

DDS- Planning & Zoning: Plan Review Application



Submission date: **11 July 2022, 10:14AM**
Receipt number: **863**
Related form version: **2**

Application Type

Check all that apply: **Zoning Text Amendment**

Property Information

Property Address: **See attached submittal letter at Tab 2 No coordinates found**

Zoning District: **MX-1**

Parcel ID: **See attached submittal letter at Tab 2**

Property Owner: **Courthouse Lenders, LLC**

Address of Property Owner: **1 Financial Plaza, Hartford, CT 06103**

Email: **c/o Andrea Gomes, Esq. at agomes@hinckleyallen.com**

Applicant

Name of Applicant: **The Hartford Dispensary d/b/a Root Center for Advanced Recovery**

File Date: **07/11/2022**

Address: 335 Broad Street, Manchester, CT 06040 No coordinates found

Phone: c/o Andrea Gomes, Esq. at (860) 331-2603

Email: c/o Andrea Gomes, Esq. at agomes@hinckleyallen.com

Primary Point of Contact

Name: Andrea Gomes, Esq.

Phone: (860) 331-2603

Email: agomes@hinckleyallen.com

Project Narrative

Please describe your application action(s) and provide as much detail as possible. Attach additional pages if necessary:

See attached narrative / submittal letter at Tab 2

Zoning Map Change Application

Proposed Zone:

Describe the existing use of land and buildings in the zone change area:

Reason for this request:

Zoning Appeal Application

Are you an aggrieved party?

Permit or Violation Number:

State your reason for appealing the decision of the administrator or enforcement officer:

Variance Application

Please state the particular hardship* or unnecessary difficulty that prompts this application and the site the section of the zoning regulations that you are seeking relief from:

Subdivision Application

Number of lots to be created:

Area of each lot in square feet:

Street frontage of each of the new lots in feet:

Lot Combination Application

Addresses of lots to be combined

Map/Block/Lot for each property to be combined:

Liquor Permit Application

Please upload a copy of your State of CT Liquor Permit below.

Sign Permit Application

1. Is this sign proposed outside of the building line?

Maximum extension from building line:

2. Is this sign proposed outside of the street line?

Maximum extension from the Street line

3. Is the sign luminated?

4. Engineer Name (if any):

Phone:

Address:

5. Minimum distance from lowest point to the sidewalk:

6. Maximum height of sign from lowest point of established grade:

7. Distance from the nearest outdoor sign:

8. Square feet of surface for one face of the sign:

9. Wording of the sign (include all words):

Description of work (upload additional files if necessary)

Upload any supporting materials below.

[Root Center_Final Text Amend. App..pdf](#)

Signatures

Signature of Applicant

A handwritten signature in blue ink, appearing to read "Andrea Gomes". The signature is written in a cursive style with a large initial "A".

[Uploaded signature image: Signature Snip.jpg](#)

Printed Name of Applicant:

Andrea Gomes, Applicant's Attorney and Agent

Date:

07/11/2022

If you are not the property owner, you must attach a Letter of Authorization from the property owner to apply.

Letter of Authorization from Property Owner

[Root Center_Owner Authorization Letter.pdf](#)

Date:

07/11/2022

Courthouse Lenders, LLC
1 Financial Plaza
Hartford, CT 06103

June 27, 2022

Ms. Josye Utick, Chair,
and Commission Members
Planning & Zoning Commission
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Mr. I Charles Mathews, Director of
Department of Development Services
Ms. Aimee Chambers, AICP, Director of
Planning
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Re: Zoning Applications of The Hartford Dispensary d/b/a Root Center for
Advanced Recovery

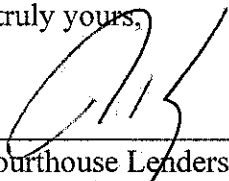
Dear Chair Utick, Commission Members, Mr. Mathews, and Ms. Chambers:

Courthouse Lenders, LLC is the owner of the real property located at 35-39 Lafayette Street (Parcel ID 225-440-113), 152-154 Oak Street (Parcel ID 226-440-108), 156-158 Oak Street (Parcel ID 226-440-109), and 162-164 Oak Street (Parcel ID 226-440-110) in Hartford, Connecticut (the "Subject Property"). Hartford Dispensary Real Estate, Inc., an affiliate of The Hartford Dispensary d/b/a Root Center for Advanced Recovery ("Root Center"), is under contract to purchase the Subject Property.

Courthouse Lenders, LLC understands that Root Center will be filing one or more applications with the Planning & Zoning Commission related to the development of a methadone clinic on the Subject Property. Courthouse Lenders, LLC authorizes Root Center, and its legal counsel at Hinckley Allen, to pursue all necessary land use applications with the City of Hartford regarding the proposed development of the Subject Property.

Thank you for your consideration concerning this matter.

Very truly yours,

By: 

Courthouse Lenders, LLC
Duly Authorized

**APPLICATION OF THE HARTFORD DISPENSARY D/B/A ROOT
CENTER FOR ADVANCED RECOVERY FOR AMENDMENT TO
HARTFORD ZONING REGULATIONS**

July 11, 2022



Timothy S. Hollister, Esq.
thollister@hinckleyallen.com
Andrea L. Gomes, Esq.
agomes@hinckleyallen.com
Hinckley Allen
20 Church Street
Hartford, CT 06103
PHONE: (860) 725-6200

James P. Cassidy, P.E.
jcassidy@hpcengr.com
Hallisey, Pearson & Cassidy Engineering
Assoc., Inc.
630 Main Street, Suite #1A
Cromwell, CT 06416
(860) 529-6812

Steven Zuckerman, CEO
Steven.Zuckerman@rootcenter.org
The Hartford Dispensary d/b/a Root Center
for Advanced Recovery
335 Broad Street
Manchester, CT 06040
(860) 643-3208

Ted Cutler, AIA
TedC@tectonpc.com
Paul Tirrell, AIA
PaulT@tectonpc.com
Tecton Architects, PC
34 Sequassen Street, Suite 200
Hartford, CT 06106
(860) 548-0802

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9. Consultant Resumes

1



20 Church Street
Hartford, CT 06103-1221
p: 860-725-6200 f: 860-278-3802
hinckleyallen.com

Andrea L. Gomes
Phone: (860) 331-2603
agomes@hinckleyallen.com

Via DDS Website

July 11, 2022

Ms. Josye Utick, Chair,
and Commission Members
Planning & Zoning Commission
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Mr. I Charles Mathews, Director of
Department of Development Services
Ms. Aimee Chambers, AICP, Director of
Planning
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Re: Application of The Hartford Dispensary d/b/a Root Center for Advanced Recovery for Zoning Regulation Amendment

Dear Chair Utick, Commission Members, Mr. Mathews, and Ms. Chambers:

On behalf of The Hartford Dispensary d/b/a Root Center for Advanced Recovery (“Root Center”), we are pleased to submit this application for an amendment to the Hartford Zoning Regulations. Specifically, Root Center seeks to amend the Regulations to permit a Methadone or Substance Use Rehabilitation Clinic as a standalone special permit use in the MX-1 district. If approved, Root Center will return to the Commission with an application for special permit approval to construct a Methadone or Substance Use Rehabilitation Clinic at 35-39 Lafayette Street (Parcel ID 225-440-113), 152-154 Oak Street (Parcel ID 226-440-108), 156-158 Oak Street (Parcel ID 226-440-109), and 162-164 Oak Street (Parcel ID 226-440-110) in Hartford, Connecticut (collectively, the “Subject Property”).

This package contains the following:

1. Transmittal letter from Hinckley Allen
2. Overview letter from Hinckley Allen
3. Root Center for Advanced Recovery Mission Statement and Narrative
4. Proposed amendments to §§ 3.0 and 3.3.5 of the Hartford Zoning Regulations
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9. Consultant Resumes

If the Commission or staff would like paper copies or additional information, please let us know. We look forward to presenting this application.

Very truly yours,



Andrea L. Gomes

Attachments

cc: Steven Zuckerman (w/ att.)
Ted Cutler (w/ att.)
James Cassidy (w/ att.)

2



20 Church Street
Hartford, CT 06103-1221
p: 860-725-6200 f: 860-278-3802
hinckleyallen.com

Andrea L. Gomes
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agomes@hinckleyallen.com

Via DDS Website

July 11, 2022

Ms. Josye Utick, Chair,
and Commission Members
Planning & Zoning Commission
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Mr. I Charles Mathews, Director of
Department of Development Services
Ms. Aimee Chambers, AICP, Director of
Planning
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Re: Application of The Hartford Dispensary d/b/a Root Center for Advanced Recovery for Zoning Regulation Amendment

Dear Chair Utick, Commission Members, Mr. Mathews, and Ms. Chambers:

On behalf of the Root Center for Advanced Recovery, we hereby apply for an amendment to the Hartford Zoning Regulations, to permit a Methadone or Substance Use Rehabilitation Clinic as a standalone special permit use in the MX-1 district.

As detailed below, Hartford's current prohibition of "Methadone or Drug Rehabilitation Clinics" in all zoning districts violates The Americans with Disabilities Act, 42 U.S.C. §§ 12101, *et seq.* ("ADA"). Root Center's proposed text amendment will assist in remedying this situation.

