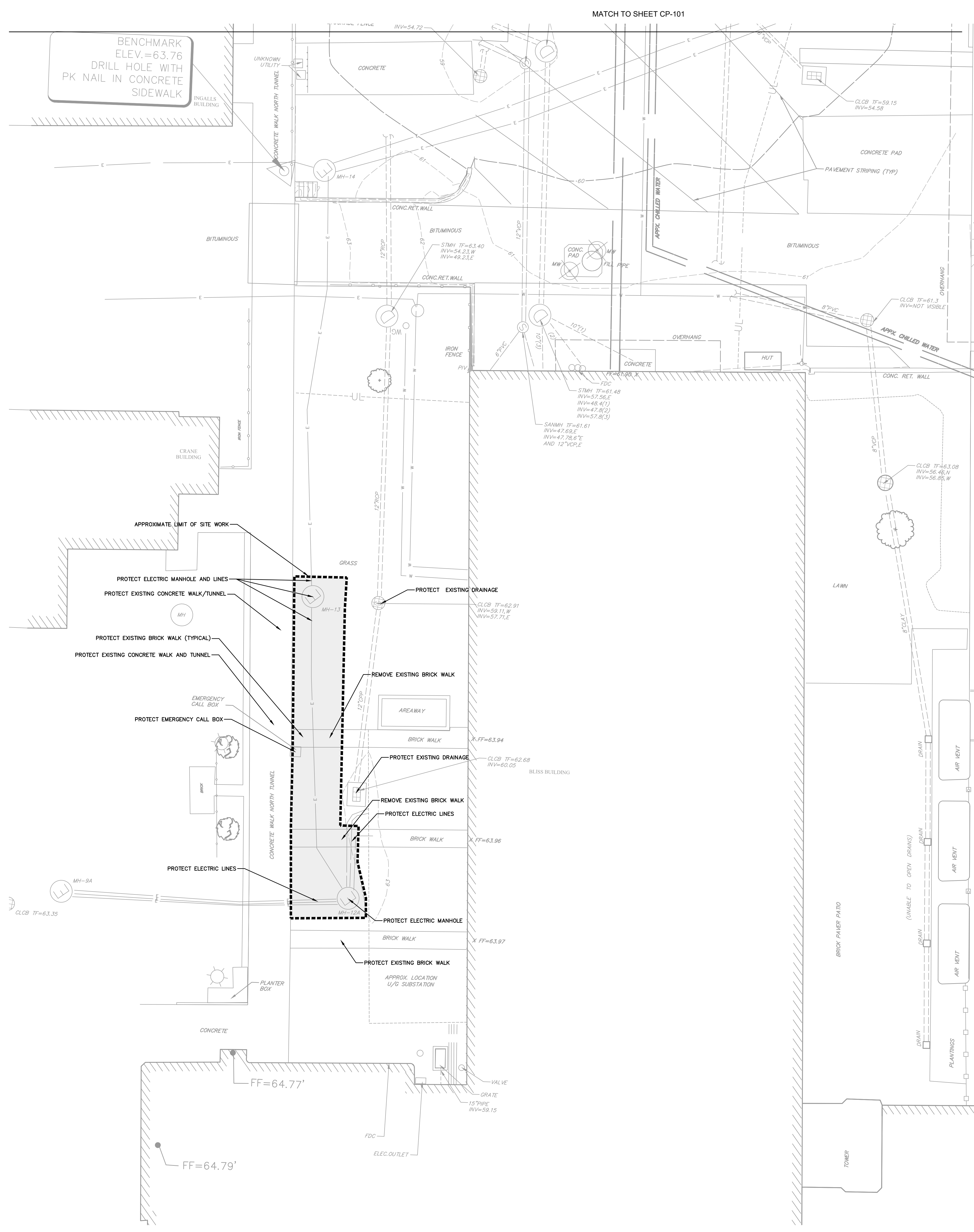
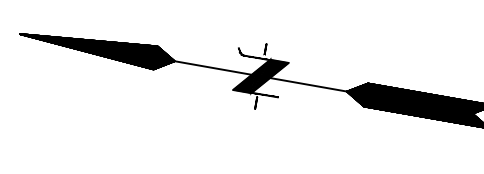
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**NEW PRIMARY ELECTRIC
SUBSTATION PROJECT**

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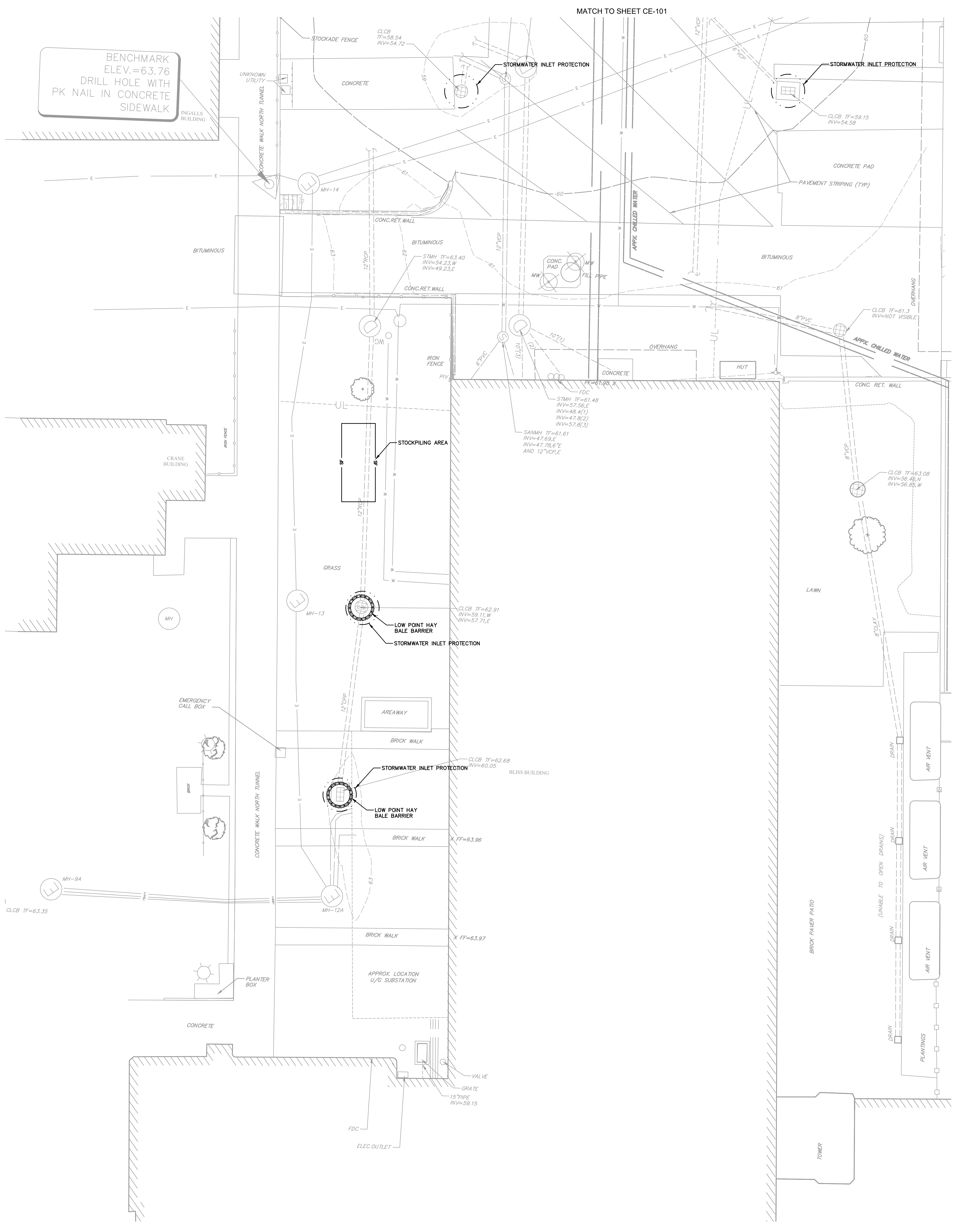
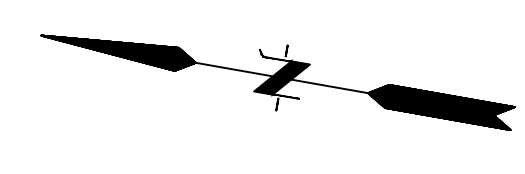
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PROJECT:
NEW PRIMARY ELECTRIC SUBSTATION PROJECT

DRAWING TITLE:
SITE PREPARATION PLAN

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DATE: 07/13/2021	

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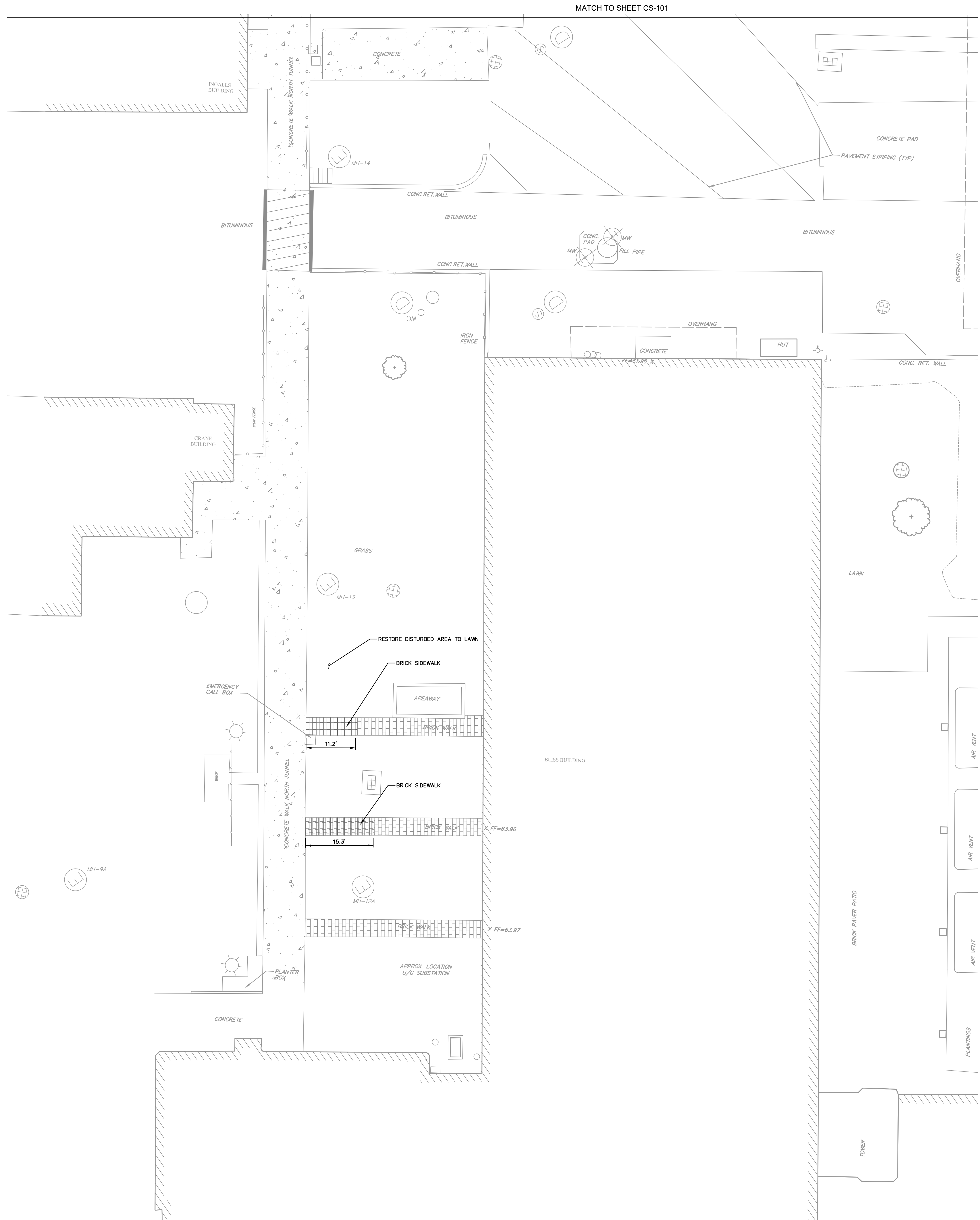
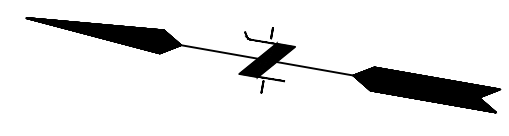
NUMBER	DATE	REVISION

PROJECT:
NEW PRIMARY ELECTRIC SUBSTATION PROJECT

DRAWING TITLE:
EROSION AND SEDIMENT CONTROL PLAN

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JOB NO.: 20160045.S10	
DATE: 07/13/2021	

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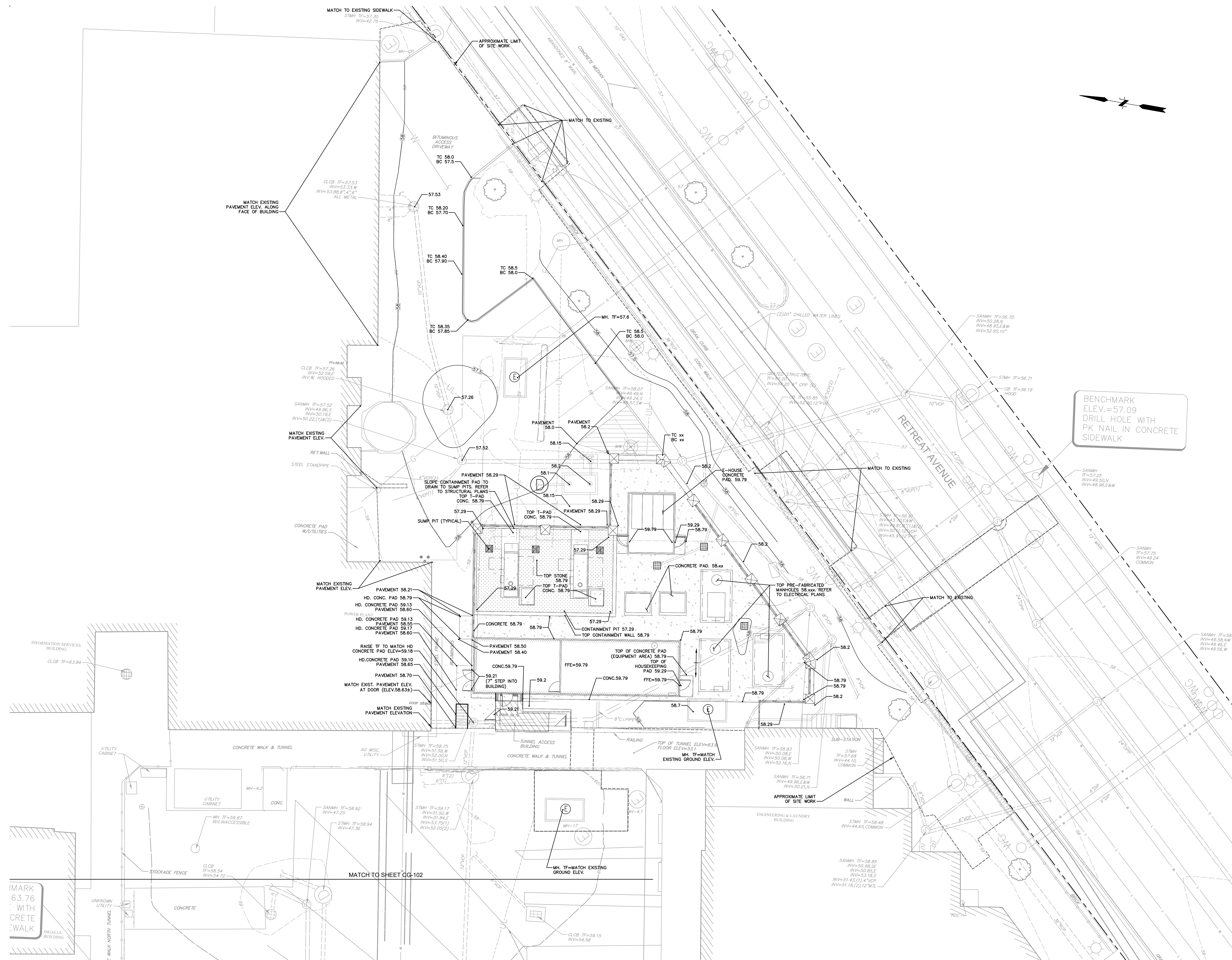


NUMBER	DATE	REVISION
1	8/10/2021	RTC

PROJECT:
NEW PRIMARY ELECTRIC SUBSTATION PROJECT

DRAWING TITLE:
SITE LAYOUT PLAN

DWN BY: SEJ	DRAWING NO.:
CHKD BY: RB	CS-102
SCALE: 1"=10'	
JOB NO.: 20160045.S10	
DATE: 07/13/2021	



BENCHMARK
ELEV. = 57.09
DRILL HOLE WITH
PK NAIL IN CONCRETE
SIDEWALK

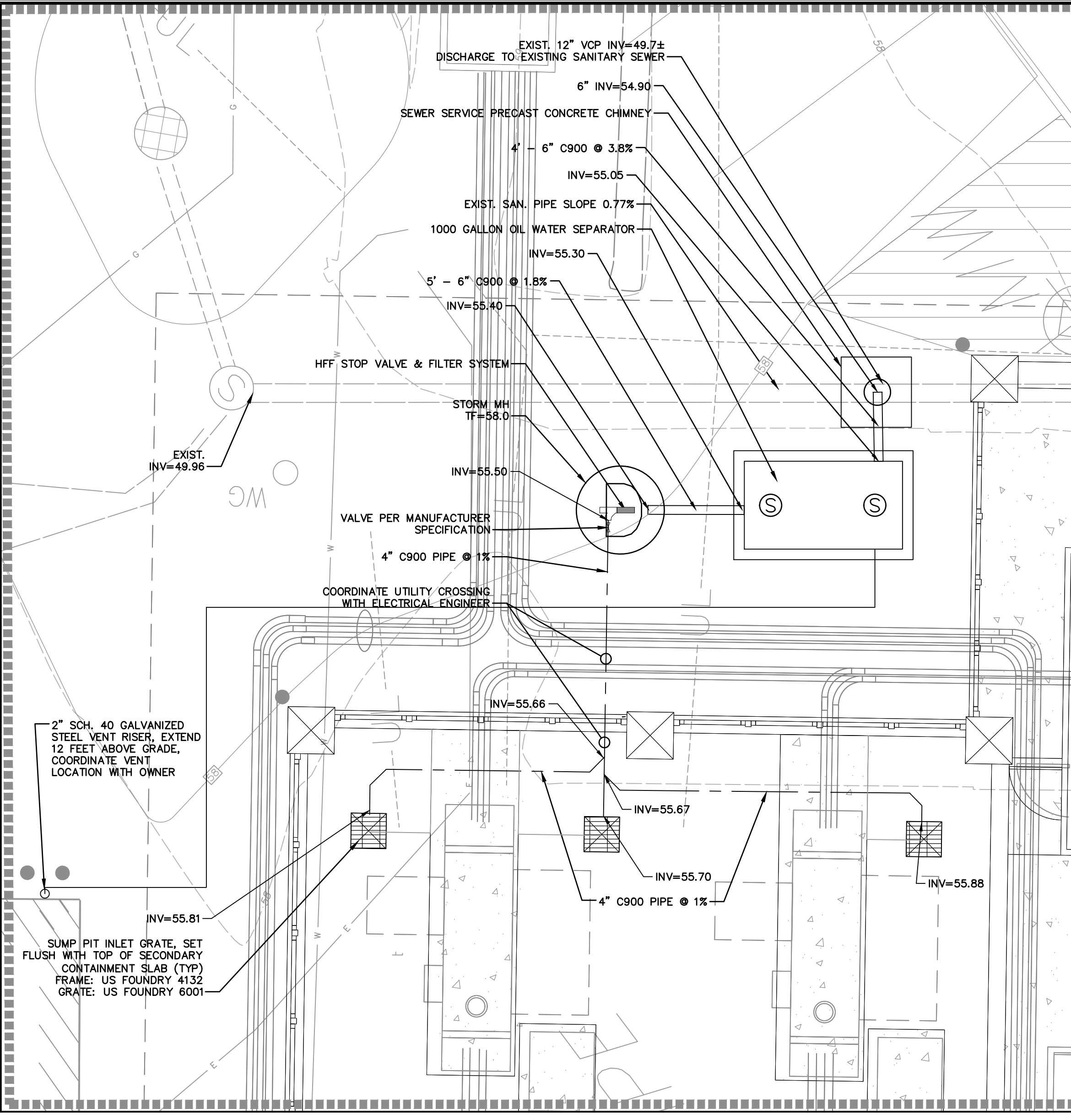
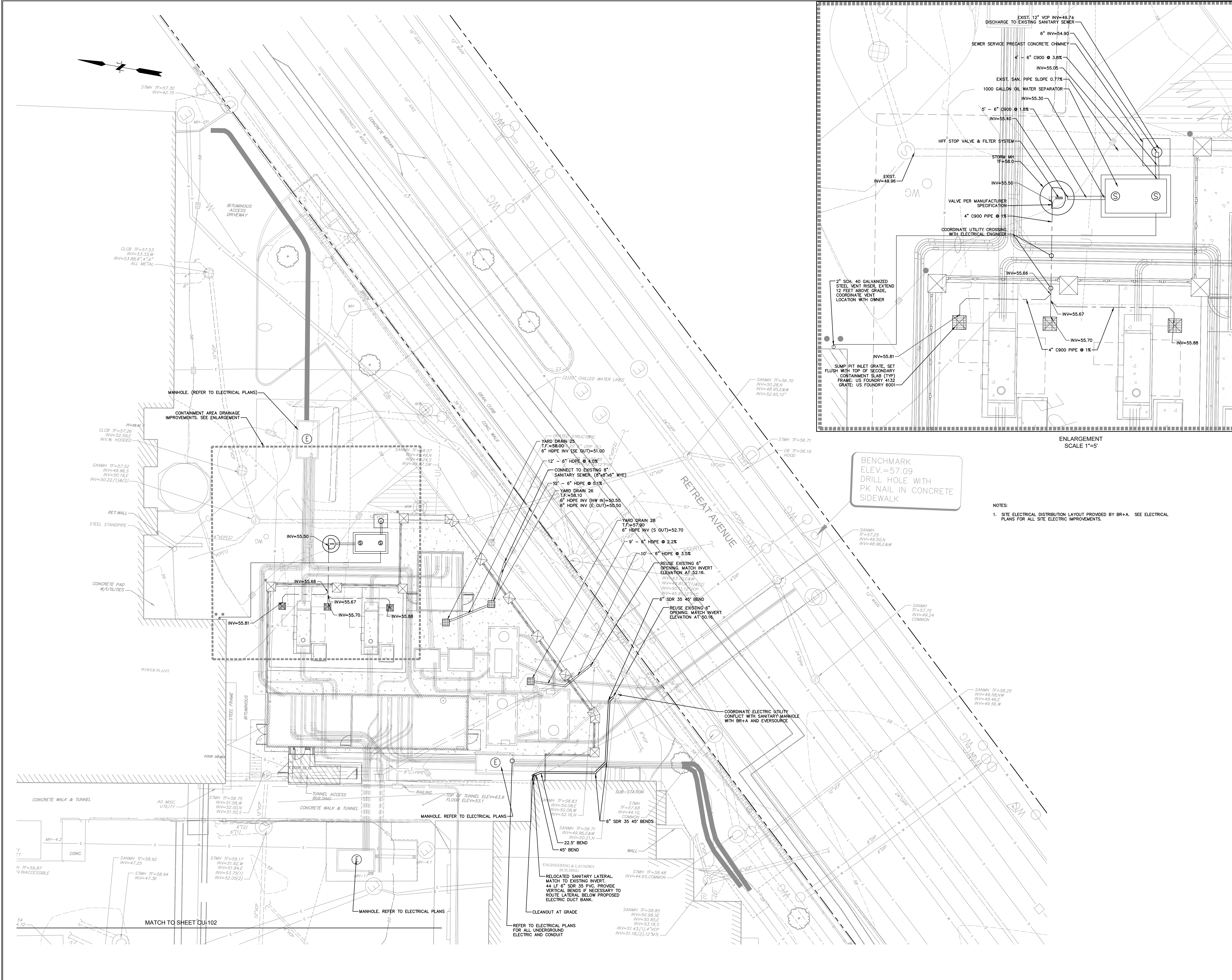
NUMBER	DATE	REVISION

