

# DDS- Planning & Zoning: Plan Review Application



Submission date: **24 June 2022, 12:57PM**  
Receipt number: **836**  
Related form version: **2**

## Application Type

Check all that apply: **Special Permit**

## Property Information

Property Address: **1420 park st No coordinates found**  
Zoning District: **dt-3, cx-2**  
Parcel ID: **159-403-078**  
Property Owner: **1420 park street llc**  
Address of Property Owner: **77 grassmere av west hartford ct 06110**  
Email: **n.sweeney@lifecaredesign.com**

## Applicant

Name of Applicant: **Lifecare Design Inc.**  
File Date: **06/24/2022**  
Address: **1420 park street No coordinates found**  
Phone: **860-726-4672**  
Email: **n.sweeney@lifecaredesign.com**

## Primary Point of Contact

Name:	Natalie Sweeney
Phone:	860-726-46720 203-448-7390
Email	n.sweeney@lifecaredesign.com

## Project Narrative

Please describe your application action(s) and provide as much detail as possible. Attach additional pages if necessary: **special permit for outdoor drinking patio**

## Zoning Map Change Application

Proposed Zone:

Describe the existing use of land and buildings in the zone change area:

Reason for this request:

## Zoning Appeal Application

Are you an aggrieved party?

Permit or Violation Number:

State your reason for appealing the decision of the administrator or enforcement officer:

## Variance Application

Please state the particular hardship\* or unnecessary difficulty that prompts this application and the site the section of the zoning regulations that you are seeking relief from:

## Subdivision Application

Number of lots to be created:

Area of each lot in square feet:

Street frontage of each of the new lots in feet:

## Lot Combination Application

Addresses of lots to be combined

Map/Block/Lot for each property to be combined:

## Liquor Permit Application

Please upload a copy of your State of CT Liquor Permit below.

## Sign Permit Application

1. Is this sign proposed outside of the building line?

Maximum extension from building line:

2. Is this sign proposed outside of the street line?

Maximum extension from the Street line

3. Is the sign luminated?

4. Engineer Name (if any):

Phone:

Address:

5. Minimum distance from lowest point to the sidewalk:

6. Maximum height of sign from lowest point of established grade:

7. Distance from the nearest outdoor sign:

8. Square feet of surface for one face of the sign:

9. Wording of the sign (include all words):

Description of work (upload additional files if necessary)

Upload any supporting materials below.

[HOG RIVER.pdf](#)

## Signatures

Signature of Applicant



[Link to signature](#)

Printed Name of Applicant:

natalie sweeney

Date:

06/24/2022

If you are not the property owner, you must attach a Letter of Authorization from the property owner to apply.

Letter of Authorization from Property Owner

[Zoning Review Authorization - 1420.pdf](#)

Date:

06/24/2022

# 1420 Park Street, LLC



December 8, 2021

Zoning Review Commission  
Development Services  
260 Constitution Plaza  
Hartford, CT 06103

To Whom It May Concern:

Please accept this letter as authorization for Natalie Sweeney and/or Hermann Cartes-Barrios of Lifecare Design to submit the project at 1420 Park Street, Hartford to the Zoning Review Commission on my behalf.

Please contact me with any questions at (860) 796-8174.

Thank you.

Sincerely,



Carlos Mouta

**LANDSCAPING SCHEDULE**

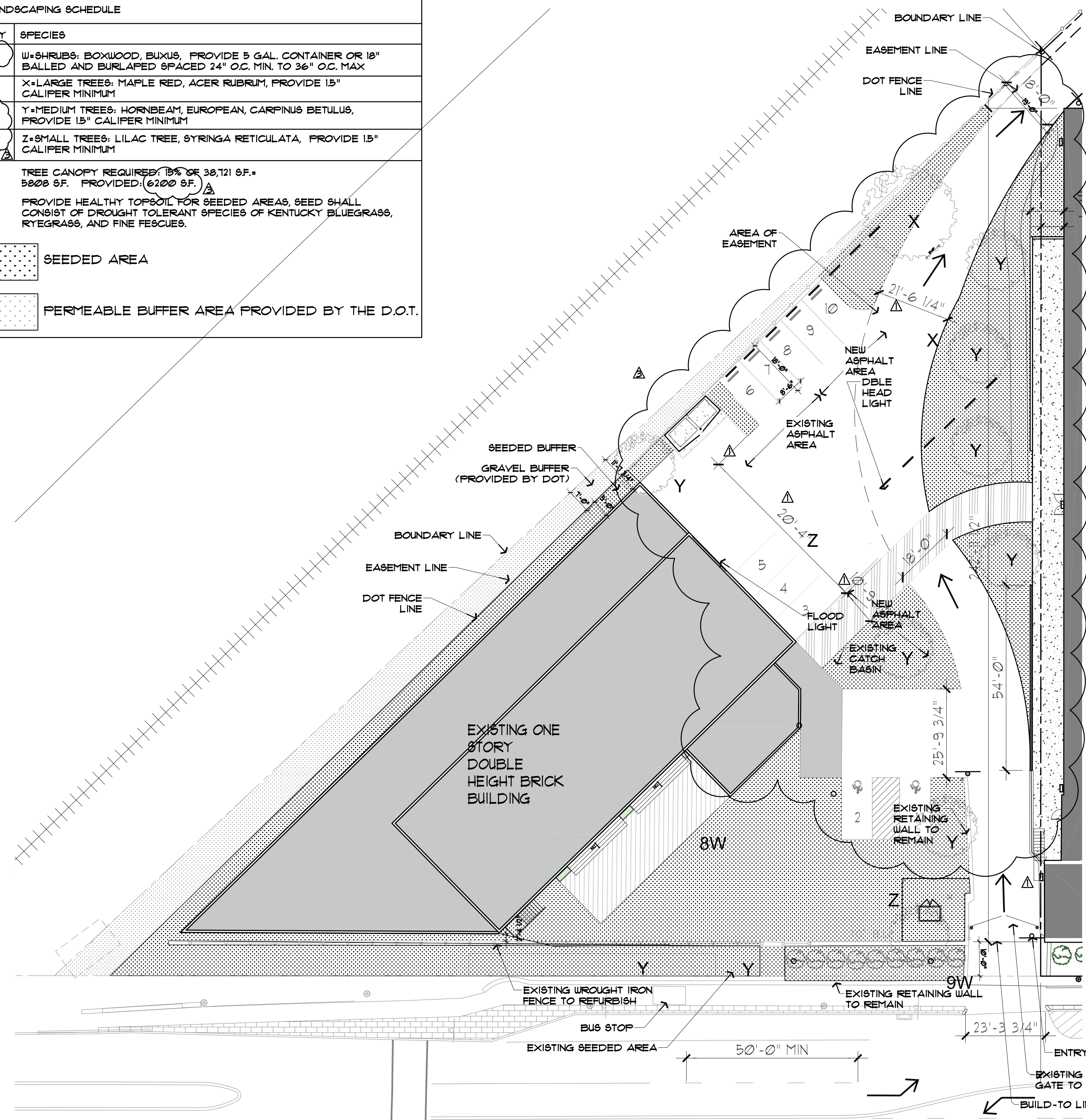
QTY	SPECIES
11	W-SHRUBS: BOXWOOD, BUXUS, PROVIDE 5 GAL. CONTAINER OR 18" BALLED AND BURLAPED SPACED 24" O.C. MIN. TO 36" O.C. MAX
1	X-LARGE TREES: MAPLE RED, ACER RUBRUM, PROVIDE 15" CALIFER MINIMUM
7	Y-MEDIUM TREES: HORNBEAM, EUROPEAN, CARPINUS BETULUS, PROVIDE 15" CALIFER MINIMUM
1	Z-SMALL TREES: LILAC TREE, SYRINGA RETICULATA, PROVIDE 15" CALIFER MINIMUM

TREE CANOPY REQUIRED: 15% OF 38,121 SF. = 5800 SF. PROVIDED: 6200 SF.

PROVIDE HEALTHY TOPSOIL FOR SEEDED AREAS, SEED SHALL CONSIST OF DROUGHT TOLERANT SPECIES OF KENTUCKY BLUEGRASS, RYEGRASS, AND FINE FESCUE.

SEEDING AREA

PERMEABLE BUFFER AREA PROVIDED BY THE D.O.T.



**ZONE DT-3 T.O.D. OVERLAY GENERAL BLDG TYPE**

**A. Building Siting**

1	Multiple Principal Buildings		not permitted
2	Min Front Lot Line Coverage	80%	NON-CONFORMING LOT 34.50%
3	Occupation of Corner		required NA
4	Front Build-to Zone	at or maximum 15' behind the Building line	3'-5' approx..
5	Corner Build-to Zone	at or maximum 15' behind the Building line	NA
6	Minimum Side Setback	abutting adjacent building or minimum 7.5'	3'
7	Minimum Rear Setback	10'	103'-167' non-conforming lot
8	Minimum Lot Width	none	
8	Maximum Building Width	none	
9	Maximum Building Coverage	90%	27%
9	Maximum Impervious Area	no limitation	69%
9	Add'l Semi-Permeable Area	10%	
10	Parking/Loading Locations	rear yard or internal to building (refer to 4.3.2.C.)	rear
11	Permitted Vehicular Access	one driveway off each abutting secondary street; no secondary street left to zoning administrator, circular drops DT-2 only.	front

**B. Height**

12	Minimum Overall Height	2 stories and 40'	2 stores as per note E. #6.
13	Maximum Overall Height	8 stories; 5 stories on lower Main Street	2 stories
14	Ground Story Min Height	9'	NA
14	Ground Story Max Height	14'	16'
15	Upper Stories Min Height	9'	NA
15	Upper Stories Max Height	14'	NA

**C. Uses**

16	Primary Street Ground Story	any use permitted by district except retail and service uses are limited to 25% of the ground floor and located at street façade	craftsman/studio	VARIANCE ACCORDED
17	Upper Stories	any use permitted by district except retail and service uses	NA	

18	Parking within Building	permitted fully in any basement and/or in rear of upper floors	NA
19	Entrance to Parking/Loading within Building	any rear, side, or Secondary Street Façade	NA
20	Required Occupied Space	minimum 30' deep on all full floors from Primary Street façade	complies

**D. Street Façade Requirements**

21	Min Transparency Ground Story of Front Façade	20%	20%
22	Min Transparency Per Story	15%	NA
23	Blank Wall Limits	required per floor on all stories (refer to 4.18.4.B.)	complies
24	Front Façade Entrance Type	stoop, arcade	none land elevation hardship VARIANCE ACCORDED
25	Principal Entrance Location	front, façade	side VARIANCE ACCORDED
26	Required # Street Entrances	1 per each 100' of front façade	1 on side
27	Ground Story Vertical Façade Divisions	every 100' of façade width	complies
28	Horizontal Façade Divisions	required within 3' of the top of the ground story and 5th floor above the first floor	complies
29	Permitted Roof Types	parapet, pitched, flat, tower	existing flat

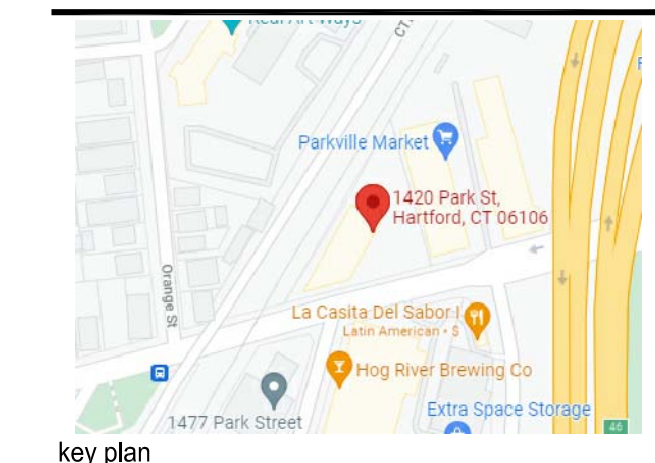
**PKV, LLC**  
 2047 PARK ST.  
 HARTFORD, CT 06106