If approved, Root Center will return to the Commission with an application for special permit approval to construct a Methadone or Substance Use Rehabilitation Clinic at 35-39 Lafayette Street (Parcel ID 225-440-113), 152-154 Oak Street (Parcel ID 226-440-108), 156-158 Oak Street (Parcel ID 226-440-109), and 162-164 Oak Street (Parcel ID 226-440-110) in

Hartford, Connecticut (collectively, the “Subject Property”). Hartford Dispensary Real Estate Inc., an affiliate of Root Center, is under contract to purchase the Subject Property.

The Applicant

Root Center is a private, non-profit, health care agency that provides behavioral health and substance use services to the greater Hartford community. Root Center currently operates two methadone / substance use rehabilitation clinics in Hartford at 345 Main Street and 16-18 Weston Street, which together serve approximately 1,400 patients suffering from substance use disorders. A more detailed mission statement and a narrative summary of Root Center’s operations and services is at Tab 3.

In an effort to better serve its existing and future patients, Root Center recently has embarked on a mission to construct new, state-of-the-art clinics throughout Connecticut. Most recently, Root Center closed its clinic on Whiting Street in New Britain, Connecticut, and relocated its operations to a newly-constructed clinic at 542 East Main Street in New Britain. Architectural (pre-construction) perspectives and as-built photographs of the New Britain clinic are at Tab 5.

The ADA and The Hartford Zoning Regulations

As it did in New Britain, Root Center now wishes to relocate its 345 Main Street operations to a new clinic on the Subject Property. However, the Hartford Zoning Regulations explicitly prohibit “Methadone or Drug Rehabilitation Clinics” in all zoning districts.¹ See Regulations §§ 3.3.5.A(1), 3.3.7.A(1) (excluding Methadone or Drug Rehabilitation Clinics from the definition of Medical Clinic and Medical Office, respectively).

Under the ADA, individuals with substance use disorders who are participating in a rehabilitation program are defined as having a "disability," and thus, discrimination against such individuals is a violation of the Act. A number of federal courts interpreting the ADA have held that zoning regulations or decisions that discriminate against drug and alcohol rehabilitation programs, or methadone clinics, violate the ADA. See *MX Group, Inc. v. City of Covington*, 293 F.3d 326, 344 (6th Cir.2002) (“[T]he blanket prohibition of all methadone clinics from the entire city is discriminatory on its face.”); *Bay Area Addiction Research and Treatment, Inc. v. City of Antioch*, 179 F.3d 725, 730–37 (9th Cir.1999) (holding that ADA applied to zoning ordinance barring methadone clinics within 500 feet of residential areas, and that such ordinance was discriminatory on its face); *Innovative Health Sys., Inc. v. City of White Plains*, 117 F.3d 37, 44–49 (2d Cir.1997) (holding that the ADA applies to zoning decisions involving drug and alcohol rehabilitation center).

Hartford’s blanket prohibition on “Methadone or Drug Rehabilitation Clinics,” therefore, violates the ADA.

¹ Root Center is able to operate its two clinics in Hartford as preexisting, non-conforming uses.

Proposed Zoning Regulation Amendment

To address this violation, Root Center is proposing an amendment to the Regulations to permit a Methadone or Substance Use Rehabilitation Clinic as a standalone special permit use in the MX-1 district.

A draft of the proposed amendment is at Tab 4. The Commission will note that, in addition to proposing a new use in the MX-1 district, Root Center also has incorporated into its proposed amendment a number of design elements that differ modestly from the existing MX-1 district Regulations for a Medical Clinic and General Building Type (which most closely meets the needs of a Methadone or Substance Use Rehabilitation Clinic), but are necessary for the effective operation of a Methadone or Substance Use Rehabilitation Clinic, reflective of the unusual configuration of the Subject Property, and in-line with Root Center's brand and aesthetic.

Specifically, Root Center's proposed amendment provides that the principal entry to the proposed clinic will be located at the rear of the building, instead of along the site frontage; this is proposed to ensure patient privacy, in accordance with federal law. Root Center also has proposed text allowing an applicant to satisfy the two-story minimum height requirement in the MX-1 by allowing the inclusion of a clerestory as a second story, because the proposed clinic requires a single-floor level that can be easily monitored at all times by clinic staff. In an effort to meet the spirit and intent of the existing Regulations, however, Root Center's proposed text amendment includes language regarding the story height (minimum nine feet, including parapet walls), roof type (parapet required on the upper-most story), and allowing for the provision of future / staff-only entrances along the front of the building (two such entrances provided along Lafayette Street and Grand Street).

Each of the design elements that differ from the underlying Regulations for a Medical Office and General Building Type in the MX-1 is highlighted in red text in the zoning table at Tab 7. With the exception of those few standards, Root Center's proposed design meets the majority of the bulk standards applicable to a Medical Office / General Building Type in the MX-1 district.

Using the New Britain clinic as a model, Root Center's design team has drafted the conceptual site plan and elevations attached here at Tab 6. The proposed design complies in full with the Regulations, including the proposed text amendment.

When asked to describe the design of the building, Root Center's consulting architect, Ted Cutler, has provided this narrative:

The proposed building represents Root's groundbreaking new paradigm in addiction treatment, with modern clinical functions blended with open and daylight group and individual counseling spaces for an inviting yet safe environment for patients and professional staff alike. All clinical operations reside on a single floor to meet medical programmatic requirements and ensure well-monitored care and service flow. To integrate with the contextual neighborhood scale and spirit of the form-based code, a clerestory is added to the single story design at the

corner of Lafayette Street and Grand Street. This provides the appeal of a second floor, while effectively screening rooftop equipment and allowing an abundance of daylight from vaulted ceilings into the ground floor common spaces below. While the main entrance resides at the patron lot behind, the street-facing facades integrate small entry courts to breakdown the massing and allow the building to adapt to potential functional change in the future. The exterior materials blend clear glass and horizontal shiplap metal siding of neutral tones and woodgrain finish - providing a warm backdrop for the Root Center brand.

As noted above, the applicant will return to the Commission with an application for special permit and site plan approval for the proposed Clinic on the subject property if the proposed text amendment is approved.

We appreciate the opportunity to present this application to the Commission at its earliest possible meeting. Thank you.

Very truly yours,



Andrea L. Gomes

Attachments

cc: Steven Zuckerman (w/ att.)
Ted Cutler (w/ att.)
James Cassidy (w/ att.)

3

ROOT CENTER FOR ADVANCED RECOVERY

Who we are:

Root Center for Advanced Recovery (a trade name of Hartford Dispensary) is a private, non-profit, health care agency providing behavioral health treatment and prevention services to eligible and appropriate persons. Originally established in 1871 as an outpatient medical/dental clinic, the Hartford Dispensary changed its focus in 1971 to substance use and mental health services in response to the economic and medical problems associated with opioid dependence in the greater Hartford community.

Root Center for Advanced Recovery seeks to provide clients with prompt, effective, quality care that will assist them in their efforts to achieve their goals.

Our Mission Statement “Compassionate, comprehensive care for sustained recovery”

Our Values: **Honor the power in everyone. Renew ourselves to share our strengths.
Embrace new perspectives. Progress is the destination.**

What we do:

Root Center is the largest provider and most well-known for our work with Medication Assisted Treatment (MAT) for Substance Use Disorders, specifically Opioid Use Disorders. Our primary service is Methadone Maintenance; however, we offer additional services for substance use as well as treatment and therapy related to mental health. Some of these include outpatient individual and group therapy. We have a team of staff which include physicians, licensed counselors, and nurses who work together to treat the whole person. We work with teens and adults on any behavioral health need on an outpatient basis.

Hours of Operation:

Monday – Friday from 5:30am to 8:30pm

Saturdays from 6:00am to 9:00am

Methadone Maintenance clients are required to be present depending on the individual and the circumstances. One might be permitted to manage doses offsite and visit the clinic less frequently, as treatment continues and progress attained, and others may need to present daily to receive their dose of medication. Each person works with a physician, nurse, and counselor to improve their overall condition.

Intensive Outpatient Program is group talk therapy which meets 3-5 days a week for 3 hours a day. These counseling sessions are led by trained therapists and run from 10:30-1:30 Monday through Friday with an evening track that runs from 5:30pm to 8:30pm, mainly for working professionals. These services can be in person or virtual.

Mental Health Outpatient Program is counseling paired often with psychiatric evaluation and medication for mental health symptoms. This is often one time a week for 1 hour. These services can be in person or virtual.

Community Need:

Root Center currently serves approximately 650 clients at our Doctor's Clinic on 345 Main Street in Hartford. Oftentimes, residents are having to travel daily to receive their medication, others have earned take home bottles up

to 14 days. Empirically, we know that the longer a person must travel to receive their treatment, the greater likelihood of disengagement. Hence, why we have another clinic on Weston Street currently serving approximately 750+ clients.

According to Connecticut's Department of Public Health, 1,378 people died by an unintentional drug overdose in 2020. Predictions look to be about the same for 2021 despite numerous efforts to reduce this number. In CT, residents are more likely to die from an unintentional drug overdose than a motor vehicle accident. The majority of these deaths are linked to prescription opioid painkillers and illicit opioids.