PROJECT:
**NEW PRIMARY ELECTRIC
SUBSTATION PROJECT**

DRAWING TITLE:
SITE GRADING PLAN

DWN BY: SEJ	DRAWING NO.:
CHKD BY: RB	CG-101
SCALE: 1" = 10'	
JOB NO.: 20160045.S10	
DATE: 07/13/2021	

File: J:\DWG\20160045\10\CG101\Plan\20160045_S10_GRD01.dwg Layout: CG-101 Plotter: 20160045 8:43 PM User: sjmatus
PC3 NONE STBCTE FOSTB



BENCHMARK
ELEV. = 57.09
DRILL HOLE WITH
PK NAIL IN CONCRETE
SIDEWALK

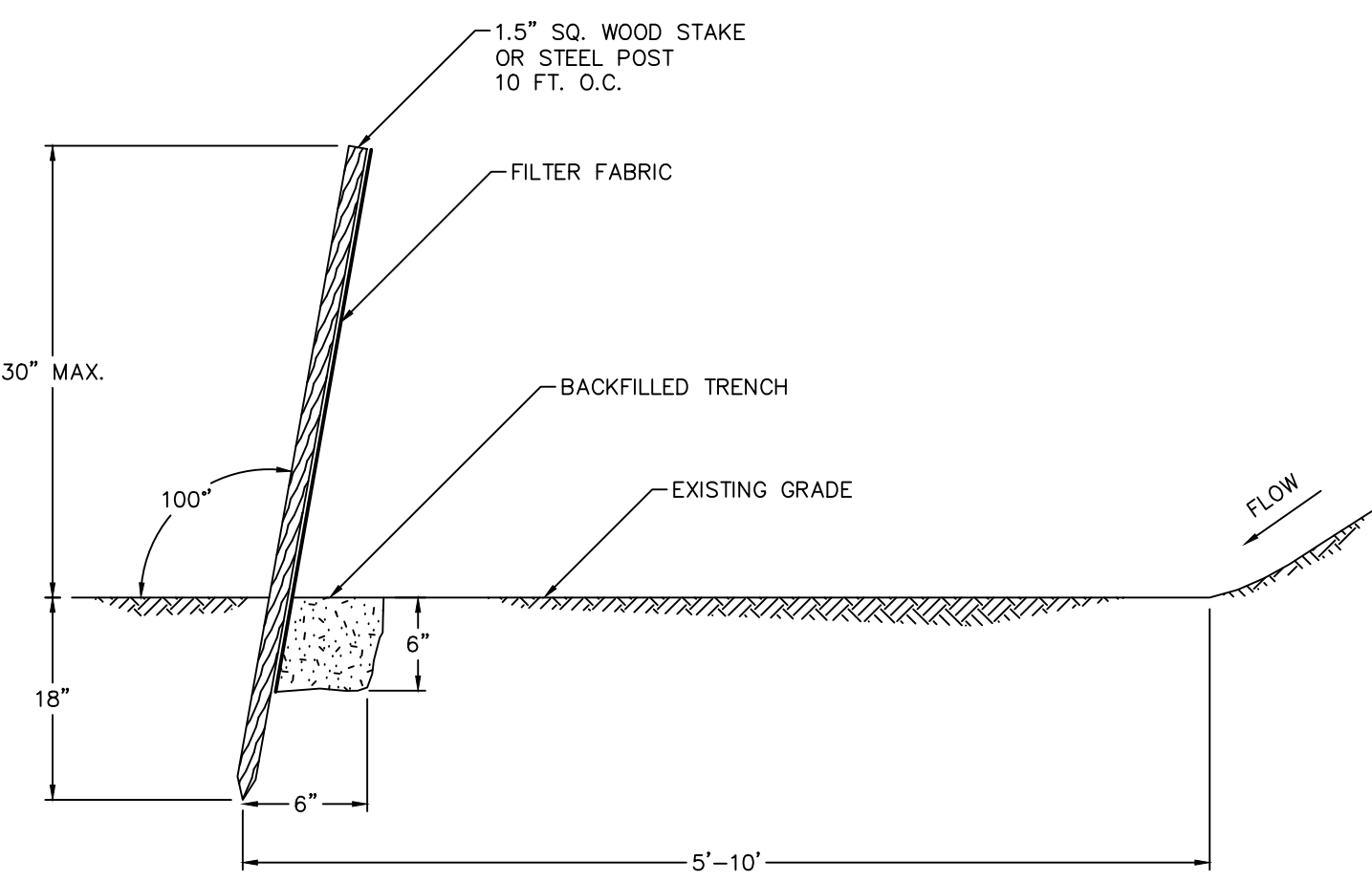
- NOTES:
1. SITE ELECTRICAL DISTRIBUTION LAYOUT PROVIDED BY BR+A. SEE ELECTRICAL PLANS FOR ALL SITE ELECTRIC IMPROVEMENTS.

NUMBER	DATE	REVISION

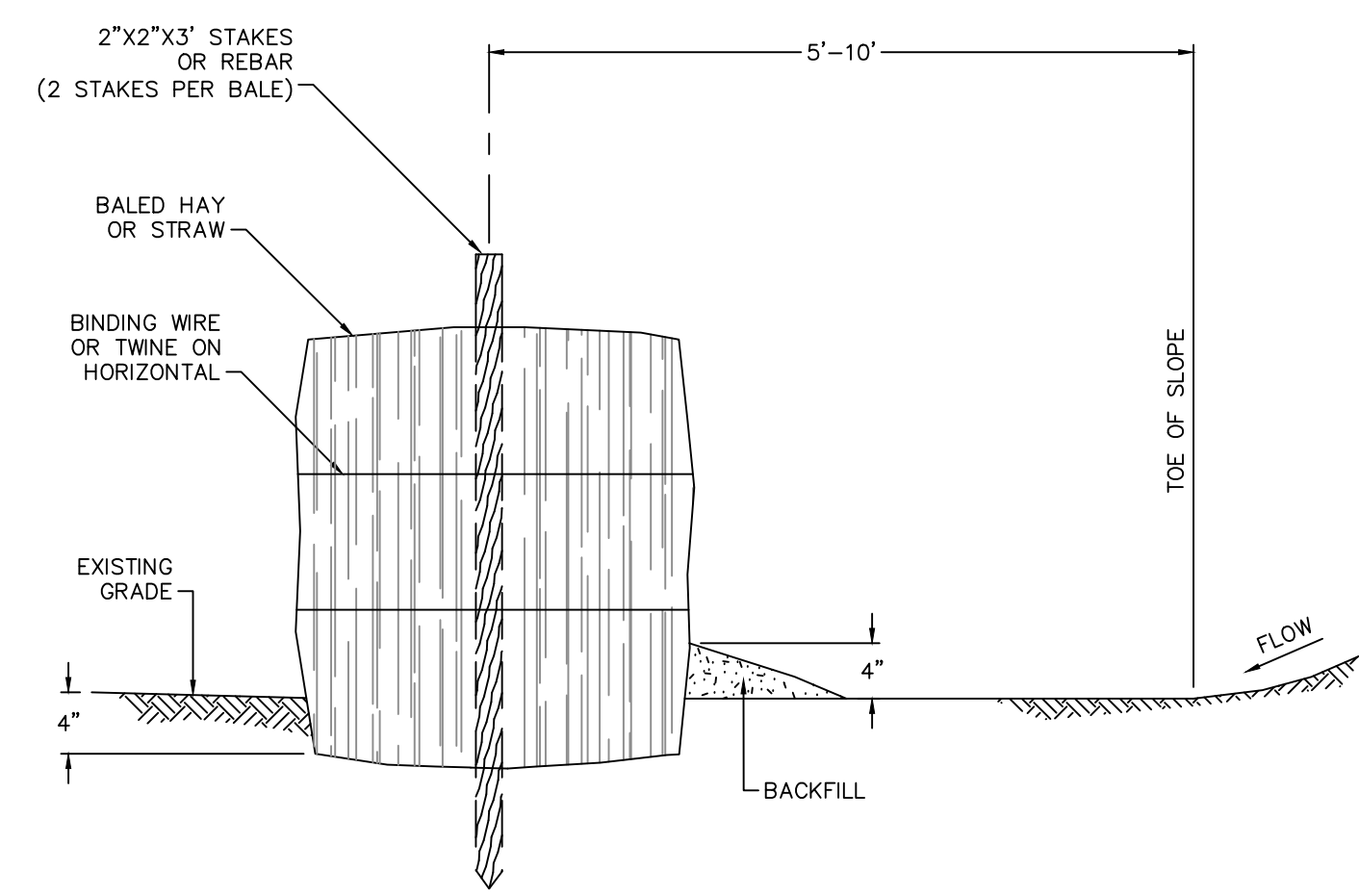
PROJECT:
**NEW PRIMARY ELECTRIC
SUBSTATION PROJECT**

DRAWING TITLE:
DRAINAGE & UTILITY PLAN

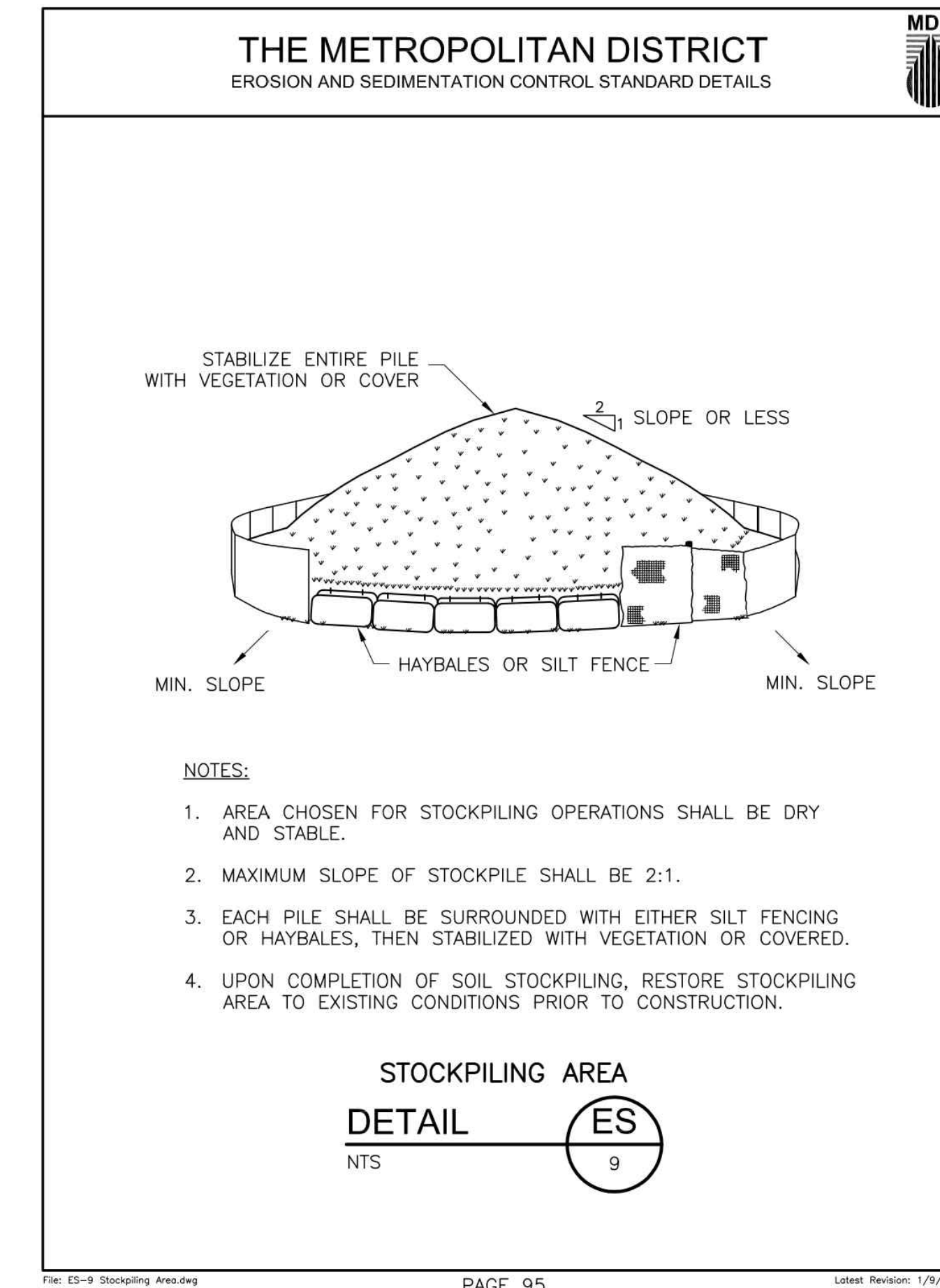
DWN BY: SEJ	DRAWING NO.:
CHKD BY: RB	CU-101
SCALE: 1"=10'	JOB NO.: 20160045.S10
DATE: 07/13/2021	



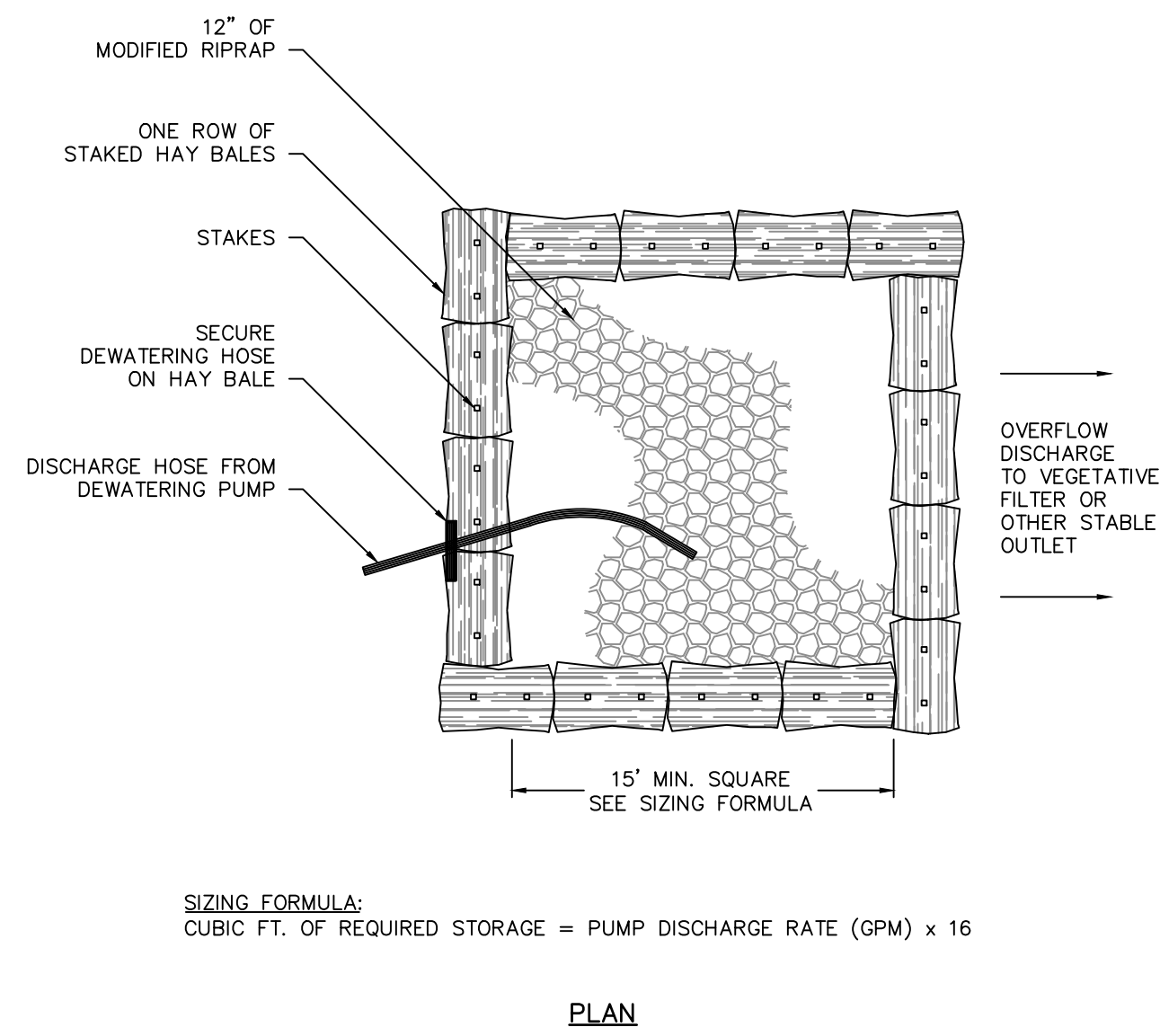
SILT FENCE
NOT TO SCALE



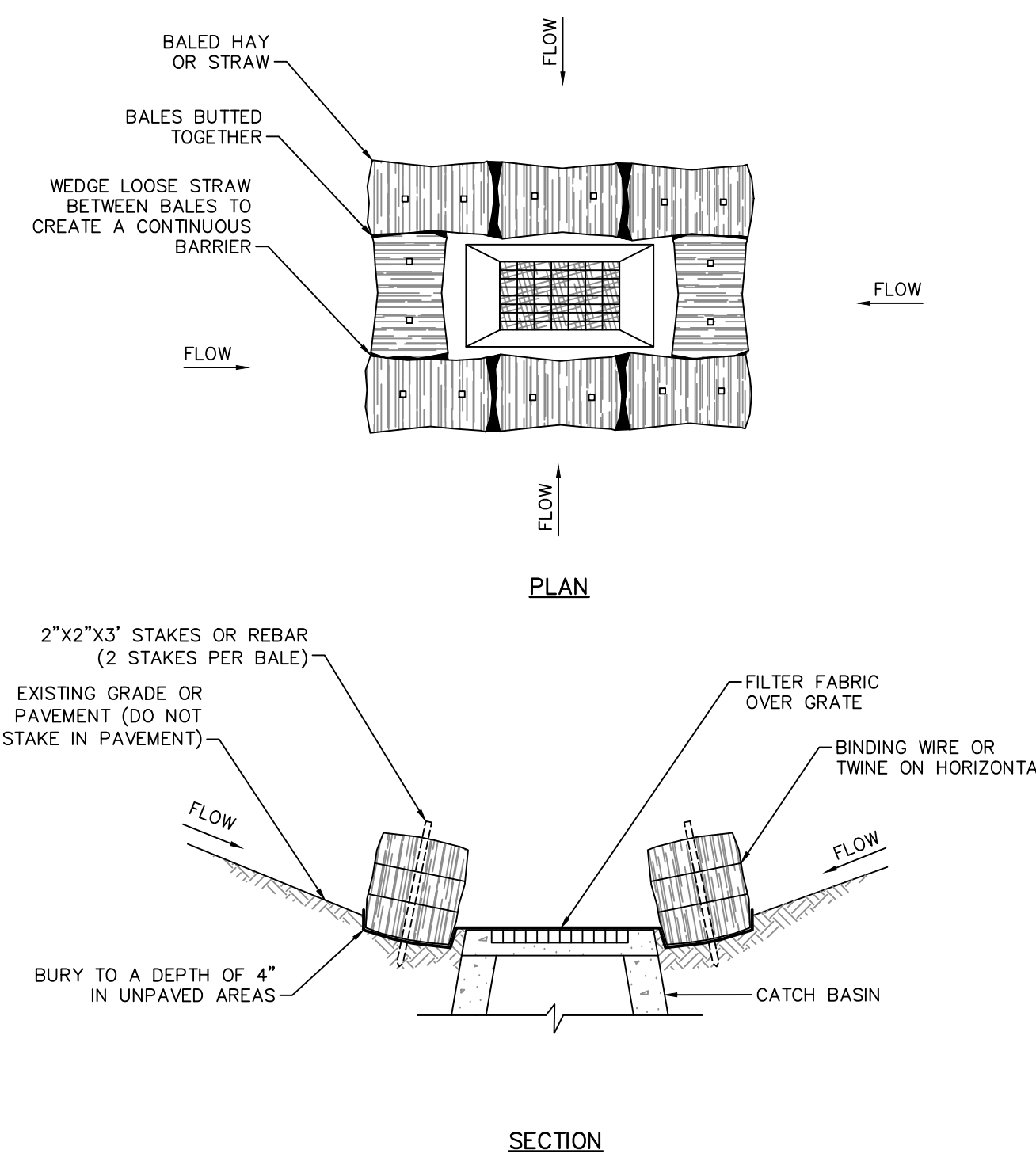
TOE OF SLOPE HAY BALE BARRIER
NOT TO SCALE



