

DDS- Planning & Zoning: Plan Review Application



Submission date: **3 September 2022, 1:53PM**
Receipt number: **971**
Related form version: **2**

Application Type

Check all that apply: **Special Permit**

Property Information

Property Address: **1390 PARK ST HARTFORD CT 06106 No coordinates found**
Zoning District: **DT-3 CX-2**
Parcel ID: **158-403-077**
Property Owner: **PKV LLC**
Address of Property Owner: **2074 PARK ST HARTFORD CT 06106**
Email: **n.sweeney@lifecaredesign.com**

Applicant

Name of Applicant: **Lifecare Design Inc.**
File Date: **09/03/2022**
Address: **1429 Park St Hartford CT 06106 No coordinates found**
Phone: **860-726-4672**

Email:

n.sweeney@lifecaredesign.com

Primary Point of Contact

Name:

Natalie Sweeney

Phone:

860-726-4672 m:203-448-7390

Email

n.sweeney@lifecaredesign.com

Project Narrative

Please describe your application action(s) and provide **resubmit** as much detail as possible. Attach additional pages if necessary:

Zoning Map Change Application

Proposed Zone:

Describe the existing use of land and buildings in the zone change area:

Reason for this request:

Zoning Appeal Application

Are you an aggrieved party?

Permit or Violation Number:

State your reason for appealing the decision of the administrator or enforcement officer:

Variance Application

Please state the particular hardship* or unnecessary difficulty that prompts this application and the site the section of the zoning regulations that you are seeking relief from:

Subdivision Application

Number of lots to be created:

Area of each lot in square feet:

Street frontage of each of the new lots in feet:

Lot Combination Application

Addresses of lots to be combined

Map/Block/Lot for each property to be combined:

Liquor Permit Application

Please upload a copy of your State of CT Liquor Permit below.

Sign Permit Application

1. Is this sign proposed outside of the building line?

Maximum extension from building line:

2. Is this sign proposed outside of the street line?

Maximum extension from the Street line

3. Is the sign luminated?

4. Engineer Name (if any):

Phone:

Address:

5. Minimum distance from lowest point to the sidewalk:

6. Maximum height of sign from lowest point of established grade:

7. Distance from the nearest outdoor sign:

8. Square feet of surface for one face of the sign:

9. Wording of the sign (include all words):

Description of work (upload additional files if necessary)

Upload any supporting materials below.

[sps narrative 9-2-2022.pdf](#)

[FINAL SPR REV 9-2-2022.pdf](#)

Signatures

Signature of Applicant



[Link to signature](#)

Printed Name of Applicant:

Ntalie Sweeney

Date:

09/03/2022

If you are not the property owner, you must attach a Letter of Authorization from the property owner to apply.

Letter of Authorization from Property Owner

[site plan Review Authorization - 1390.pdf](#)

Date:

09/03/2022

1390 -1400 Park Street, LLC



February 1, 2022

Historic Review Commission
Development Services
260 Constitution Plaza
Hartford, CT 06103

To Whom It May Concern:

Please accept this letter as authorization for Natalie Sweeney and/or Hermann Cartes-Barrios of Lifecare Design to submit the project at 1390 Park Street, Hartford for Site Plan Review on my behalf.

Please contact me with any questions at (860) 796-8174.

Thank you.

Sincerely,



Carlos Mouta



Parkville Market Campus

1390-1420 Park Street, Hartford CT 06106

Special Permit Submission

July, 29th 2022



LIFECARE DESIGN INC.

1429 Park St. Ste 201
Hartford, CT 06106

The Parkville Market Campus is now entering its second phase of construction with minor changes to the original vision of uses (listed on the attached traffic study). A brewery is still being offered at the 1420 Park building and the Market will still be expanded with food vendors and extra dining in the middle portion of 1390 Park. Vendors will be on the upper level with a small amount of seating and the lower level will have a large dining hall with accessory bar. This dining hall will primarily accommodate the outdoor seating for when it gets cold or rains and will also be rented out to private parties or functions. The room on the north end, upper level and labeled winery in the traffic study, will be a rentable event space with roof lounge. The roof lounge will only be in service with the event, it will not function on its own. The lower level room is TBD, originally thought of as part of the Market with games to support the dining hall, it now will be used for storage until we see what would fit well with the other uses, most likely an eating venue or craftsman industrial. See Drawing A-1 and A-2.

'Food is required to be served. – Please confirm how food will be provided at all times either through a menu or confirmation that the food vendors in the market will be open and accessible to patrons of the entertainment venue.'

Menu

Food will be served at all times within the space either through a catering partner with a catering food license or through the restaurant Operators within the Market. The menu will depend on the event format, but the menus within the Market cover a wide range of appetizers, full meals and desserts, including; tacos, pizza, sandwiches, pasta, ice cream, etc. Our catering partners offer a full gamut of dining options from passed appetizer to full sit down meals.

Security plan

In our current operations, Parkville Market has security on the property every day from at least 4PM to close and the property has overnight security every night. For special events and large entertainment gatherings, we bring on additional security to support, including team members assigned to managing parking, access to the property and support with safe alcohol service and will use the same consideration in staffing private events and entertainment events at the venue, where needed. We have over 50 cameras on the property, with more being added as part of this phase.

Noise mitigation plan

Parkville Market is working with a sound engineer to install the proper acoustic and sound absorption equipment within the space.

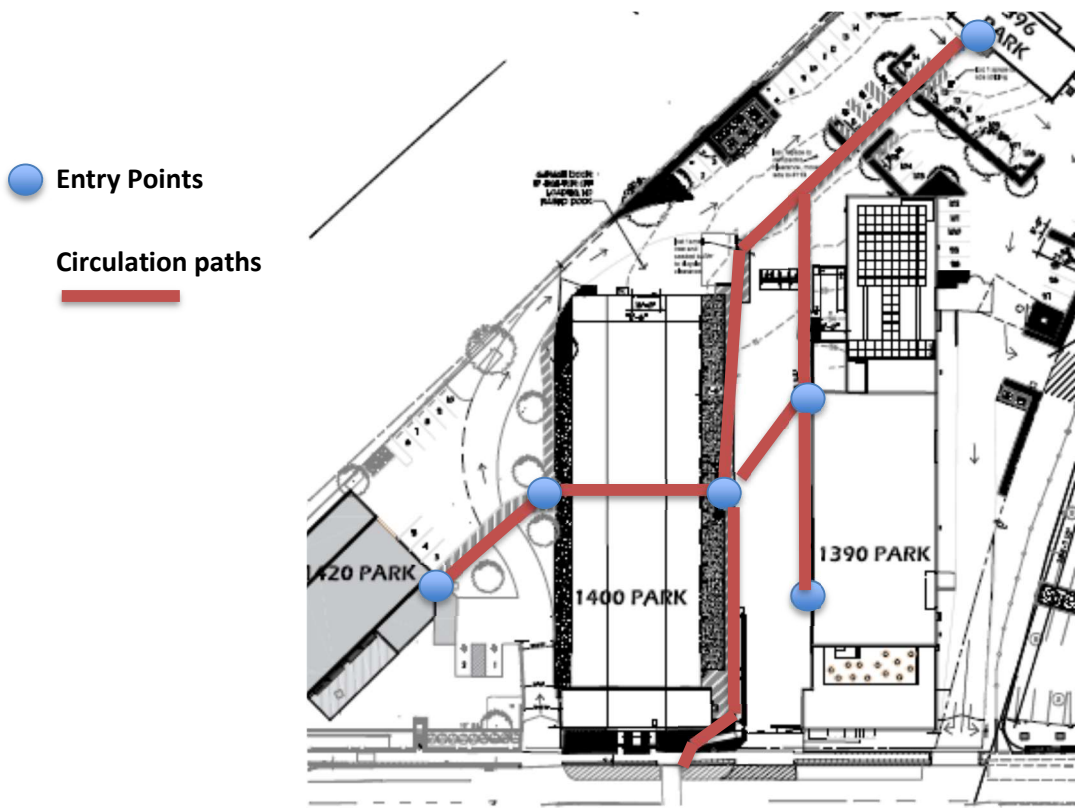
'Per Sec.1.3.4.D(2) – Special Permits shall show that they: Do not create safety hazards in the proposed vehicular and pedestrian circulation pattern; Will not seriously degrade traffic levels of service without

providing adequate mitigation measures; and provide pedestrian amenities. Please provide a transportation management analysis that determines necessary mitigations to the pedestrian, bicycle and vehicular systems on Park St and the connections to the nearby transit station. This study should include all currently proposed uses on the entire property. This may not need to be a full traffic study because the property is located in the Transit Oriented Development overlay and the focus should be on pedestrian, bicycle and transit modes, but at the least it should be an analysis by a professional that determines necessary improvements to the existing infrastructure to ensure safe conditions in light of the additional flow.

Please discuss the impact of this increase in users on the site and on the pedestrian streetscape and the connection to the nearby transit station’.