Our intention is to provide the opportunity for Hartford residents to obtain methadone treatment services in their neighborhood. By doing such, we reduce barriers and increase the likelihood of being successful in treatment and decreasing overdose deaths. The Doctor's Clinic has grown in census and needs and is no longer conducive to the needs of the community. The facility is small and located directly on Main Street with no ability/space to queue the client lines inside. We also struggle with the safety of traffic flow of cars through the very small parking lot.

Methadone is an evidence-based treatment approach that is heavily regulated by the federal government's Drug Enforcement Agency, and SAMHSA (Substance Abuse and Mental Health Services Administration) as well as state governments, Department of Public Health and DMHAS (Department of Mental Health and Addiction Services). Methadone is proven to be effective at reducing illicit opioid use and drug overdose deaths as well at reducing infectious diseases associated with opioid use, and crime.

Methadone is a federally-regulated medication that, by law, is dispensed only by licensed treatment settings when used to treat opioid addiction. It has been studied exhaustively and many of its benefits are undisputed in the research literature. The [Centers for Disease Prevention and Control reports that the benefits of methadone maintenance therapy include:](#)

- reduced or stopped use of injection drugs;
- reduced risk of overdose and of acquiring or transmitting diseases such as HIV, hepatitis B or C, bacterial infections, endocarditis, soft tissue infections, thrombophlebitis, tuberculosis, and STDs;
- reduced mortality – the median death rate of opiate-dependent individuals in MMT is 30 percent of the rate of those not in MMT;
- possible reduction in sexual risk behaviors, although evidence on this point is conflicting;
- reduced criminal activity;
- improved family stability and employment potential; and
- improved pregnancy outcomes.

Community Collaboration

Root Center is committed to continue to be a partner in the Hartford Community. We currently operate two clinics in Hartford, one on Main Street and one on Weston Street.

Our organization has vital relationships with Hartford Healthcare, Intercommunity, St. Francis, DCF, DMHAS, and CSSD, to provide services to Hartford residents on a daily basis. Hartford Hospital has been a welcoming partner, encouraging, and a strong advocate for methadone services in Hartford and across the state, as they have recognized this as a long standing need in which immediate access is imperative. In 2020, we partnered with

Immacare to open the HARBOR (Housing and Recovery Builds Our Roots) Program. We have funded 6 specialized shelter rooms for Root Center Clients in Hartford whose recovery is supported by obtaining housing, basic needs, and other recovery supports including vocational/employment. In 2021, we partnered with the Urban League of Greater Hartford and provided a donation to support their on-going programs for youth. CEO, David Hopkins and his staff joined us in strengthening our commitment to our Diversity and Equity Committee work and eventually he joined our Board of Directors. We are financial supporters of the CT Food Bank and CCAR as well, both organizations that heavily support Hartford residents. Root Center is committed to being a good neighbor and active contributor to the needs of this town.

It is important to us that we work to reduce stigma and discrimination associated with individuals needing help to improve their lives. We understand the importance of creating a safe space that not only feels welcoming, but looks like a place anyone would be proud to enter. Root Center has high standards in terms of aesthetics, material, and ambiance not only for those who may drive by, but also for those that may decide to enter. We are committed to being an organization that is trusted and chosen by residents of Hartford to assist their most loved assets, people. Our most recent new location in New Britain is a good example of the investment we have made in designing and building state of the art, beautiful buildings that offer high quality care to individuals.

4

Proposed Amendment to Hartford Zoning Regulations

July 5, 2022

§ 3.0 (Table of Uses):

- ☒ Include “Methadone or Substance Use Rehabilitation Clinic” as new, standalone **special permit** use in MX-1, under “Service Use” category.

§ 3.3.5 (Service Uses):

- ☒ New subsection “P” (3.3.5.P) to include “Methadone or Substance Use Rehabilitation Clinic” as new service use. Proposed text:

P. Methadone or Substance Use Rehabilitation Clinic. A Methadone or Substance Use Rehabilitation Clinic is a licensed facility, with 8,250 square feet of gross floor area or less, that provides treatment for substance use disorders, which treatment may include one or more of the following: Medication Assisted Treatment; behavioral or mental health services; and wellness and community services. The term “licensed facility” shall mean a legal entity formed for the treatment of out-patients in which at least two medical professionals, licensed by the State, practice cooperatively. If the Methadone or Substance Use Rehabilitation Clinic provides Medication Assisted Treatment, it shall also be registered as an accredited opioid treatment program with the Substance Abuse and Mental Health Service Administration. Such a clinic shall not provide in-patient or residential care.

Notwithstanding Sections 3.3.5 or 4.8 of these Regulations, the following design elements are permitted for a Methadone or Substance Use Rehabilitation Clinic:

- a) **Height.** Minimum overall height shall be two stories, provided that the second story may be a clerestory, which clerestory shall not be included in the gross floor area calculation. If a clerestory is provided, the minimum height of the clerestory shall be 9 feet, including any parapet walls.
- b) **Principal entrance, location and type.** The principal entrance shall be located at the rear of a Methadone or Substance Use Rehabilitation Clinic. The entrance type shall be a Storefront Entrance, and shall be recessed a maximum of 16” deep, and maximum 16” wide. Additional Storefront Entrances are permitted along the building frontage.
- c) **Roof type.** A parapet roof is required on the upper-most story of the Methadone or Substance Use Rehabilitation Clinic.

5

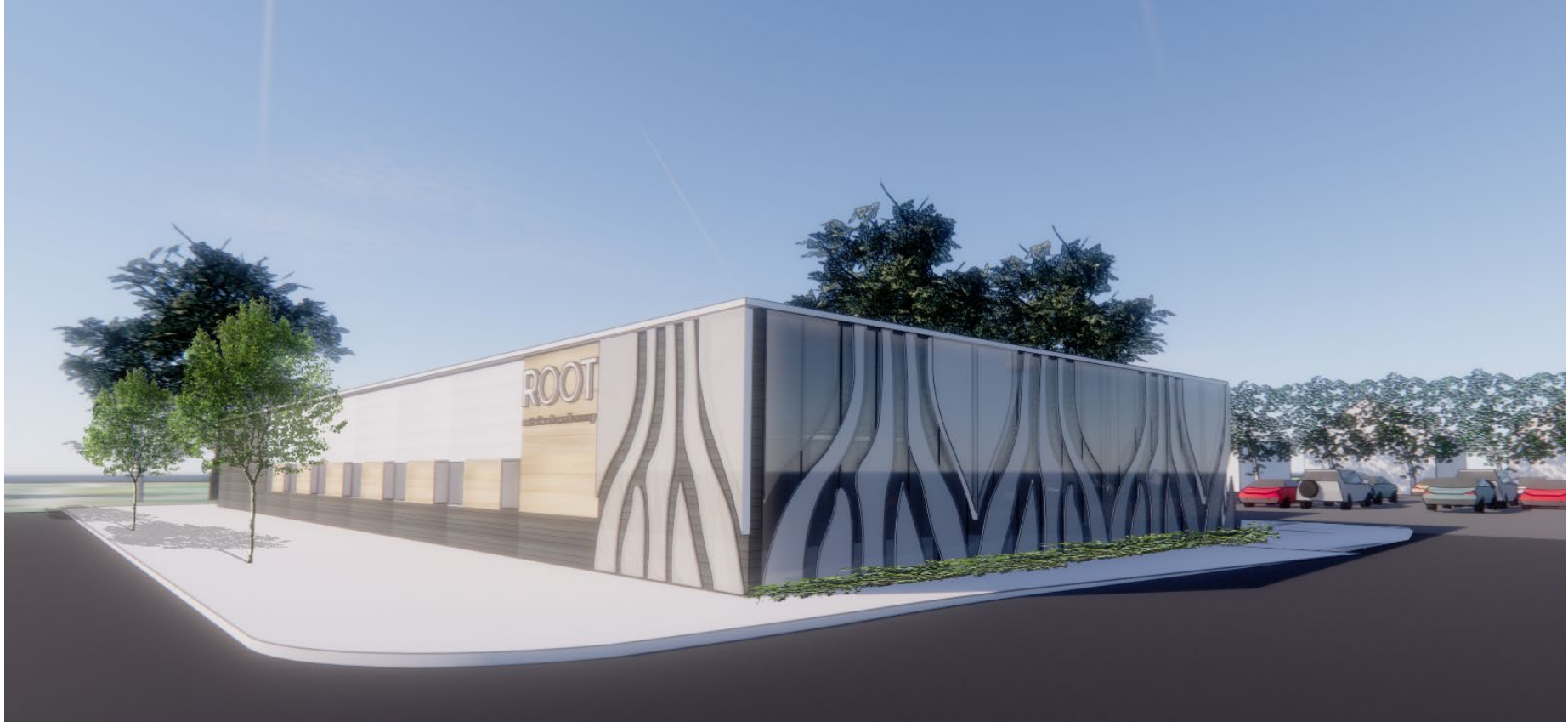
EXTERIOR VIEWS – NEW BRITAIN



▶ EXTERIOR VIEWS – NEW BRITAIN



▶ EXTERIOR VIEWS – NEW BRITAIN





EXTERIOR PHOTO – NEW BRITAIN



▶ INTERIOR PHOTOS – NEW BRITAIN



6

ROOT CENTER FOR ADVANCED RECOVERY HARTFORD HEALTH CLINIC

35, 37, 39 LAFAYETTE STREET
& 152, 156, 162 OAK STREET
HARTFORD, CT 06120



GRAND STREET VIEW - LOOKING SOUTHEAST

DRAWING LIST		
REV	Drawing Type	DRAWING TITLE
GO.00	COVER SHEET	
EX.01	EXISTING CONDITIONS SURVEY	
SP.01	PROPOSED SITE PLAN LAYOUT	
A3.01	EXTERIOR ELEVATIONS (COLOR)	
A3.02	EXTERIOR ELEVATIONS (B&W)	
A3.03	EXTERIOR 3D VIEWS	