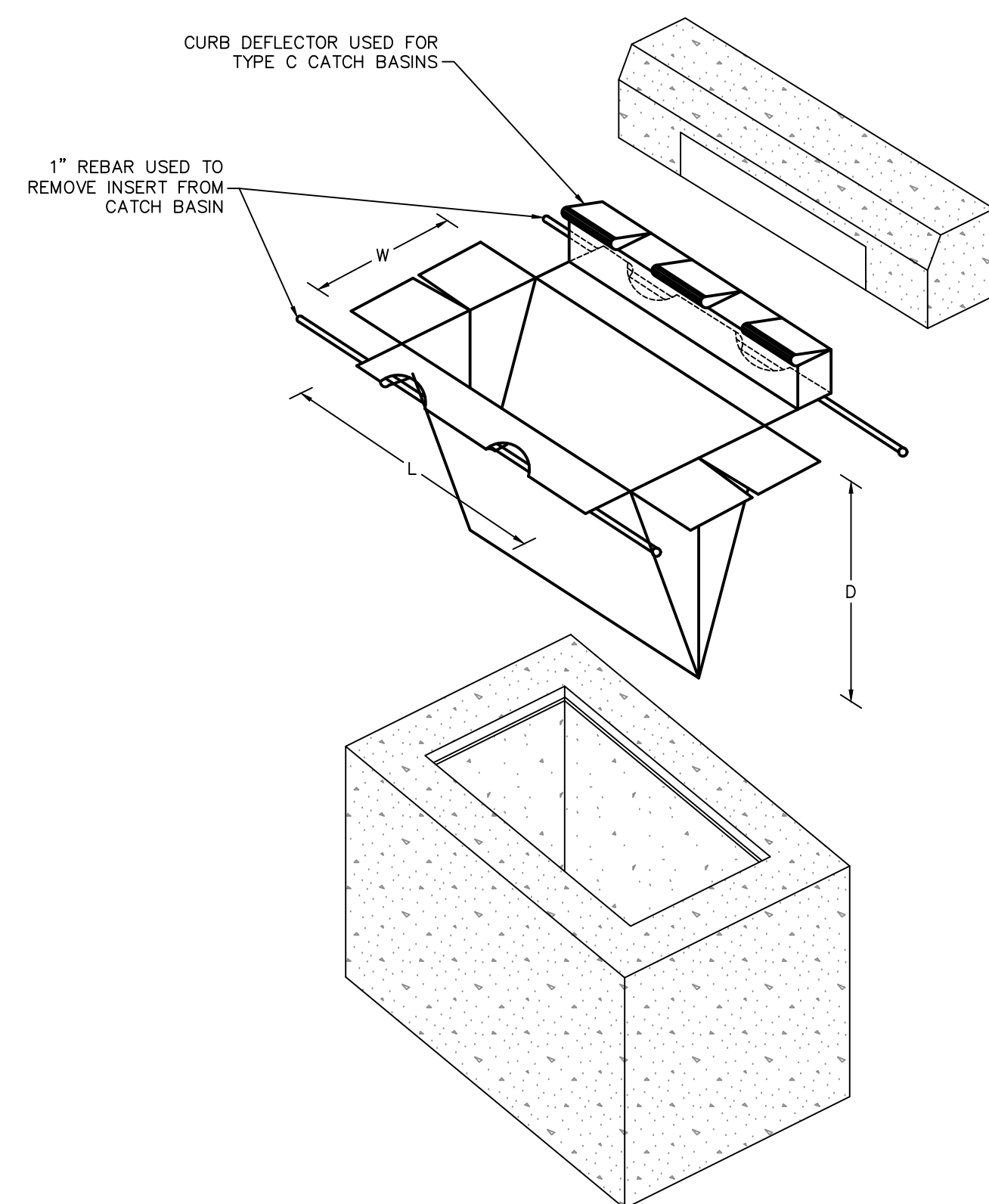
THE CITY OF STAMFORD, CONNECTICUT
PAGE 95
LATEST REVISION: 1/28/2015



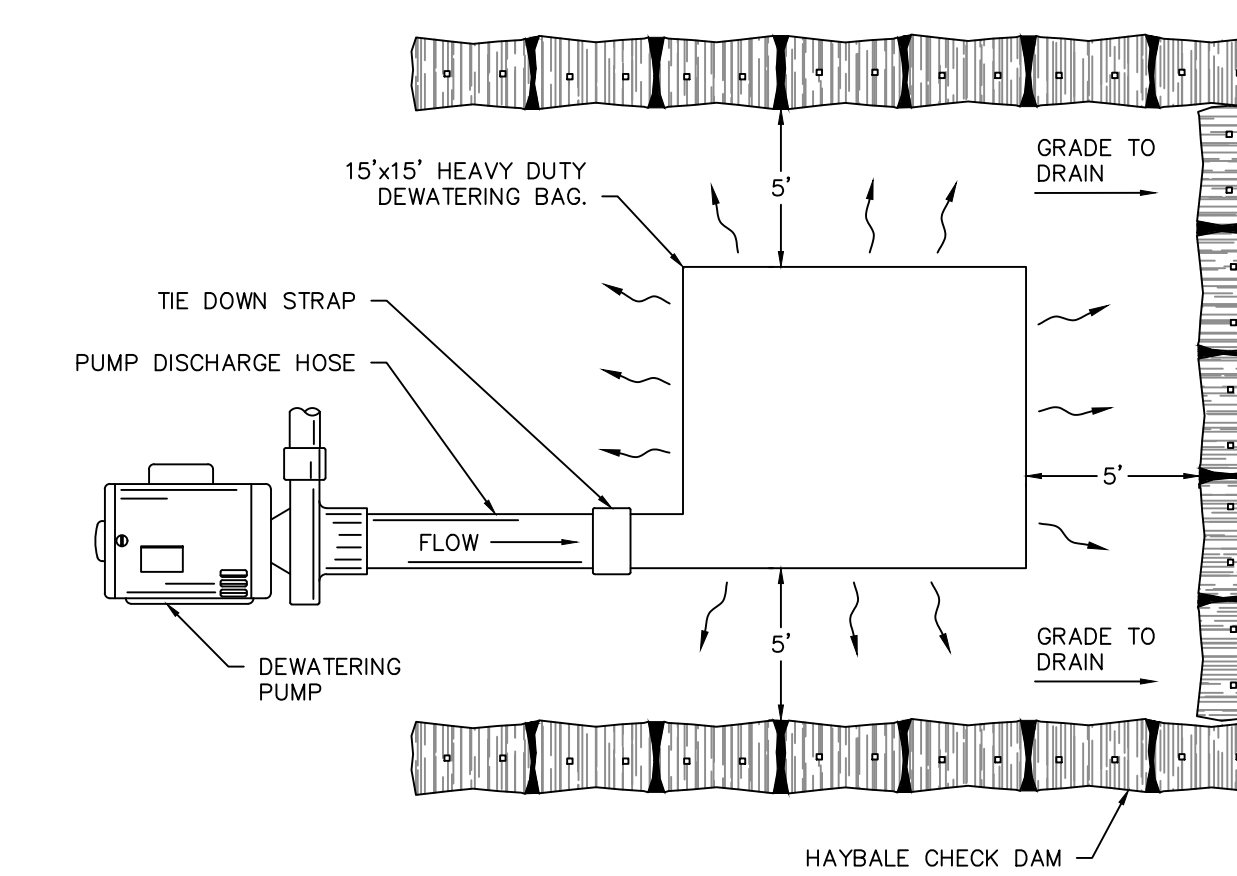
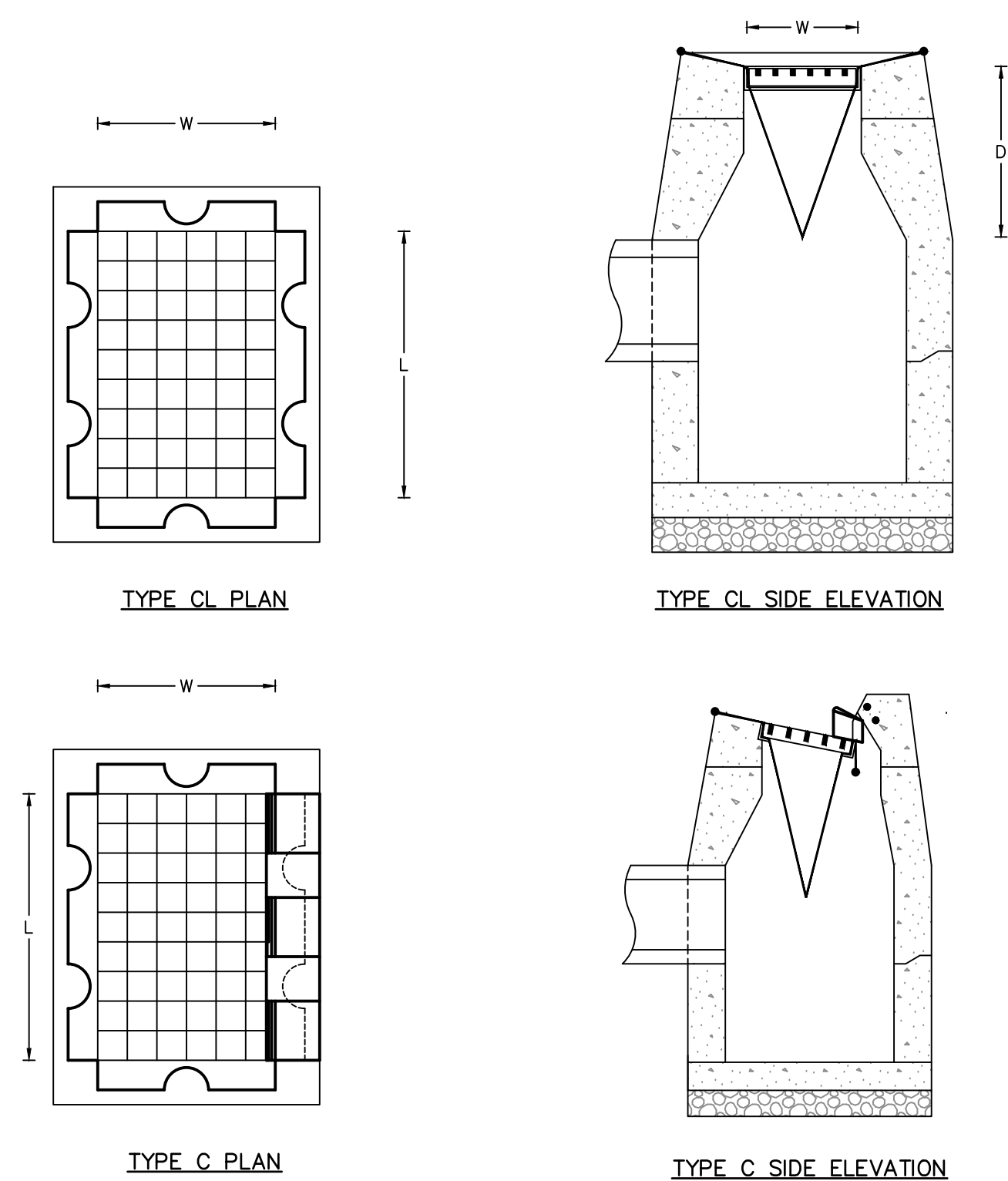
PUMPING SETTLING BASIN TYPE I
NOT TO SCALE



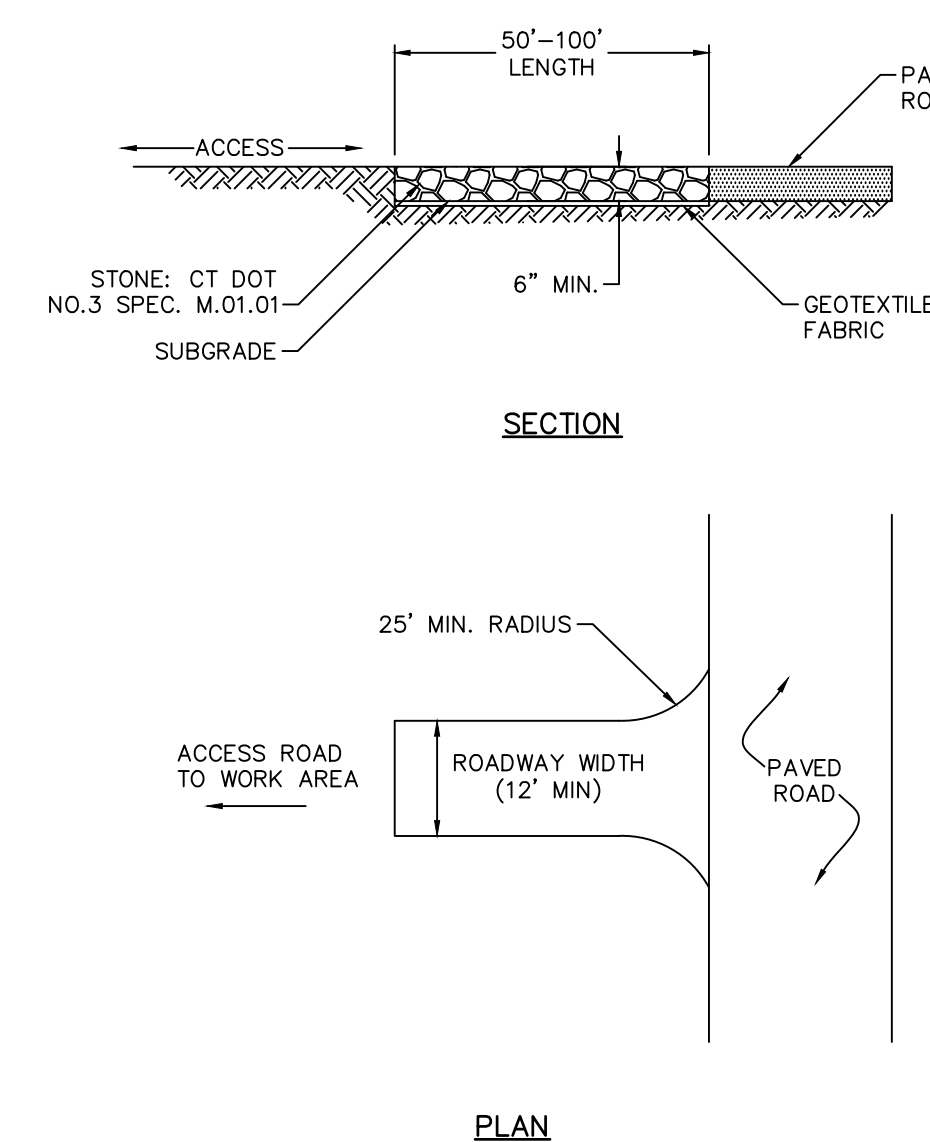
LOW POINT HAY BALE BARRIER
NOT TO SCALE



CATCH BASIN INSERT/STORMWATER INLET PROTECTION
NOT TO SCALE



DEWATERING BAG
NOT TO SCALE



CONSTRUCTION ENTRANCE
NOT TO SCALE

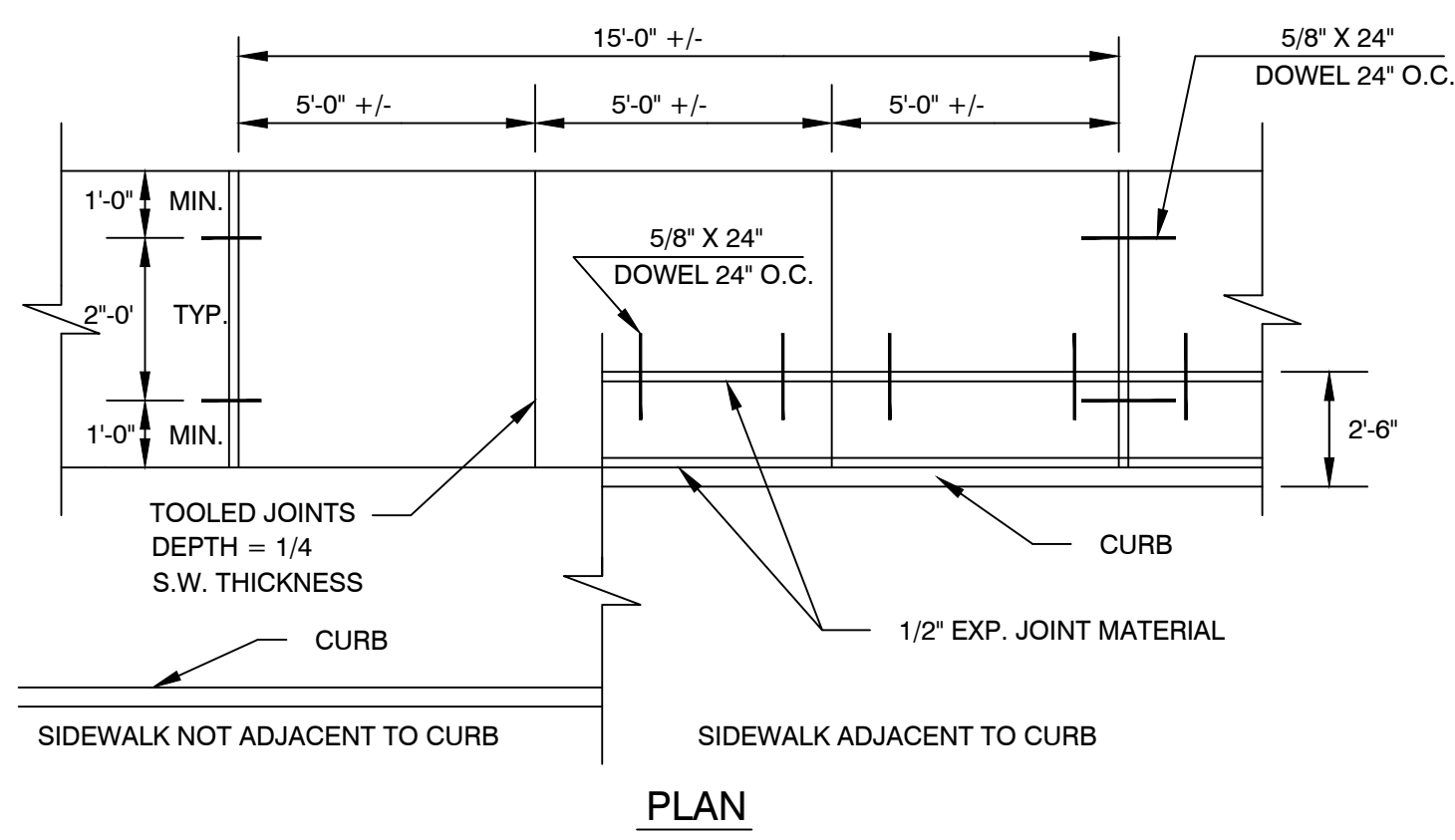
NUMBER	DATE	REVISION

PROJECT:
NEW PRIMARY ELECTRIC SUBSTATION PROJECT

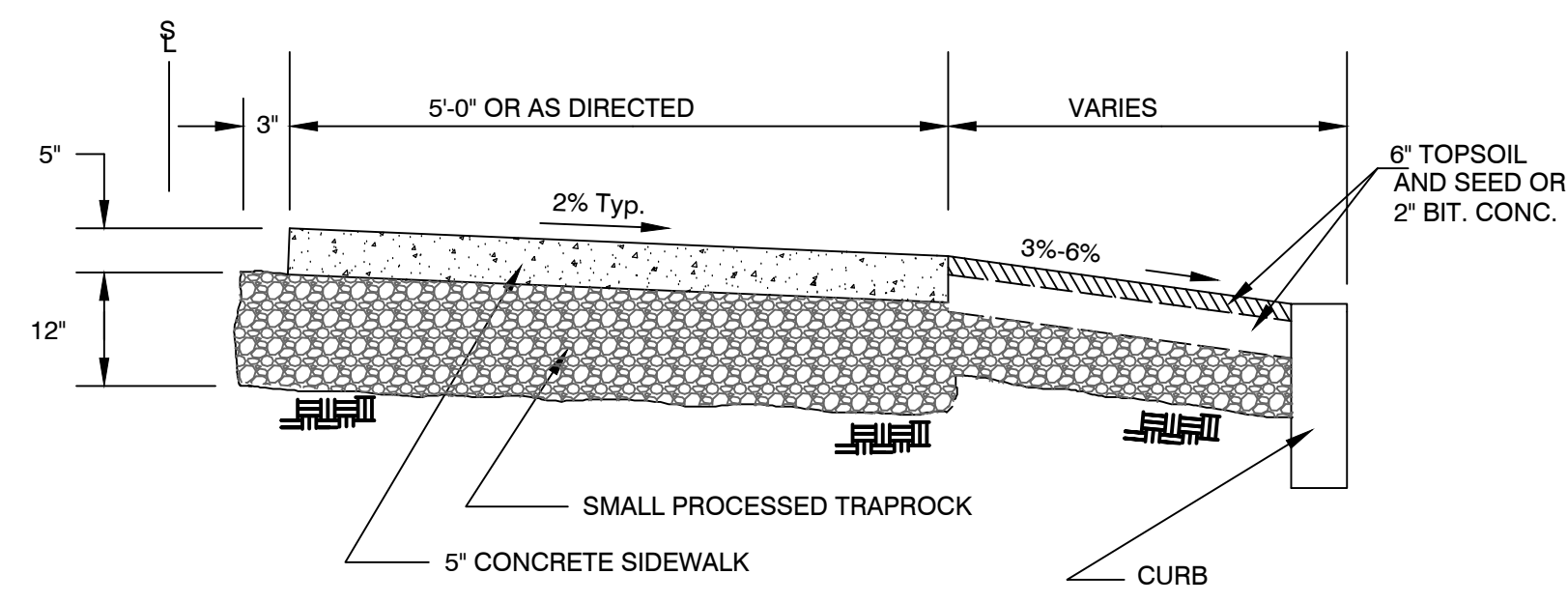
DRAWING TITLE:
SITE DETAILS

DWN BY: SEJ	DRAWING NO. CD-501
CHKD BY: RB	
SCALE: NOT TO SCALE	
JOB NO.: 20160045.S10	
DATE: 07/13/2021	

File: J:\DWG\20160045\10\CD\Plan\20160045.S10_DET01.dwg Layout: CD501_Planet: 2021-08-16 4:02 PM Saved: 2021-08-16 3:35 PM User: mtggers PC3: NONE STBCTE: FOSTB