Transportation management analysis

A new Traffic Study was created by Beta Engineering for the whole campus to reflect the increase in traffic flow from additional uses at 1390 and 1396 Park. It not only considers vehicles, but pedestrian, pedestrian for mass transit and bike traffic as well. Park street has sidewalks and crosswalks to the main entrance of the campus which is the ramp located on the east side of the central building. One entrance from the street provides additional security since it aligns with the existing crosswalk and lands in the central patio. Entry/exit drives are too narrow to allow a pedestrian path. The west side of the frontage also has a steep berm/slope to navigate. Once up the ramp and in the campus, circulation from one building to the next happens through an east west direction where the central building has aligned entrance/exit doors midway through the long building on the east and west facades. A pedestrian striped path will take patrons to the Brewery at 1420 Park or they can cross the outdoor patio to the 1390 building and enter at its central entrance on the west side of this building. Striped walkways secured with bollards and sturdy concrete planters extend down from the parking to funnel people on a safe path and away from vehicular circulation. Accessible spaces tie into this path at the closest point to the building. Bicycle stalls are positioned close to the central patio so they avoid the parking area altogether.



Please confirm hours of operation of the Entertainment Assembly and Drinking Place use.

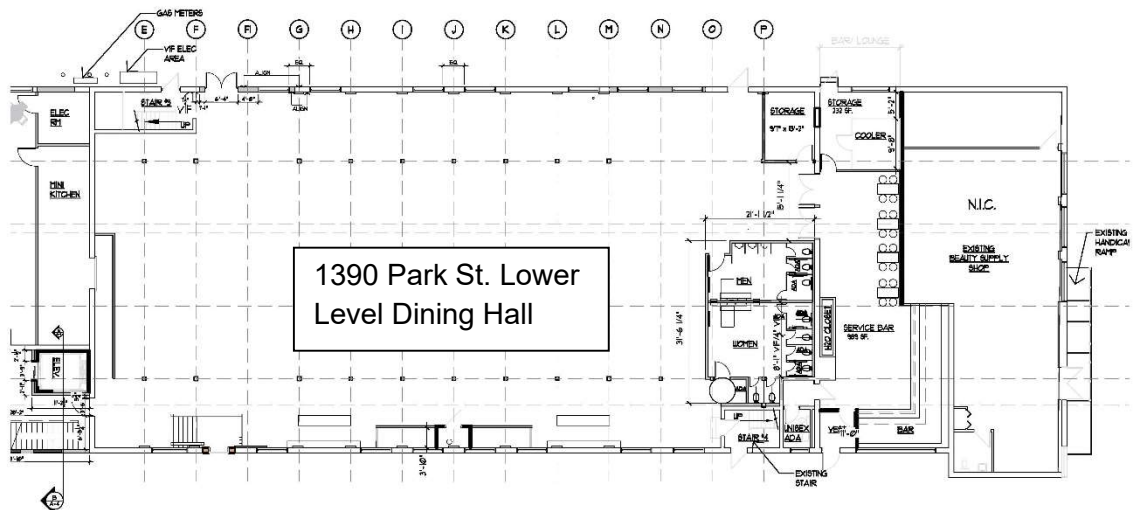
This space will primarily be in operation for the following:

- During private events, scheduled through our events team in accordance with our current property hours of operation (listed below)
- Additional seating for market patrons during colder months when our patio is closed. The Operating hours in this use case will likely be on Friday evenings, Saturdays and Sundays, when our traffic is highest.
- Entertainment events scheduled by our Events team, within the current Market operating hours.
- Current Market Operating Hours:
 - Monday: 11AM - 8PM
 - Tuesday :11AM - 10PM
 - Wednesday: 11AM - 11PM
 - Thursday: 11AM - 11PM
 - Friday: 11AM - 12AM
 - Saturday: 11AM - 12AM
 - Sunday: 11AM - 8PM

The small outdoor dining area above the first floor of 1390 will be only used for the adjacent food vendors during Market Operating hours.

The Roof Top Lounge on the north end will be used only when the room below is rented for events and will close when the event is over.

The lower level dining hall, see below, will be the first part of this expansion before the circulation tower construction starts and leads way to the upper level projects. This room will keep the existing stair, maintain ADA entrance through the bar entry and have additional bathrooms built. A stage will come later, sized for what the market can sustain. Currently, the hall will start with a temporary platform for ambient music as part of the dining hall experience.



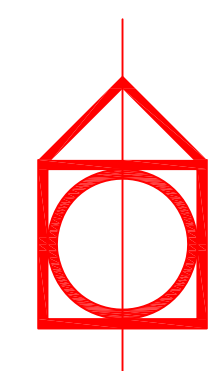
PKV, LLC
PARKVILLE MARKET
1390 PARK ST. BUILDING
ALTERATIONS
1390 Park St. Hartford, Ct. 06106

LIST OF DRAWINGS

- T-1 COVER SHEET
- SU SURVEY PLAN
- SP-1 PROPOSED SITE PLAN, ZONING INFORMATION & SITE DETAILS
- SP-2 LANDSCAPE PLAN AND SITE DETAILS CONT'D
- SP-3 PARKING PLAN, LIGHTING LAYOUT & SITE DETAILS CONT'D
- A-1 PROPOSED GROUND & 2ND FLOOR PLAN
- A-2 PROPOSED ROOF PLAN
- A-3 EXTERIOR ELEVATIONS



SITE PLAN AMENDED



LIFECARE DESIGN INC.

1429 Park Street, Ste 201, Hartford, Ct 06106 860 726-4672

NOV. 30th 2021
REV MARCH 2022

FINAL REV JUNE 5TH 2022

FINAL REV INCLUDING CANNABIS RETAILS
COMMENTS FROM 7-26-2022

FINAL REV DOJ PARKING
8-15-2022

Revisions

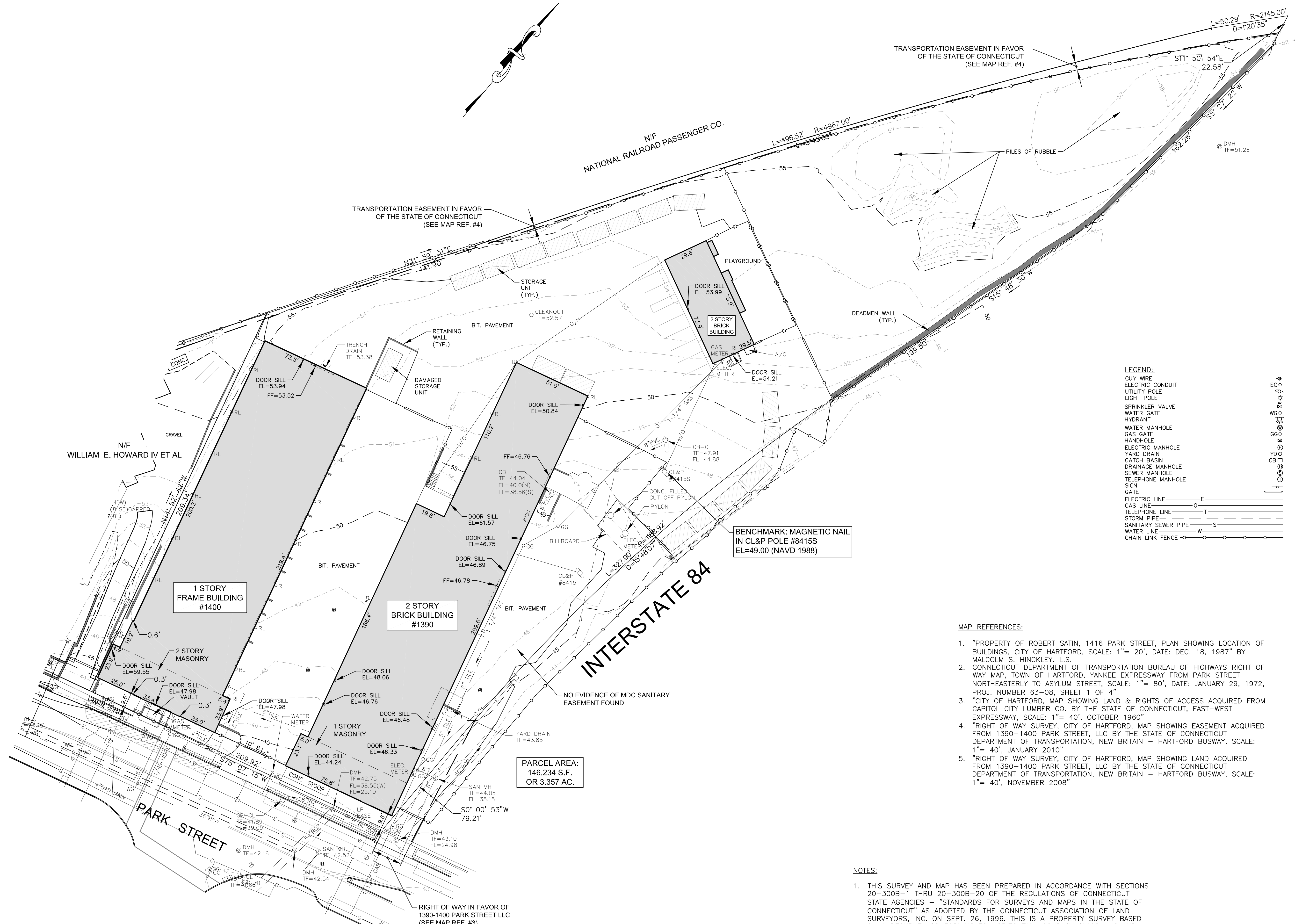
DATE	DESCRIPTION
8/6/18	8/6/18

Horizontal Datum	HORIZONTAL
Vertical Datum	VERTICAL
Compiled By	
P.C. Check By	
Designed By	
Drawn By	
Checked By	
Scale	SCALE
Date	DATE
Project No.	PROJNO
File No.	FILE#
DWG Name	DWGNAME

PROPERTY SURVEY
 PROPERTY OF
1390-1400 PARK STREET LLC
 1390-1400 PARK STREET
 HARTFORD, CONNECTICUT

Sheet	Of
3	50

The location of the underground utilities shown on this plan have been obtained from the best available sources. The actual location of these utilities should be verified in the field by the contractor. There may be other utilities not shown on these plans. Any damage made to existing utilities by the contractor shall be the sole responsibility of the contractor.