**HOG RIVER BREWERY RELOCATION**  
 1420 Park St.  
 Hartford, CT 06106

**LIFECARE DESIGN INC.**  
 1429 Park St. Ste 201  
 Hartford Ct. 06106  
 architecture - planning - interior design



**ACORN ENGINEERS INC.**  
 244 Farms Village Rd.  
 West Simsbury, Ct. 06092  
 mechanical - electrical engineering



key plan

issue or revision	date
SITE PLAN REVIEW SUBMISSION	8/6/18
REVISIONS AS PER P 4 Z COMMENTS DATED 2/1/19	2/19/19
REVISIONS AS PER P 4 Z COMMENTS DATED 4/1/19	4/1/19
REVISIONS AS PER NEW TENANT DATED 11/23/21	11/23/21

drawing title  
**PROPOSED SITE PLAN, ZONING INFORMATION, LANDSCAPE SCHEDULE & SITE DETAILS**

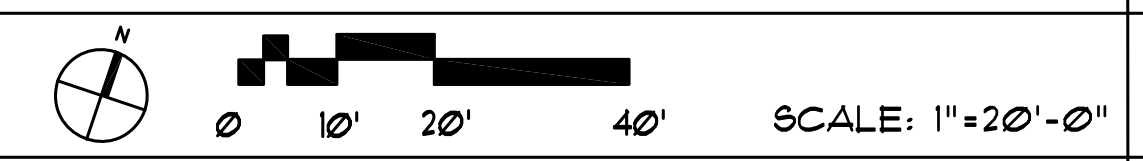
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 designer: h.c.b.  
 project no.: 21917  
 date: 11/27/21  
 drawn by: s.m.  
 checked by:  
 seal: sheet number

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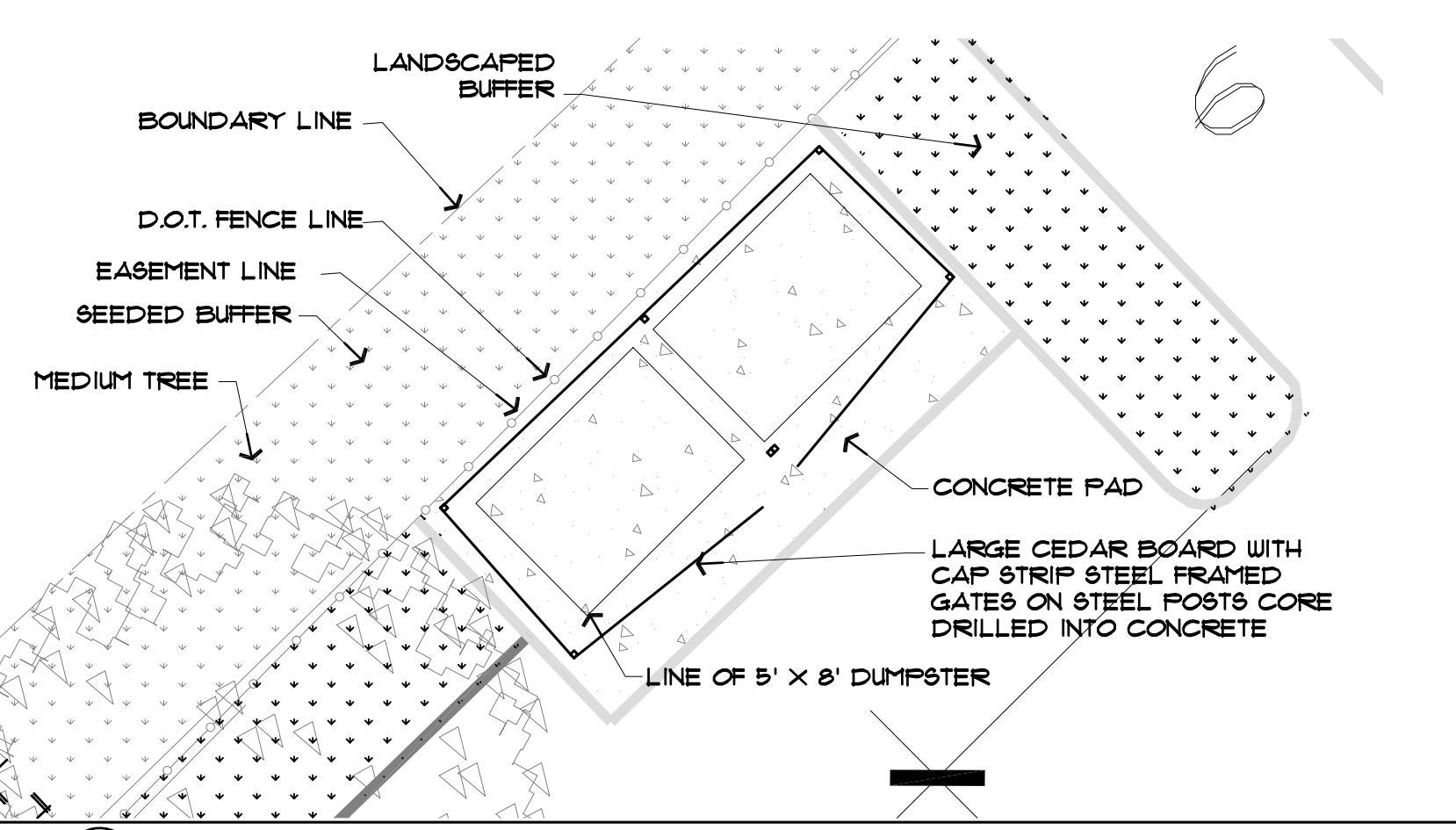
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**1 PROPOSED SITE PLAN & ZONING INFORMATION**



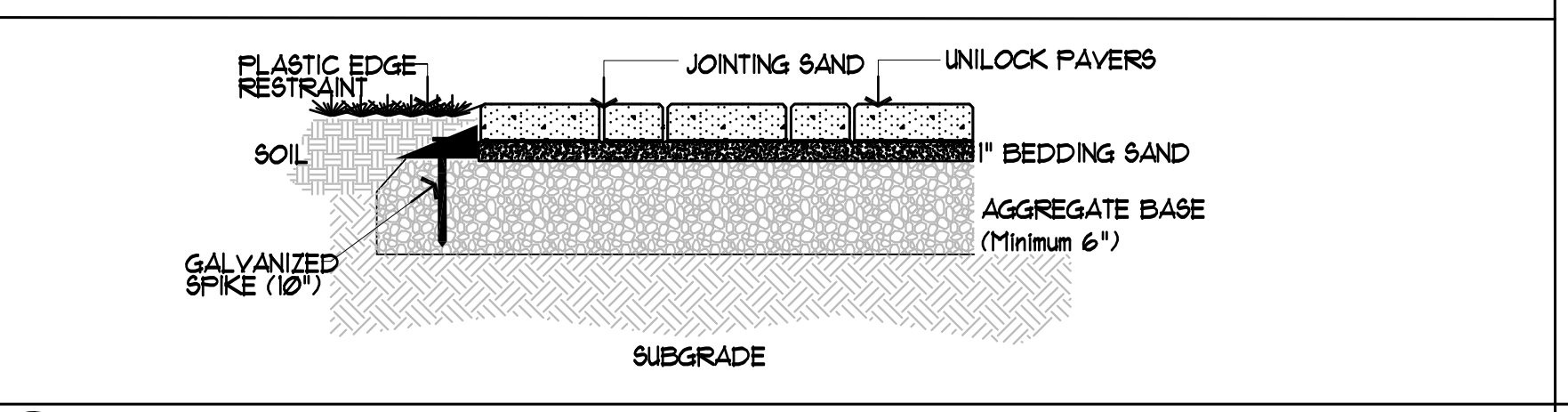
**2 ZONING INFORMATION**



**PARKING SPACES REQUIRED:**  
 66 SPACES TOTAL REQUIRED  
 X.15 BICYCLE CREDIT  
 BICYCLE SPACES REQUIRED = 3  
 BICYCLE SPACES PROVIDED = 28

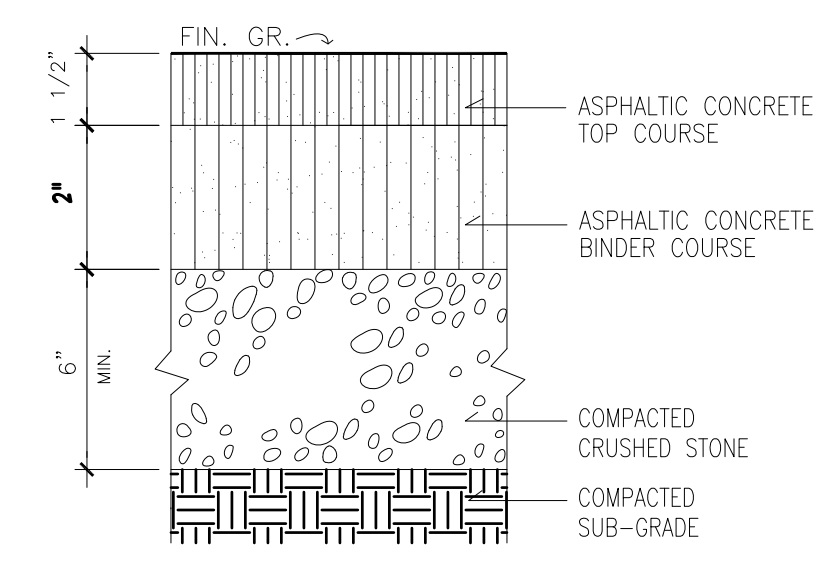
9.9 SPACES CREDITED = 56 SPACES  
 56 X 50% TRANSIT CREDIT = 28 SPACES REQUIRED  
 23 SPACES PROVIDED  
 ACCESSIBLE SPACES REQUIRED: 1 PROVIDED: 1 (VAN ACCESSIBLE)

**4 PARKING INFORMATION**



**5 PAVER DETAIL AT STAIR TO STREET**

SCALE: N.T.S.



**6 ASPHALT PAVING FOR ROAD OR PARKING LOT**

SCALE: N.T.S.

**3 DUMPSTER ENCLOSURE**

SCALE: 1/8"=1'-0"

PKV, LLC

2047 PARK ST.  
HARTFORD, CT 06106

# HOG RIVER BREWERY RELOCATION

1420 Park St.  
Hartford, CT 06106



LIFECARE DESIGN INC.