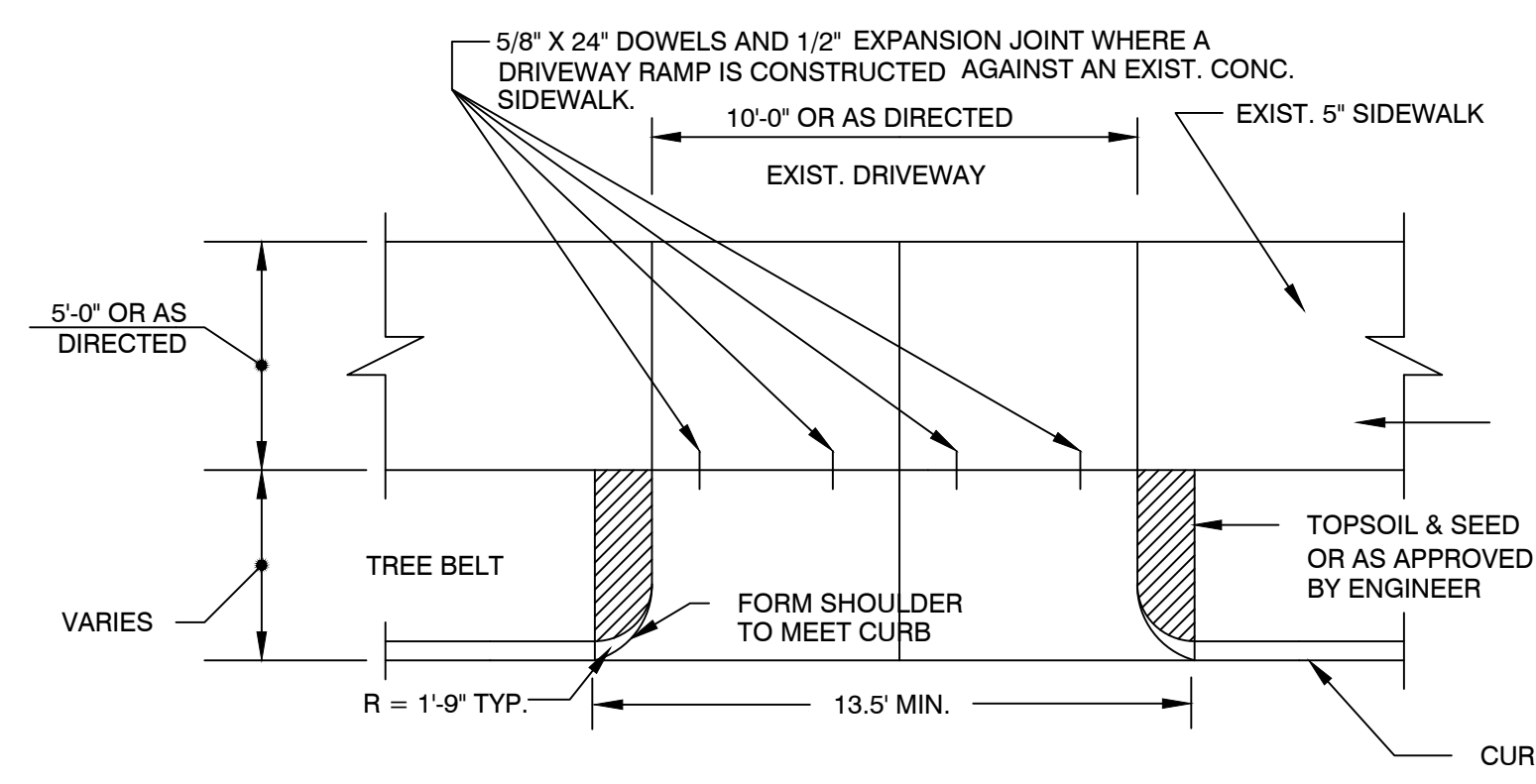
PLAN



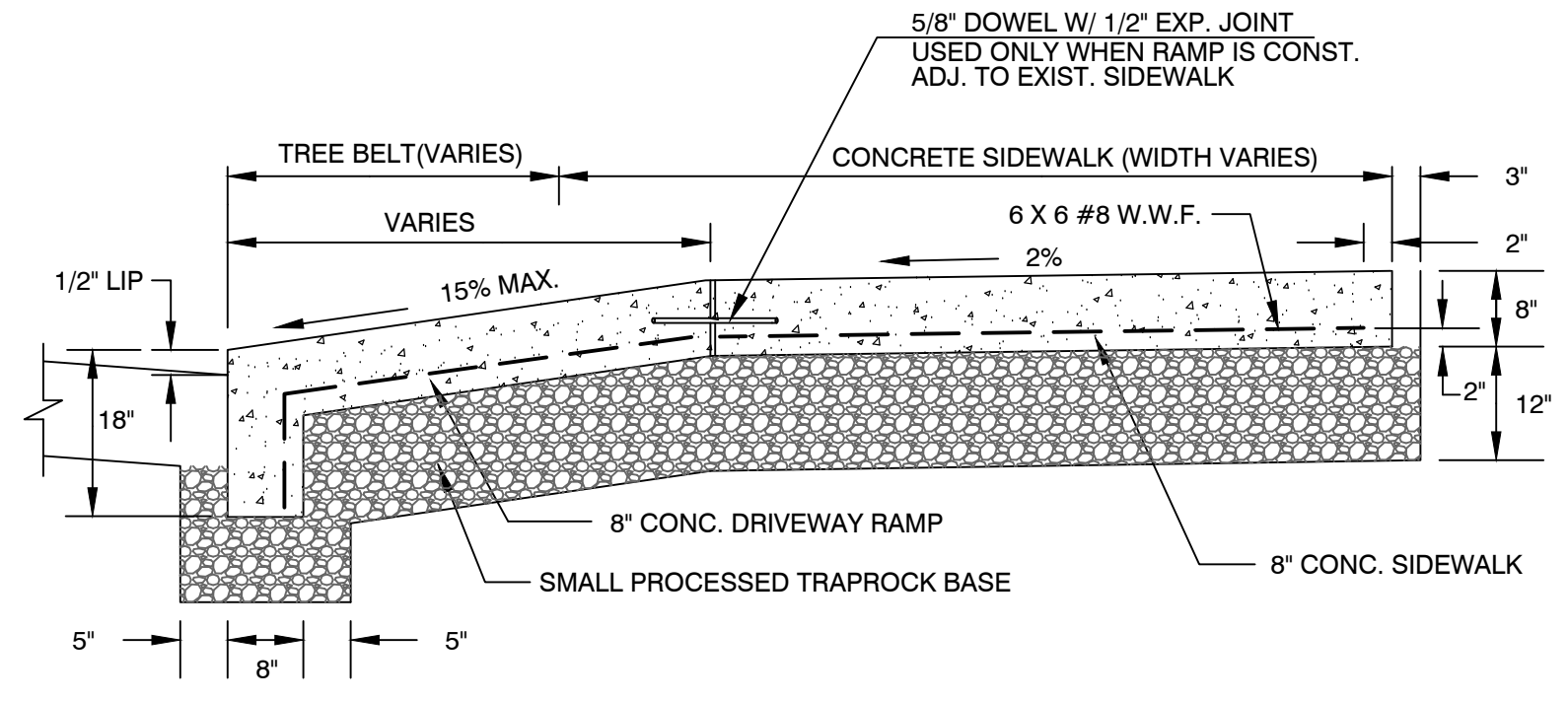
SECTION

5" CONCRETE SIDEWALK IN R.O.W.

CITY OF HARTFORD DETAIL - NOT TO SCALE



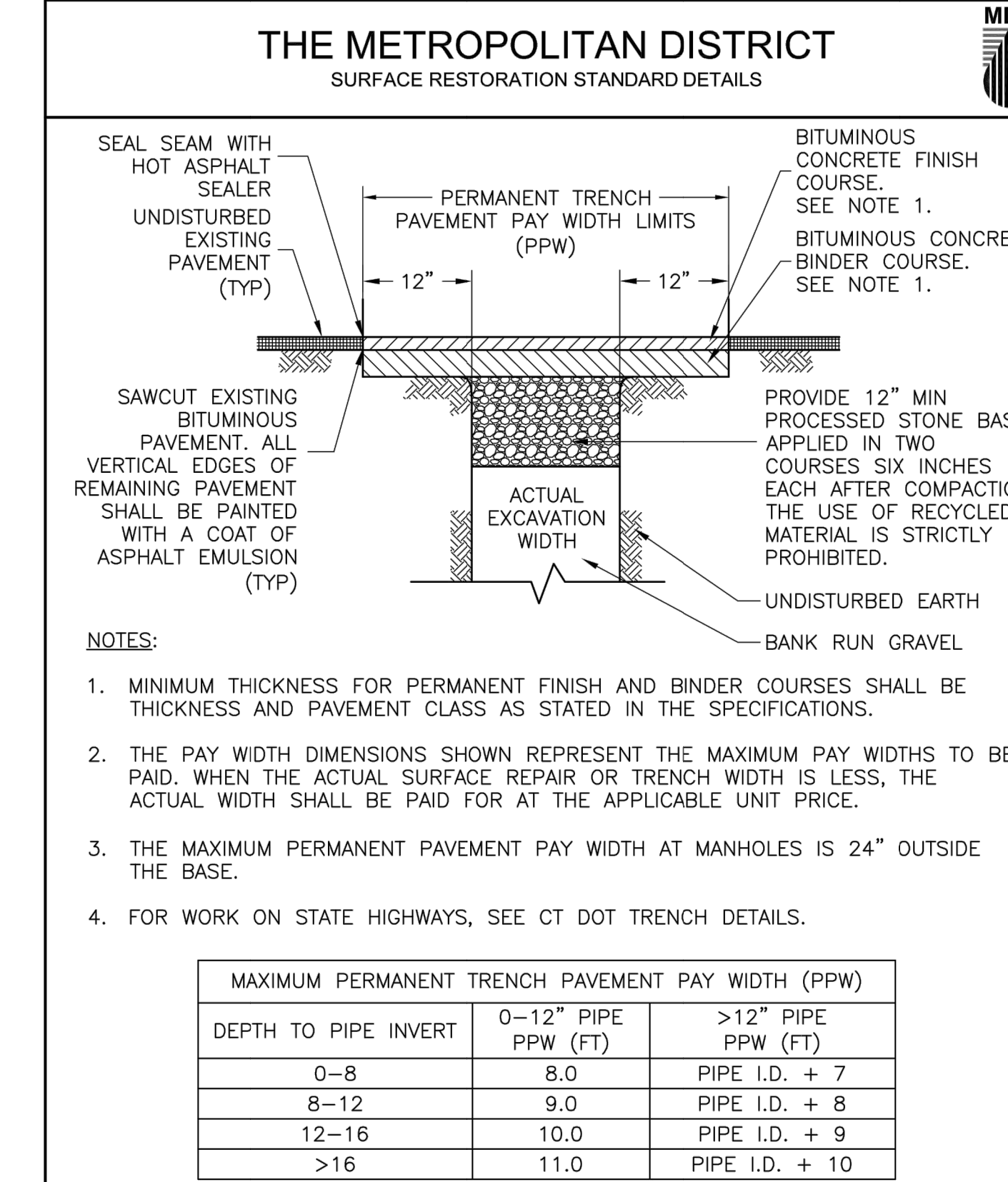
PLAN



SECTION

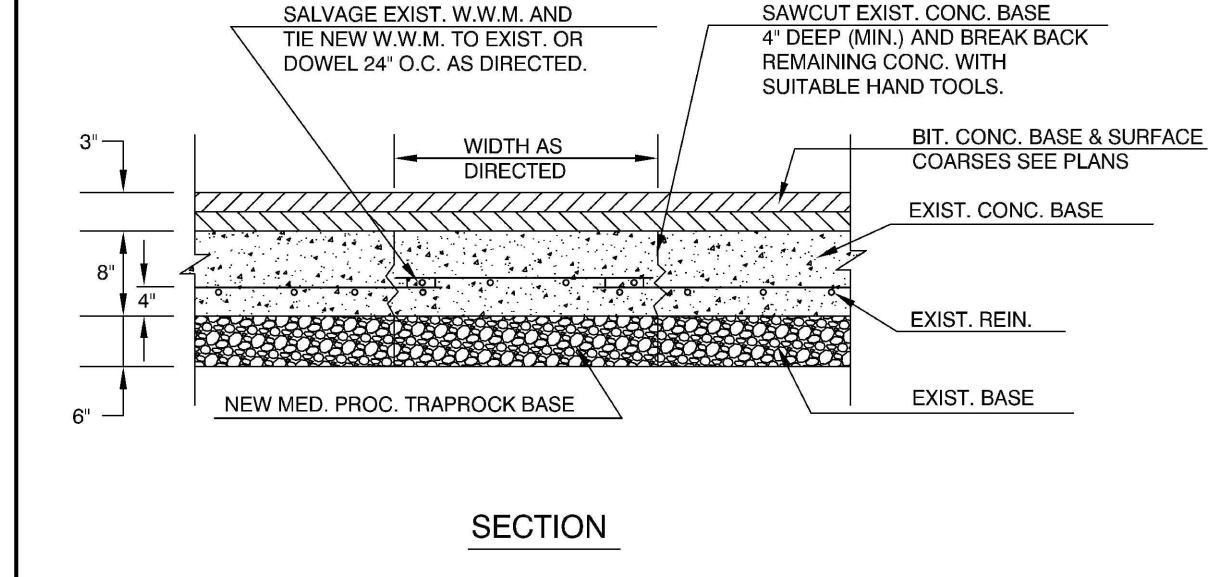
8" REINFORCED CONCRETE DRIVEWAY

CITY OF HARTFORD DETAIL - NOT TO SCALE



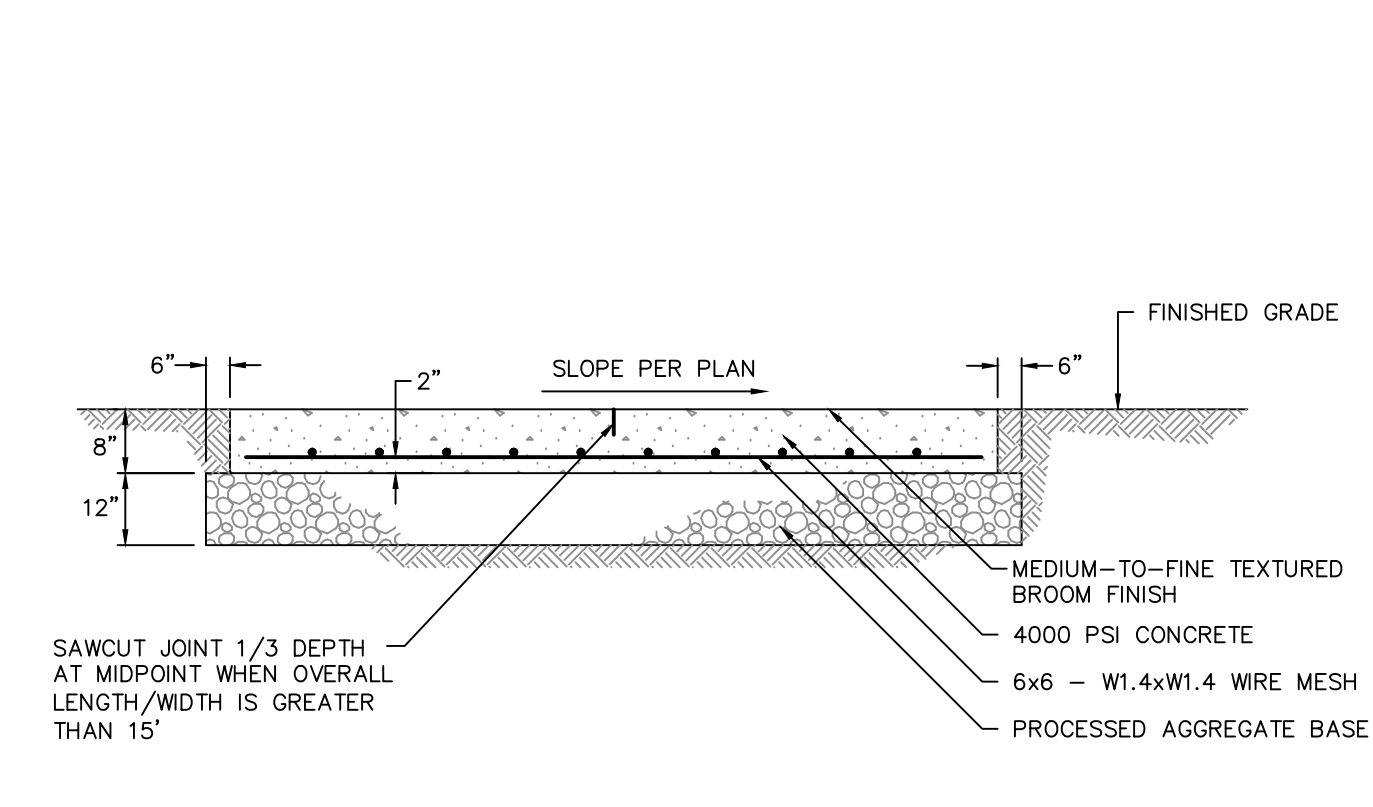
PERMANENT TRENCH PAVEMENT RESTORATION

NOT TO SCALE



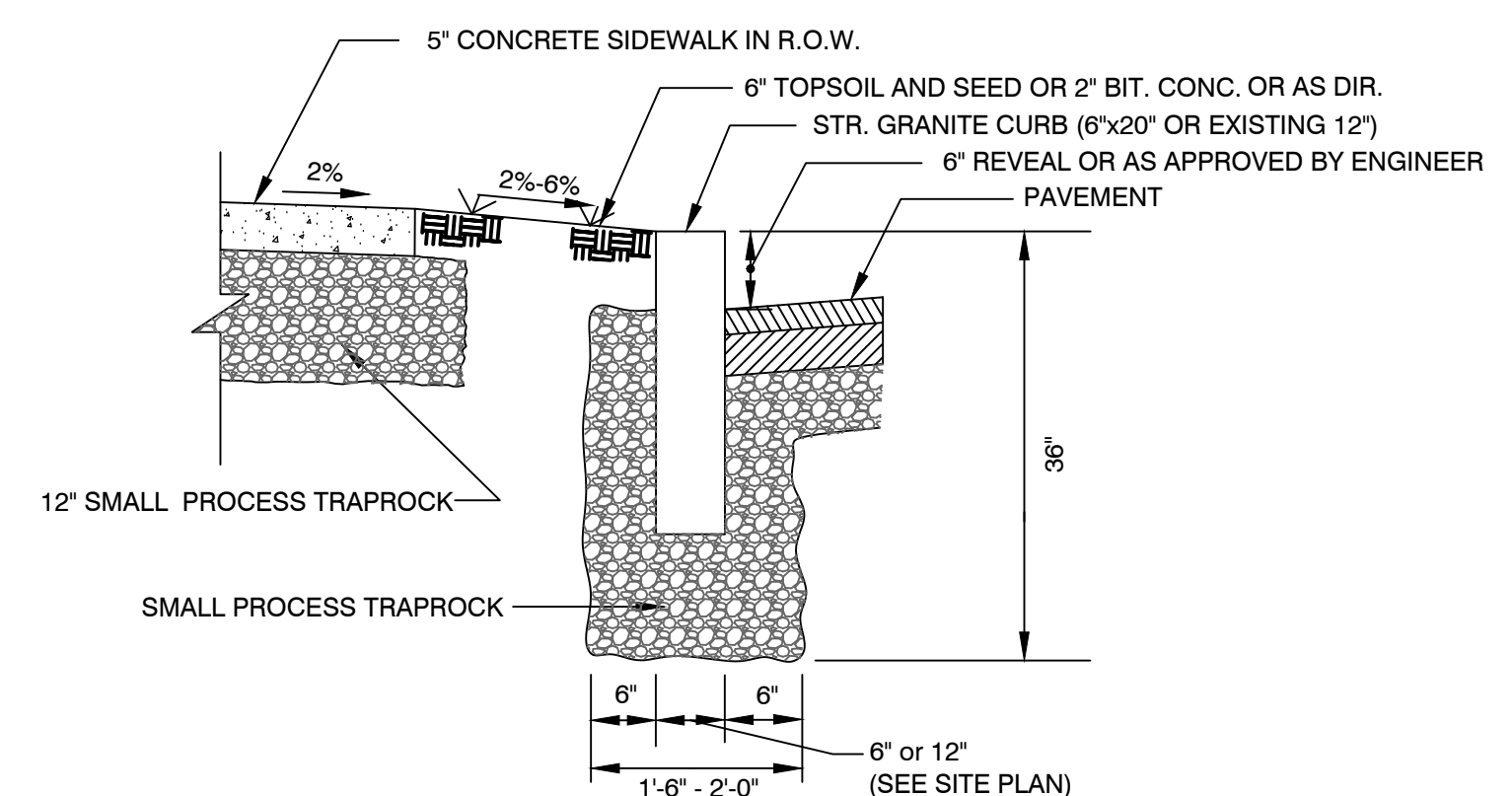
REPAIR 8" REINFORCED CONCRETE BASE

NOTES:
1. IF EXISTING PAVEMENT SECTION IN CITY RIGHT-OF-WAY VARIES, MATCH EXISTING CONDITIONS AND NOTIFY ENGINEER.
2. SEE RETREAT AVENUE TYPICAL ROADWAY CROSS SECTION FOR BITUMINOUS PAVEMENT BASE AND SURFACE COURSES.