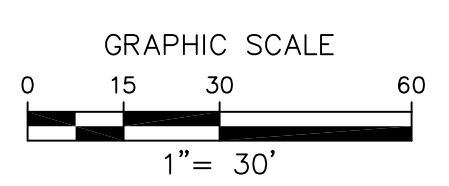
- LEGEND:**
- GUY WIRE
 - ELECTRIC CONDUIT
 - UTILITY POLE
 - LIGHT POLE
 - SPRINKLER VALVE
 - WATER GATE
 - HYDRANT
 - WATER MANHOLE
 - GAS GATE
 - HANDHOLE
 - ELECTRIC MANHOLE
 - YARD DRAIN
 - CATCH BASIN
 - DRAINAGE MANHOLE
 - SEWER MANHOLE
 - TELEPHONE MANHOLE
 - SIGN
 - GATE
 - ELECTRIC LINE
 - GAS LINE
 - TELEPHONE LINE
 - STORM PIPE
 - SANITARY SEWER PIPE
 - WATER LINE
 - CHAIN LINK FENCE

- MAP REFERENCES:**
- "PROPERTY OF ROBERT SATIN, 1416 PARK STREET, PLAN SHOWING LOCATION OF BUILDINGS, CITY OF HARTFORD, SCALE: 1" = 20', DATE: DEC. 18, 1987" BY MALCOLM S. HINCKLEY, L.S.
 - CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP, TOWN OF HARTFORD, YANKEE EXPRESSWAY FROM PARK STREET NORTHEASTERLY TO ASYLUM STREET, SCALE: 1" = 80', DATE: JANUARY 29, 1972, PROJ. NUMBER 63-08, SHEET 1 OF 4"
 - "CITY OF HARTFORD, MAP SHOWING LAND & RIGHTS OF ACCESS ACQUIRED FROM CAPITOL CITY LUMBER CO. BY THE STATE OF CONNECTICUT, EAST-WEST EXPRESSWAY, SCALE: 1" = 40', OCTOBER 1960"
 - "RIGHT OF WAY SURVEY, CITY OF HARTFORD, MAP SHOWING EASEMENT ACQUIRED FROM 1390-1400 PARK STREET, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, NEW BRITAIN - HARTFORD BUSWAY, SCALE: 1" = 40', JANUARY 2010"
 - "RIGHT OF WAY SURVEY, CITY OF HARTFORD, MAP SHOWING LAND ACQUIRED FROM 1390-1400 PARK STREET, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION, NEW BRITAIN - HARTFORD BUSWAY, SCALE: 1" = 40', NOVEMBER 2008"

- NOTES:**
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. THIS IS A PROPERTY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY T-2 AND IS INTENDED TO DEPICT THE POSITION OF BOUNDARIES WITH RESPECT TO LOCATIONS OF ALL BOUNDARY MONUMENTATION; APPARENT IMPROVEMENTS AND FEATURES; RECORD EASEMENTS AND VISIBLE EVIDENCE OF THE USE THEREOF; RECORD AND APPARENT MEANS OF INGRESS AND EGRESS; LINES OF OCCUPATION AND DEED RESTRICTIONS PERTAINING TO THE LOCATION OF BUILDINGS OR OTHER IMPROVEMENTS.
 - THIS SURVEY IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

By _____
PAUL W. HUMPHREYS, L.S.
LIC. NO. 12322



PARCEL AREA:
146,234 S.F.
OR 3.357 AC.

**BENCHMARK: MAGNETIC NAIL
IN CL&P POLE #8415S
EL=49.00 (NAVD 1988)**

**RIGHT OF WAY IN FAVOR OF
1390-1400 PARK STREET LLC
(SEE MAP REF. #3)**

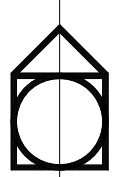
**NO EVIDENCE OF MDC SANITARY
EASEMENT FOUND**

INTERSTATE 84

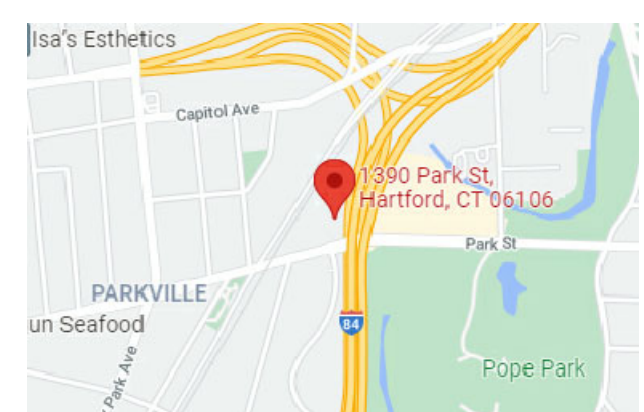
N/F
WILLIAM E. HOWARD IV ET AL

N/F
NATIONAL RAILROAD PASSENGER CO.

**1390 PARK ST
BUILDING
ALTERATIONS**
1390 PARK ST.
HARTFORD, CT 06106



LIFECARE DESIGN INC.
1429 Park St. Ste 201
Hartford Ct. 06106
architecture - planning - interior design
WWW.LIFECAREDESIGN.COM



key plan

Issue of revision	date
SITE PLAN REVIEW SUBMISSION	8/6/18
SUPERSEDED SP-1 SUBMITTED 8/18	12/20/18
REVISIONS AS PER P 4 Z COMMENTS DATED 2/1/19	2/19/19
REVISIONS AS PER ALL WASTE DUMPSTER CLEARANCE REQUIREMENTS (ELIZABETH SANDERSON)	6/7/19
REVISIONS AS PER P12 COMMENTS (ELIZABETH SANDERSON)	10/10/19
REVISIONS AS PER P12 COMMENTS (ELIZABETH SANDERSON)	11/19/19
REVISIONS AS PER NEW TENANT (ELIZABETH SANDERSON)	11/29/21
CLARIFICATIONS TO P12 COMMENTS DATED 1-10-22	6/5/22
CLARIFICATIONS TO P12 COMMENTS DATED 1-26-22	8/5/22
REV AS PER DOJ COMMENTS DATED 8-1-22	8/15/22

**PROPOSED SITE PLAN,
ZONING INFORMATION &
SITE DETAILS**

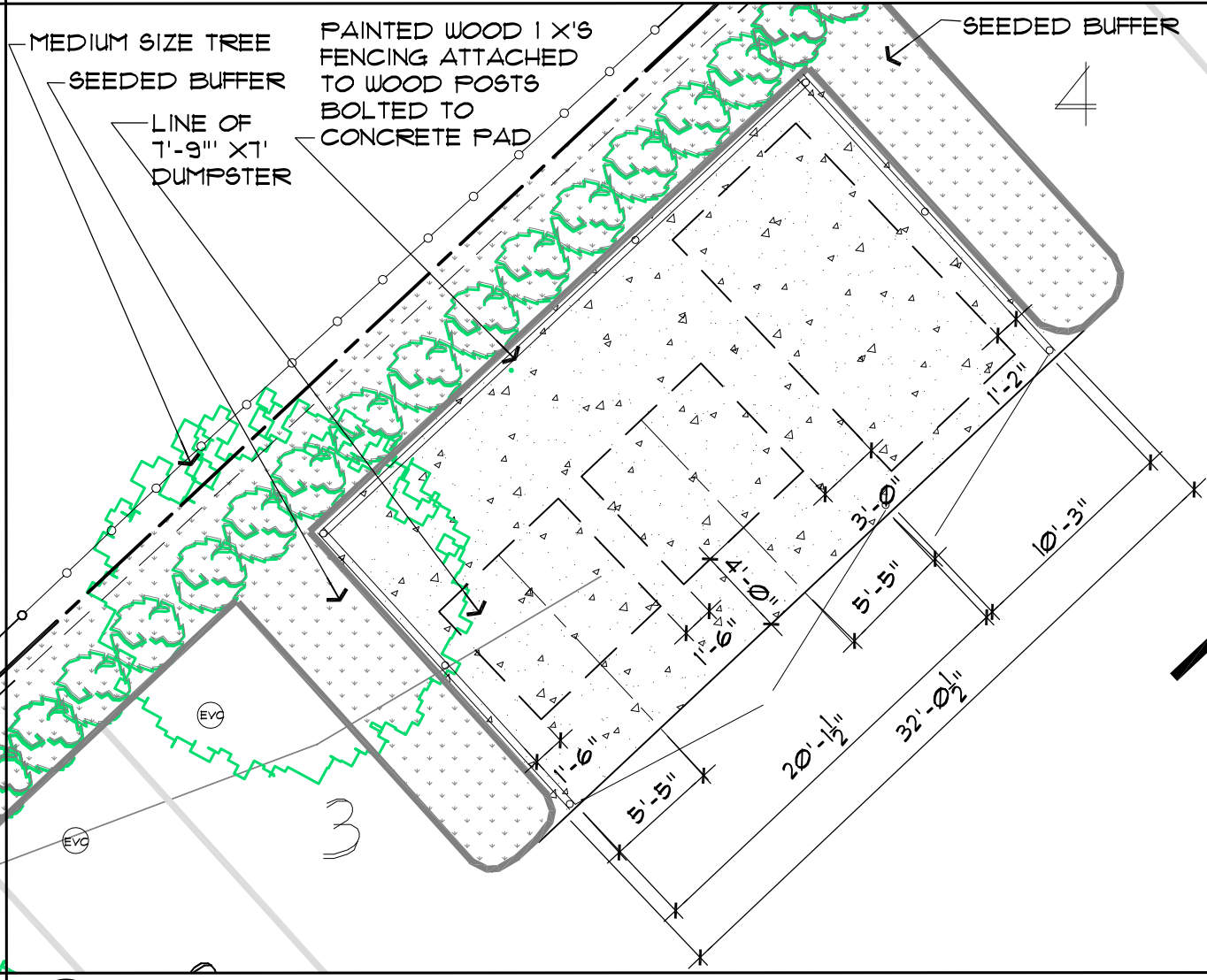
scale:	designer:
as indicated	h.c.b.
project no.:	drawn by:
21729	s.m.
date:	checked by:
11/30/2021	h.c.b.
sheet	sheet number
	SP-1
	sheet
	of X