1429 Park St. Ste 201  
Hartford Ct. 06106

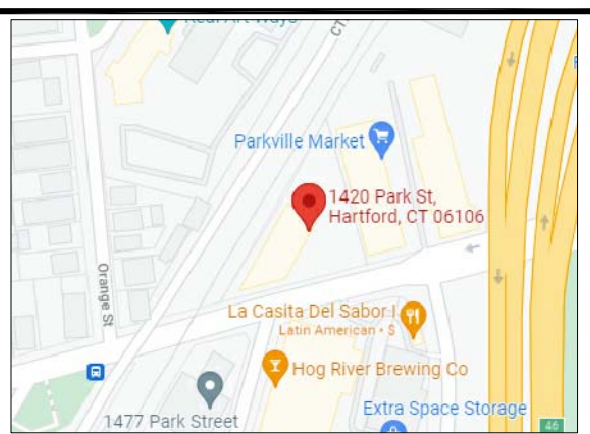
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issue or revision	date

drawing title

DEMOLITION PLAN

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

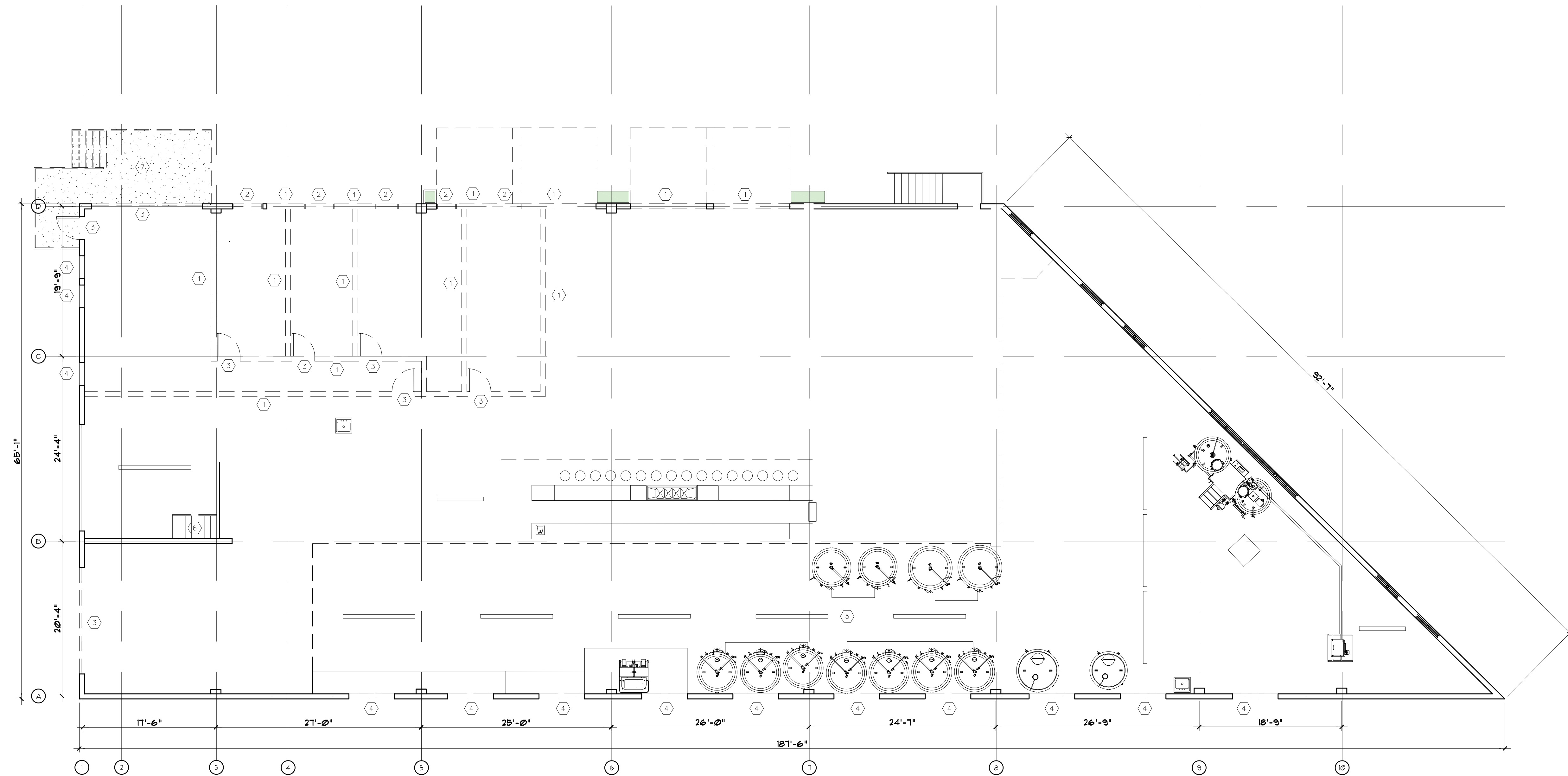
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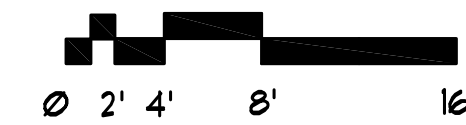
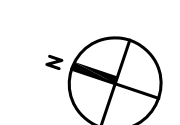
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- DEMOLITION NOTES
- ① REMOVE WALL
  - ② REMOVE WINDOW, SURE OPENING
  - ③ REMOVE DOOR
  - ④ DEMOLISH WALL FOR DOOR/WINDOW OPENING, SEE ELEVATIONS
  - ⑤ DEMOLISH CONCRETE SLAB
  - ⑥ DEMOLISH STAIRS
  - ⑦ DEMOLISH STAIRS AND PLATFORM

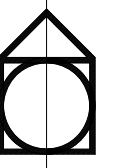


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HOG RIVER  
BREWERY  
RELOCATION

1420 Park St.  
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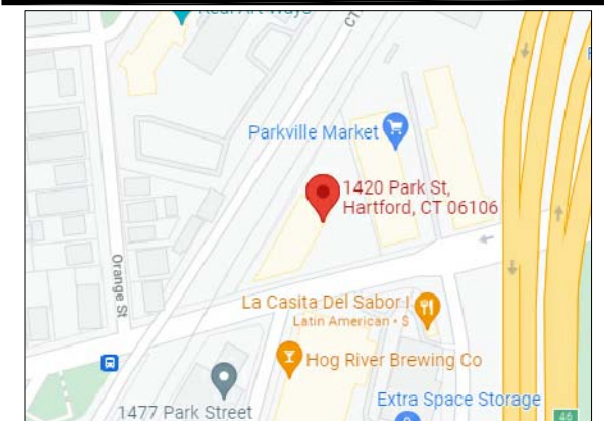
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key plan

issue or revision	date

drawing title

PROPOSED 1ST  
FLOOR PLAN

scale: \_\_\_\_\_ designer: \_\_\_\_\_

as indicated h.c.b.

project no.: \_\_\_\_\_ drawn by: \_\_\_\_\_

21917 s.m.

date: \_\_\_\_\_ checked by: \_\_\_\_\_

11/27/21

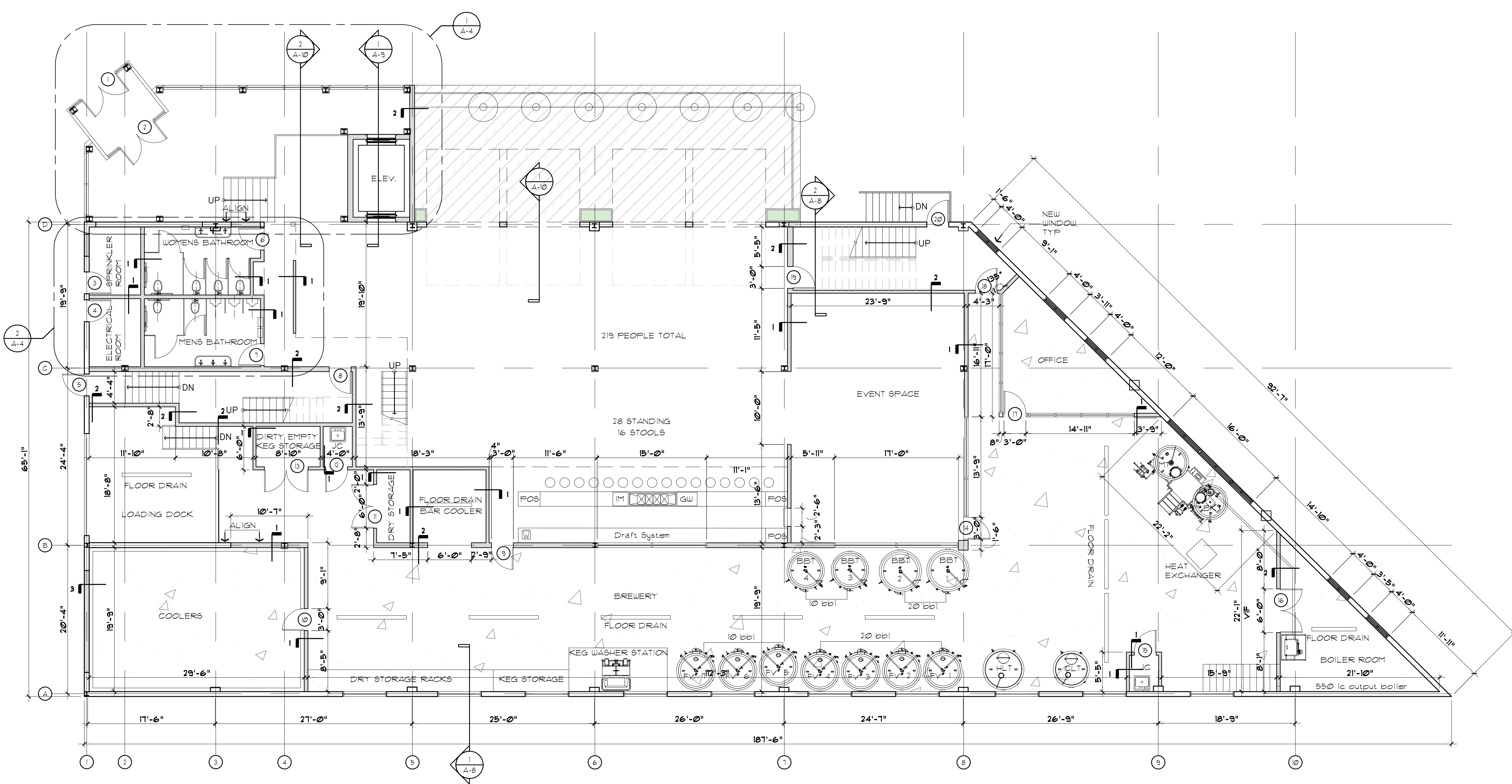
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1 PROPOSED 1ST FLOOR PLAN





PKV, LLC

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HARTFORD, CT 06106

# HOG RIVER BREWERY RELOCATION

1420 Park St.  
Hartford, CT 06106



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Hartford Ct. 06106

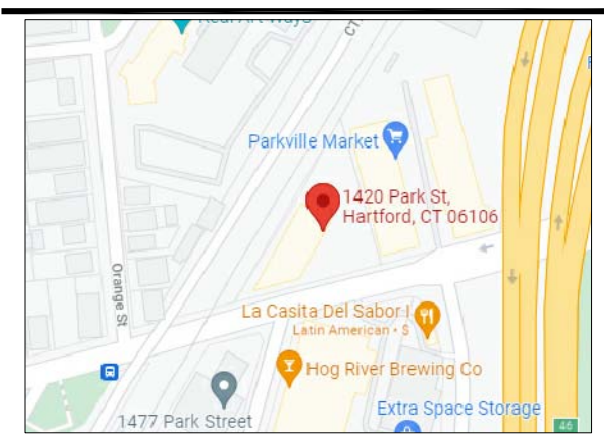
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drawing title

## PROPOSED MEZZANINE FLOOR PLAN

scale: as indicated

designer: h.c.b.

project no.: 21917

drawn by: s.m.

date: 11/27/21

checked by:

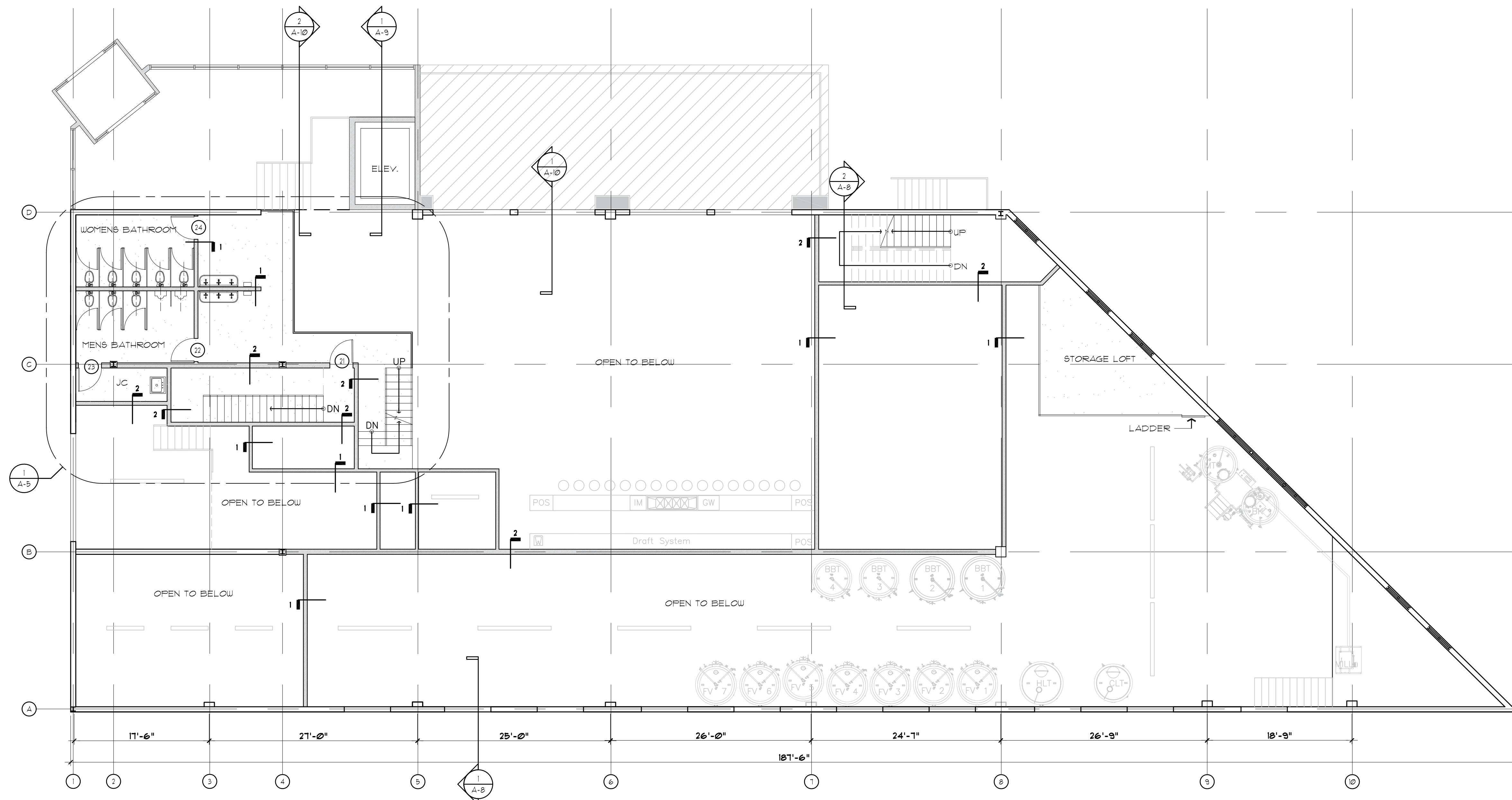
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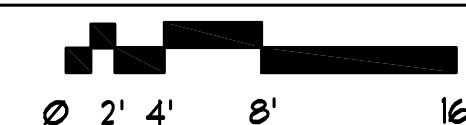
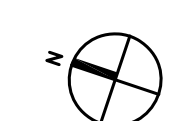
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### 1 PROPOSED MEZZANINE FLOOR PLAN



SCALE: 1/8" = 1'-0"

PKV, LLC

2047 PARK ST.  
HARTFORD, CT 06106

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Hartford, CT 06106



LIFECARE DESIGN INC.

1429 Park St. Ste 201  
Hartford Ct. 06106

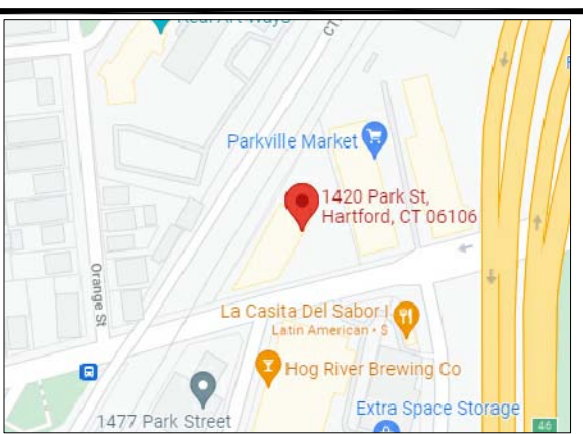
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issue or revision	date

drawing title

PROPOSED ROOF PLAN

scale: designer:

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project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

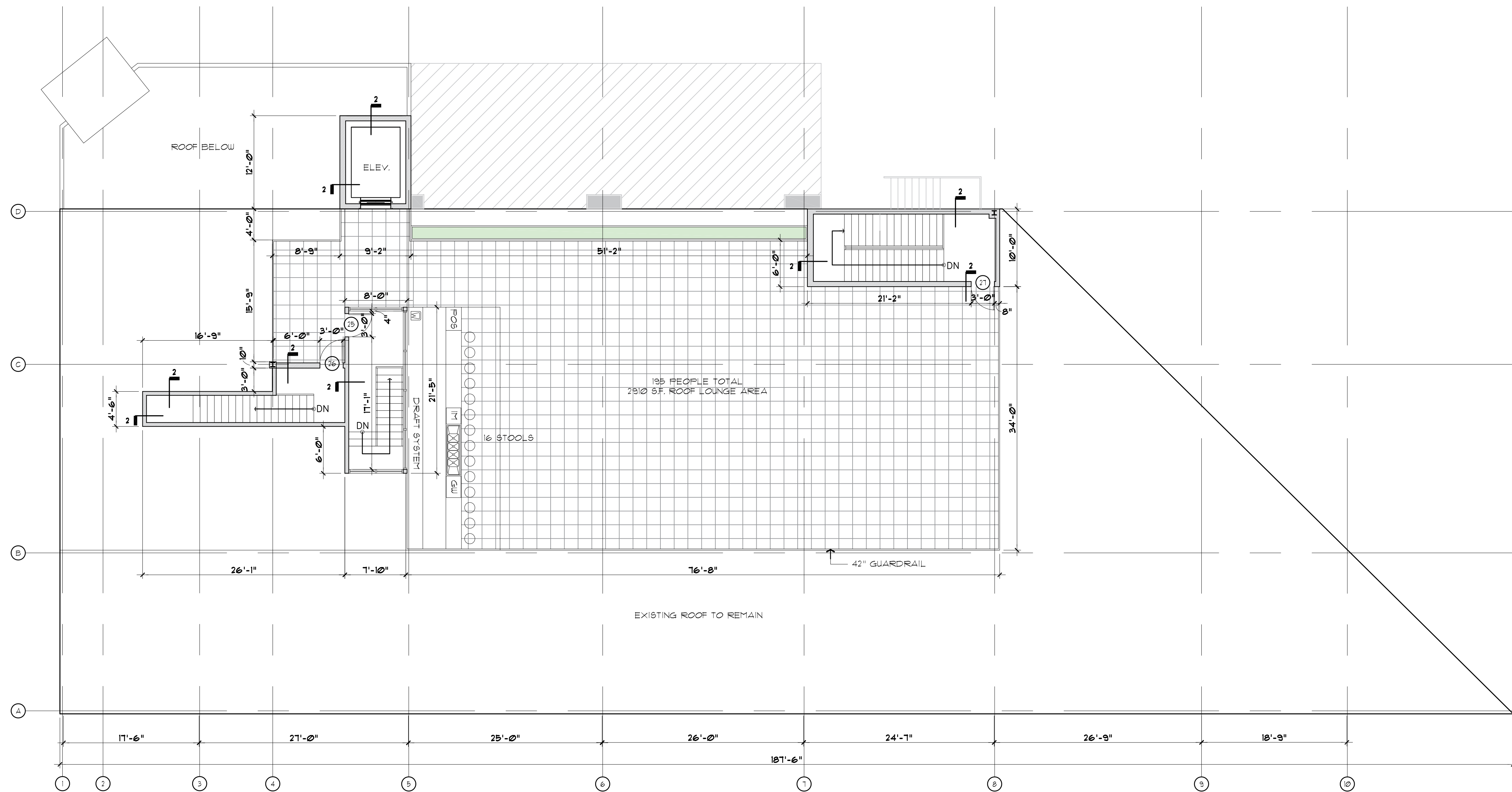
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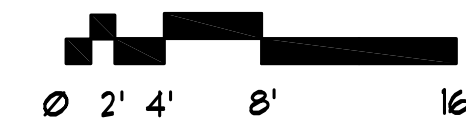
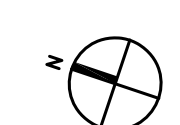
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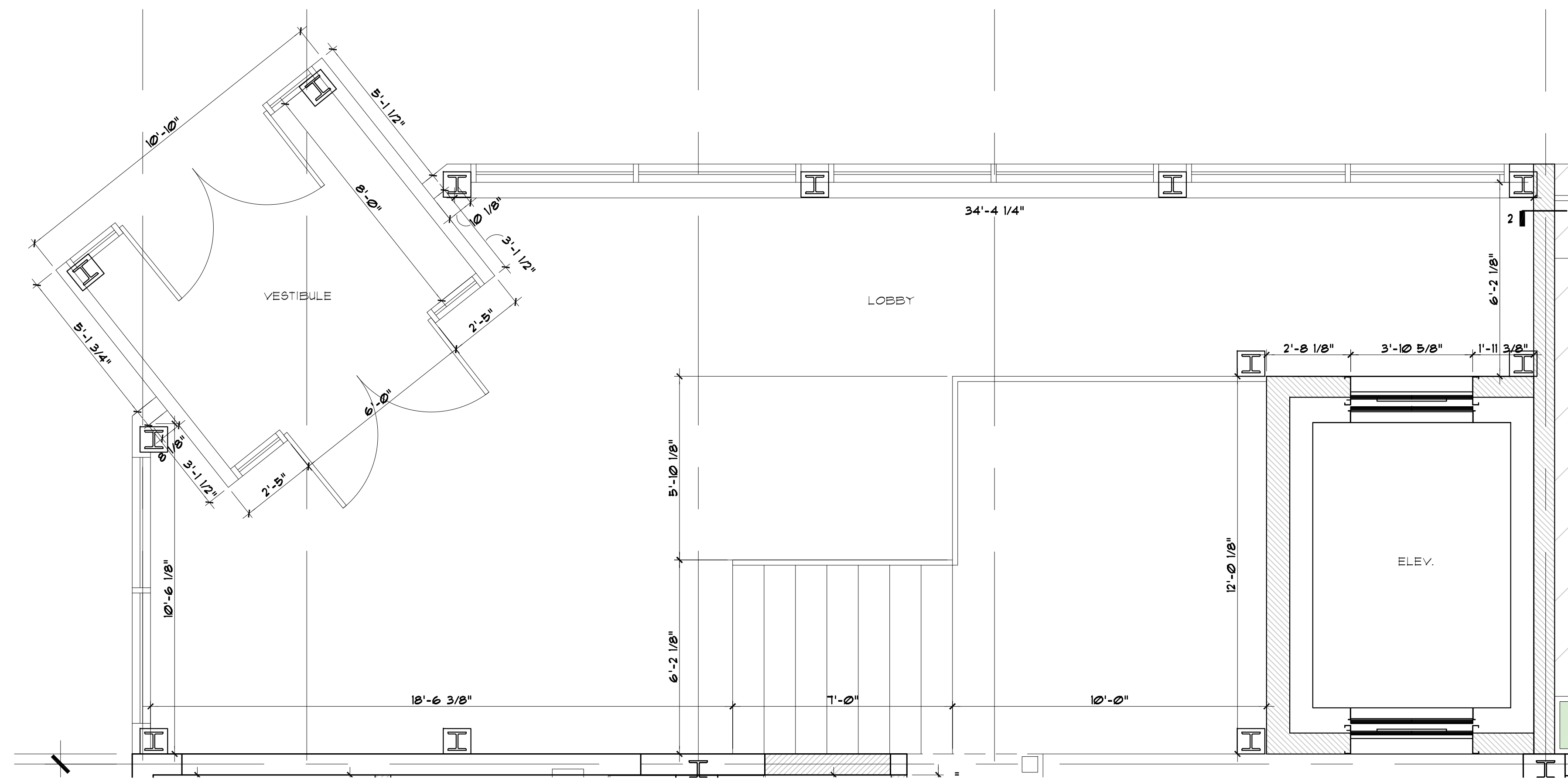
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① PROPOSED ROOF TOP BAR PLAN