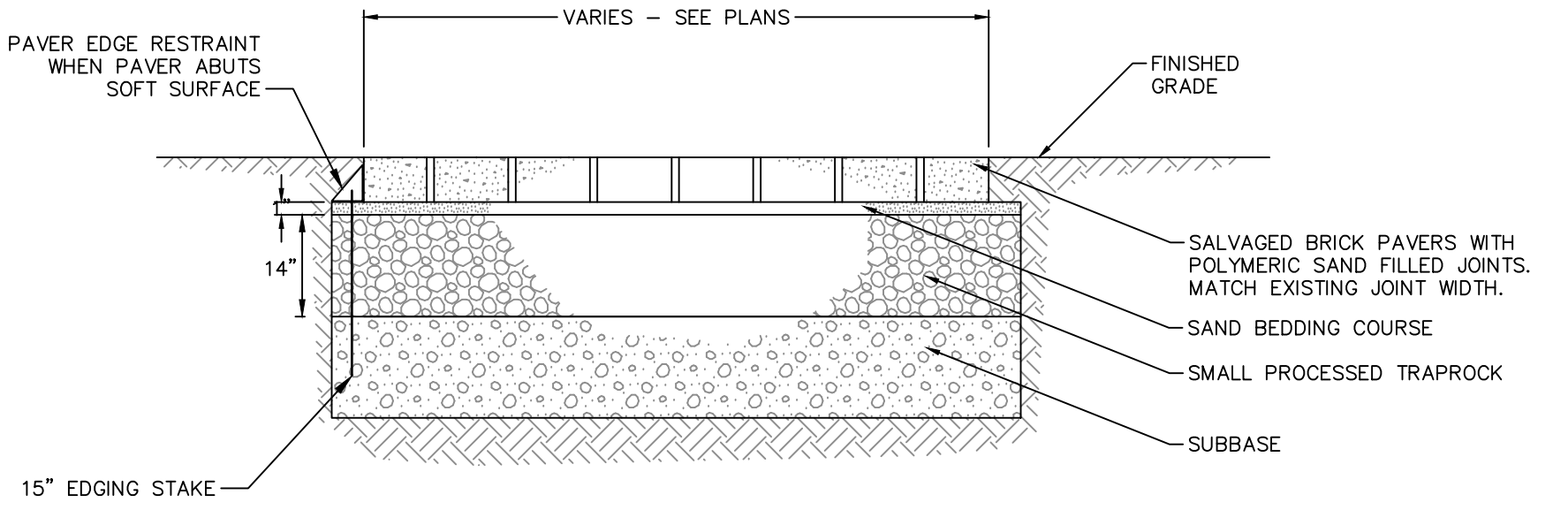
HEAVY-DUTY CONCRETE PAD (DOORWAY LANDINGS)

NOT TO SCALE



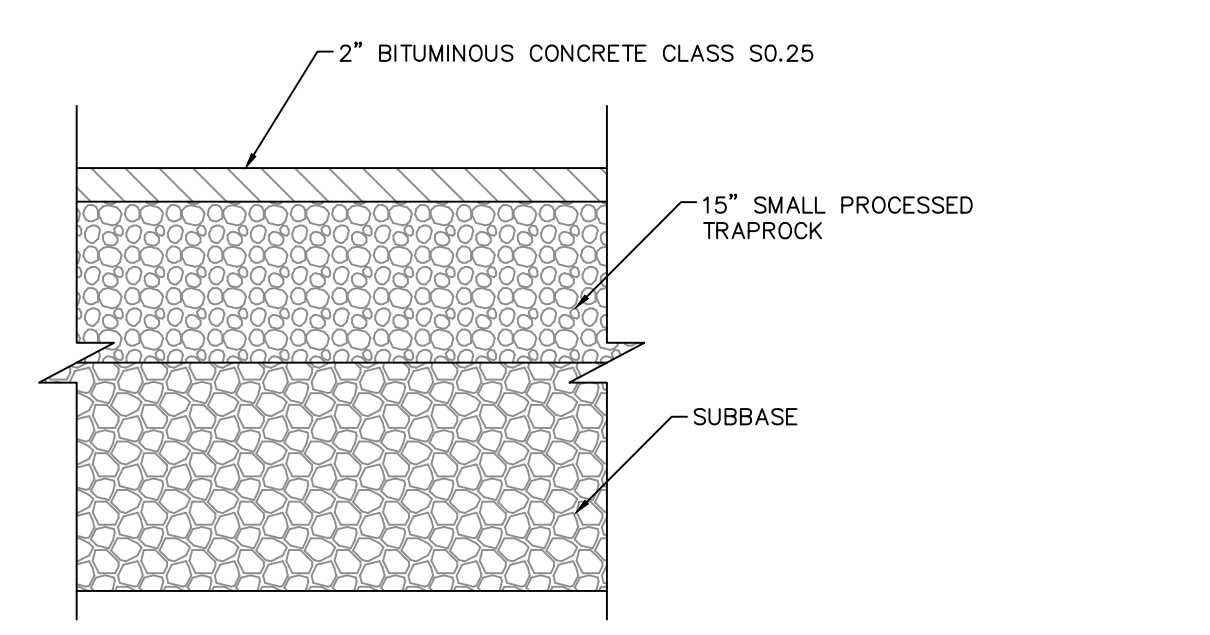
STRAIGHT GRANITE CURB SECTION

CITY OF HARTFORD DETAIL - NOT TO SCALE



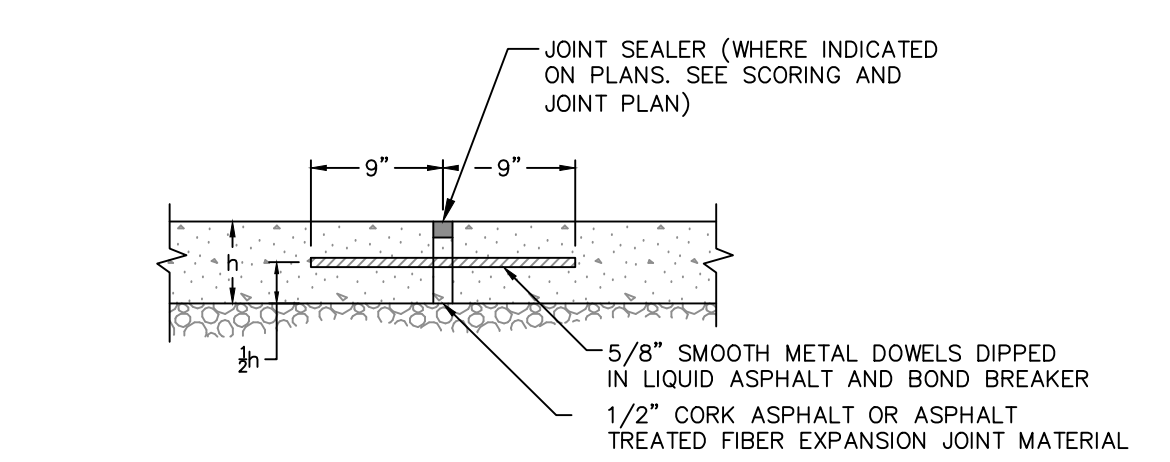
SALVAGED BRICK PAVERS

NOT TO SCALE



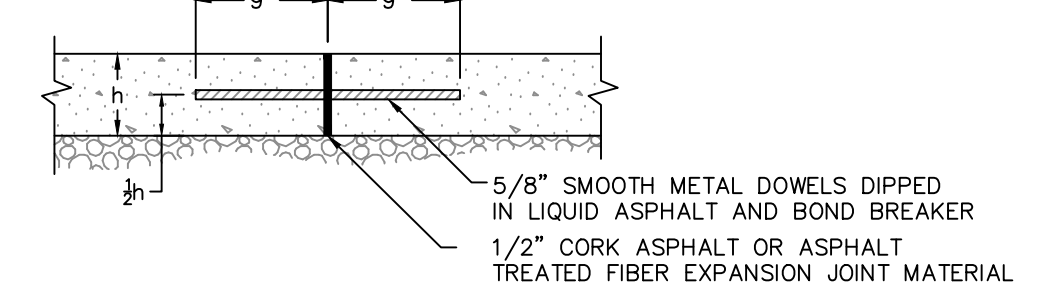
PAVED STRIP

NOT TO SCALE



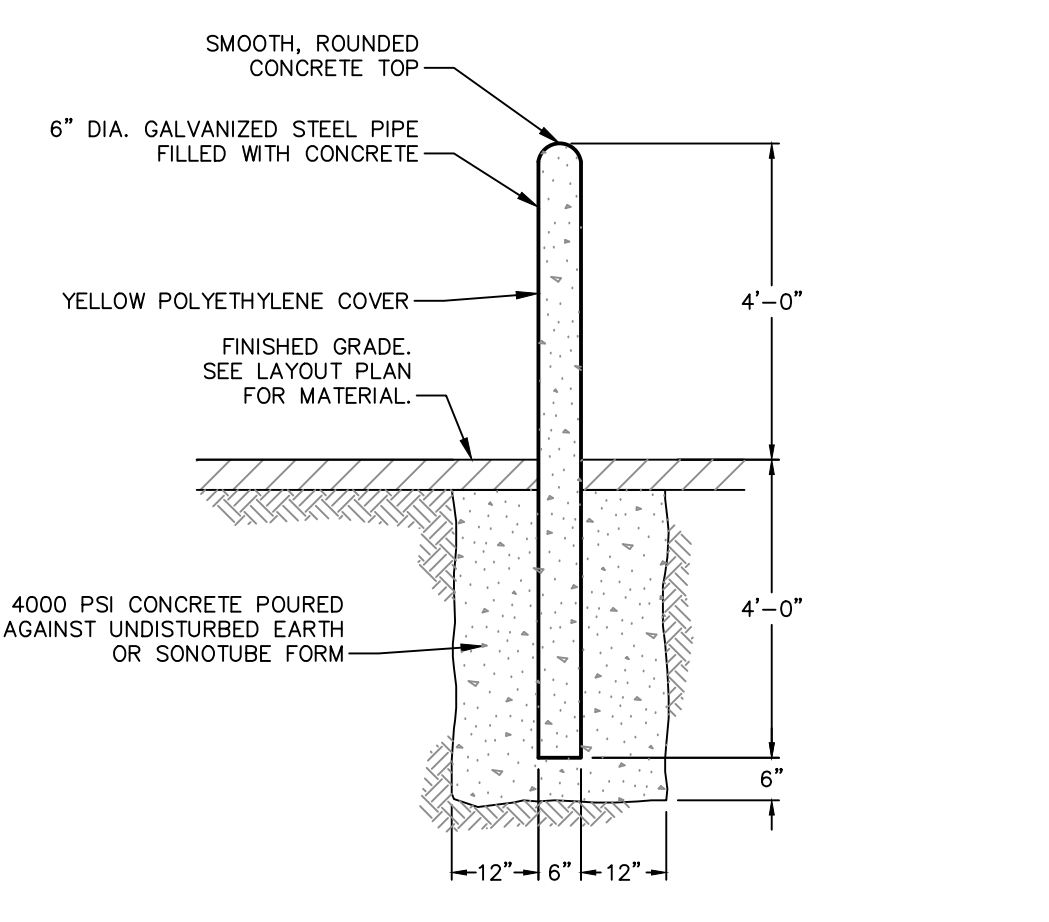
EXPANSION JOINT WITH SEALER

NOT TO SCALE



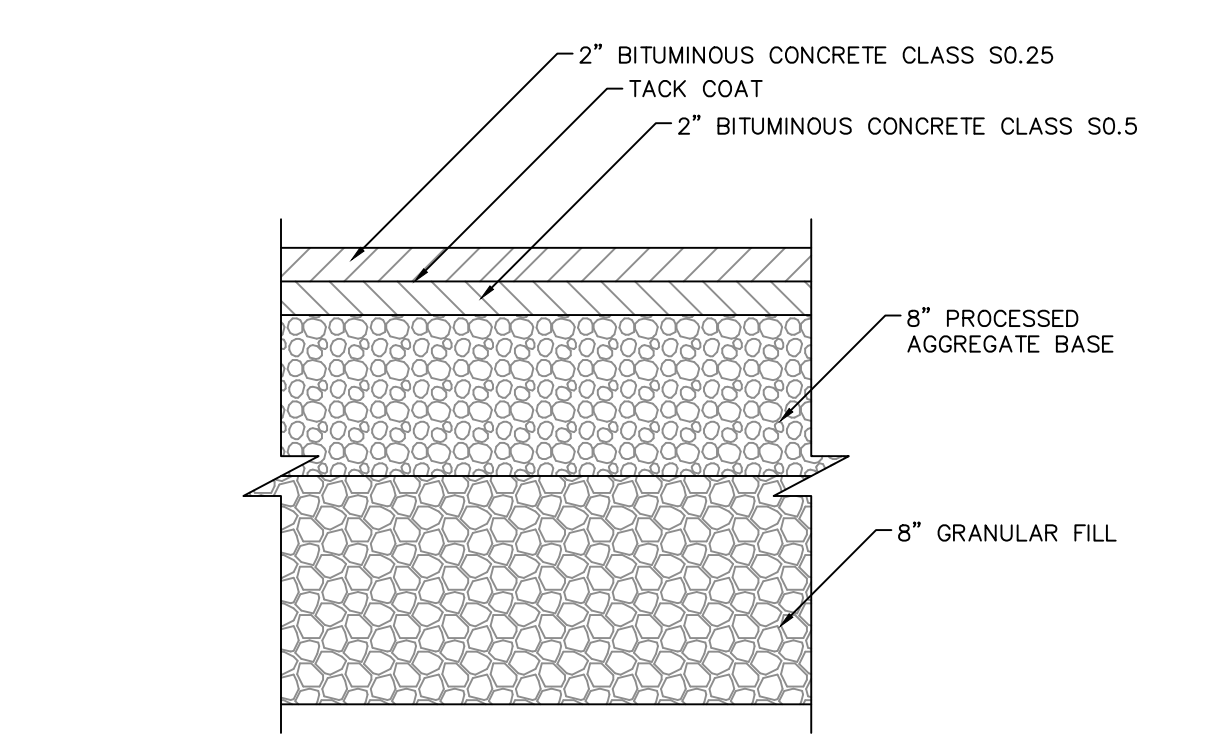
EXPANSION JOINT

NOT TO SCALE



VEHICLE GUARD POST BOLLARD

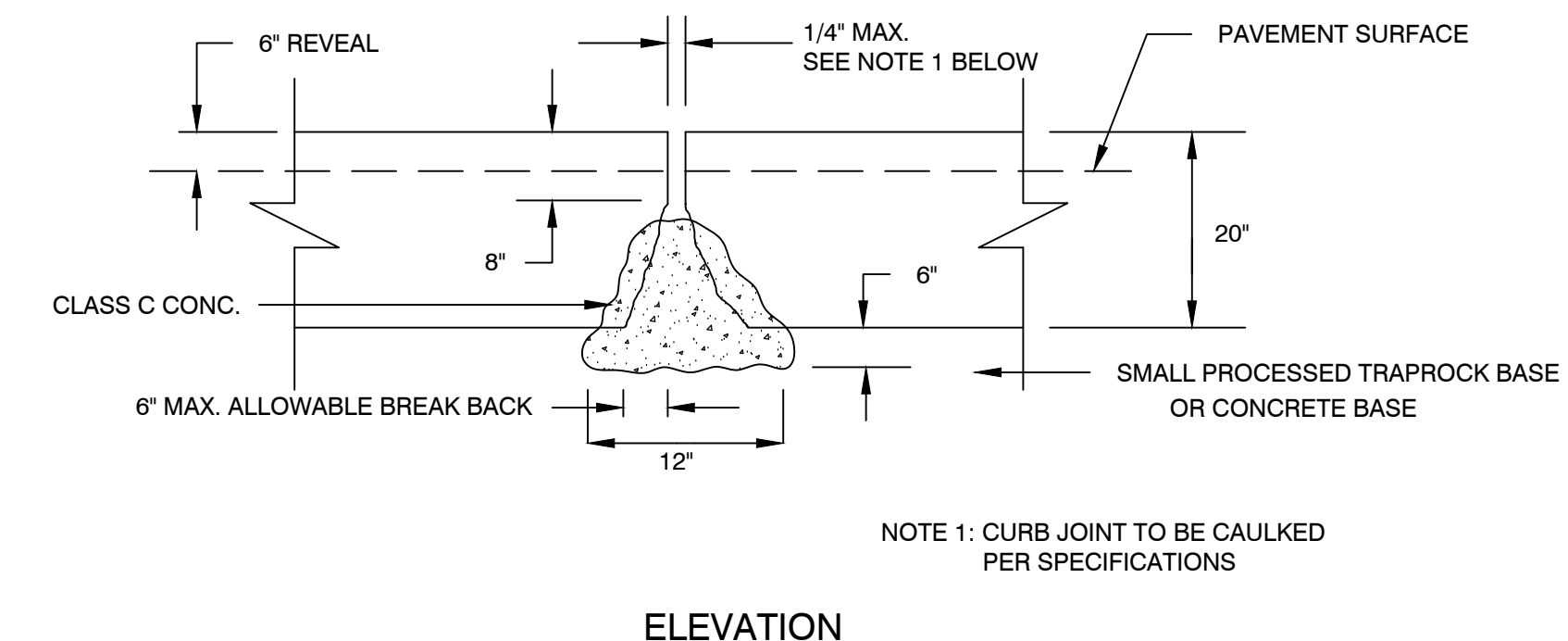
NOT TO SCALE



CITY OF HARTFORD REGULATION:
7.3.1.H - PAVEMENT CONSTRUCTION: ALL PARKING AND DRIVEWAY PAVEMENT MATERIALS MUST CONTAIN RECYCLED CONTENT OF 15% OR MORE.

HEAVY-DUTY BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE

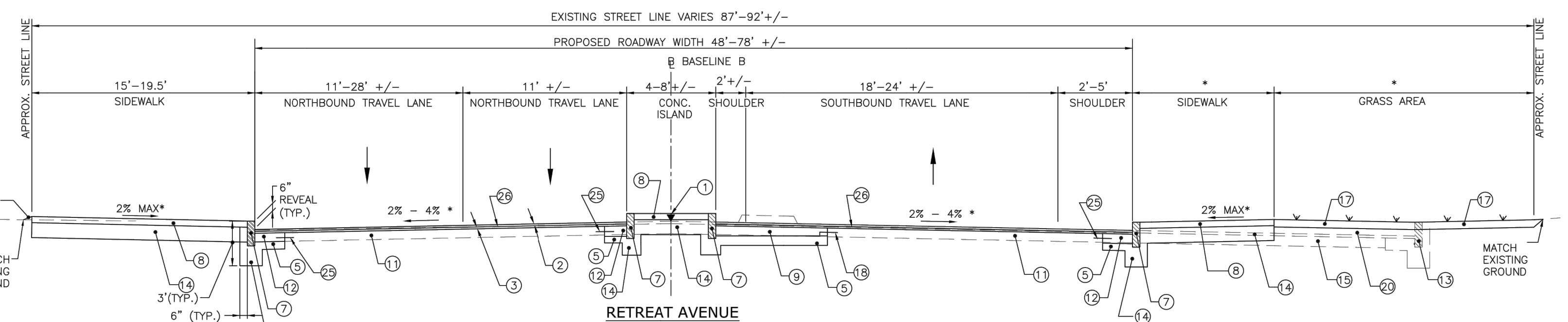


ELEVATION

TYPICAL JOINT DETAIL FOR STRAIGHT GRANITE CURB

NOT TO SCALE

- LEGEND
- ① POINT OF APPLICATION OF GRADE
 - ② NEW 2" SURFACE COURSE (H.M.A. S0.5)
 - ③ NEW 1" LEVELING COURSE (H.M.A. S0.25)
 - ④ EXISTING REINFORCED CONCRETE ROADBASE
 - ⑤ NEW 6" PROCESS TRAP ROCK
 - ⑥ EXISTING UNDISTURBED SUBGRADE
 - ⑦ RECONSTRUCTED 8" REIN. CONCRETE BASE @ CURB
 - ⑧ EXISTING GRANITE CURB - TO BE REMOVED
 - ⑨ NEW 12" PROCESS TRAP ROCK
 - ⑩ EXISTING PAVEMENT STRUCTURE TO BE REMOVED
 - ⑪ NEW 6" CURB UNDER DRAIN (IF CALLED FOR ON PLANS)
 - ⑫ NEW 6" TOPSOIL & SEEDING/LID/OTHER (SEE PLANS)
 - ⑬ NEW DB-SAE 8" SPLICER TYPICAL
 - ⑭ NEW 4" PERFORATED FOOTING DRAIN
 - ⑮ NEW BANK RUN GRAVEL (IF REQUIRED)
 - ⑯ NEW 12" PROCESSED TRAPROCK
 - ⑰ NEW LONG. DOWELED EXP. JOINT (LOC. VARIES SEE PLANS)
 - ⑱ NEW 11" REINFORCED CONCRETE BUS PAD
 - ⑲ TEMPORARY PAVEMENT
 - ⑳ 5/8" X 24" GALV. (GRADE 60) DOWEL TYP.