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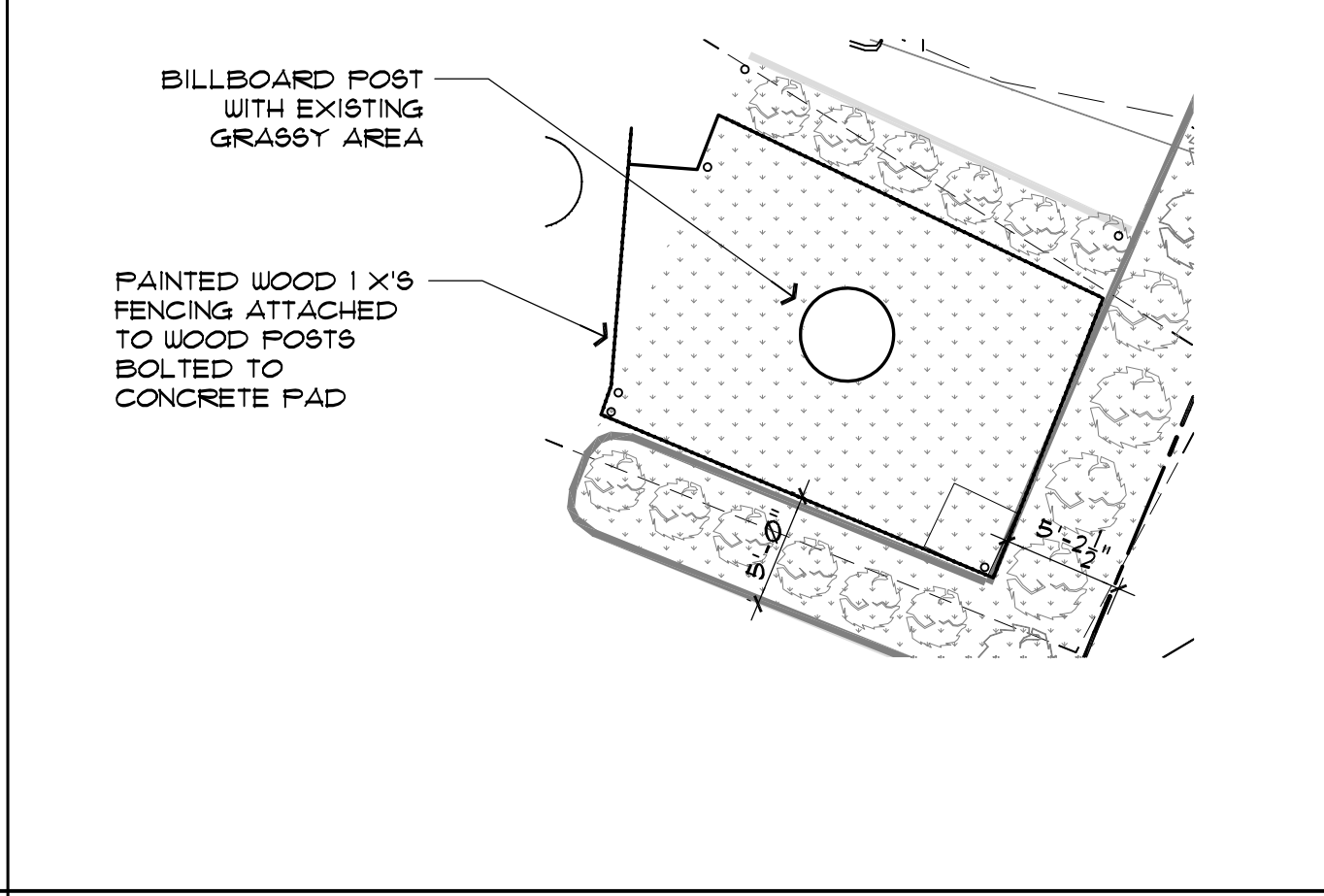
ZONE DT-3 T.O.D. OVERLAY STOREFRONT BLDG TYPE (1390 PARK) AND GENERAL BLDG TYPE (1400 PARK)

Property Address:	1390-1400 Park Street	C. Uses	
Area of Property in SF and Acres:	146,326.01 s.f. or 3.35 acres	16 Primary Street Ground Story retail, service & office category of uses permitted by district, except in DT-2 on Bushnell park frontage general retail, complies for 1390, variance accorded for 1400 park	
Length of Front Lot Line:	209.92'	17 Upper Stories any use permitted by district general retail, complies for 1390 park, variance	
Section 4.3.2			
No.	Title	Requirement (General)	Proposed
A. Building Siting			
1	Multiple Principal Buildings	permitted	18 Parking within Building permitted fully in any basement and/or in rear of upper floors NA
2	Min Front Lot Line Coverage	85%	75% variance accorded by COH 19 Entrance to Parking/Loading within Building any rear, side, or Secondary Street Facade NA
3	Occupation of Corner	NA	20 Required Occupied Space minimum 30' deep on all full floors from Primary Street facade complies
D. Street Façade Requirements			
4	Front Build-to Zone	at or maximum 5' behind the building line	At Building Line 21 Min Transparency Ground Story of Front Façade 65% 1390=65% and 1400=75%
5	Corner Build-to Zone	at or maximum 5' behind the building line	NA 22 Min Transparency Per Story 15% 1390=50% 1400=77.5%
6	Minimum Side Setback	abutting adjacent building or minimum 7.5'	0'-106' variance accorded by COH 23 Blank Wall Limits required per floor on all stories (refer to 4.18.4.B.) complies
7	Minimum Rear Setback	10'	119'-164' non-conforming lot 24 Primary Street Façade Entrance Type storefront, arcade 1390=storefront, 1400=stoop
8	Minimum Lot Width	none	24 Secondary Façade Entrance storefront, arcade, stoop stoop
8	Maximum Building Width	none	25 Principal Entrance Location Primary Street façade primary street
9	Maximum Building Coverage	90%	2.7% 26 Required # Street Entrances 1 per each 75' of Primary Street façade complies
9	Maximum Impervious Area	no limitation	90% 27 Ground Story Vertical Façade Divisions every 30' of Primary Street façade width; every 60' secondary façade existing buildings, complies
9	Add'l Semi-Pervious Area	10%	NA 28 Horizontal Façade Divisions required within 3' of the top of the ground story and 5th floor above the existing buildings, complies
10	Parking/Loading Locations	rear yard or internal to building (refer to 4.3.2.C.)	Rear 29 Permitted Roof Types parapet, pitched, flat, tower parapets
11	Permitted Vehicular Access	one driveway off each abutting secondary street; no secondary street left to zoning administrator	Front
B. Height			
12	Minimum Overall Height	2 stories and 40'	2 stories variance for 40' accorded by COH
13	Maximum Overall Height	8 stories; 5 stories on lower Main Street	2 stories
14	Ground Story Min Height	14'	10'
14	Ground Story Max Height	24'	21'
15	Upper Stories Min Height	9'	9'
15	Upper Stories Max Height	14'	14'