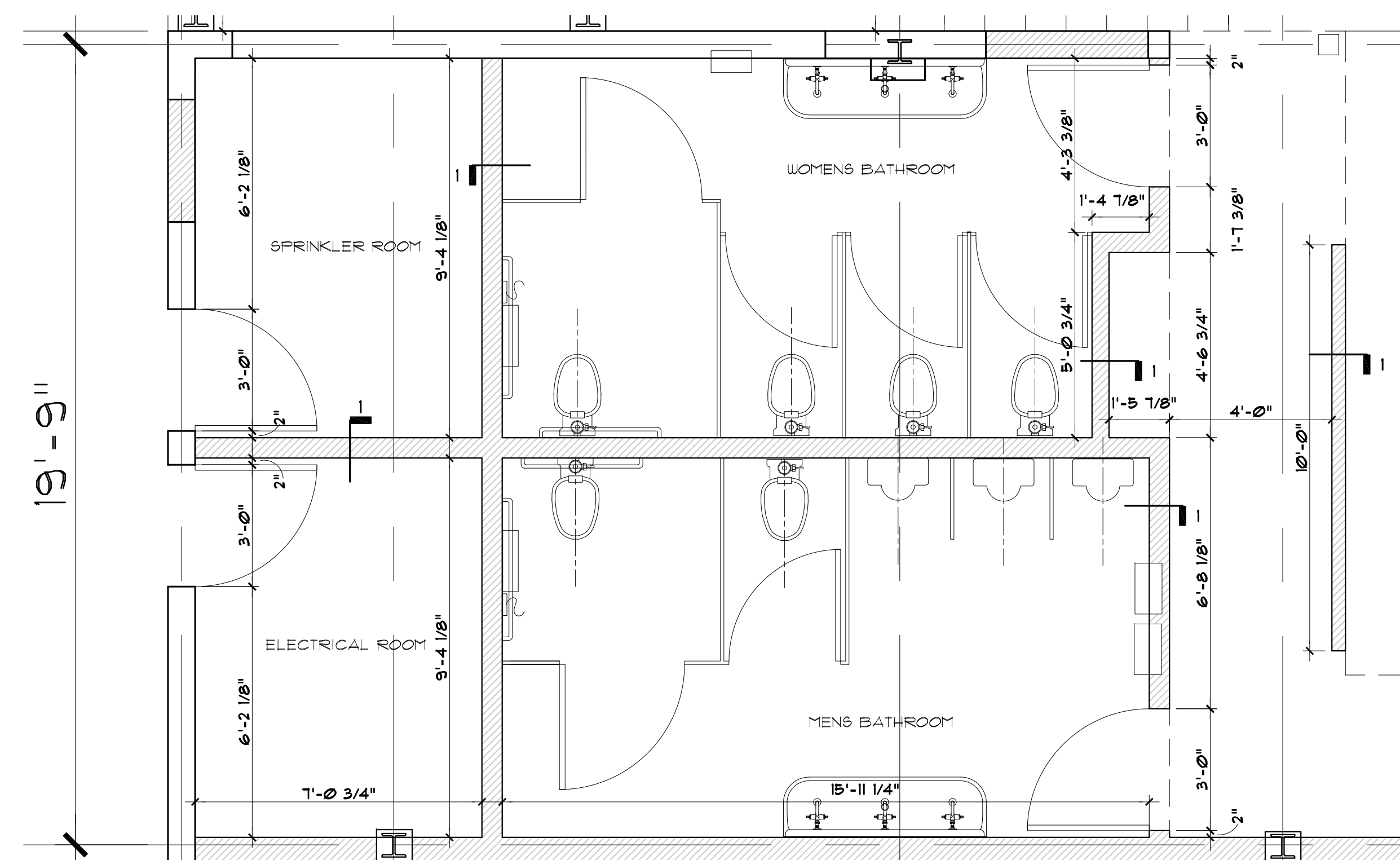


SCALE: 1/8" = 1'-0"



① PROPOSED LOBBY PARTIAL PLAN

SCALE: 3/8" = 1'-0"



② PROPOSED 1ST FLOOR BATHROOM PARTIAL PLANS

SCALE: 3/8" = 1'-0"

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HOG RIVER  
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1420 Park St.  
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Hartford Ct. 06106

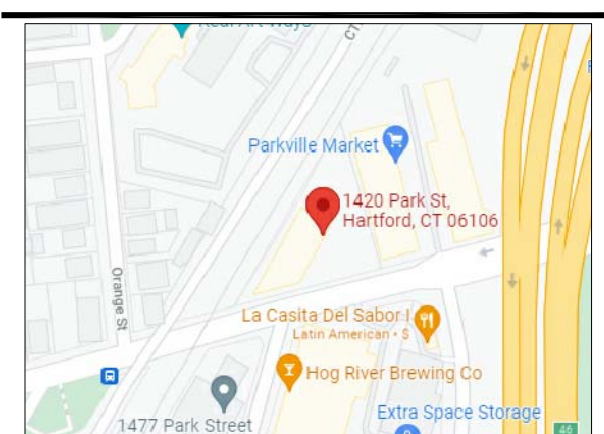
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issue or revision	date

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PARTIAL FLOOR PLANS

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

seal sheet number

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**HOG RIVER  
BREWERY  
RELOCATION**

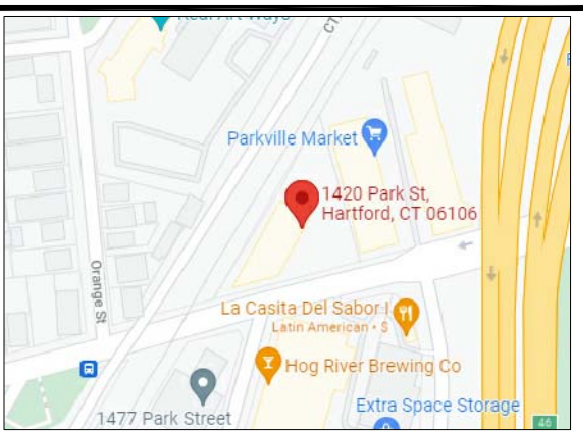
1420 Park St.  
Hartford, CT 06106



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Hartford Ct. 06106  
architecture - planning - interior design



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244 Farms Village Rd.  
West Simsbury, Ct. 06092  
mechanical - electrical engineering



key plan

issue or revision	date

drawing title

**PARTIAL FLOOR PLANS**

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as indicated h.c.b.

project no.: drawn by:

21917 s.m.

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11/27/21

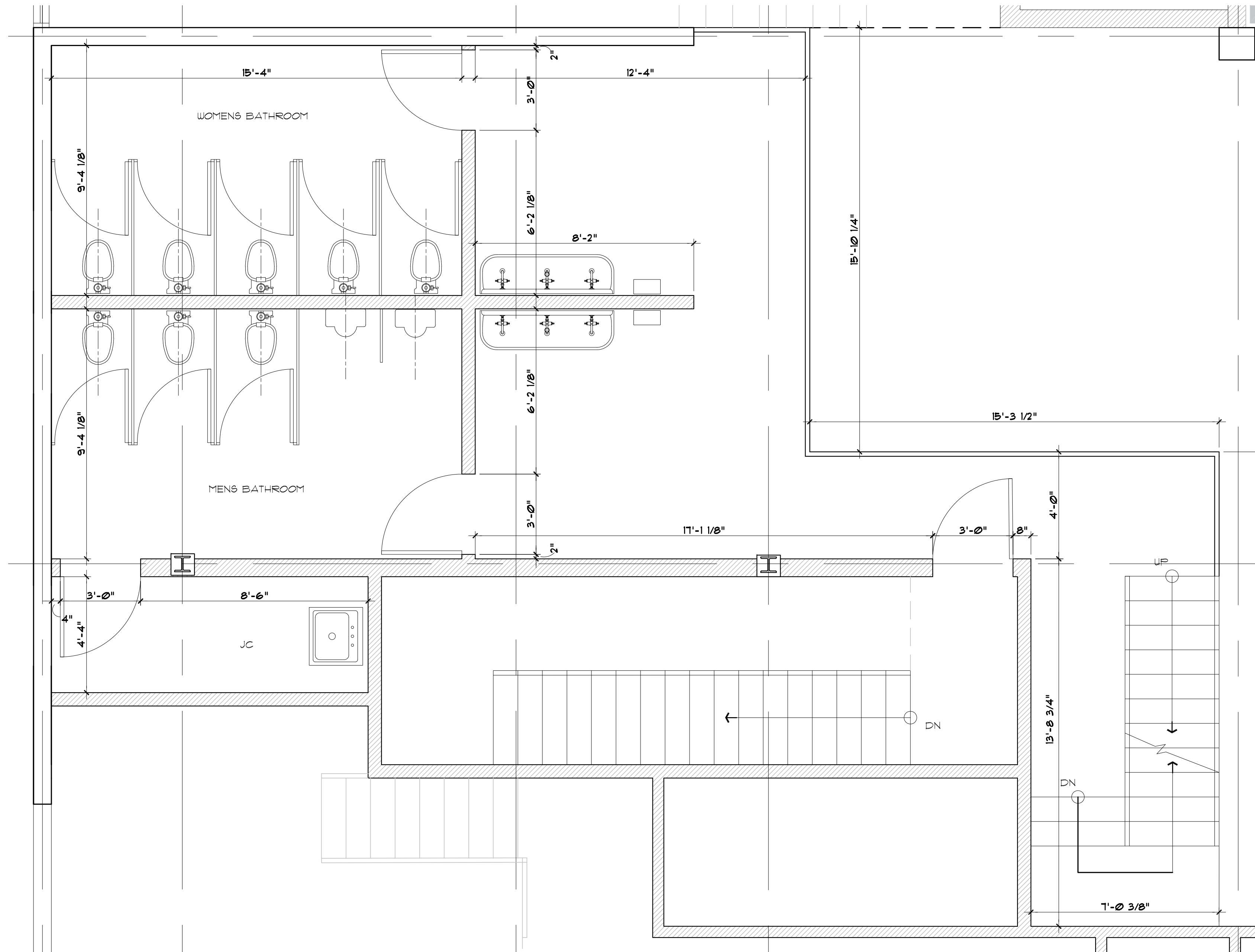
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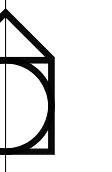
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HOG RIVER  
BREWERY  
RELOCATION

1420 Park St.  
Hartford, CT 06106



LIFECARE DESIGN INC.