Notice:
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© 2022 Tecton Architects | pc
Consultant

Client/ Contractor
**ROOT CENTER FOR
ADVANCED
RECOVERY**

355 BROAD ST
MANCHESTER, CT 06040

Project
**ROOT CENTER FOR
ADVANCED
RECOVERY
HARTFORD HEALTH
CLINIC**

35, 37, 39 LAFAYETTE STREET
& 152, 156, 162 OAK STREET
HARTFORD, CT 06120

Seals

Issues / Revisions		
No.	Date	Description
1	7/05/22	Zoning Text Amendment Submission

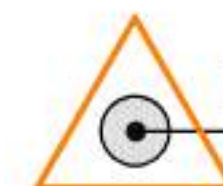
Drawing Title
COVER SHEET

Project Manager:	TC	Project No:	RCA14AR
Project Architect:		Production Leader:	SM
Project Designer:		Peer Reviewer:	

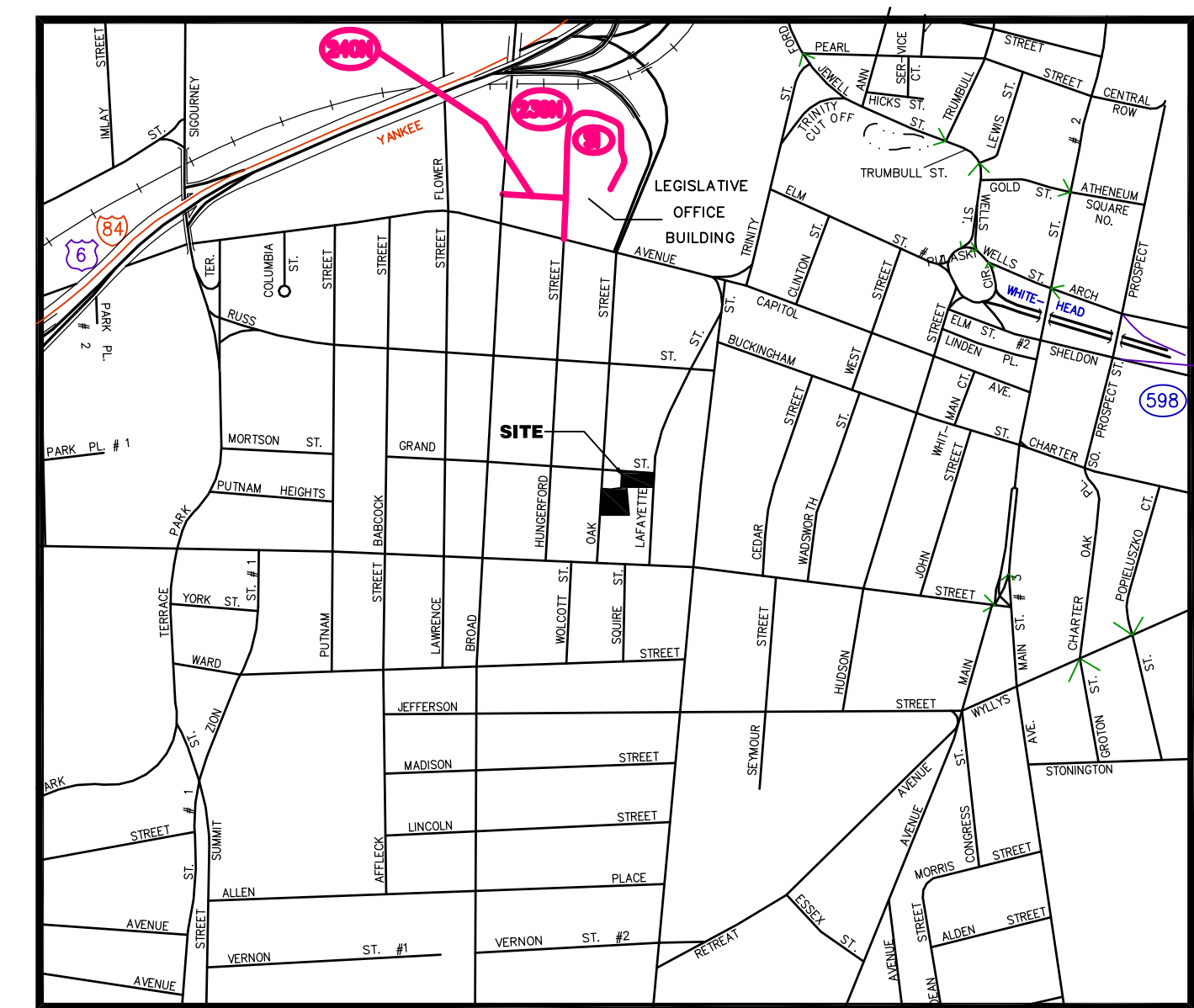
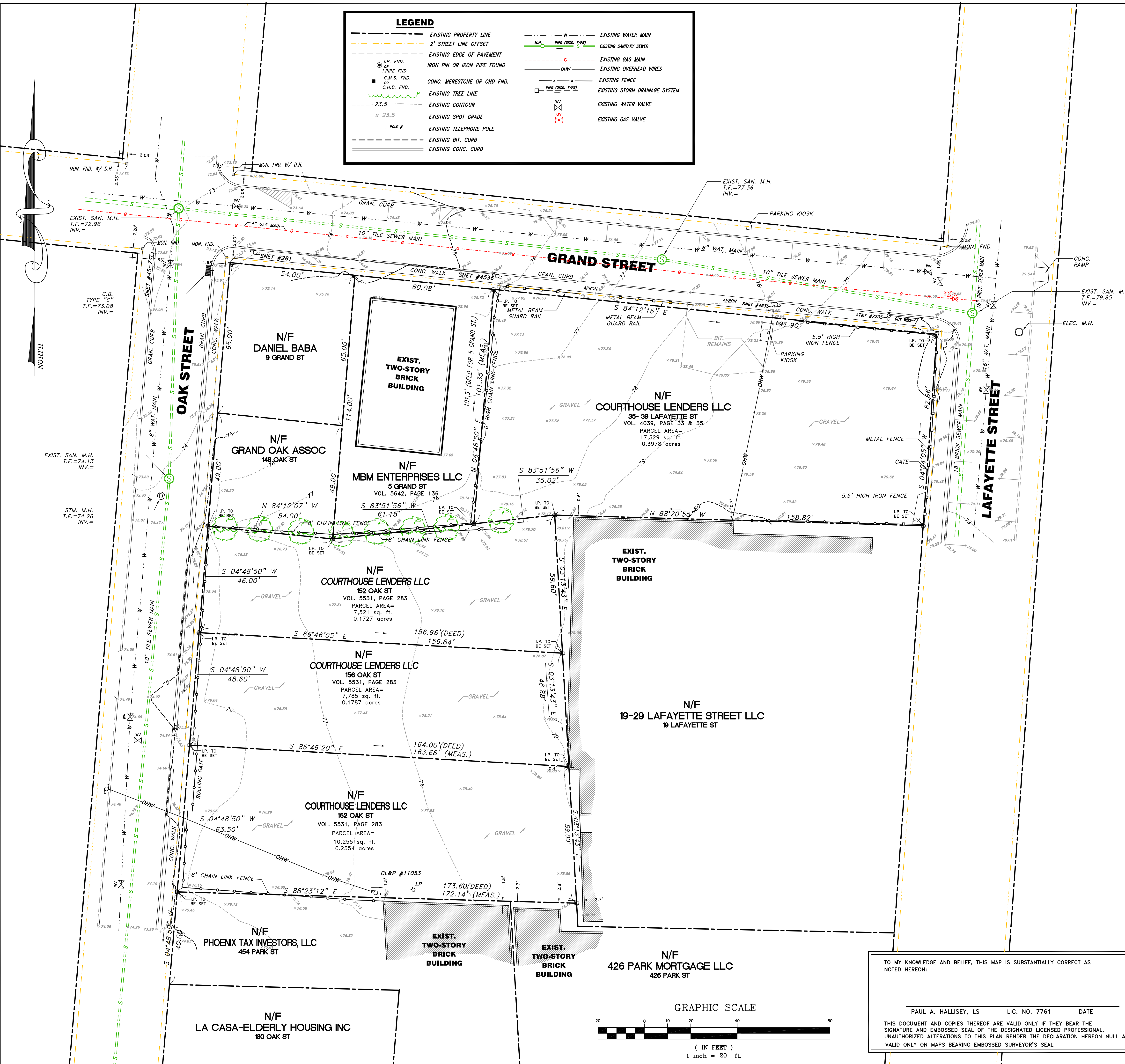
Drawing Number
GO.00