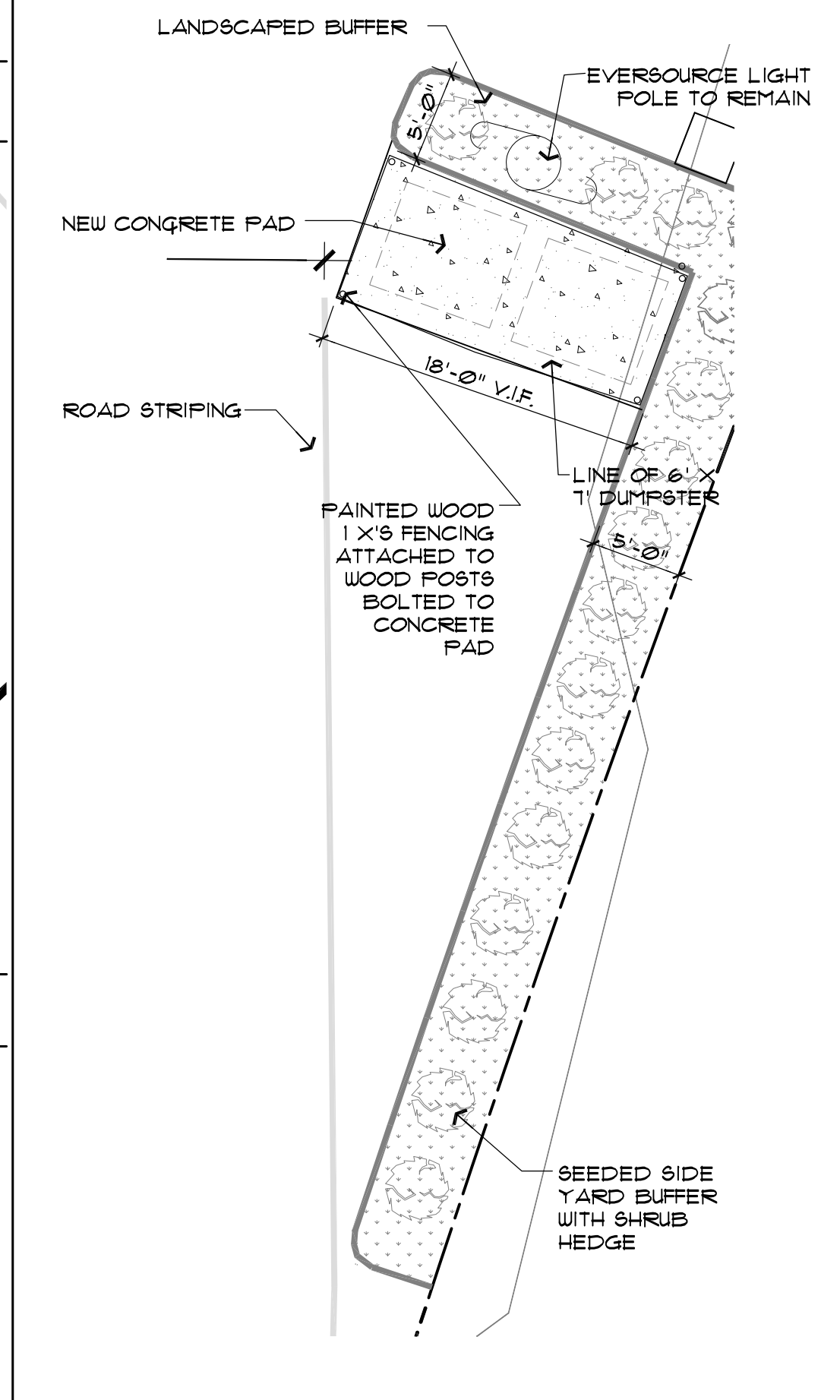
2 ZONING INFORMATION



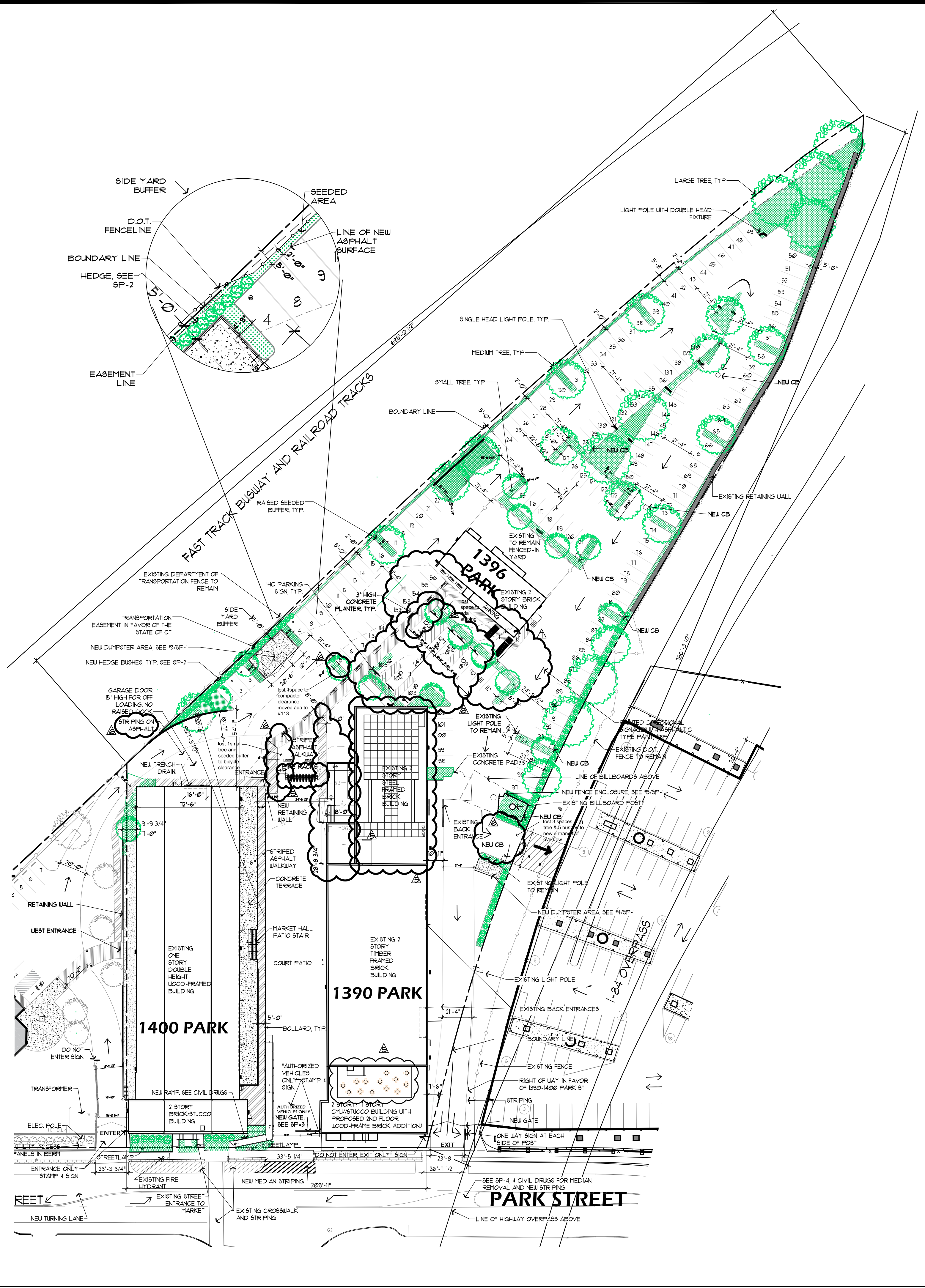
3 EXIST. DUMPSTER ENCLOSURE 1400 PARK
SCALE: 1/8"=1'-0"



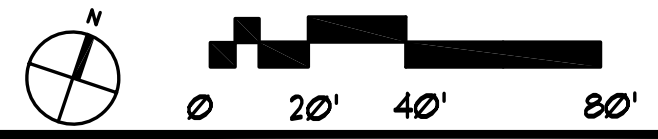
5 EXIST. BILLBOARD POST FENCE ENCLOSURE
SCALE: 1/8"=1'-0"



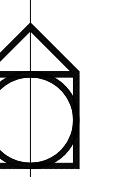
4 EXIST. DUMPSTER ENCLOSURE 1390 PARK
SCALE: 1/8"=1'-0"



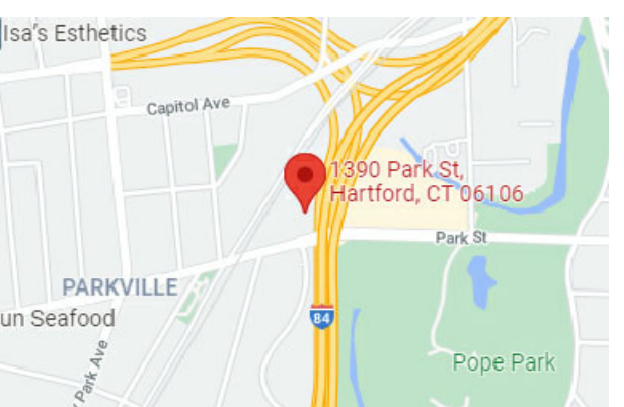
1 PROPOSED SITE PLAN & ZONING INFORMATION
SCALE: 1"=40'-0"