1429 Park St. Ste 201

Hartford Ct. 06106

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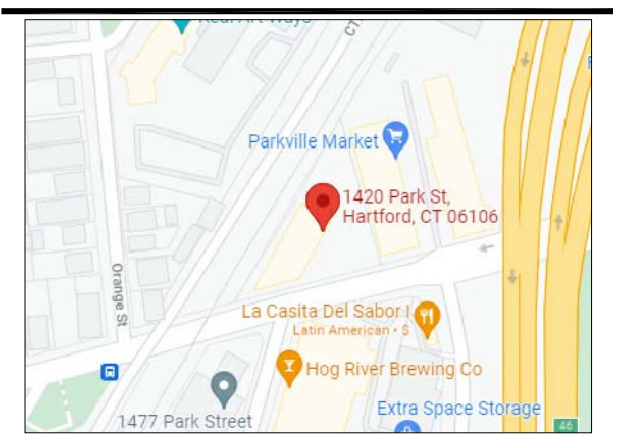


ACORN ENGINEERS INC.

244 Farms Village Rd.

West Simsbury, Ct. 06092

mechanical - electrical engineering



key plan

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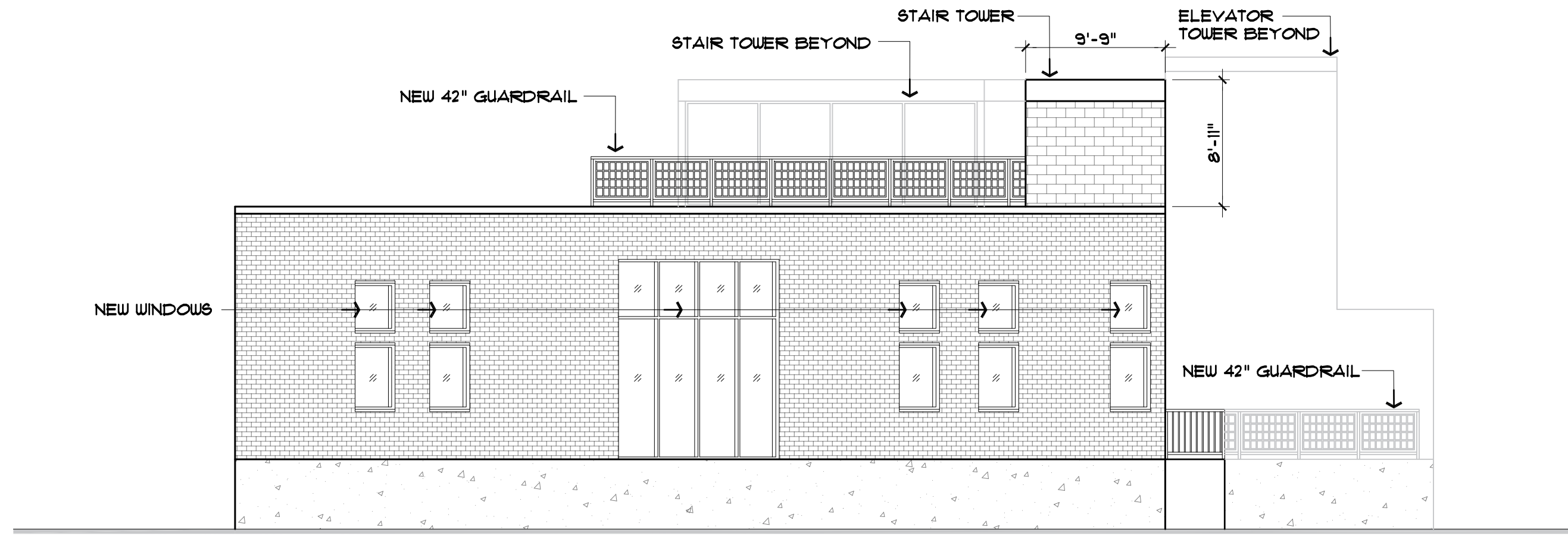
EXTERIOR  
FACADES

scale: as indicated      designer: h.c.b.  
 project no.: 21917      drawn by: s.m.  
 date: 11/27/21      checked by:

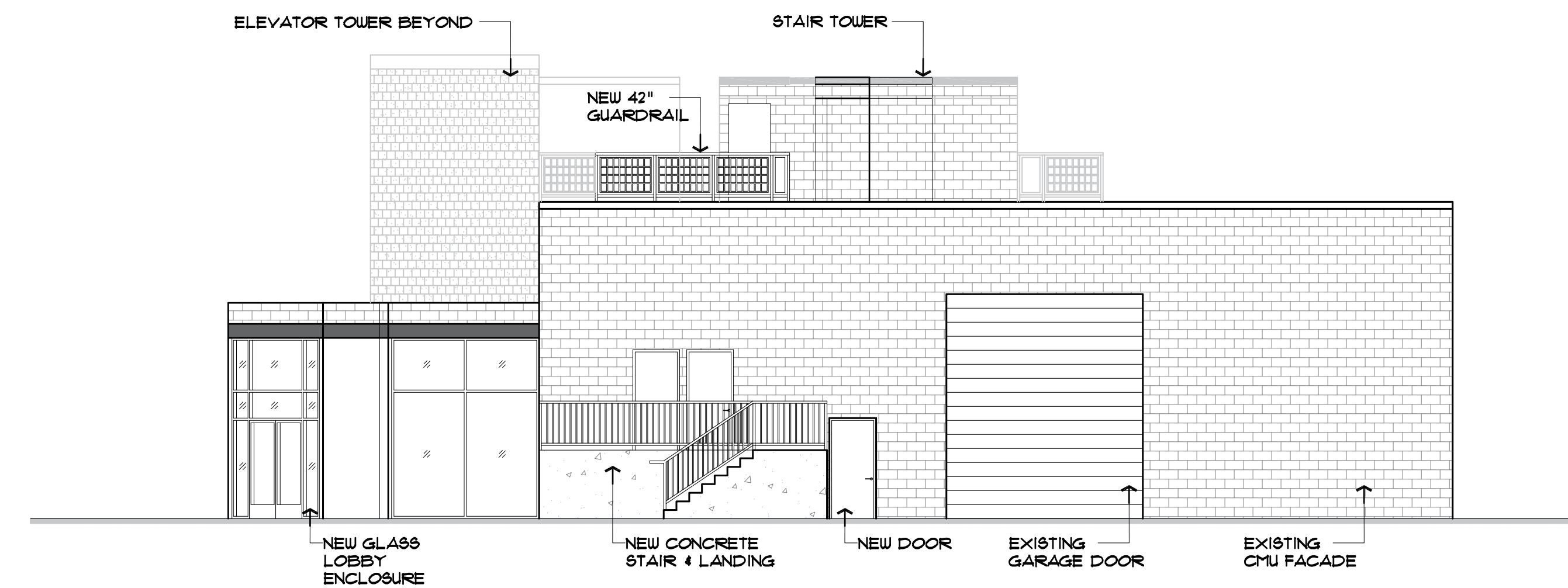
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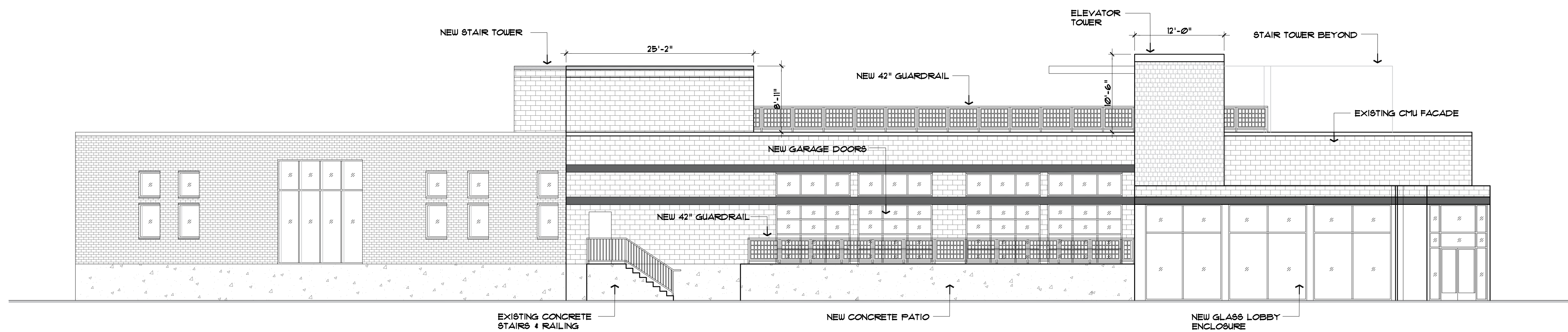


① SOUTH FACADE



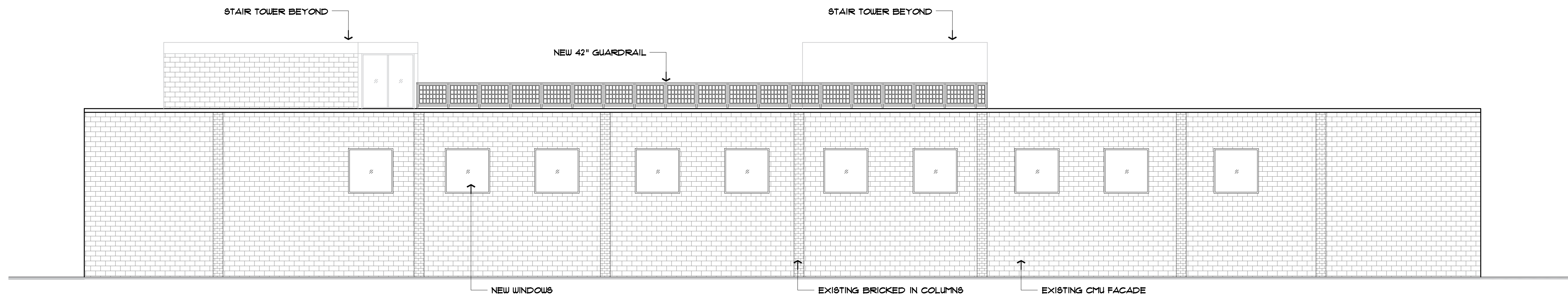
② NORTH FACADE

SCALE: 1/8" = 1'



③ EAST FACADE

SCALE: 1/8" = 1'