RETREAT AVENUE

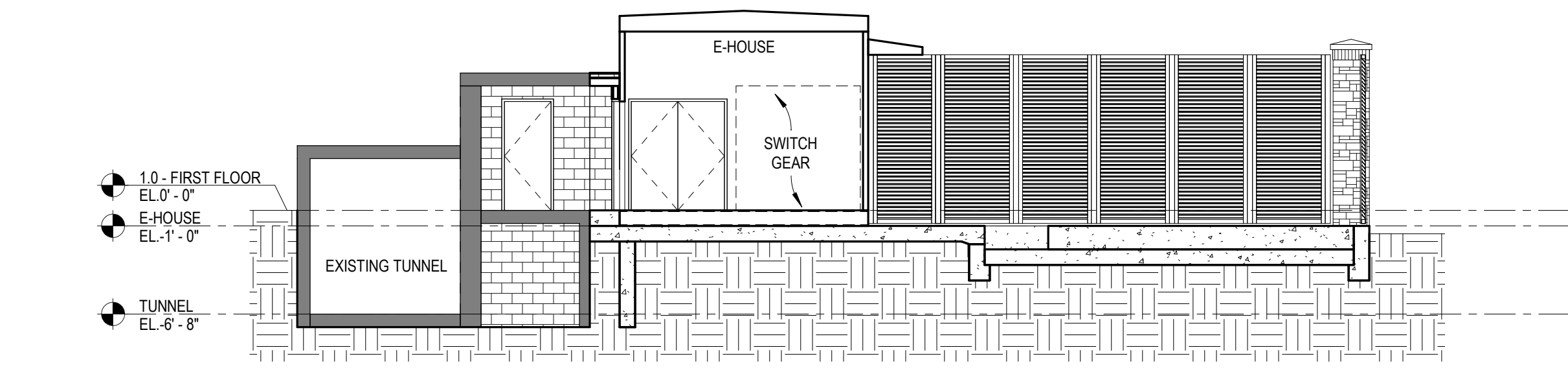
NUMBER	DATE	REVISION
1	8/10/2021	RTC

PROJECT:
NEW PRIMARY ELECTRIC SUBSTATION PROJECT

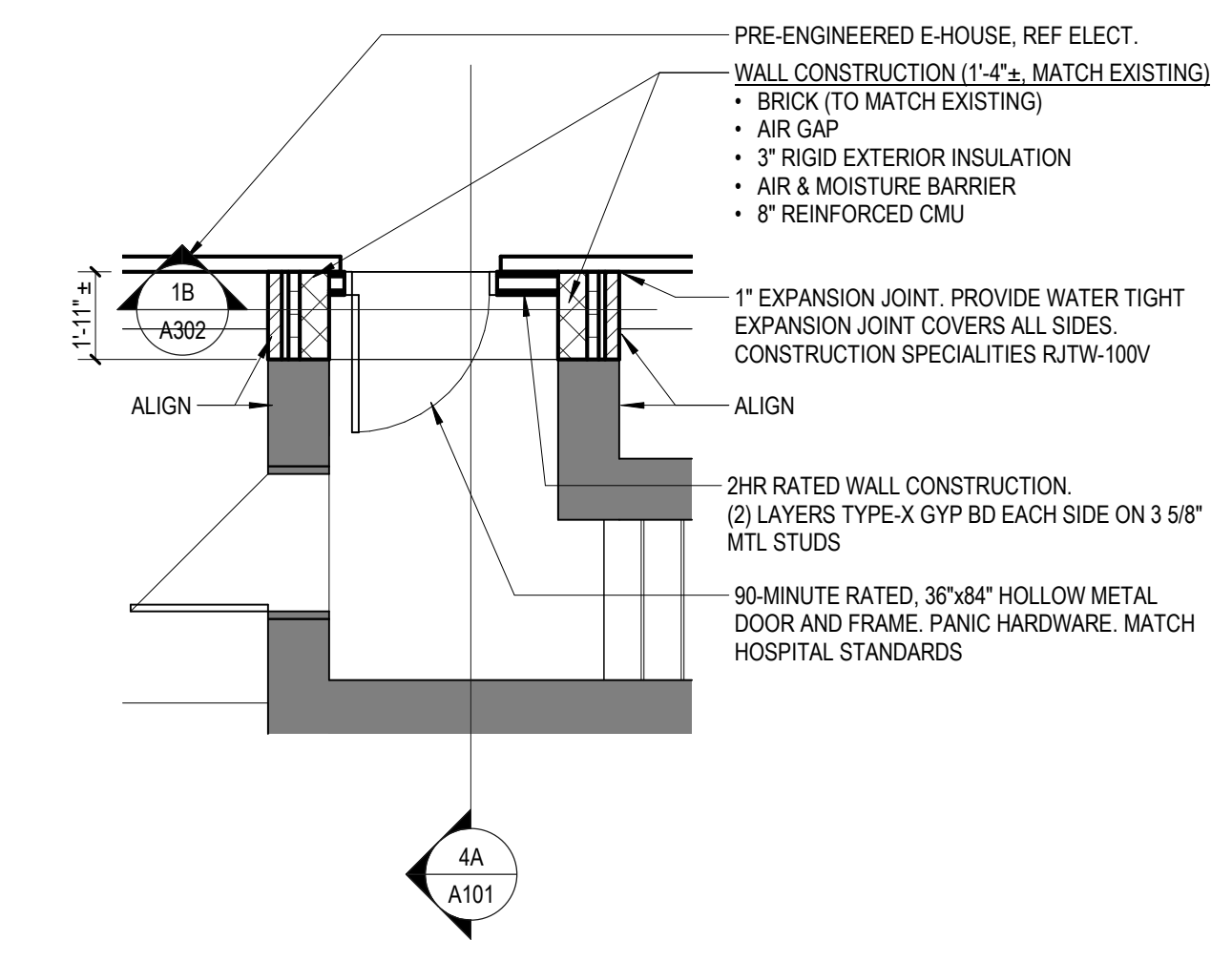
DRAWING TITLE:
SITE DETAILS

DWN BY: **SEJ**
CHD BY: **RB**
SCALE: **NOT TO SCALE**
JOB NO.: 20160045.S10
DATE: 07/13/2021

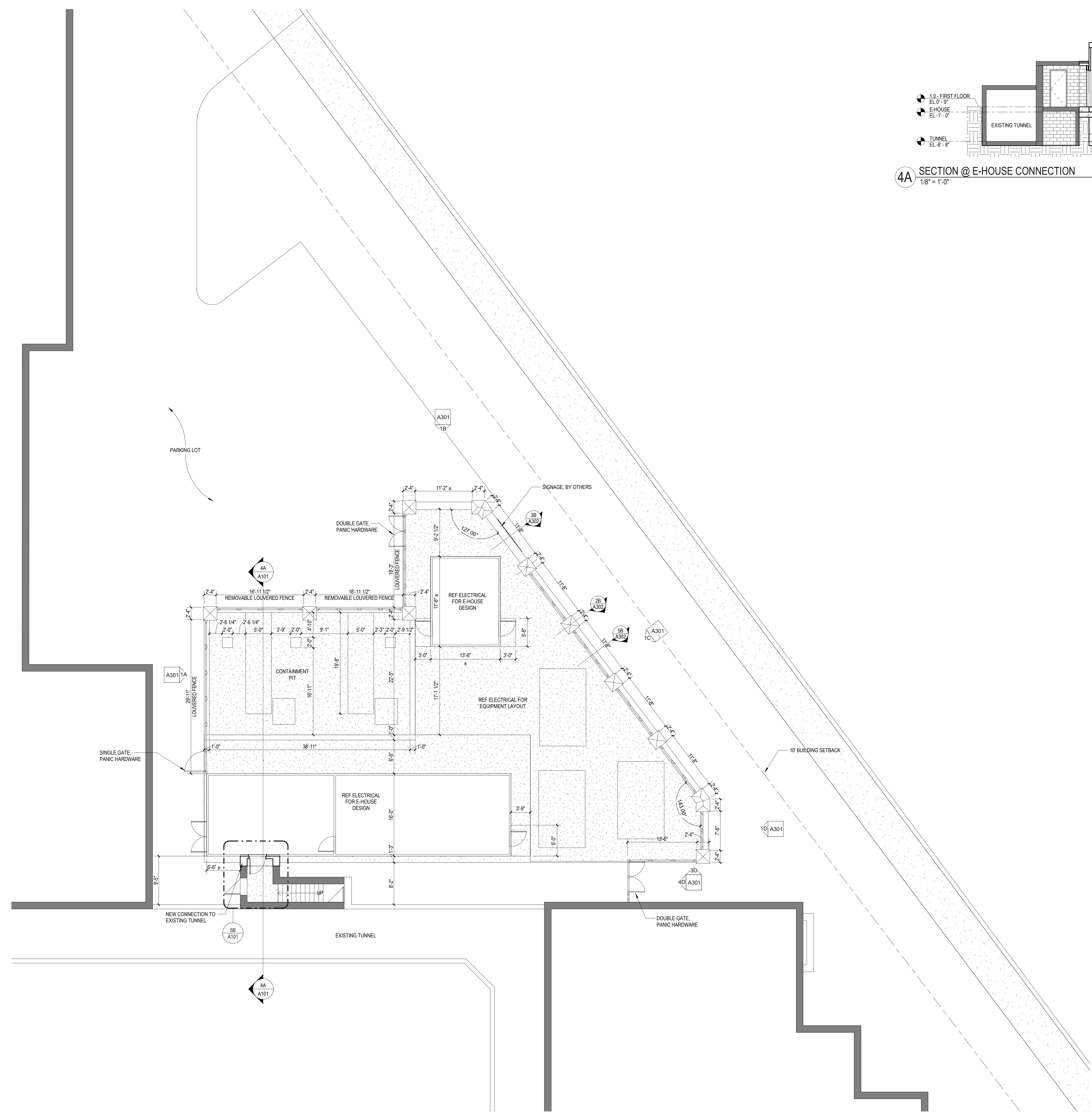
DRAWING NO.: **CD-502**



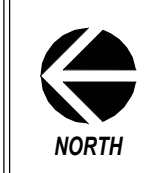
4A SECTION @ E-HOUSE CONNECTION
1/8" = 1'-0"



5B ENLARGED TUNNEL EXPANSION
1/4" = 1'-0"



1E SUBSTATION SITE PLAN
1/8" = 1'-0"



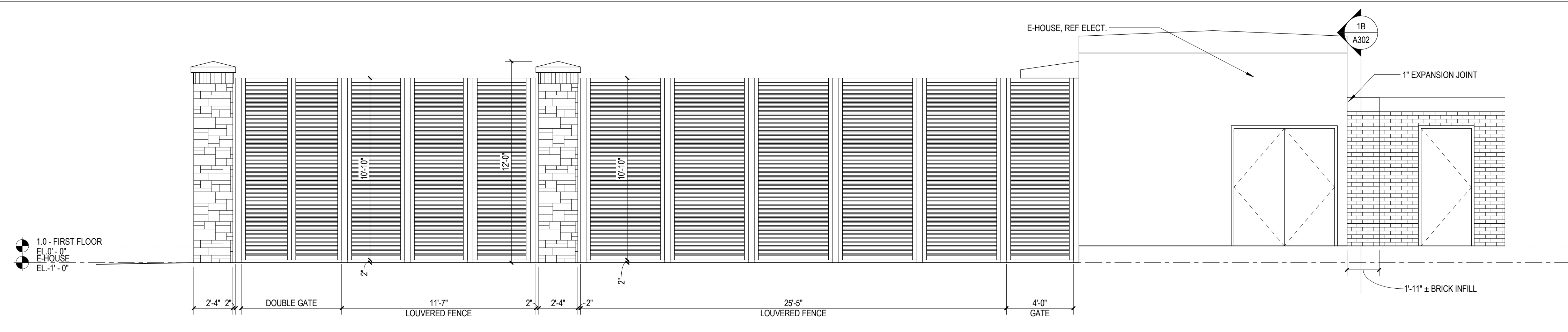
NUMBER	DATE	REVISION

PROJECT:
NEW PRIMARY
ELECTRIC
SUBSTATION PROJECT

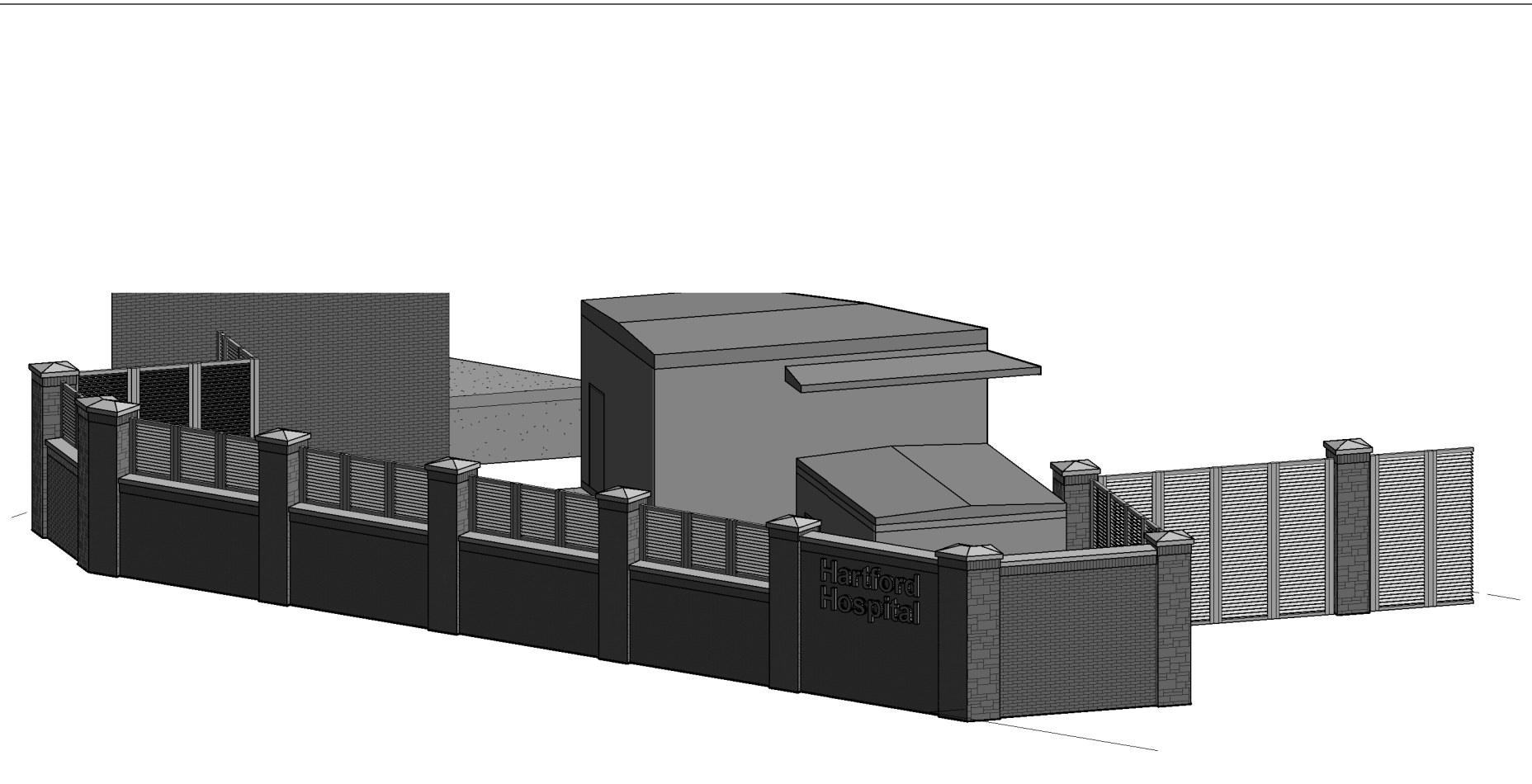
DRAWING TITLE:
SUBSTATION SITE PLAN

DWN. BY:	RMM	DRAWING NO.:	A101
CHKD. BY:		SCALE:	As indicated
JOB NO.:	16012.00	JOB NO.:	16012.00
DATE:	07/13/2021	DATE:	07/13/2021

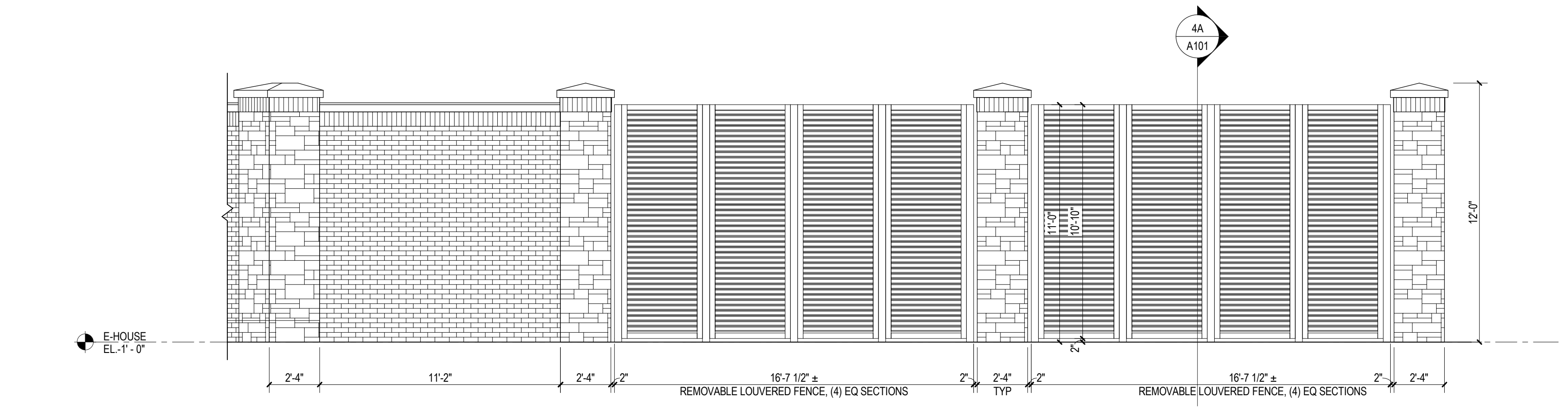
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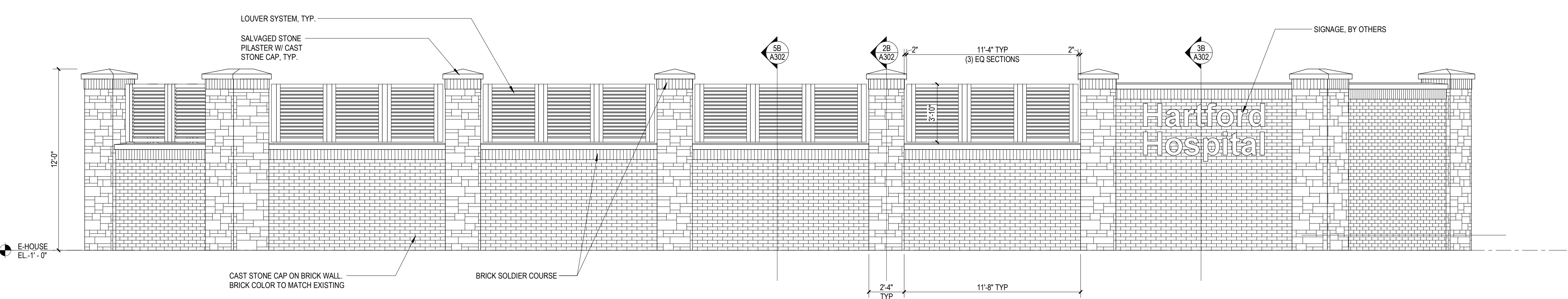
1A SCREEN WALL ELEVATION - A
1/4" = 1'-0"



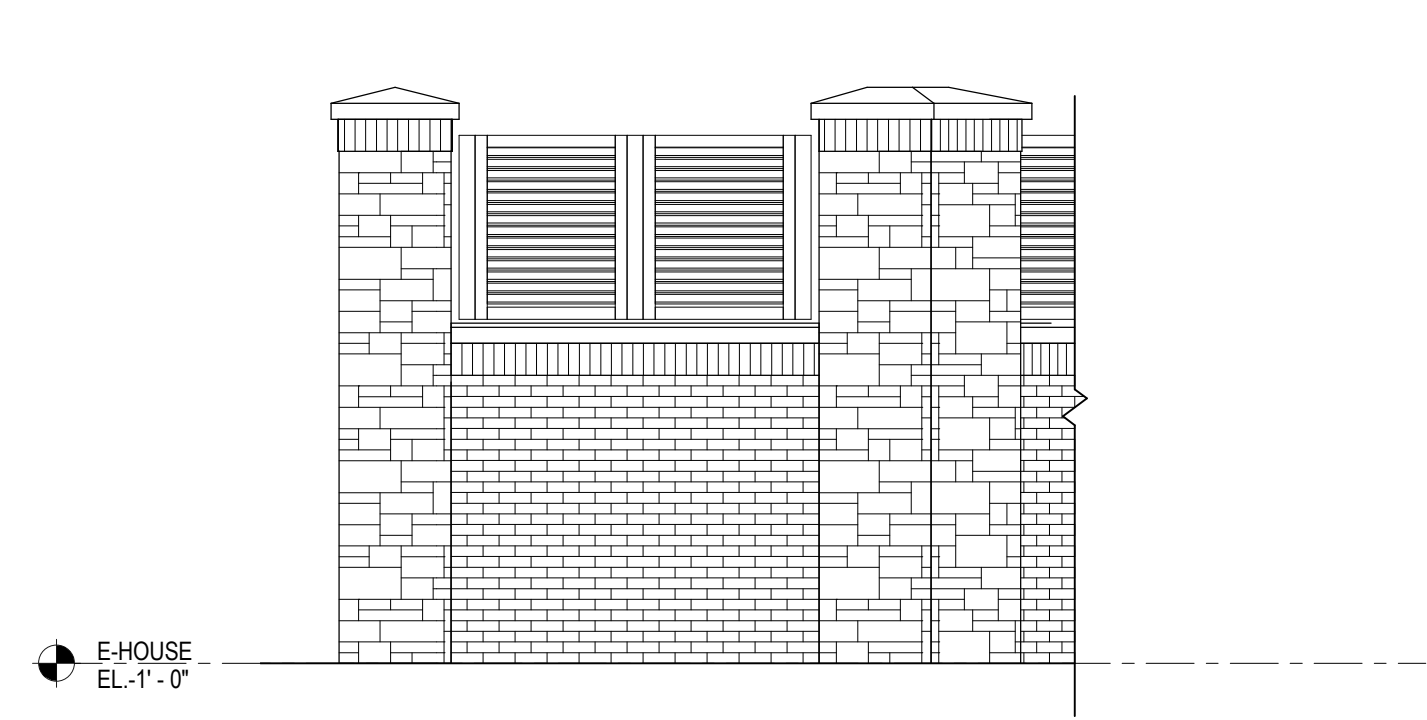
5A SCREEN WALL PERSPECTIVE



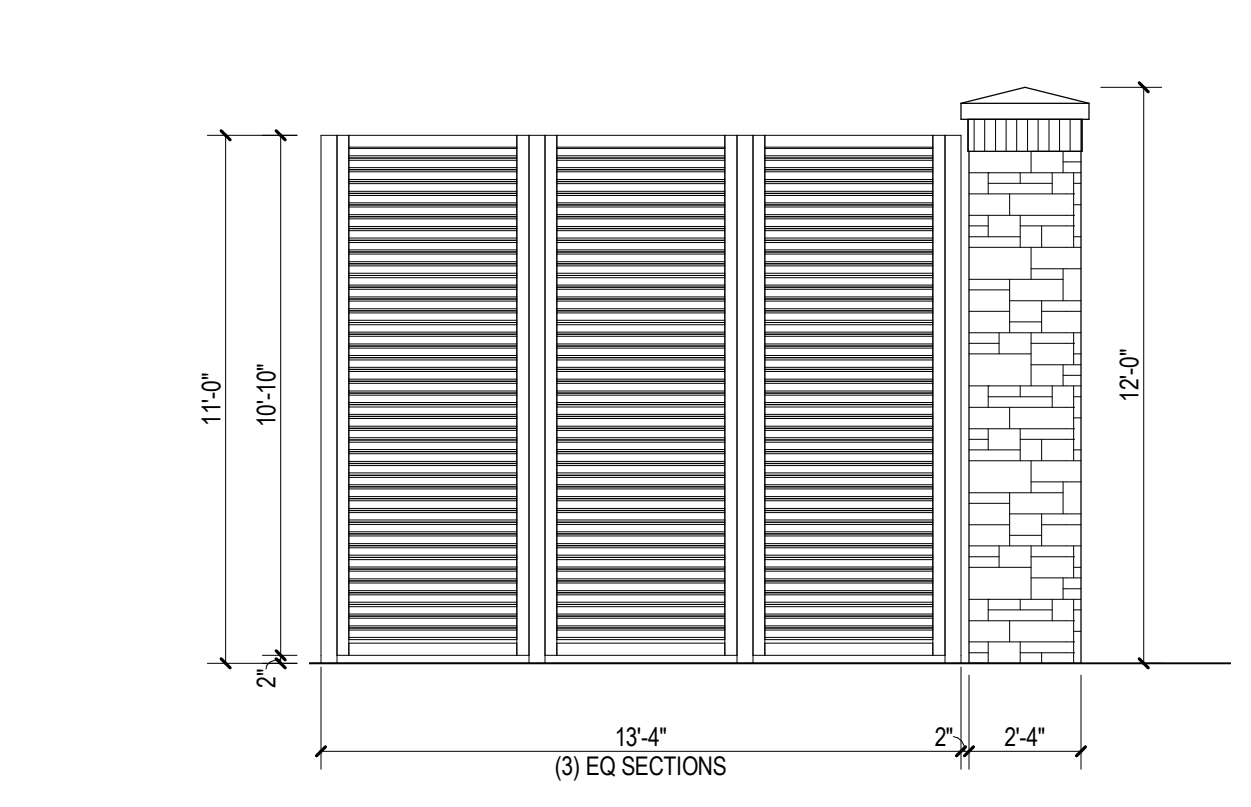
1B SCREEN WALL ELEVATION - B
1/4" = 1'-0"



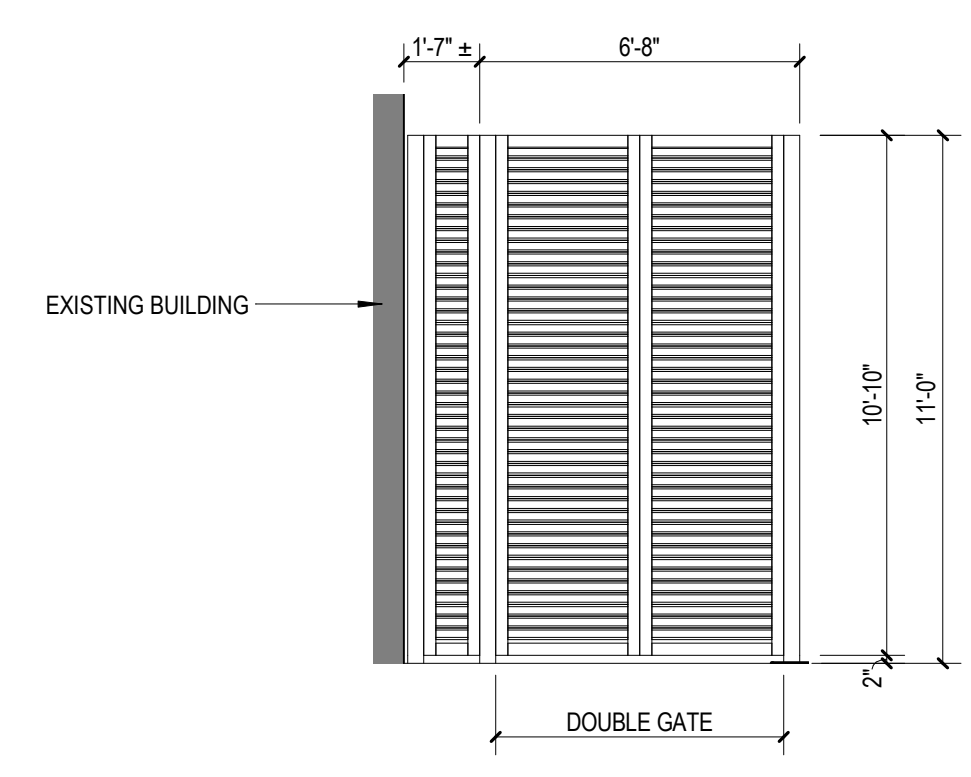
1C SCREEN WALL ELEVATION - C
1/4" = 1'-0"