1390 PARK ST
BUILDING
ALTERATIONS
1390 PARK ST.
HARTFORD, CT 06106



LIFECARE DESIGN INC.
1429 Park St. Ste 201
Hartford Ct. 06106
architecture - planning - interior design
WWW.LIFECAREDESIGN.COM



key plan

issue or revision	date
SITE PLAN REVIEW SUBMISSION	8/6/18
SUPERSEDES SP-1 SUBMITTED 8/18	12/20/18
REVISIONS AS PER P 4 Z COMMENTS DATED 2/18	2/19/19
REVISIONS AS PER ALLIANCE	6/17/19
DUMPSTER CLEARANCE REQUIREMENTS DATED 1-18-22	10/10/19
REVISIONS AS PER P4Z COMMENTS (ELIZABETH SANDERSON)	11/19/19
REVISIONS AS PER NEW TENANT (ELIZABETH SANDERSON)	11/29/21
CLARIFICATIONS TO P4Z COMMENTS DATED 1-18-22	6/5/22
CLARIFICATIONS TO P4Z COMMENTS DATED 1-28-22	8/5/22

drawing title
**PROPOSED SITE PLAN,
ZONING INFORMATION &
SITE DETAILS**

scale:	designer:
as indicated	h.c.b.
project no.:	drawn by:
21729	s.m.
date:	checked by:
11/30/2021	h.c.b.
seal	sheet number
	SP-1
	sheet
	X of X

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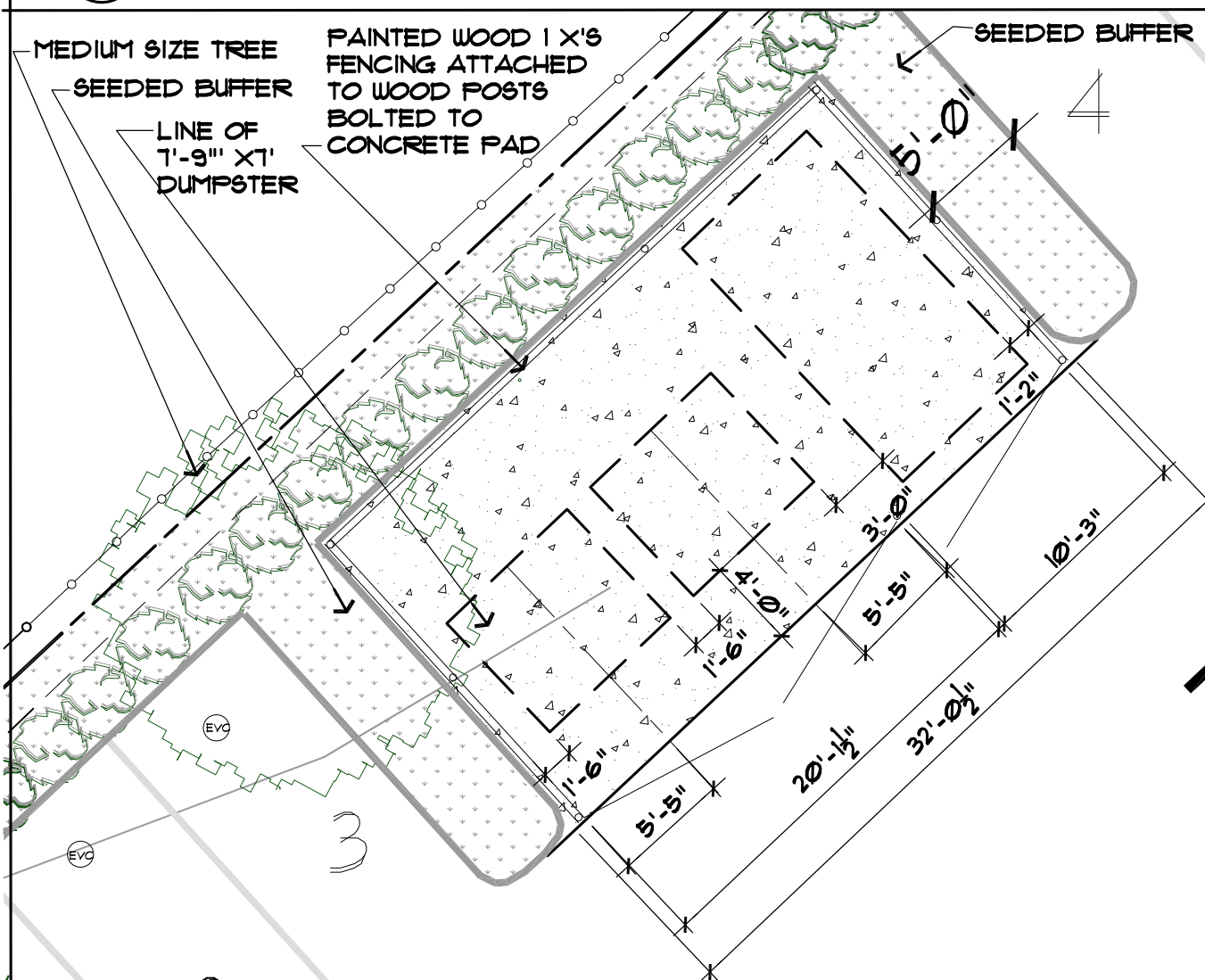
ZONE DT-3 T.O.D. OVERLAY STOREFRONT BLDG TYPE (1390 PARK) AND GENERAL BLDG TYPE (1400 PARK)

Property Address: 1390-1400 Park Street		C. Uses			
Area of Property in SF and Acres:	146,326.01 s.f. or 3.35 acres	16	Primary Street Ground Story	retail, service & office category of uses permitted by district, except in DT-2 on Bushnell park frontage	general retail, complies for 1390, variance accorded for 1400 park
Length of Front Lot Line:	209.92'	17	Upper Stories	any use permitted by district	general retail, complies for 1390 park, variance
Section 4.3.2		Requirement (General)		Proposed	
A. Building Siting		18	Parking within Building	permitted fully in any basement and/or in rear of upper floors	NA
1	Multiple Principal Buildings	permitted	19	Entrance to Parking/Loading within Building	any rear, side, or Secondary Street Facade
2	Min Front Lot Line Coverage	85%	20	Required Occupied Space	minimum 30' deep on all full floors from Primary Street facade
3	Occupation of Corner	NA	D. Street Façade Requirements		
4	Front Build-to-Zone	at or maximum 5' behind the Building line	21	Min Transparency Ground Story of Front Façade	65%
5	Corner Build-to-Zone	at or maximum 5' behind the Building line	22	Min Transparency Per Story	15%
6	Minimum Side Setback	abutting adjacent building or minimum 7.5'	23	Blank Wall Limits	required per floor on all stories (refer to 4.18.4.B.)
7	Minimum Rear Setback	10'	24	Primary Street Façade Entrance Type	storefront, arcade
8	Minimum Lot Width	none	24	Secondary Façade Entrance	storefront, arcade, stoop
8	Maximum Building Width	none	25	Principal Entrance Location	Primary Street facade
9	Maximum Building Coverage	90%	26	Required # Street Entrances	1 per each 75' of Primary Street facade
9	Maximum Impervious Area	no limitation	27	Ground Story Vertical Façade Divisions	every 30' of Primary Street facade width; every 60' secondary facade
9	Add'l Semi-Pervious Area	10%	28	Horizontal Façade Divisions	required within 3' of the top of the ground story and 5th floor above the
10	Parking/Loading Locations	rear yard or internal to building (refer to 4.3.2.C.)	29	Permitted Roof Types	parapet, pitched, flat, tower
11	Permitted Vehicular Access	one driveway off each abutting secondary street; no secondary street left to zoning administrator			parapets