④ WEST FACADE

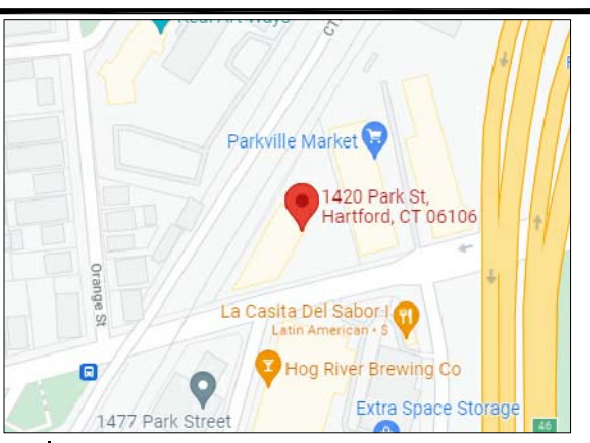
SCALE: 1/8" = 1'



**LIFECARE DESIGN INC.**  
1429 Park St. Ste 201  
Hartford Ct. 06106  
architecture - planning - interior design



**ACORN ENGINEERS INC.**  
244 Farms Village Rd.  
West Simsbury, Ct. 06092  
mechanical - electrical engineering



key plan

issue or revision	date

drawing title

**WALL SECTIONS**

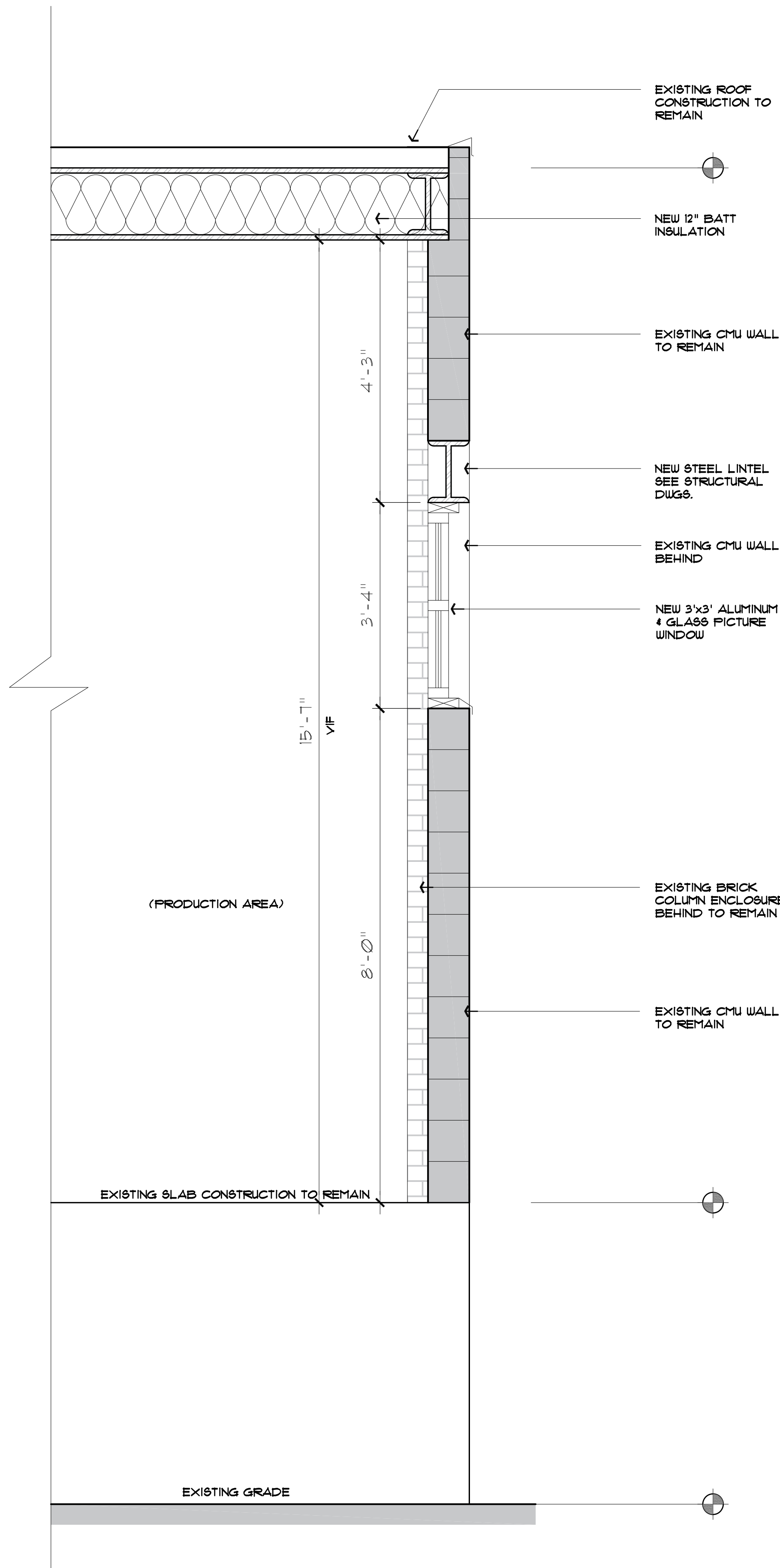
scale: as indicated      designer: h.c.b.  
project no.: 21917      drawn by: s.m.  
date: 11/27/21      checked by:      seal      sheet number

**A-8**

sheet

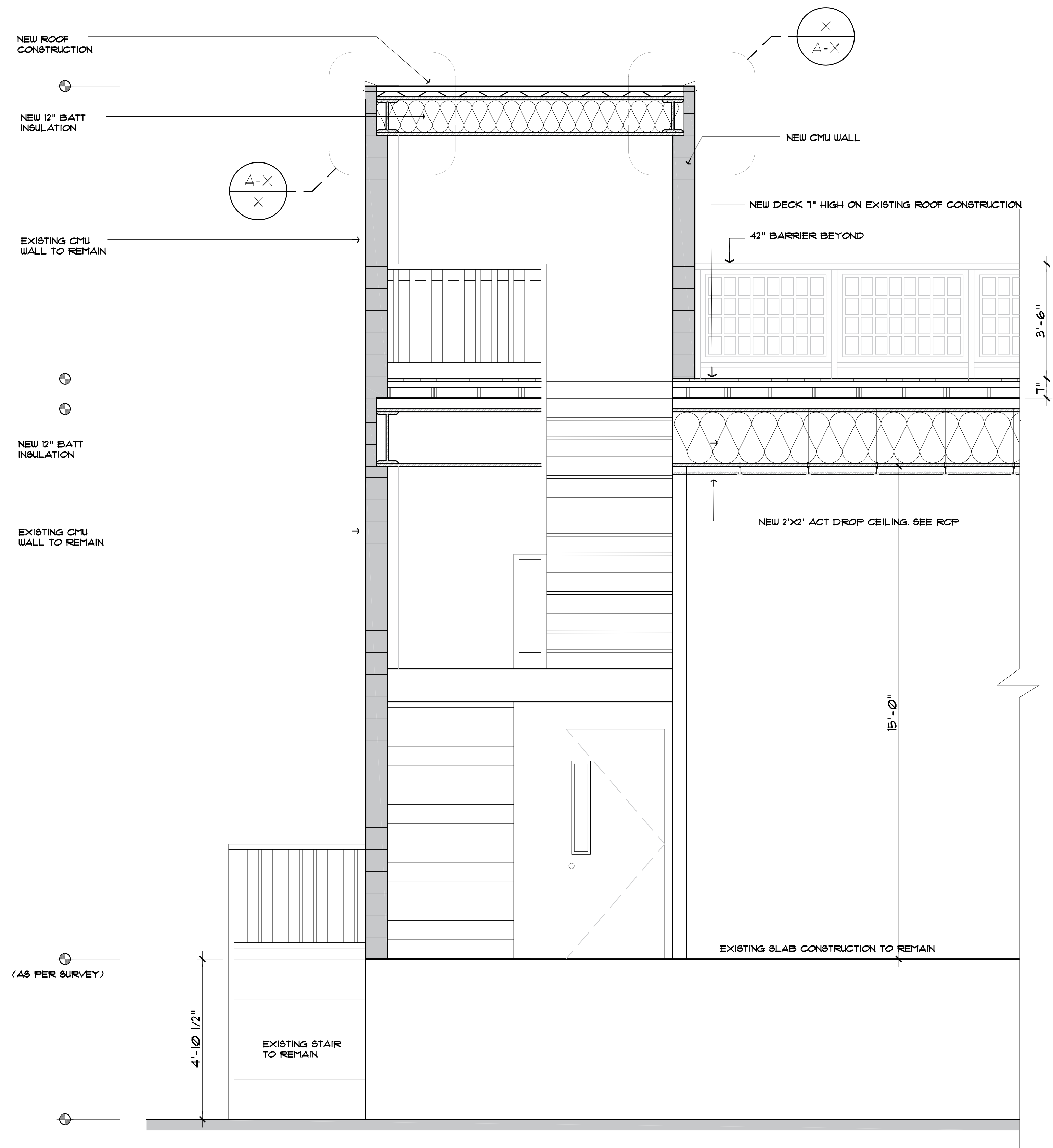
X of X

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① EAST FACADE

SCALE: 3/4" = 1'



① EAST FACADE

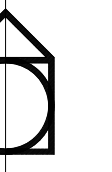
SCALE: 3/4" = 1'

PKV, LLC

2047 PARK ST.  
HARTFORD, CT 06106

### HOG RIVER BREWERY RELOCATION

1420 Park St.  
Hartford, CT 06106



LIFECARE DESIGN INC.

1429 Park St. Ste 201  
Hartford Ct. 06106

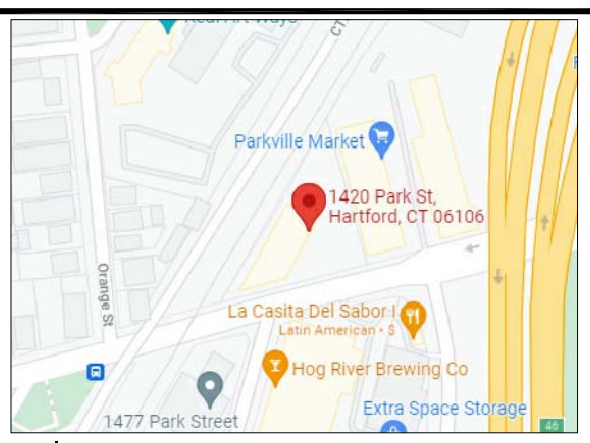
architecture - planning - interior design



ACORN ENGINEERS INC.