P:\Root\Rca14ar - Hartford Lafayette\02 Dvgs & Specs\01 Dvgs\01 Arch\RCA14AR - Site Test File.rvt
6/30/2022 9:34:03 AM

**TECTON
ARCHITECTS**
34 SEQUASSEN STREET
SUITE 200
HARTFORD, CT 06106



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709



LOCATION MAP
SCALE: 1" = 100'

- NOTES:**
- SURVEY NOTES:
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300B-1 through 20-300B-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type of Survey is PROPERTY/TOPOGRAPHIC
 - Boundary Determination Category is DEPENDENT RESURVEY
 - Class of Accuracy is: HOR. - "A-2", TOPO. - "T-2", VERT. - "V-2".
 - PROPERTY IS ZONED: MX-1 (MULTI USE MIX)
 - PROPERTY LIES IN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) PER F.I.R.M. COMMUNITY MAP NO. 09007C00186 PANEL 18 OF 450 DATED: AUGUST 28, 2008.
 - MAP REFERENCES:
 - A.) "PROPERTY OF GM&F REALTY ASSOCIATES, 35-39 LAFAYETTE STREET, 1&3 GRAND STREET, HARTFORD, CONNECTICUT". SCALE: 1"=10'. DATED: NOV. 24, 1986. PREPARED BY: FLYNN LAND SURVEYING ASSOCIATES.
 - B.) "CITY OF HARTFORD". SCALE: 1"=50'
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 - D.) "WATER BUREAU, THE METROPOLITAN DISTRICT, HARTFORD, CONNECTICUT OAK STREET - HTFD.". SCALE: 1"=40'. DATED: AUGUST 1968. PREPARED BY: THE METROPOLITAN DISTRICT.
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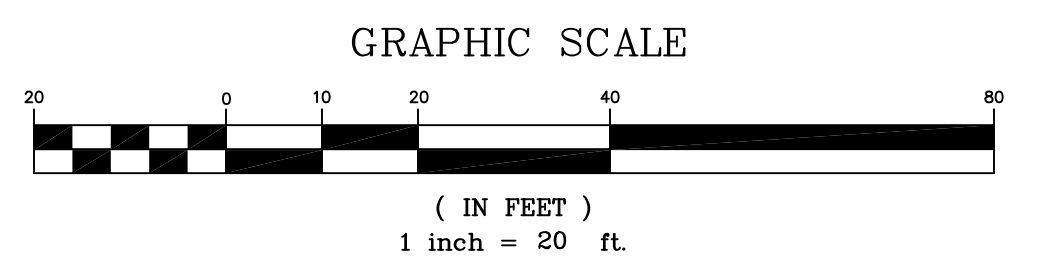
ZONING BULK TABLE
LOCATION CITY OF HARTFORD, HARTFORD COUNTY, CONNECTICUT

ZONE MX-1				
ITEM #	SEC. #	ITEM	REQUIREMENTS	PROVIDED
1	4102A(1)	Multiple Principal Buildings	not permitted	-
2	4102A(2)	Minimum Front Lot Line Coverage	not required	?
3	4102A(3)	Occupation of Corner	not required	?
4	4102A(4)	Minimum Front Setback	behind the Building Line a minimum of 5'	?
5	4102A(5)	Minimum Corner Setback	behind the Building Line a minimum of 5'	?
6	4102A(6)	Minimum Side Setback	5' 100' from residential uses	?
7	4102A(7)	Minimum Rear Setback	25' 100' from residential uses	?
8	4102A(8)	Minimum Lot Width Maximum Building Width	120' 80'	?
9	4102A(9)	Maximum Building Coverage Maximum Impervious Coverage Additional Semi-Permeable Area	30% 50% 20%	?
10	4102A(10)	Permitted Parking and Loading Locations	rear yard and limited side yards (note 2)	?
11	4102A(11)	Permitted Vehicular Access	one driveway per street frontage in MP-1 and II districts, locate only on side street.	?
B. Height				
12	4102B(12)	Minimum Overall Height	1 story	?
13	4102B(13)	Maximum Overall Height	2 story	?
14	4102B(14)	Ground Story Minimum Height Maximum Height	10' 24'	?
15	4102B(15)	Upper Story Minimum Height Maximum Height	9' 14'	?
C. Uses				
16	4102C(16)	All Stories	only one and institutional uses permitted by district	?
17	4102C(17)	Parking within Building	not permitted	?
18	4102C(18)	Entrance to Parking/Loading within Building	not applicable	?
19	4102C(19)	Required Occupied Space	minimum 5' deep on all full floors from front facade	?
D. Street Facade Requirements				
20	4102D(20)	Minimum Transparency per each Story	10%	?
21	4102D(21)	Blank Wall Limitations	required on ground story (refer to 4102B for requirements)	?
22	4102D(22)	Front Facade Entrance Type	arcade, arched	?
23	4102D(23)	Principal Entrance Location	front, corner side, or side facade	?
24	4102D(24)	Required Number of Street Entrances	no requirement	?
25	4102D(25)	Ground Story Vertical Facade Distinct	no requirement	?
26	4102D(26)	Horizontal Facade Distinct	no requirement	?
27	4102D(27)	Permitted Roof Type	parapet, pitched, flat lower, other roof types permitted with special permit	?

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

PAUL A. HALLISEY, LS LIC. NO. 7761 DATE _____

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

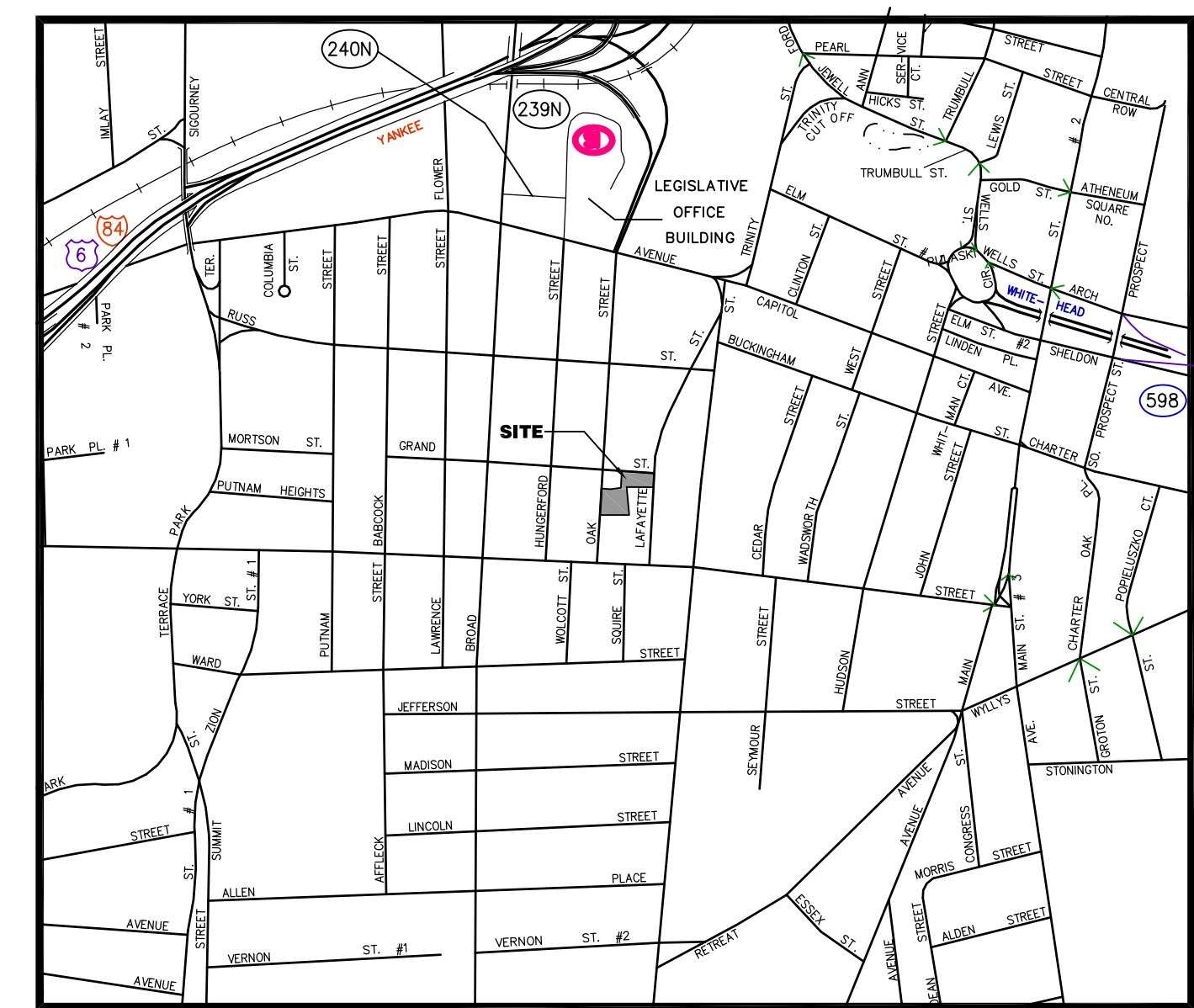


CHECKED BY: JPC
DATE: APR. 14, 2022
JOB NO.: 3331
ACAD FILE: 3331
SHEET: 1 OF 1
REVISIONS:

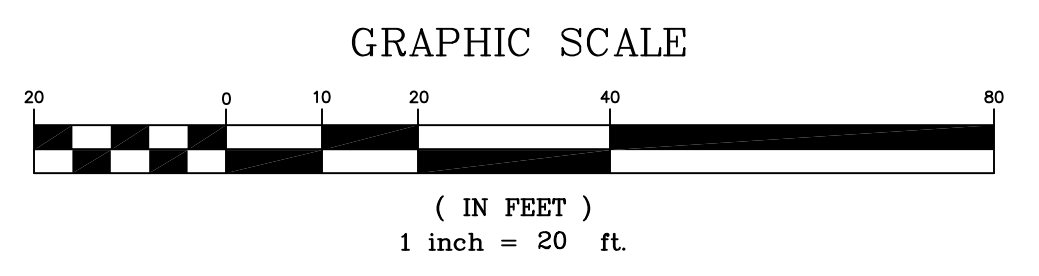
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812, FAX: (860) 721-7709

PROPERTY/TOPOGRAPHIC SURVEY
SHOWING EXISTING CONDITIONS
PREPARED FOR:
TECTOR ARCHITECTS
PROPERTY LOCATED AT:
35, 37, 39 LAFAYETTE STREET
& 152, 156, 162 OAK STREET
HARTFORD, CONNECTICUT

EX. 01



- NOTES:**
- SURVEY NOTES:
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type of Survey is PROPERTY/TOPOGRAPHIC
 - Boundary Determination Category is DEPENDENT RESURVEY
 - Class of Accuracy is: HOR.-"A-2", TOPO.-"T-2", VERT.-"V-2".
 - PROPERTY IS ZONED: MX-1 (MULTI USE MIX)
 - PROPERTY LIES IN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) PER F.I.R.M. COMMUNITY MAP NO. 09007C00180 PANEL 18 OF 450 DATED: AUGUST 28, 2008.
 - MAP REFERENCES:
 - A.) "PROPERTY OF GM&F REALTY ASSOCIATES, 35-39 LAFAYETTE STREET, 1&3 GRAND STREET, HARTFORD, CONNECTICUT", SCALE: 1"=10', DATED: NOV. 24, 1986. PREPARED BY: FLYNN LAND SURVEYING ASSOCIATES.
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PAUL A. HALLISEY, LS LIC. NO. 7761 DATE _____

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DATE: APR. 14, 2022	DRAWN BY: JMP
JOB No.: 3331	ACAD FILE: 3331
SHEET: 1	OF: 1
REVISIONS:	

HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROWELL, CONNECTICUT 06416
 PHONE: (860) 529-6812, FAX: (860) 721-7709

SCHEMATIC SITE DEVELOPMENT PLAN
 PREPARED FOR:
 TECTON ARCHITECTS
 PROPERTY LOCATED AT:
 35, 37, 39 LAFAYETTE STREET
 & 152, 156, 162 OAK STREET
 HARTFORD, CONNECTICUT

SP.01

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Client/ Contractor

ROOT CENTER FOR ADVANCED RECOVERY

355 BROAD ST
MANCHESTER, CT 06040

Project

ROOT CENTER FOR ADVANCED RECOVERY

35, 37, 39 LAFAYETTE STREET
& 152, 156, 162 OAK STREET
HARTFORD, CT 06120

Seals

PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions

No.	Date	Description
1	7/05/22	Zoning Text Amendment Submission

Drawing Title

EXTERIOR ELEVATIONS (COLOR)

June 15, 2022

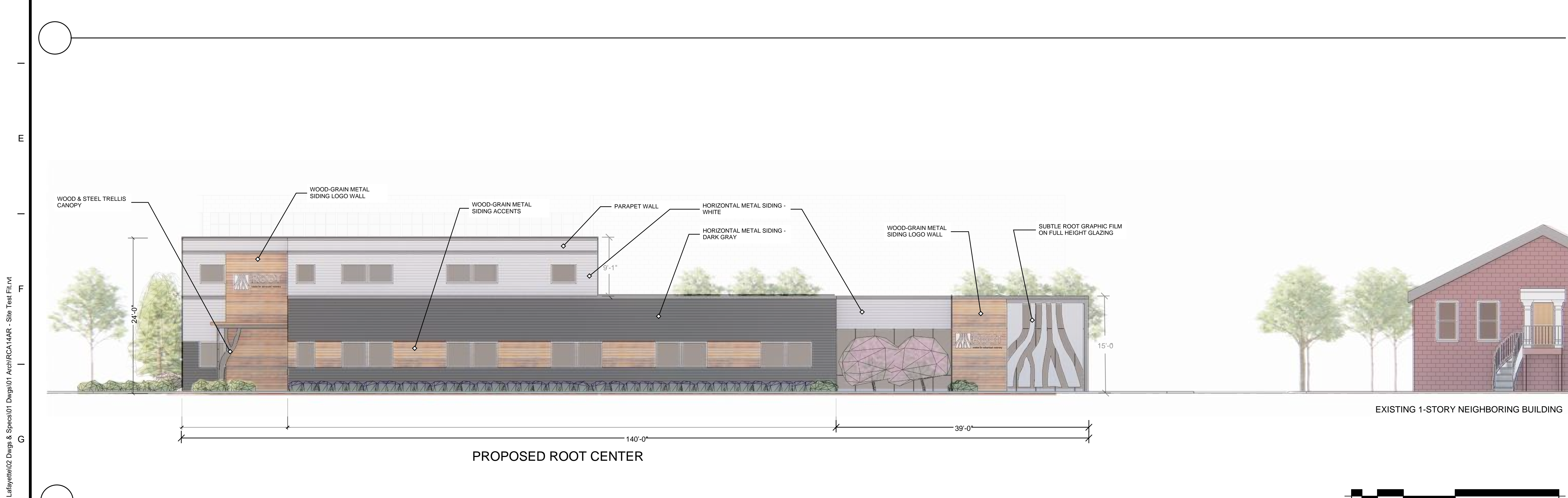
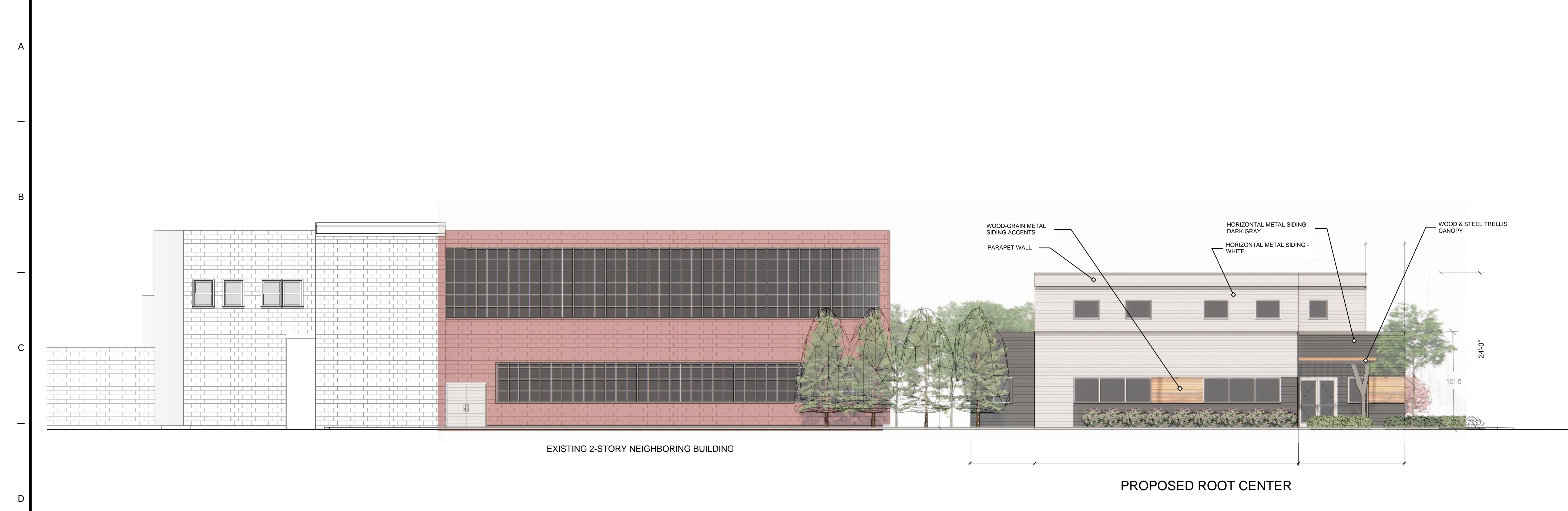
Project Manager: TC Project No: RCA14AR

Project Architect: Production Leader: SM

Project Designer: Peer Reviewer:

Drawing Number

A3.01



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Client/ Contractor

**ROOT CENTER FOR
ADVANCED
RECOVERY**
355 BROAD ST
MANCHESTER, CT 06040

Project

**ROOT CENTER FOR
ADVANCED
RECOVERY**
35, 37, 39 LAFAYETTE STREET
& 152, 156, 162 OAK STREET
HARTFORD, CT 06120

Seals

PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions

No.	Date	Description
1	7/05/22	Zoning Text Amendment Submission

Drawing Title

**EXTERIOR
ELEVATIONS
(B&W)**

Project Manager:	TC	Project No:	RCA14AR
Project Architect:		Production Leader:	SM
Project Designer:		Peer Reviewer:	