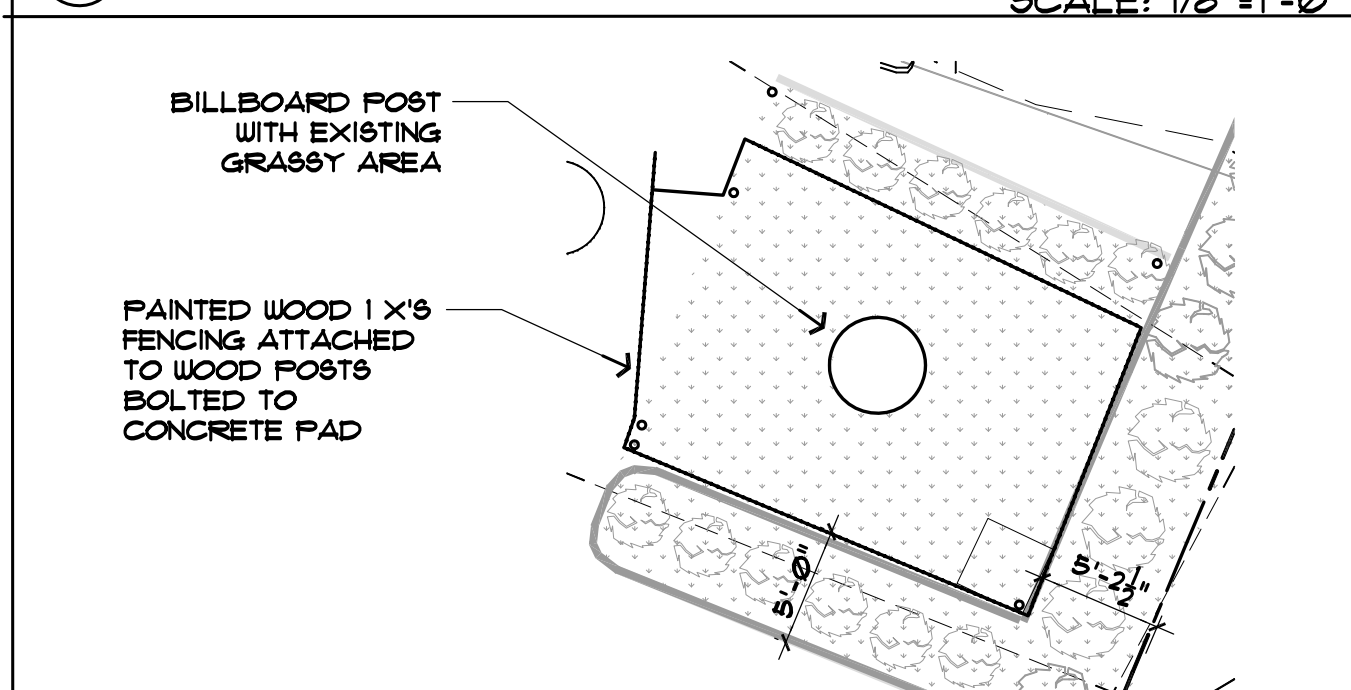
B. Height

12	Minimum Overall Height	2 stories and 40'	2 stories variance for 40' accorded by COH
13	Maximum Overall Height	8 stories; 5 stories on lower Main Street	2 stories
14	Ground Story Min Height	14'	10'
14	Ground Story Max Height	24'	21'
15	Upper Stories Min Height	9'	9'
15	Upper Stories Max Height	14'	14'

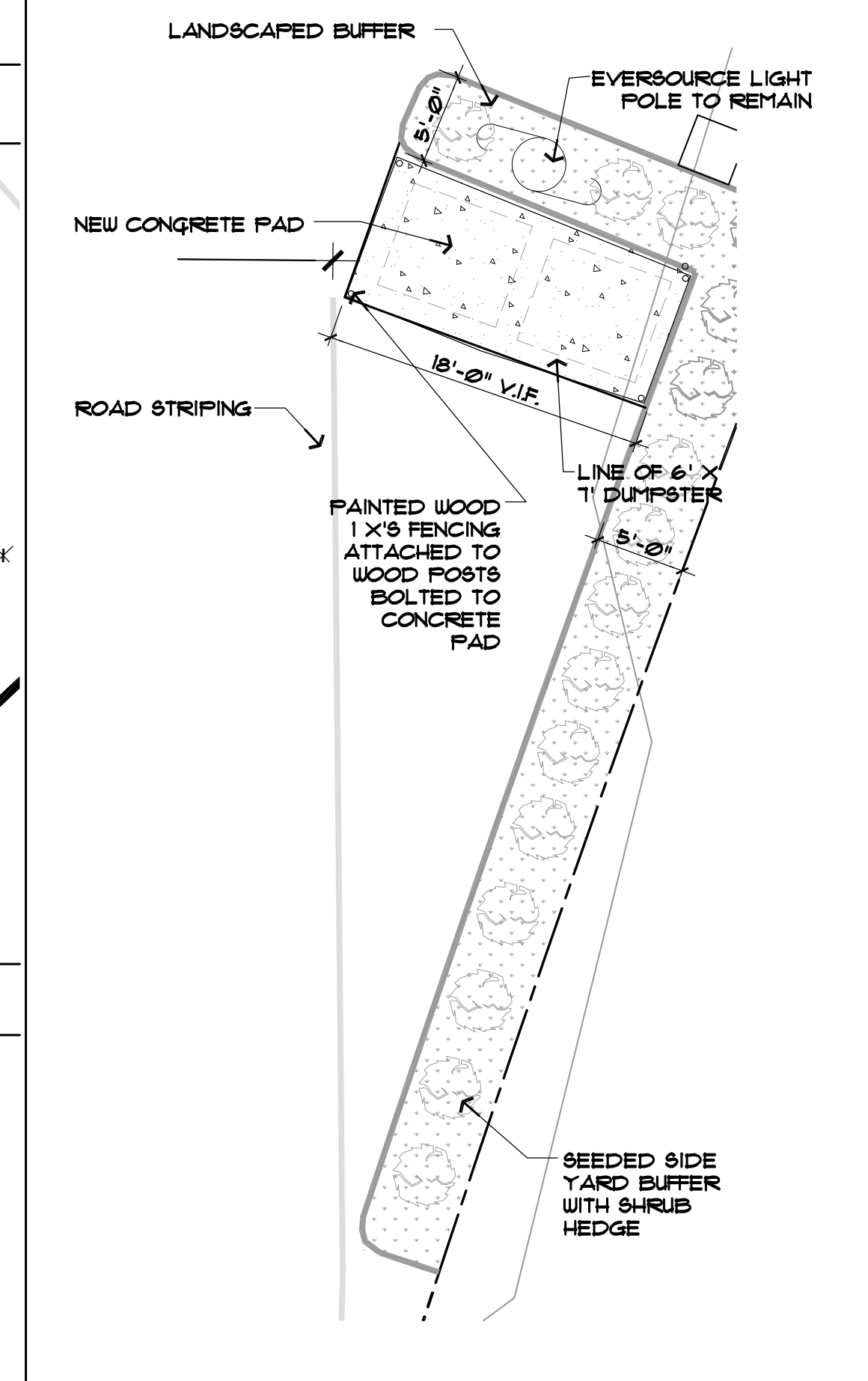
② ZONING INFORMATION



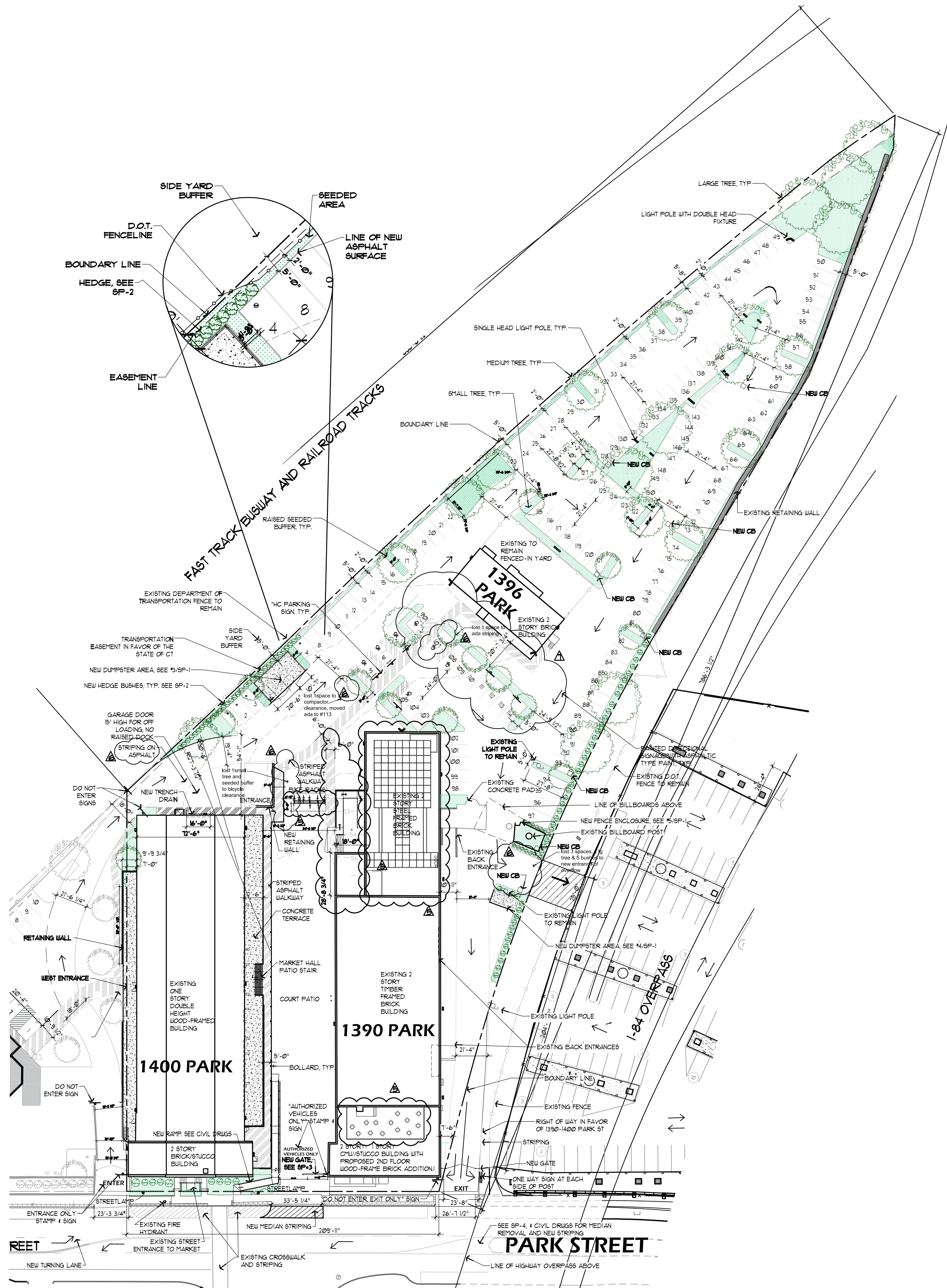
③ EXIST. DUMPSTER ENCLOSURE 1400 PARK SCALE: 1/8"=1'-0"