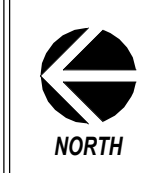
1D SCREEN WALL ELEVATION - D
1/4" = 1'-0"



3D SCREEN WALL ELEVATION - E
1/4" = 1'-0"



4D SCREEN WALL ELEVATION - F
1/4" = 1'-0"



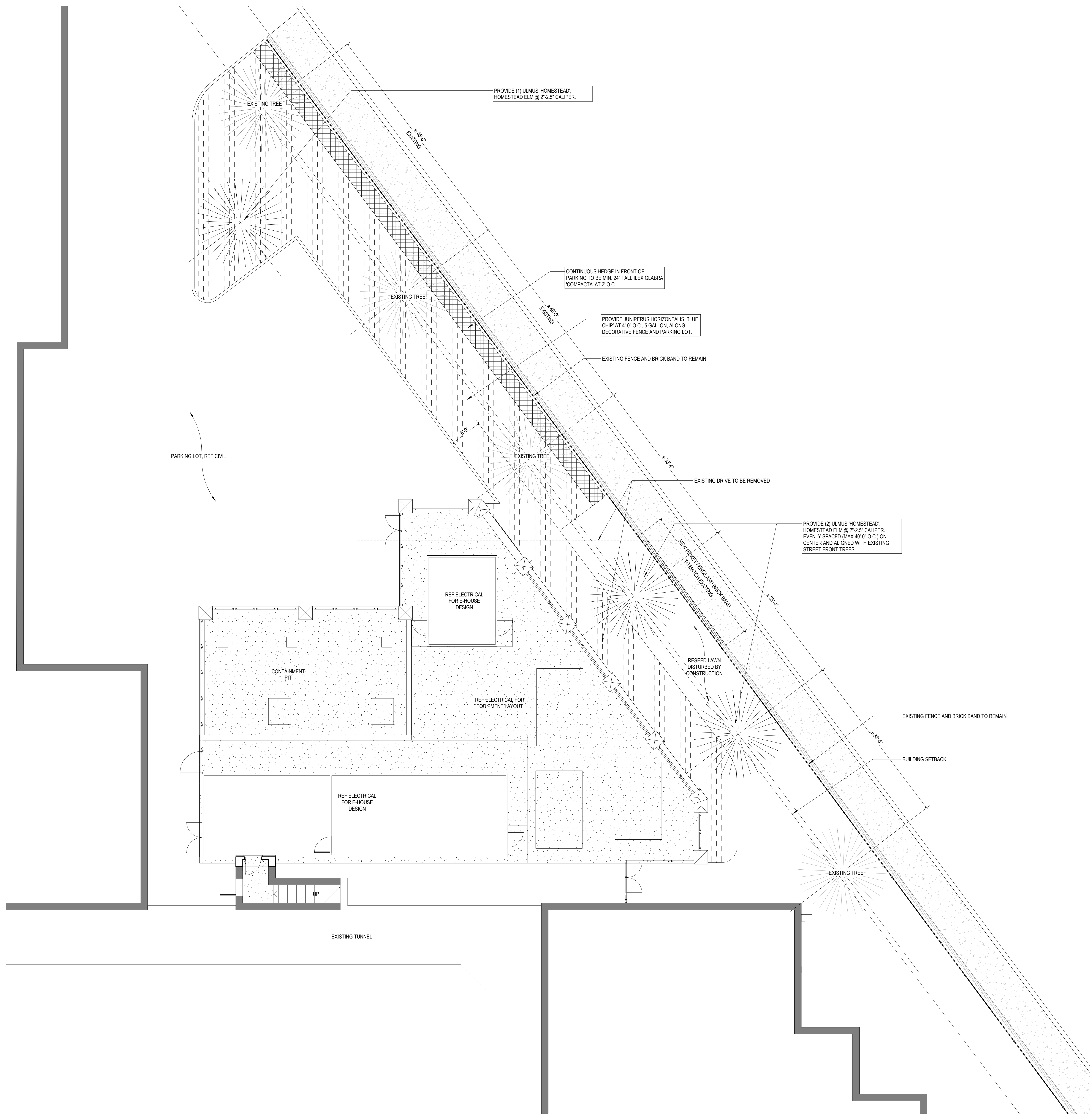
NUMBER	DATE	REVISION

PROJECT:
NEW PRIMARY ELECTRIC SUBSTATION PROJECT

DRAWING TITLE:
SCREEN WALL ELEVATIONS

DWN. BY:	RMM	DRAWING NO.:	A301
CHKD. BY:			
SCALE:	1/4" = 1'-0"		
JOB NO.:	16012.00		
DATE:	07/13/2021		

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1E SUBSTATION SITE PLAN
1/8" = 1'-0"



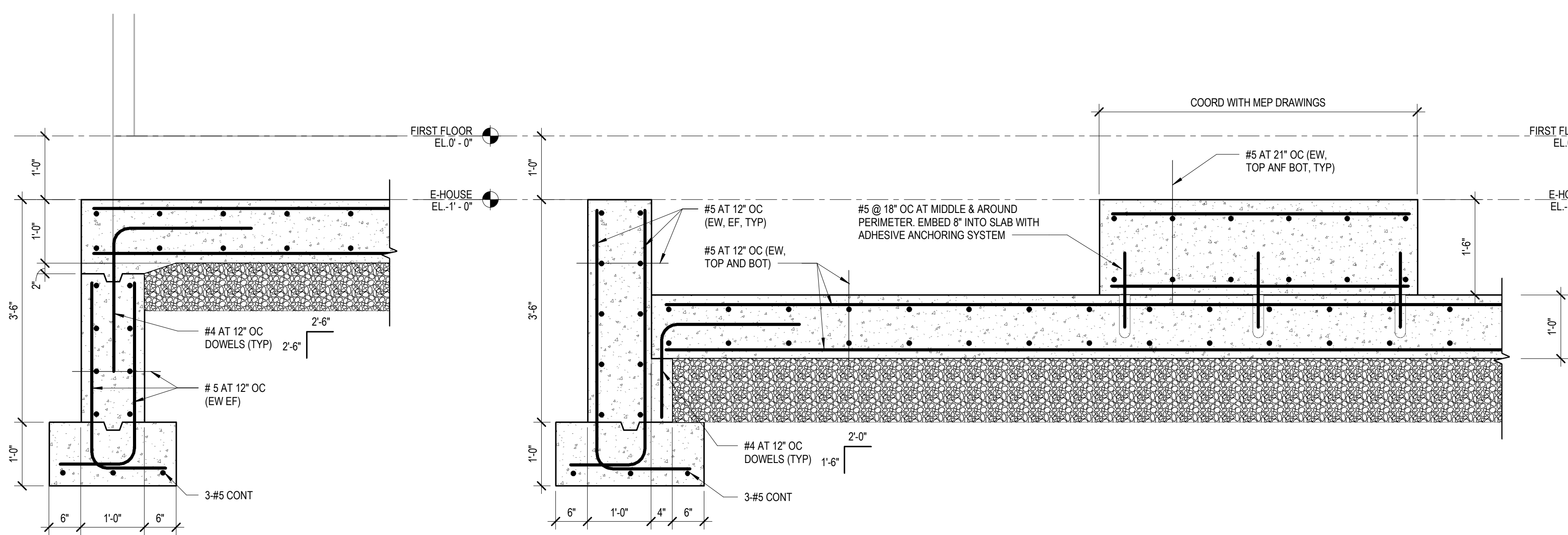
NUMBER	DATE	REVISION
1	8/10/2021	RTC

PROJECT:
NEW PRIMARY
ELECTRIC
SUBSTATION PROJECT

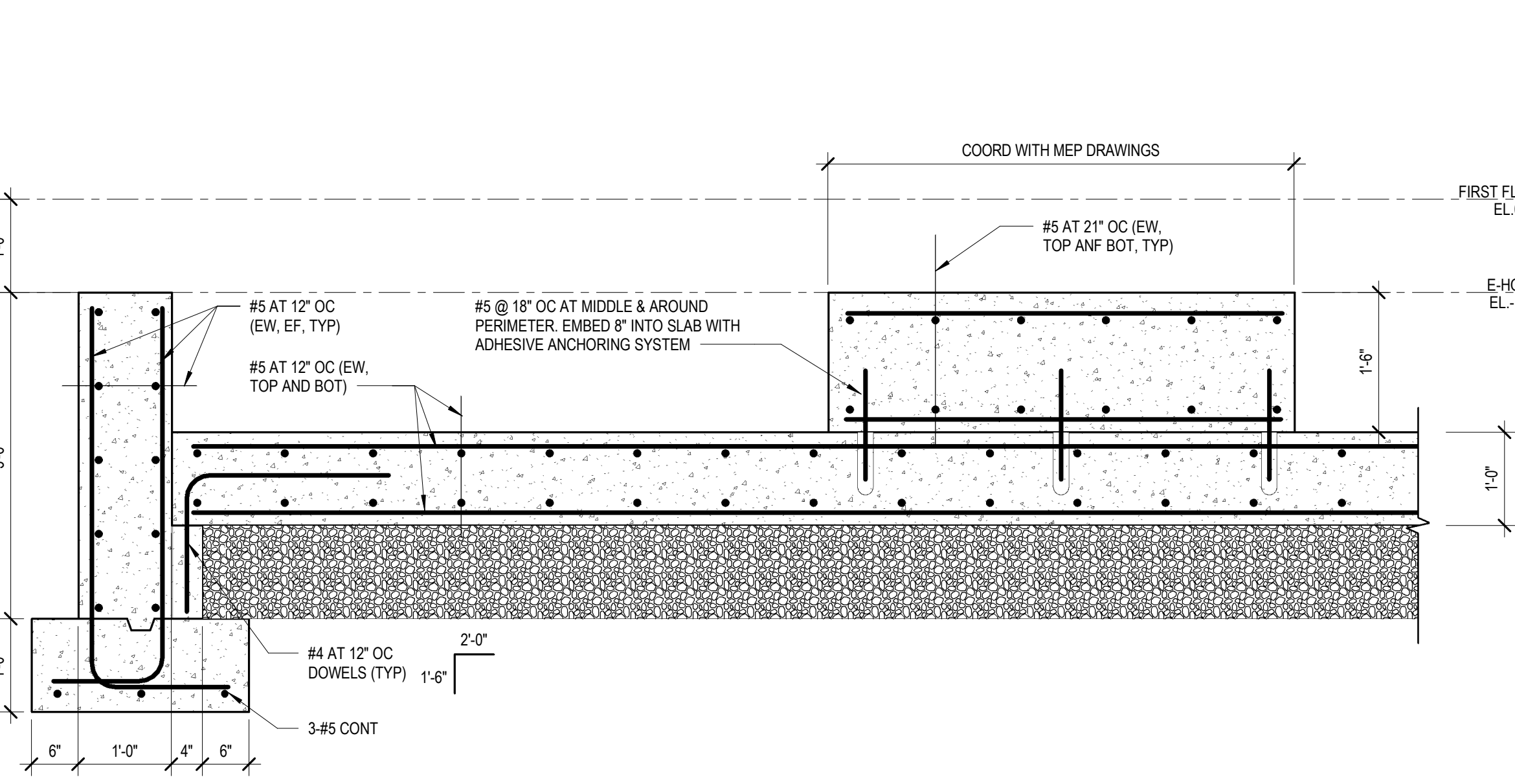
DRAWING TITLE:
LANDSCAPE PLANTING PLAN

DWN. BY:	RMM	DRAWING NO.:	L101
CHKD. BY:	WC		
SCALE:	1/8" = 1'-0"		
JOB NO.:	16012.00		
DATE:	07/13/2021		

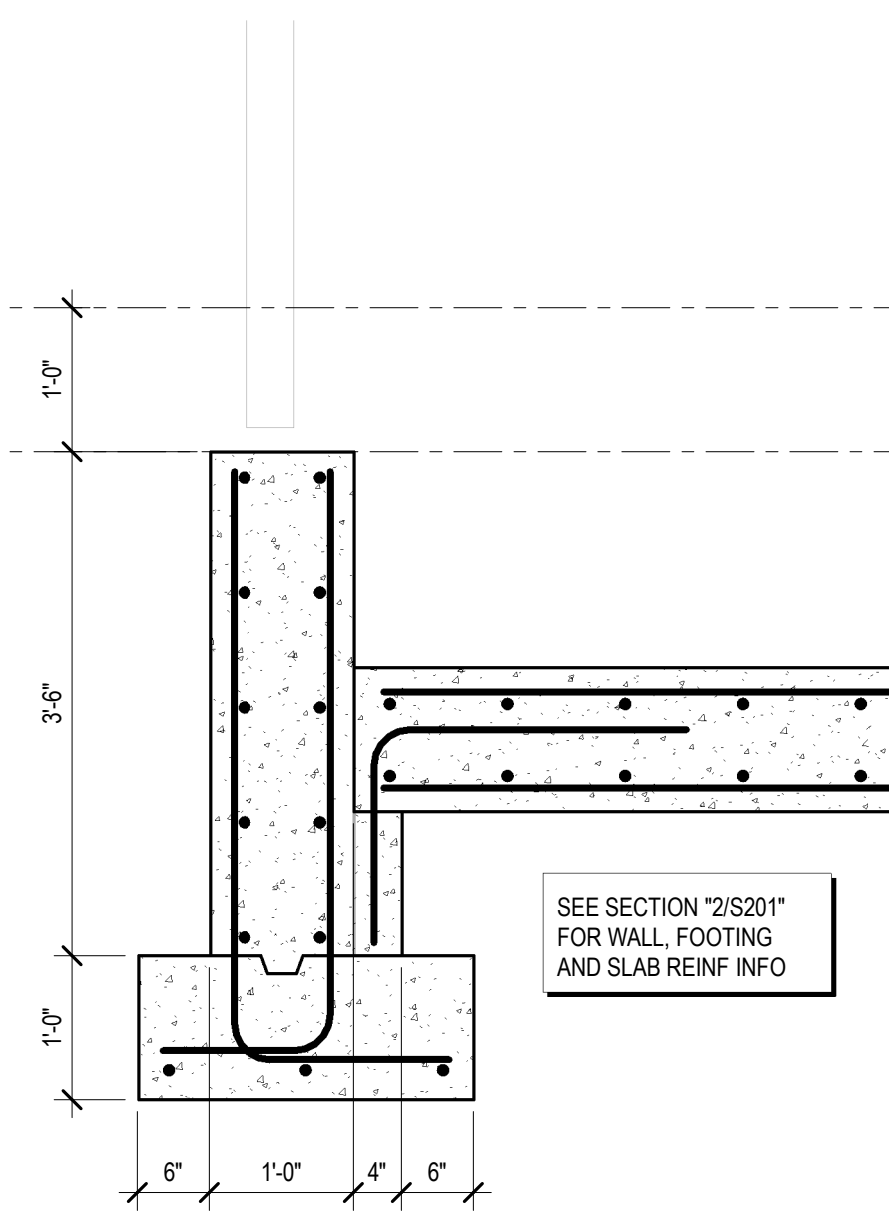
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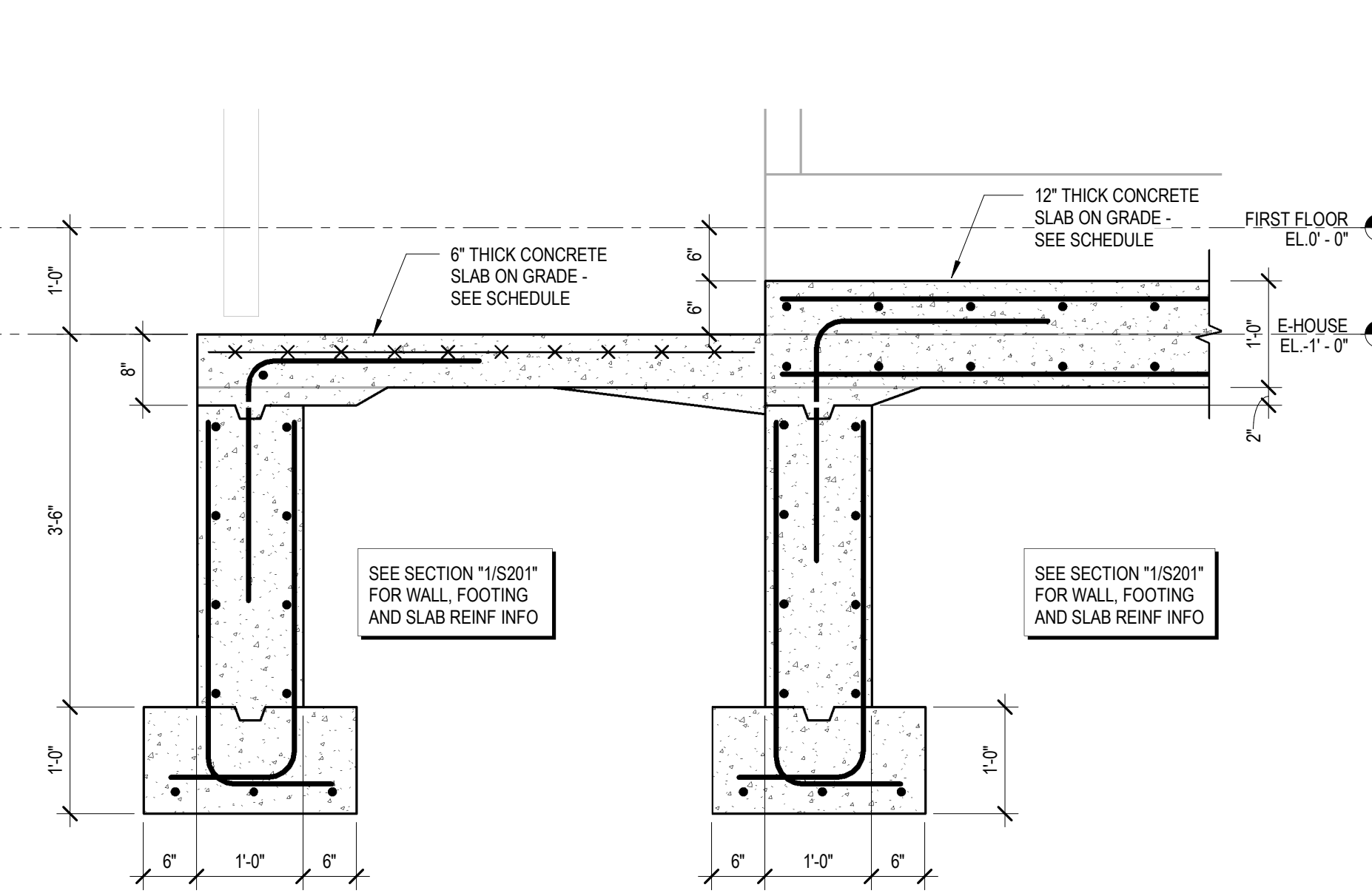
1 FOUNDATION SECTION
S201 3/4" = 1'-0"



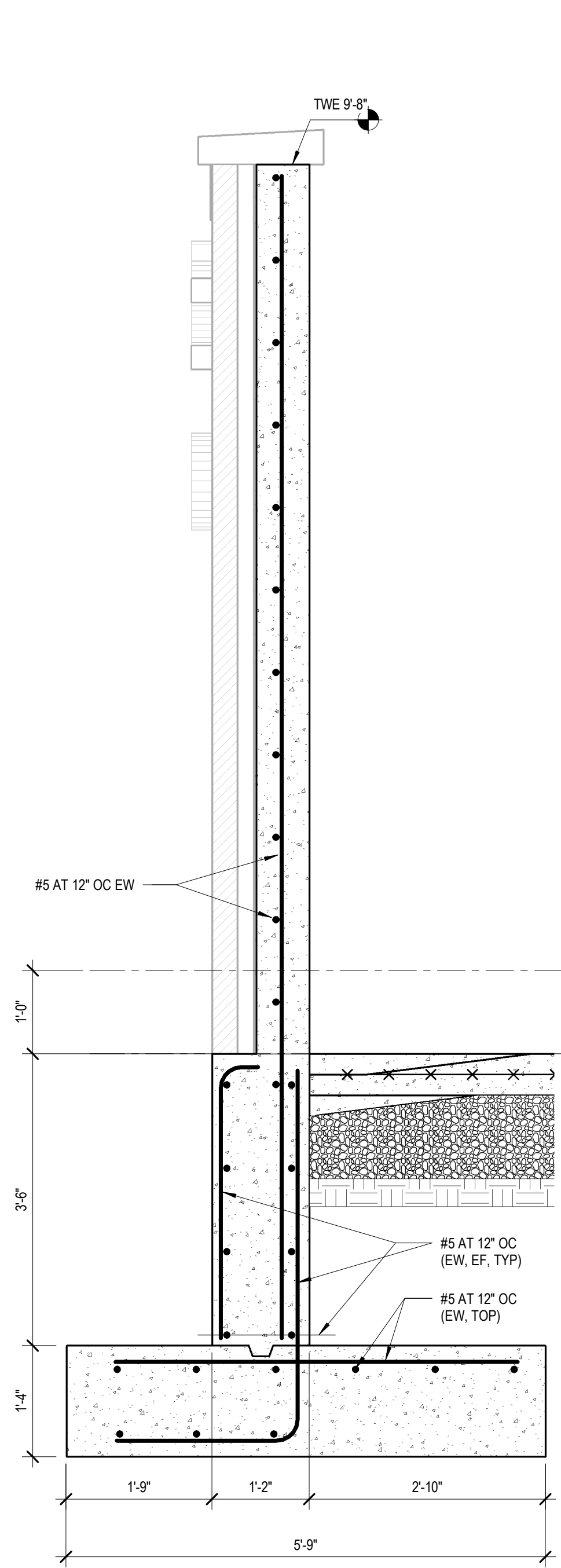
2 FOUNDATION SECTION
S201 3/4" = 1'-0"