Drawing Number

A3.02

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GRAND STREET VIEW - LOOKING SOUTHEAST



CORNER AERIAL VIEW OF LAFAYETTE AND GRAND STREETS - LOOKING SOUTHWEST



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Client/ Contractor
**ROOT CENTER FOR
ADVANCED
RECOVERY**
355 BROAD ST
MANCHESTER, CT 06040

Project
**ROOT CENTER FOR
ADVANCED
RECOVERY**
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Issues / Revisions		
No.	Date	Description
1	7/05/22	Zoning Text Amendment Submission

Drawing Title
**EXTERIOR 3D
VIEWS**

Project Manager:	TC	Project No:	RCA14AR
Project Architect:		Production Leader:	SM
Project Designer:		Peer Reviewer:	

Drawing Number
A3.03

7

Lafayette Street Clinic

Root Center of Advanced Recovery

TectonArchitects | pc

RCA14AR

Printed 06/30/22

Updated 06/14/22

ZONING TABLE

SECTION	DESCRIPTION	COMMENTARY
---------	-------------	------------

Hartford Zoning Regulations (last amended Nov 6, 2016)

2.1	District	MX.1
3.0	Use	Service Use Category
3.3.5	8,000 SF gross floor area limitation	8,100 GSF provided, to ensure no exterior patient queuing while meeting interior medical programmatic requirements. The gross area includes fully enclosed mechanicals.
3.3-C	Service Use	Proposed § 3.3.5.P, Methadone or Substance Use Rehabilitation Clinic
4.0	General Building Type	Allowable per table 4.1.A
4.8.2	General Building Type Regulations - Table 4.8. A thru D	
A BUILDING SITING		
1	Multiple buildings - not allowed	1 building
2	Front lot coverage - 65% maximum	8t Lafayette: 72.25%
3	Corner location - required	Corner of Lafayette and Grand
4	Front building to zone - within 5 ft	Lafayette: 5.5' inside 15 ft building line
5	Corner building to zone - within 2 ft	Grand: 2.0' inside 9 ft building line
6	Side setback - 7.5 ft	8.0' provided
7	Rear Setback - 15 ft	32' provided
8	Min lot width - 60', Max building width - 80'	8t Lafayette: Lot 83', Building 67'
9	Max building coverage 45% Max impervious area 65% Add'l semi-pervious area 25%	Building coverage = 18.87% Impervious area (building & pavement) = 64.99% Porous paver area = 6.56%
10	Parking & Loading - rear lot	Provided at rear
11	Vehicle Access - Minimum 160 ft frontage	3 entry drives provided on combined lot with frontage on 3 streets
B HEIGHT		
12	Min overall height - 2 stories	Overall Building Height is 2 stories. 1 story is provided, with unoccupied clerestory to present appeal of a 2nd story on the corner of Lafayette and Grand, and to allow optimal daylight access. The proposed Clinic requires a well-monitored service flow on a single floor level.
13	Max overall height - 5.5 stories	No more than 5.5 stories
14	Ground story max height - 14'	14' provided
15	Upper story min height - 9'	9'-1" clerestory provided, per description in item #12 above
C Uses		
16	Ground story - service uses limited to 25% sf	100% Service Use. Compliant
17	Upper story - service and retail not allowed	Not Applicable
18	Structured parking allowed within bldg	Not Applicable
19	Entrance to parking within bldg	Not Applicable
20	Required occupied space - 30 ft deep on upper floors	Not Applicable
D Street Façade Requirements		
21	Min transparency per story - 15%	>15% provided on both Lafayette and Grand Streets (no special Ground Story transparency requirement in General Bldg Type)
22	Blank wall limitations - per 4.18.4.b	No rectangle greater than 30% of façade, or horiz. segment greater than 15' - is windowless
23	Front entrance type - Stoop or Arcade	Not applicable. Although two future entrances are provided, 16' provided
24	Storefront Entrance Type - 4.19.1-B(5)	Principal public entry is located at the rear of the building, to best foster patient privacy and safety in accordance with applicable clinical care standards.
25	Principal entry location - front or courtyard	Staff-only entrances are provided within 100' or each other - 1 on Lafayette, 1 on Grand.
26	Number of street entrances - 1 per 100 ft	Facade division provided within requirements.
27	Ground Story façade divisions - ea. 100 ft	Facade division provided within requirements.
28	Horizontal façade divisions	Parapet Roof provided on the 2nd level clerestory portion of the building
28	Permitted roof types - parapet & flat	

8

Amy Di Mauro, COO
The Hartford Dispensary d/b/a Root Center
for Advanced Recovery
335 Broad Street
Manchester, CT 06040

June 28, 2022

Ms. Josye Utick, Chair,
and Commission Members
Planning & Zoning Commission
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Mr. I Charles Mathews, Director of
Department of Development Services
Ms. Aimee Chambers, AICP, Director of
Planning
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Re: Zoning Applications of The Hartford Dispensary d/b/a Root Center for
Advanced Recovery

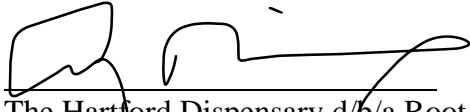
Dear Chair Utick, Commission Members, Mr. Mathews, and Ms. Chambers:

Hartford Dispensary Real Estate, Inc., an affiliate of The Hartford Dispensary d/b/a Root Center for Advanced Recovery (“Root Center”), is under contract to purchase the real property located at 35-39 Lafayette Street (Parcel ID 225-440-113), 152-154 Oak Street (Parcel ID 226-440-108), 156-158 Oak Street (Parcel ID 226-440-109), and 162-164 Oak Street (Parcel ID 226-440-110) in Hartford, Connecticut (the “Subject Property”). Root Center will be filing one or more applications with the Planning & Zoning Commission related to the development of a methadone clinic on the Subject Property.

The law firm of Hinckley Allen is our legal counsel for these applications. Root Center hereby authorizes Hinckley Allen to execute any application forms or other documents in connection with these applications, and to submit documentation pertaining to the applications on its behalf. Attorneys Timothy Hollister and Andrea Gomes of Hinckley Allen will be the primary contacts on this matter.

Thank you for your consideration concerning this matter.

Very truly yours,

By: 
The Hartford Dispensary d/b/a Root
Center for Advanced Recovery
Duly Authorized

Courthouse Lenders, LLC
1 Financial Plaza
Hartford, CT 06103

June 27, 2022

Ms. Josye Utick, Chair,
and Commission Members
Planning & Zoning Commission
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Mr. I Charles Mathews, Director of
Department of Development Services
Ms. Aimee Chambers, AICP, Director of
Planning
City of Hartford
260 Constitution Plaza
Hartford, CT 06103

Re: Zoning Applications of The Hartford Dispensary d/b/a Root Center for
Advanced Recovery

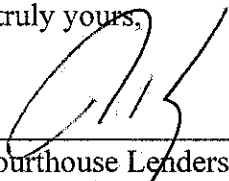
Dear Chair Utick, Commission Members, Mr. Mathews, and Ms. Chambers:

Courthouse Lenders, LLC is the owner of the real property located at 35-39 Lafayette Street (Parcel ID 225-440-113), 152-154 Oak Street (Parcel ID 226-440-108), 156-158 Oak Street (Parcel ID 226-440-109), and 162-164 Oak Street (Parcel ID 226-440-110) in Hartford, Connecticut (the "Subject Property"). Hartford Dispensary Real Estate, Inc., an affiliate of The Hartford Dispensary d/b/a Root Center for Advanced Recovery ("Root Center"), is under contract to purchase the Subject Property.

Courthouse Lenders, LLC understands that Root Center will be filing one or more applications with the Planning & Zoning Commission related to the development of a methadone clinic on the Subject Property. Courthouse Lenders, LLC authorizes Root Center, and its legal counsel at Hinckley Allen, to pursue all necessary land use applications with the City of Hartford regarding the proposed development of the Subject Property.

Thank you for your consideration concerning this matter.

Very truly yours,

By: 

Courthouse Lenders, LLC
Duly Authorized

9

RESUMES



TED CUTLER, AIA, LEED AP

CEO, PRINCIPAL-IN-CHARGE

Ted began his architecture career with Tecton in 1994. His role and responsibility grew with expanding opportunities and he was appointed CEO in 2011. The perspective approach, instilling a commitment to developing internal talent and identifying complex and time sensitive projects, with an eye on team composition, consistent communication and overall team performance.