244 Farms Village Rd.  
West Simsbury, Ct. 06092

mechanical - electrical engineering



key plan

issue or revision	date

drawing title

### WALL SECTIONS

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

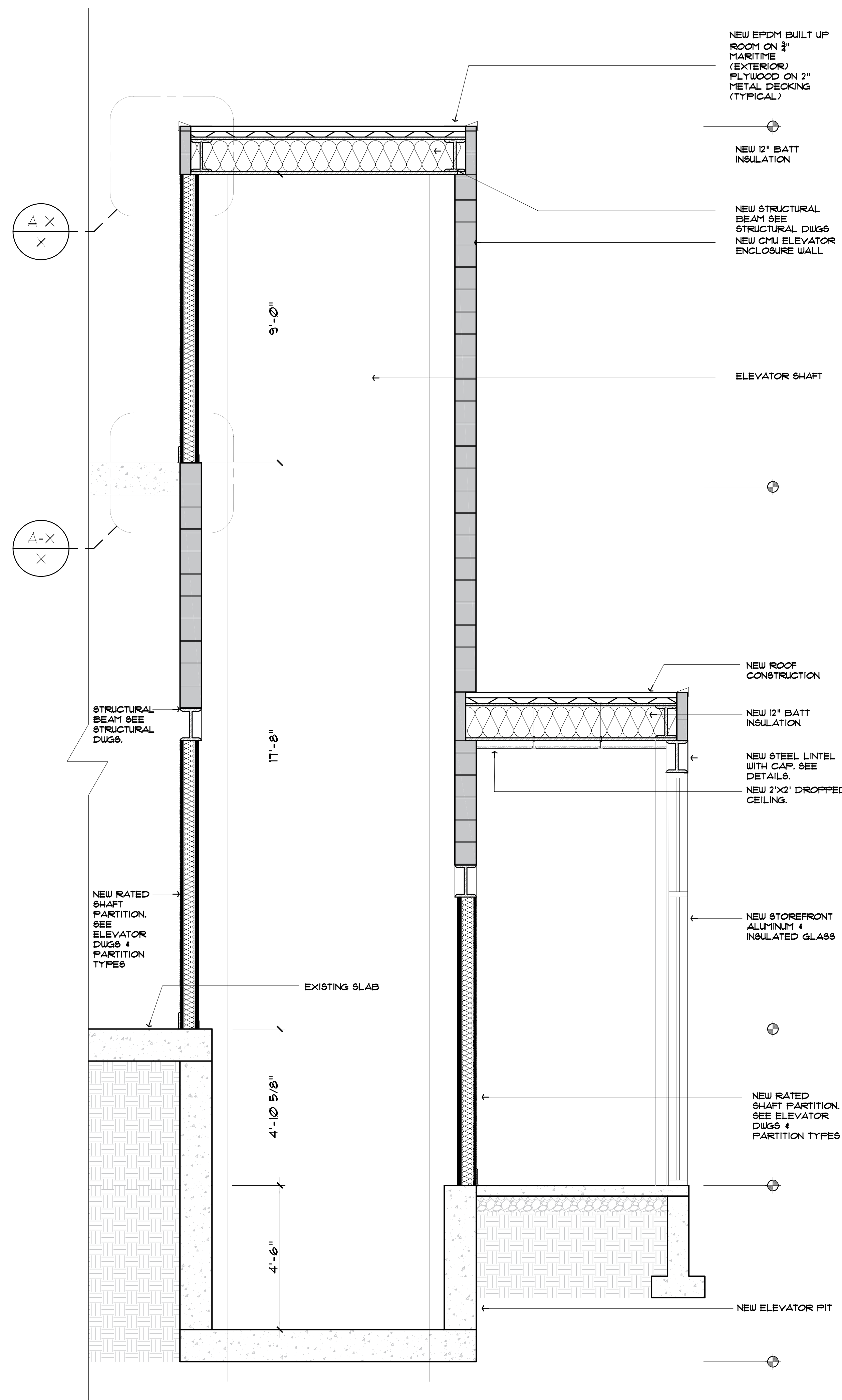
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A-9

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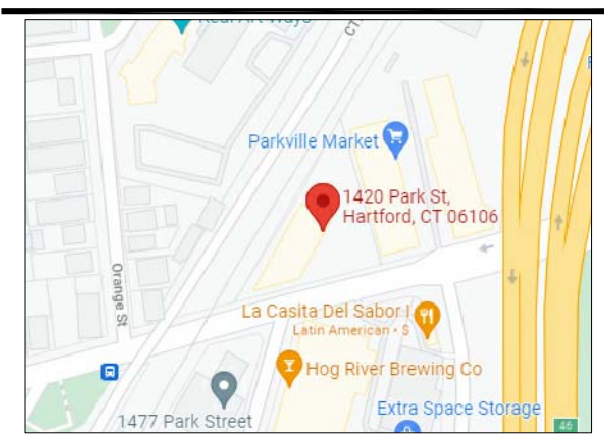
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① WALL SECTION

SCALE: 3/4" = 1'



key plan

issue or revision	date

drawing title

WALL SECTIONS

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

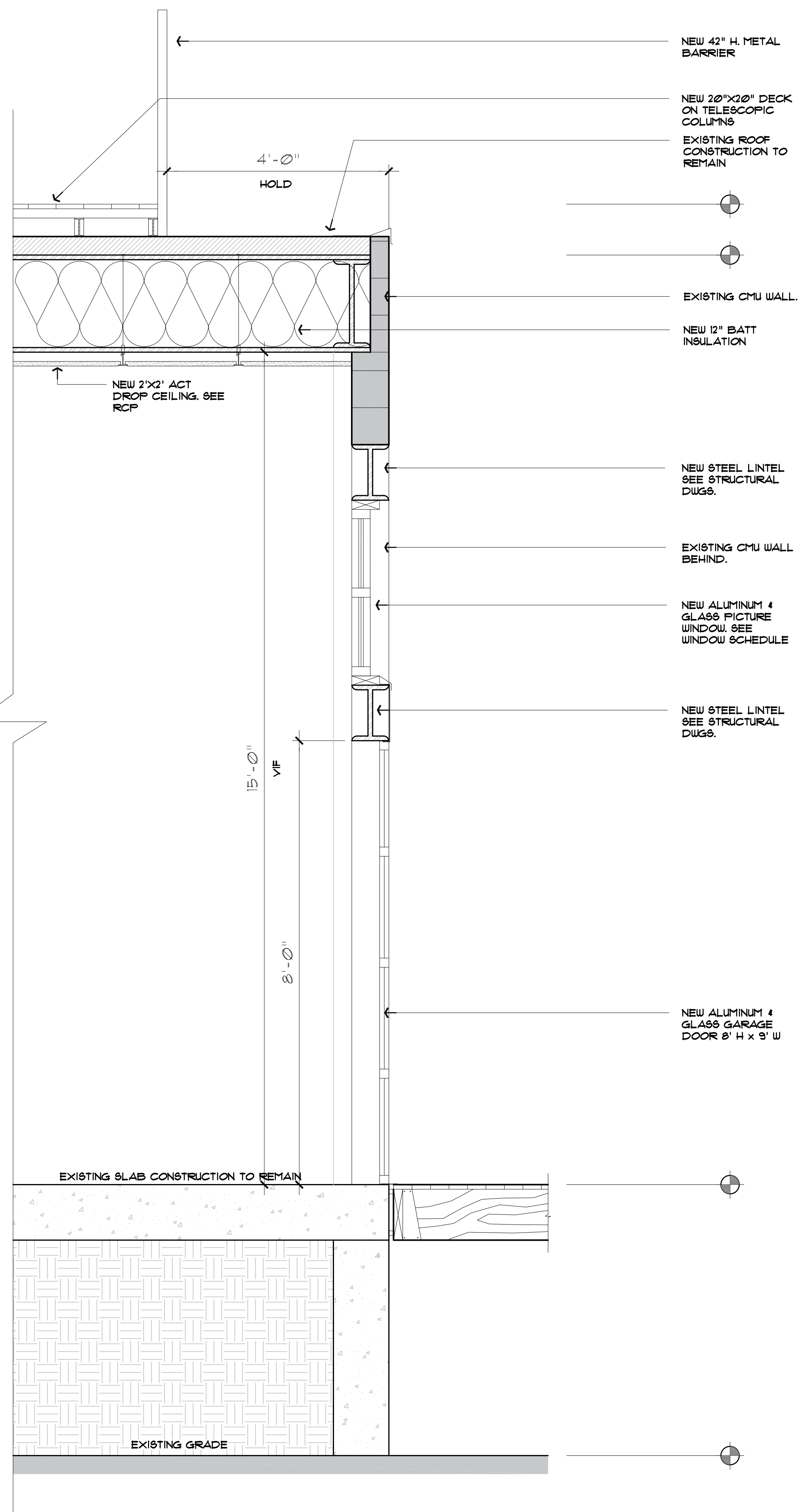
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A-10

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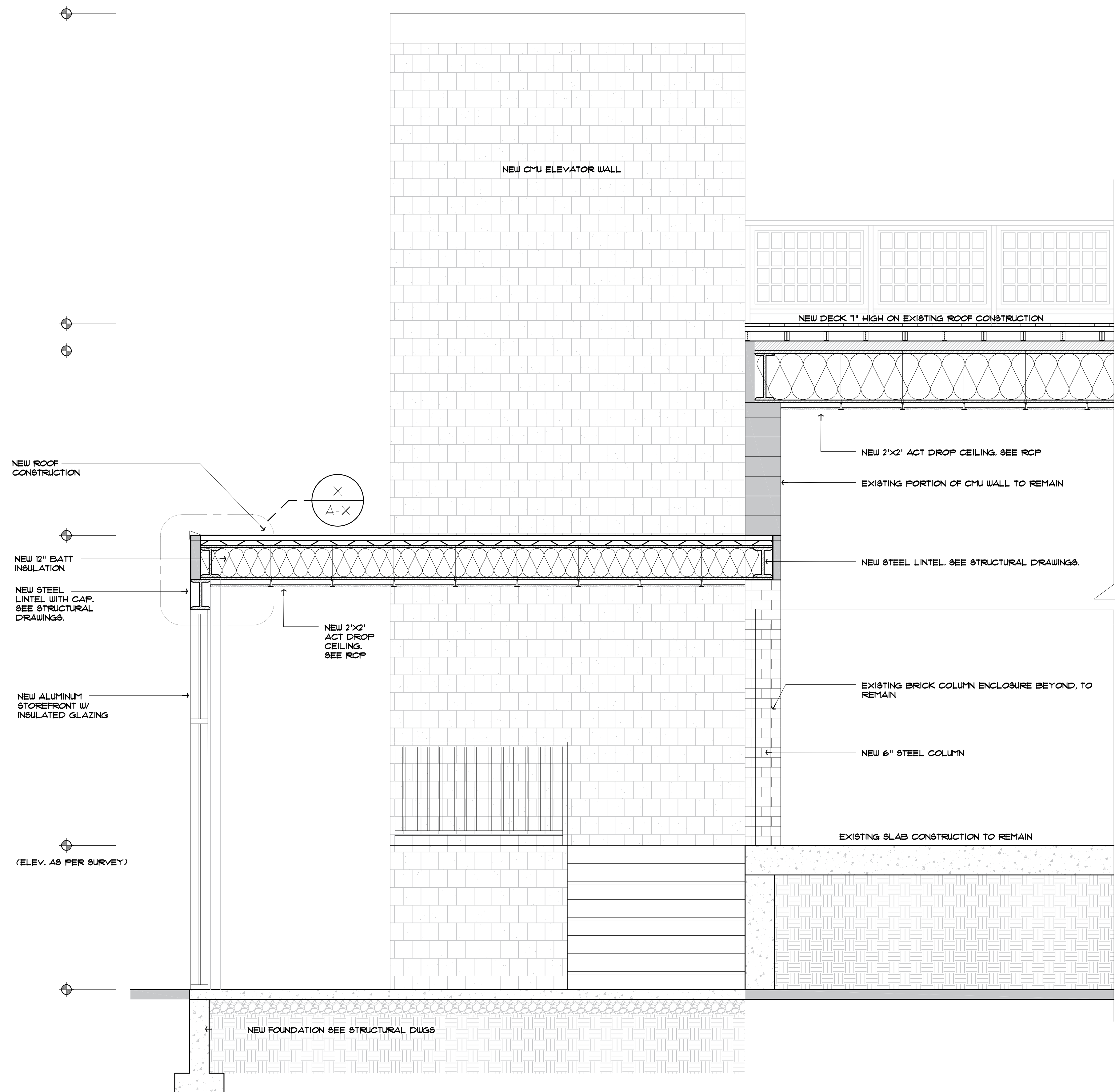
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1 WALL SECTION

SCALE: 3/4" = 1'



1 WALL SECTION

SCALE: 3/4" = 1'