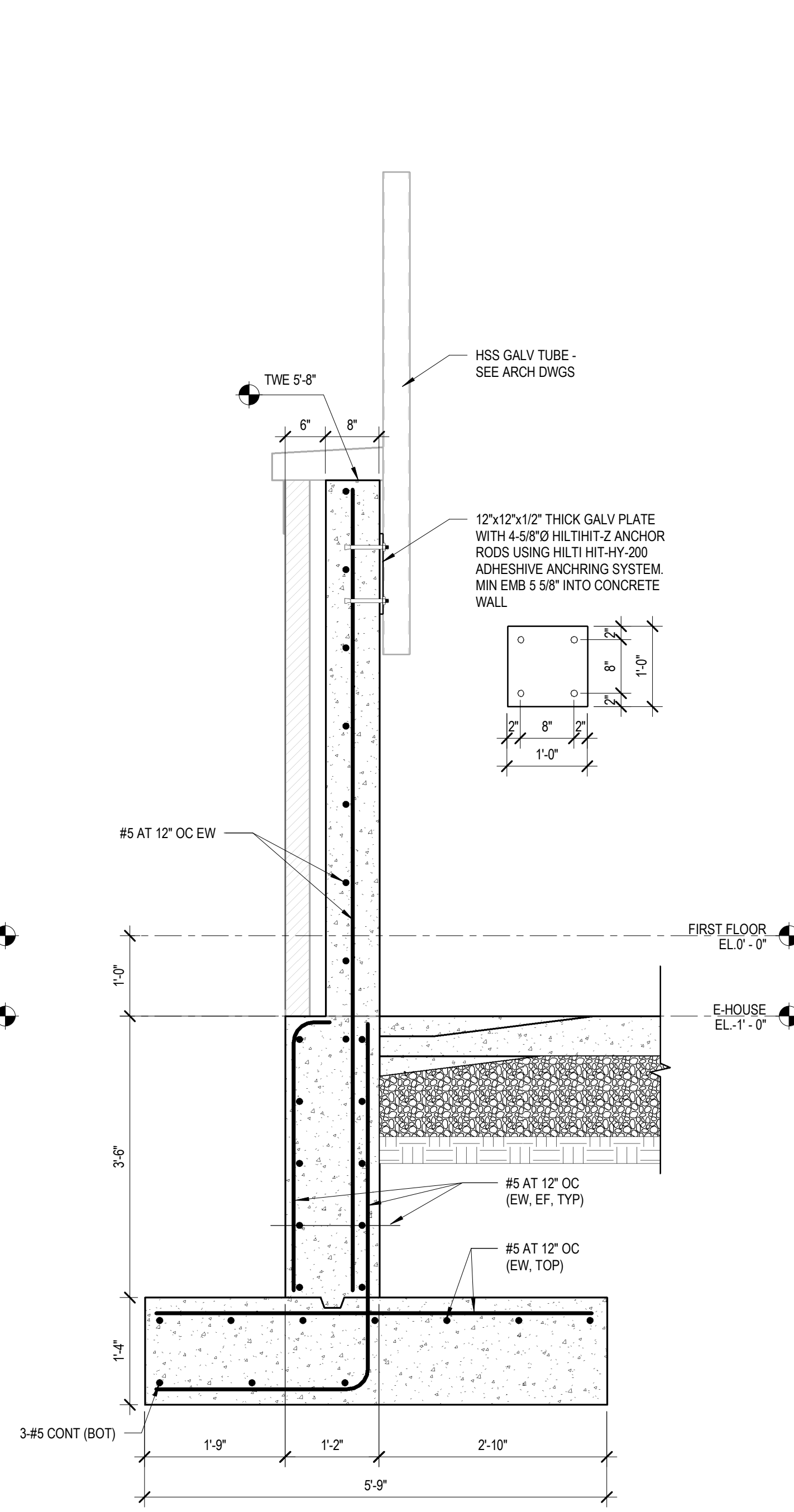
3 FOUNDATION SECTION
S201 3/4" = 1'-0"



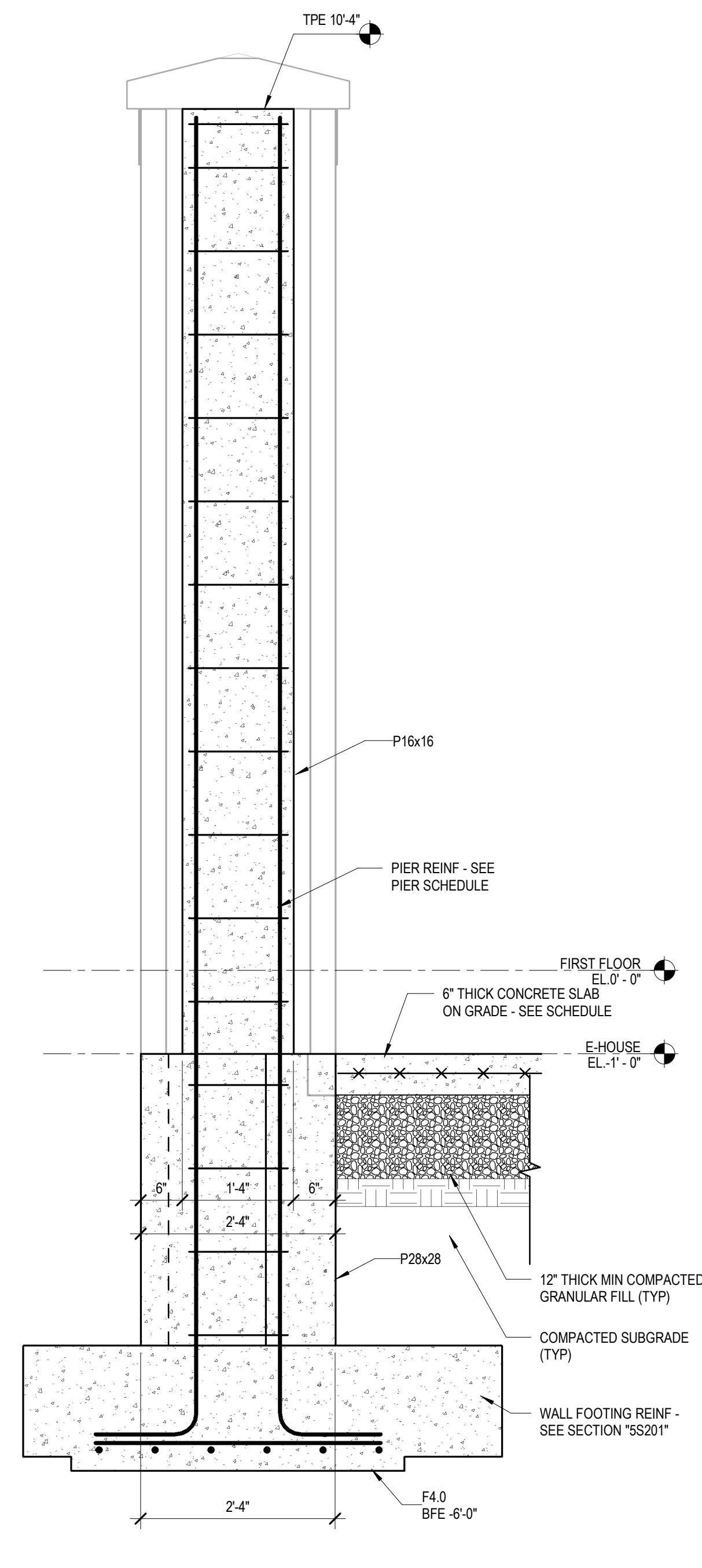
4 FOUNDATION SECTION
S201 3/4" = 1'-0"



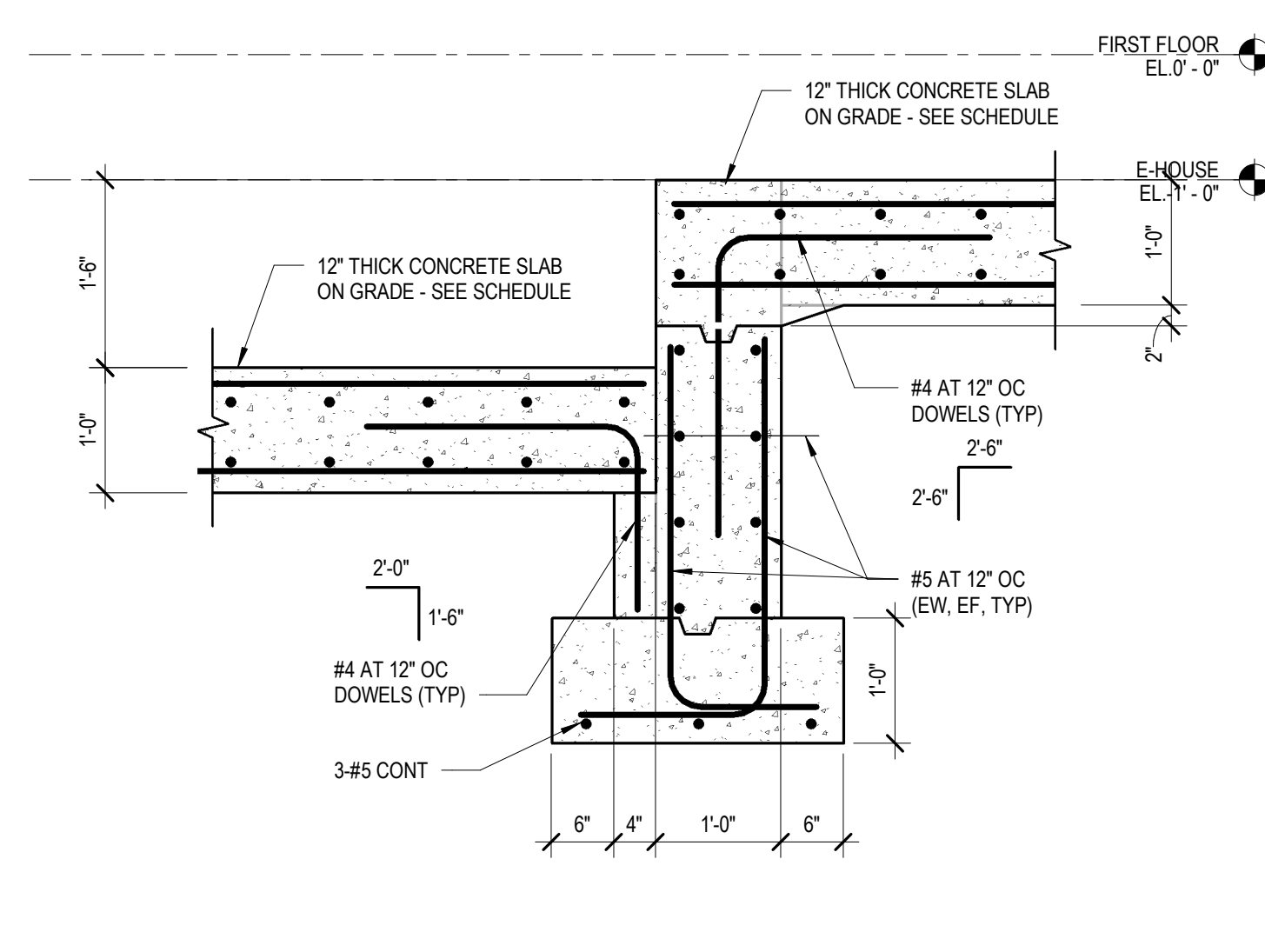
5 FOUNDATION SECTION @ BRICK WALL
S201 3/4" = 1'-0"



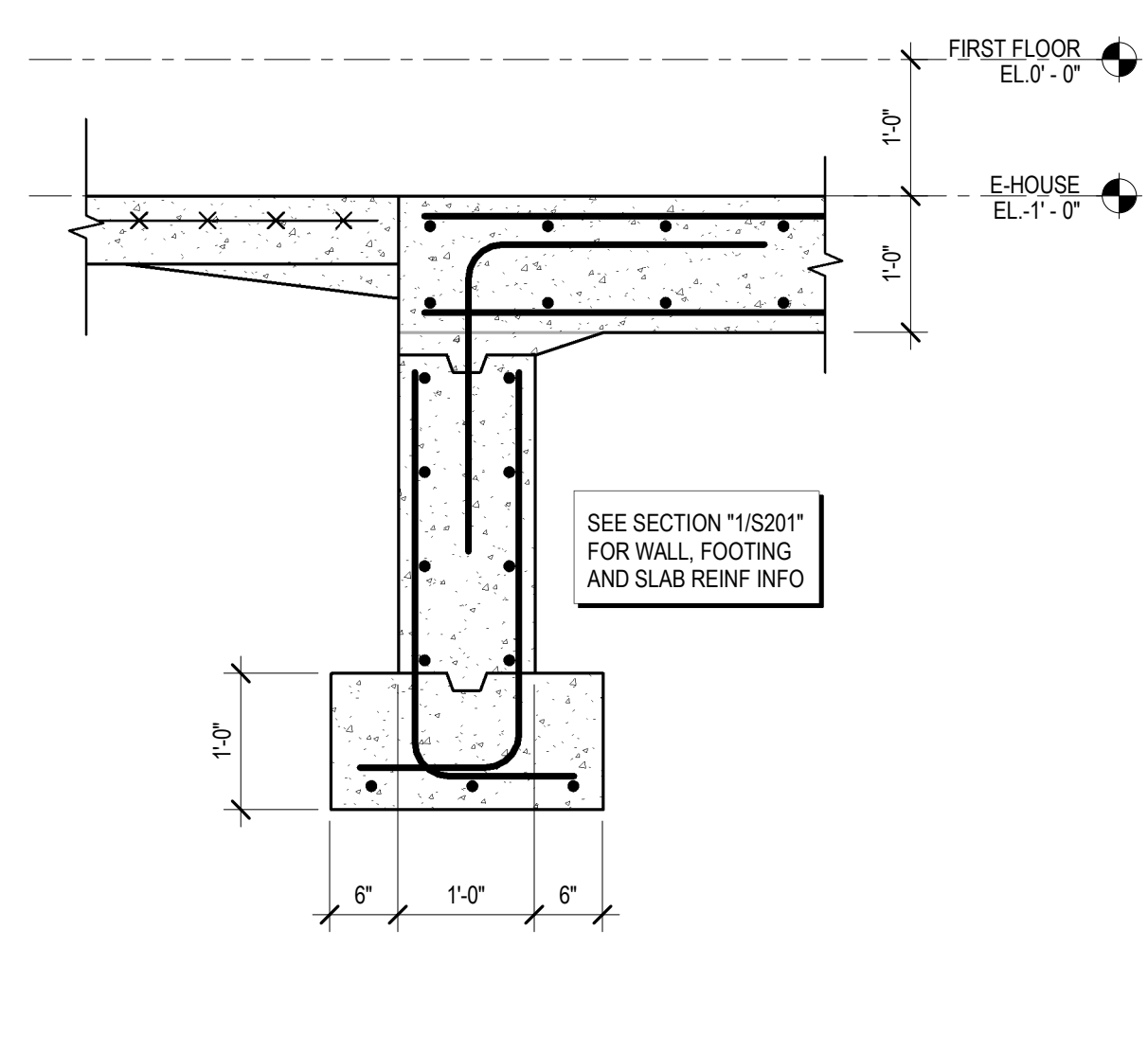
6 FOUNDATION SECTION @ BRICK AND LOUVER WALL
S201 3/4" = 1'-0"



7 FOUNDATION SECTION AT PILASTER
S201 3/4" = 1'-0"



8 FOUNDATION SECTION
S201 3/4" = 1'-0"



9 FOUNDATION SECTION
S201 3/4" = 1'-0"

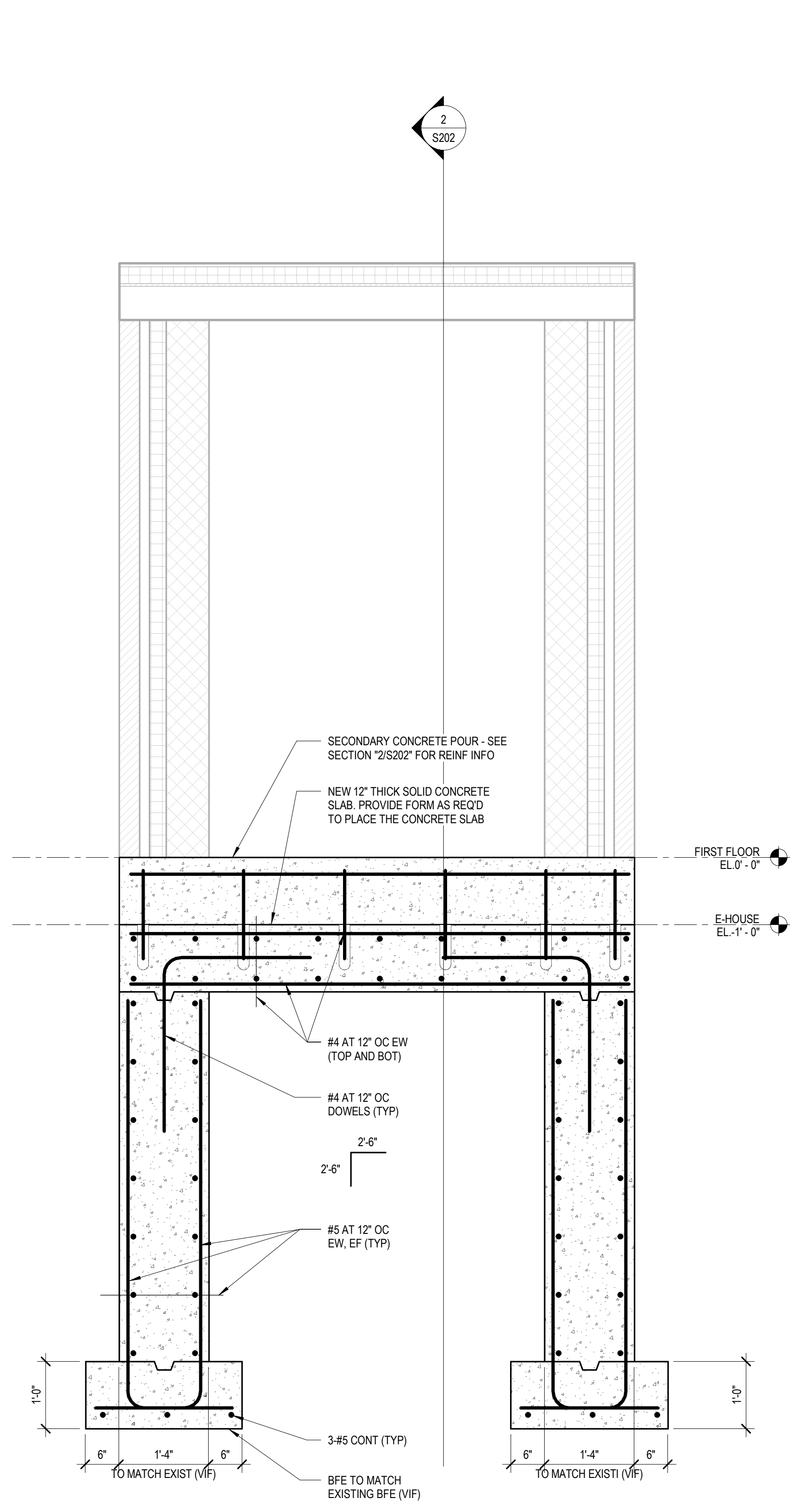
NUMBER	DATE	REVISION

PROJECT:
NEW PRIMARY
ELECTRIC
SUBSTATION PROJECT

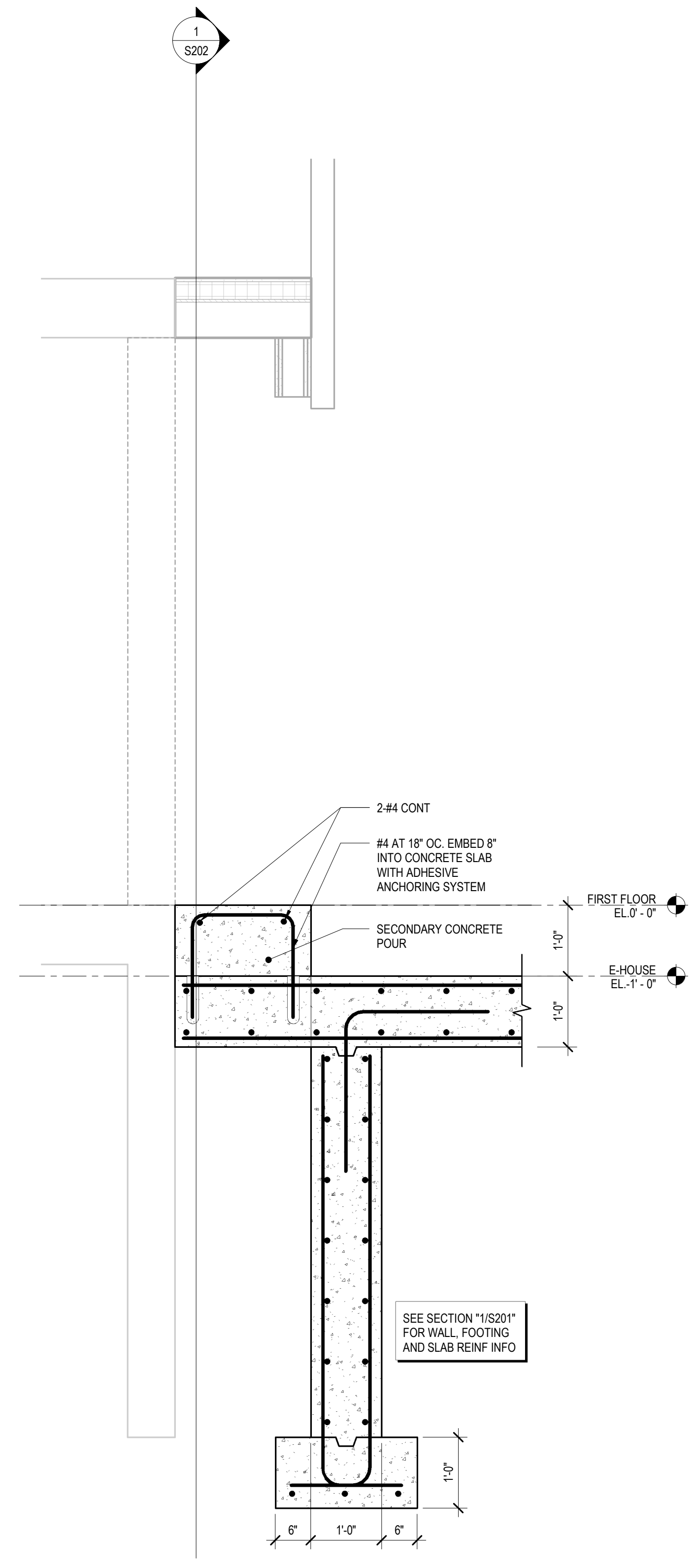
DRAWING TITLE:
FOUNDATION DETAILS

DWN BY: AB	DRAWING NO. S201
CHKD BY: DSG	
SCALE: 3/4" = 1'-0"	
JOB NO.: 16012.00	
DATE: 07/13/2021	

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1 FOUNDATION SECTION AT EXISTING BUILDING
S202 3/4" = 1'-0"



2 FOUNDATION SECTION AT EXISTING BUILDING
S202 3/4" = 1'-0"



NUMBER	DATE	REVISION

PROJECT:
NEW PRIMARY
ELECTRIC
SUBSTATION PROJECT

DRAWING TITLE:
FOUNDATION DETAILS

DWN. BY:	AB	DRAWING NO.:	S202	
CHKD. BY:	DSG	SCALE:		3/4" = 1'-0"
SCALE:	3/4" = 1'-0"	JOB NO.:		16012.00
JOB NO.:	16012.00	DATE:		07/13/2021
DATE:	07/13/2021			

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