EDUCATION

Pennsylvania State University
Bachelor of Arts and
Bachelor of Science in Architecture

Harvard Business School
High Potential Leadership Program

REGISTRATIONS

Registered Architect
in Connecticut, Massachusetts,
New Hampshire, New York,
New Jersey, Maryland,
Pennsylvania and Florida

National Council of Architectural
Registration Boards (NCARB)

LEED Accredited Professional

AFFILIATIONS

American Institute
of Architects (AIA)

Chairman of the Board
Nutmeg Big Brothers/Big Sisters

Connecticut Business &
Industry Association (CBIA)

Connecticut Health Council

Construction Institute
Visionaries Forum

MetroHartford Alliance

Southern New England Chapter
of the LEAN Construction Institute

US Green Building Council

RELEVANT PROJECT EXPERIENCE

- Root Center for Advanced Recovery | New Health Clinic | New Britain, CT
- Root Center for Advanced Recovery | Health Clinic Renovations | Middletown, Manchester, Hartford, New London, Bristol, CT
- Hartford Hospital | Center for Education, Simulation and Innovation | Hartford, CT
- Hartford Healthcare | Multiple locations
- Wheeler Clinic | Integrated Integrated Medicine/Behavioral Health Center | Hartford, CT
- Wheeler Clinic | Integrated Integrated Medicine/Behavioral Health Center | Waterbury, CT
- Wheeler Clinic | Integrated Integrated Medicine/Behavioral Health Center | New Britain, CT
- Wheeler Clinic | Integrated Integrated Medicine/Behavioral Health Center | Plainville, CT
- DWWDWHRHHDOWKBLWWRORJZDESULQJHOGO
- DWWDWHRQHHU2DOOH/LIHELHQEHV,QVWLWXWH9/SULQJHOGO
- DWWDWHRHHDOWKQLPDO&DUHJDFLOLW&JLSULQJHOGO
- Eversource Energy | Service Center Renovations | Hartford, Berlin and Meriden, CT
- Rogers Corporation | US Research & Development Manufacturing Headquarters | Rogers, CT
- Arburg International | Sales and Service Center | Rocky Hill, CT
- Chemtura Research Center | Naugatuck, CT
- WDWHRIRRQQHEWLFXW&RQVROLGDWLRQRIRYHUQPHQWQIEHV#DUWIRUG&
- Emhart Glass | Research & Development Manufacturing Locations | CT, FL and NY
- King Industries | New Campus Master Plan and Manufacturing Buildings | Waterbury, CT
- Pitney Bowes Global Technology Center | Danbury, CT
- Pratt & Whitney | Center for Quality and Process Engineering | East Hartford, CT
- State of Connecticut | Forensic Science Laboratory Meriden, CT
- Trumpf, Inc. | US Manufacturing Headquarters | Farmington, CT

RESUMES



PAUL TIRRELL

ASSOCIATE PRINCIPAL, SENIOR PROJECT MANAGER

Paul has worked with Tecton for more than 40 years and currently leads many projects. His extensive experience are key elements when serving as a liaison between the owner, general contractor and architect. His experience in design, document review, coordination, product research, budget review/conformance, existing condition review, building surveys and cost estimate compilation provide a tremendous resource to Tecton and clients alike.

EDUCATION

Porter School of Design
Associate of Science in Architecture

AFFILIATIONS

Porter & Chester Institute
Program Advisor

Construction Institute

Birch Grove School
Building Committee

Tolland, CT

RELEVANT PROJECT EXPERIENCE

- Root Center for Advanced Recovery | New Health Clinic | New Britain, CT
- Root Center for Advanced Recovery | Health Clinic Renovations | Middletown, Manchester, Hartford, New London, Bristol, CT
- Middlesex Hospital | Behavioral Health Emergency Department | Middletown, CT
- Middlesex Hospital | Integrated Medicine | Middletown, CT
- Middlesex Hospital | Occupational Therapy Renovation | Madison, CT
- DaVita Dialysis Centers | 400+ Locations throughout the Northeast/Mid-Atlantic
- U.S. Renal Care | Dialysis Centers | Multiple Locations
- Groups - Recover Together | Life Safety Assessments | Multiple Locations
- State of Connecticut | Forensic Science Laboratory | Meriden, CT
- Bond Vet | New Clinics | Multiple Locations
- Genesis Health Ventures | Multiple Locations
- Health Bridge | Milford, CT
- Athena Healthcare | Multiple Locations

HIGHLIGHTED PROJECTS

Capitol Region Education Council
Progress Drive Wethersfield, CT
James P. Cassidy, Project Engineer (done under Hallisey & Herbert)

This project involved land surveying and site/civil design for a new 18,000 square foot school for hearing impaired children.

The site design of this project consisted of parking lots and pedestrian walkways to service the new building, a playground area and a landscaped buffer to provide a natural transition between a sensitive abutting residential neighborhood and the school. Mr. Cassidy was responsible for all aspects of this project from its conception through municipal approval and construction.

Corpus Christie Church and School
Silas Deane Highway Wethersfield, CT
James P. Cassidy & Lloyd A. Pearson

This project involved the land surveying and construction surveying services for a new addition to the existing school on this site.

First School Society (Village Cemetery)
Main Street Wethersfield, CT
Paul A. Hallisey, Project Engineer

This project involved continuing surveying services and preparation of plans and civil design for cemetery expansions. Mr. Hallisey has been a member of the First School Society of Wethersfield, the governing body of the Village Cemetery for the past 25 years.

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This project included surveying and civil/site design to renovate a security entrance and compliance with ADA regulations.

Fernridge Park
Fern Road, West Hartford
James P. Cassidy, Project Engineer

This project included surveying and civil/site design for compliance with ADA regulations.

Lenard Farm Estates
Willow Street
Wethersfield, CT
James P. Cassidy, Project Engineer

This project consisted of the design of a 21-lot residential subdivision.

The subdivision involved the design of 3 new municipal roads, totaling approximately 1,200 feet in length, and utilities within the roadway, storm drainage design and improvement on and off-site and permitting from municipal agencies.

Wethersfield Country Club
Country Club Road
Wethersfield, CT
James P. Cassidy, Project Engineer

This project consisted of the civil design of new Pro Shop Patio area, golf cart path improvements and parking area.

Wethersfield high School
Wolcott Hill Road
Wethersfield, CT
James P. Cassidy, Project Engineer

This project involved the site planning and design of new dugouts and an athletic equipment storage building within the existing athletic fields.

Theresa A. Rook Retirement Community
Timber Hill Road
Cromwell, CT
James P. Cassidy, Project Engineer

This project involved the site design and permitting for a new 64-unit retirement community on a 16 acre hilltop site. A complex network of detention basins were designed as part of this project to eliminate existing drainage problems. In addition to the detention basin system, a significant off-site storm drainage system was designed to convey storm water from the site to a nearby brook.

HIGHLIGHTED MUNICIPAL & FEDERAL PROJECTS

Clarkstown Police Facility
Clarkstown, NY
Services performed: construction surveying

Connecticut Department of Correction- Complex -Z, Firing Range
Cheshire, CT
Services performed: construction surveying

Enfield Road 2000 Program
Enfield, CT
Services performed: construction surveying

Hartford Police Station
Hartford, CT
Services performed: construction surveying

Groton-New London Airport
Groton, CT
Services performed: site planning and survey for new building

Hartford Post Office
Hartford, CT
Services performed: site planning and survey for additions

Springdale Station Post Office
Stamford, CT
Services performed: construction surveying

HIGHLIGHTED HOSPITAL PROJECTS

St. Francis Hospital & Medical Center

Hartford, CT

Services performed: land & construction surveying and site planning

Bristol Medical Center

Bristol, CT

Services performed: construction surveying

UConn Medical Center

Farmington, CT

Services performed: land & construction surveying and site planning

Greenwich Hospital Cancer Center

Greenwich, CT

Services performed: construction surveying

CLIENT REFERENCE LIST

Drisdelle Homes LLC
915 Silas Deane Highway
Wethersfield, CT 06109
Phone: (860) 563-6020
Contact: Ron Drisdelle

Shepard Steel Company
110 Meadow Street
Hartford, CT 06114
Phone: (860) 250-6288
Contact: Dan Moyal

Lawlor Builders Inc.
114 Peria Drive
Rocky Hill, CT 06067
Phone: (860) 257-1180
Contact: Tim Lawlor

Ralph Camputaro & Son Excavating, Inc.
1 Enterprise Drive
North Branford, CT 06471
Phone: (203) 668-4574
Contact: Nick Miano

C.S. Margison, Inc.
28 Round Hill Road
Farmington, CT 06032
Phone: (860) 676-0604
Contact: Doug Margison

Berlin Steel Construction Company
76 Depot Road
Kensington, CT 06037
Phone: (860) 798-6512
Contact: Steve Rich

New England Retail Properties, Inc.
150 Hartford Avenue
Wethersfield, CT 06109
Phone: (860) 529-9000
Contact: Matthew Halprin

Town of Cromwell
Engineering Department
41 West Street
Cromwell, CT 06416
Phone: (860) 632-3420
Contact: Jon Harriman, P.E.

Engineering Department
761 Old Main Street
Rocky Hill, CT 06067
Phone: (860) 258-2766
Contact: Stephen Sopolak, P.E.

Dimeo Construction Company
700 State Street Suite 101
New Haven, CT 06511
Phone: (203) 464-9116
Contact: Greg Manzolino

M.T. Ford Industries, Inc.
645 Main Street
Somers, CT 06071
Phone: (860) 281-3991
Contact: Hector Andrade

Executive Auto Group, Inc.
1180 North Colony Road
Wallingford, CT 06492
Phone: (866) 660-1498
Contact: John L. Orsini

Tomasso Brothers, Inc.
1 Liberty Square
New Britain, CT 06051
Phone: (860) 224-9977
Contact: Leo Gagne