⑤ EXIST. BILLBOARD POST FENCE ENCLOSURE SCALE: 1/8"=1'-0"



④ EXIST. DUMPSTER ENCLOSURE 1390 PARK SCALE: 1/8"=1'-0"



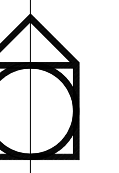
① PROPOSED SITE PLAN & ZONING INFORMATION



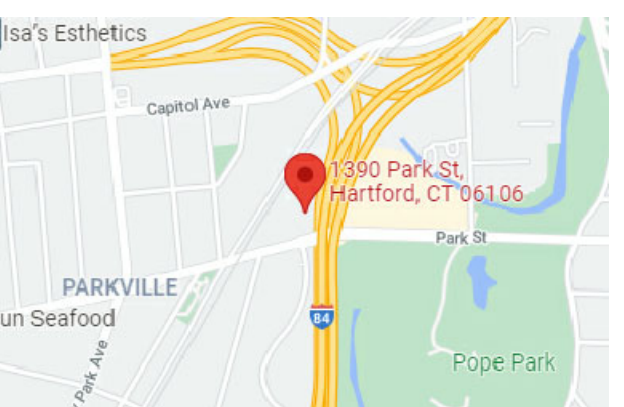
⑤ EXIST. BILLBOARD POST FENCE ENCLOSURE SCALE: 1/8"=1'-0"

④ EXIST. DUMPSTER ENCLOSURE 1390 PARK SCALE: 1/8"=1'-0"

1390 PARK ST
BUILDING
ALTERATIONS
1390 PARK ST.
HARTFORD, CT 06106



LIFECARE DESIGN INC.
1429 Park St. Ste 201
Hartford Ct. 06106
architecture - planning - interior design
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key plan

issue or revision	date
SITE PLAN REVIEW SUBMISSION	8/6/18
SUPERSEDES SP-1 SUBMITTED 8/18	12/20/18
REVISIONS AS PER P 4 Z COMMENTS DATED 2/18	2/19/19
REVISIONS AS PER ALLIANCE	6/17/19
DUMPSTER CLEARANCE REQUIREMENTS	10/10/19
REVISIONS AS PER P4Z COMMENTS (ELIZABETH SANDERSON)	11/19/19
REVISIONS AS PER NEW TENANT (ELIZABETH SANDERSON)	11/29/21
CLARIFICATIONS TO P4Z COMMENTS DATED 8-16-22	6/5/22

drawing title
**PROPOSED SITE PLAN,
ZONING INFORMATION &
SITE DETAILS**

scale:	designer:
as indicated	h.c.b.
project no.:	drawn by:
21729	s.m.
date:	checked by:
11/30/2021	h.c.b.
seal	sheet number
	SP-1
	sheet
	of X

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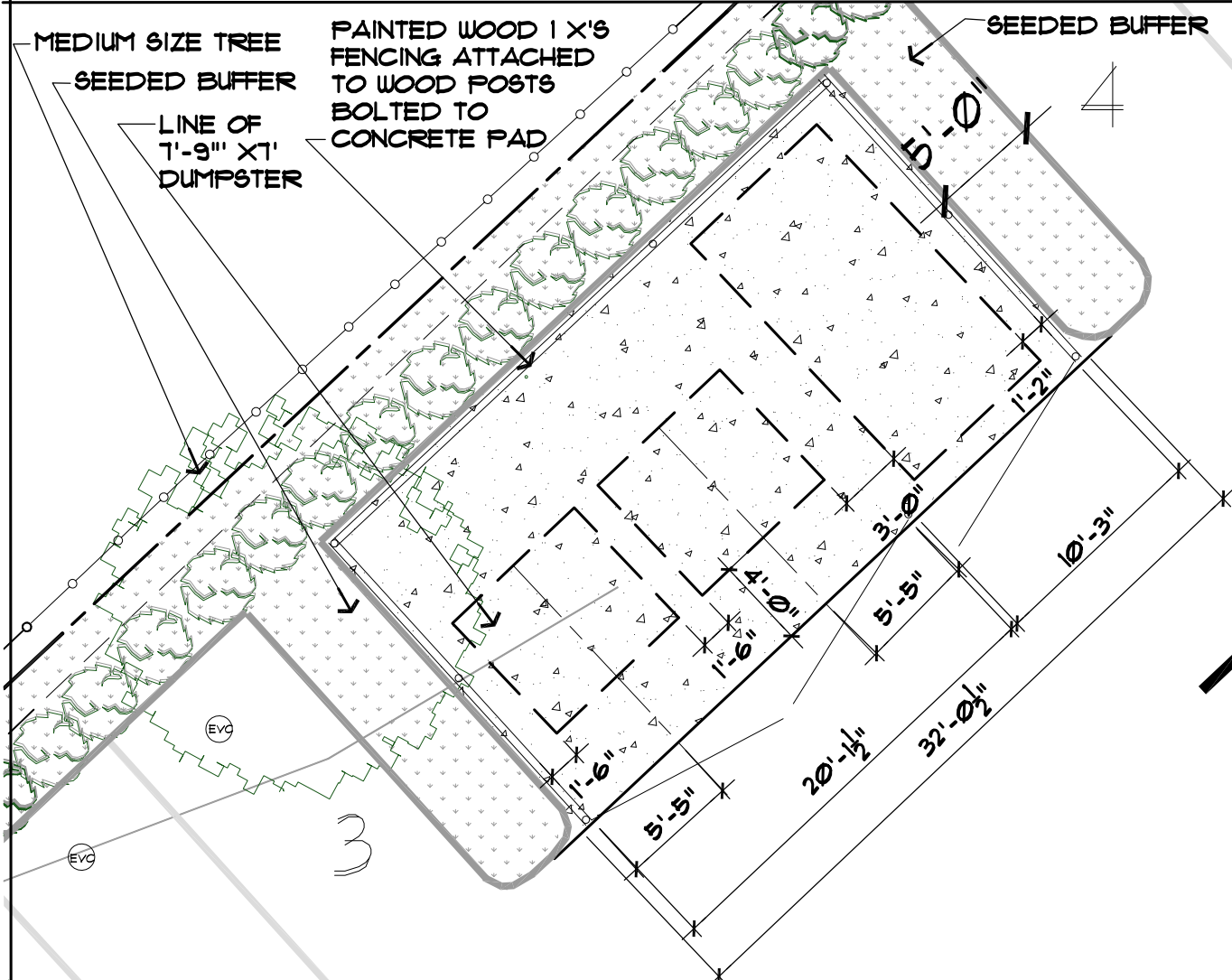
ZONE DT-3 T.O.D. OVERLAY STOREFRONT BLDG TYPE (1390 PARK) AND GENERAL BLDG TYPE (1400 PARK)

Property Address:	1390-1400 Park Street		C. Uses			
Area of Property in SF and Acres:	146,326.01 s.f. or 3.35 acres		16	Primary Street Ground Story	retail, service & office category of uses permitted by district, except in DT-2 on Bushnell park frontage	general retail, complies for 1390, variance accorded for 1400 park
Length of Front Lot Line:	209.92'		17	Upper Stories	any use permitted by district	general retail, complies for 1390 park, variance
Section 4.3.2						
No. Title	Requirement (General)	Proposed	18	Parking within Building	permitted fully in any basement and/or in rear of upper floors	NA
A. Building Siting						
1	Multiple Principal Buildings	permitted	19	Entrance to Parking/Loading within Building	any rear, side, or Secondary Street Facade	NA
2	Min Front Lot Line Coverage	85%	20	Required Occupied Space	minimum 30' deep on all full floors from Primary Street facade	complies
3	Occupation of Corner	NA	D. Street Façade Requirements			
4	Front Build-to-Zone	at or maximum 5' behind the Building line	21	Min Transparency Ground Story of Front Façade	65%	1390-65% and 1400-75%
5	Corner Build-to-Zone	at or maximum 5' behind the Building line	22	Min Transparency Per Story	15%	1390-50% and 1400-27.5%
6	Minimum Side Setback	abutting adjacent building or minimum 7.5'	23	Blank Wall Limits	required per floor on all stories (refer to 4.18.4.B.)	complies
7	Minimum Rear Setback	10'	24	Primary Street Façade Entrance Type	storefront, arcade	1390=storefront, 1400=stoop
8	Minimum Lot Width	none	24	Secondary Façade Entrance	storefront, arcade, stoop	stoop
8	Maximum Building Width	none	25	Principal Entrance Location	Primary Street facade	primary street
9	Maximum Building Coverage	90%	26	Required # Street Entrances	1 per each 75' of Primary Street facade	complies
9	Maximum Impervious Area	no limitation	27	Ground Story Vertical Façade Divisions	every 30' of Primary Street facade width; every 60' secondary facade	complies
9	Add'l Semi-Pervious Area	10%	28	Horizontal Façade Divisions	required within 3' of the top of the ground story and 5th floor above the	existing buildings, complies
10	Parking/Loading Locations	rear yard or internal to building (refer to 4.3.2.C.)	29	Permitted Roof Types	parapet, pitched, flat, tower	parapets
11	Permitted Vehicular Access	one driveway off each abutting secondary street; no secondary street left to zoning administrator				

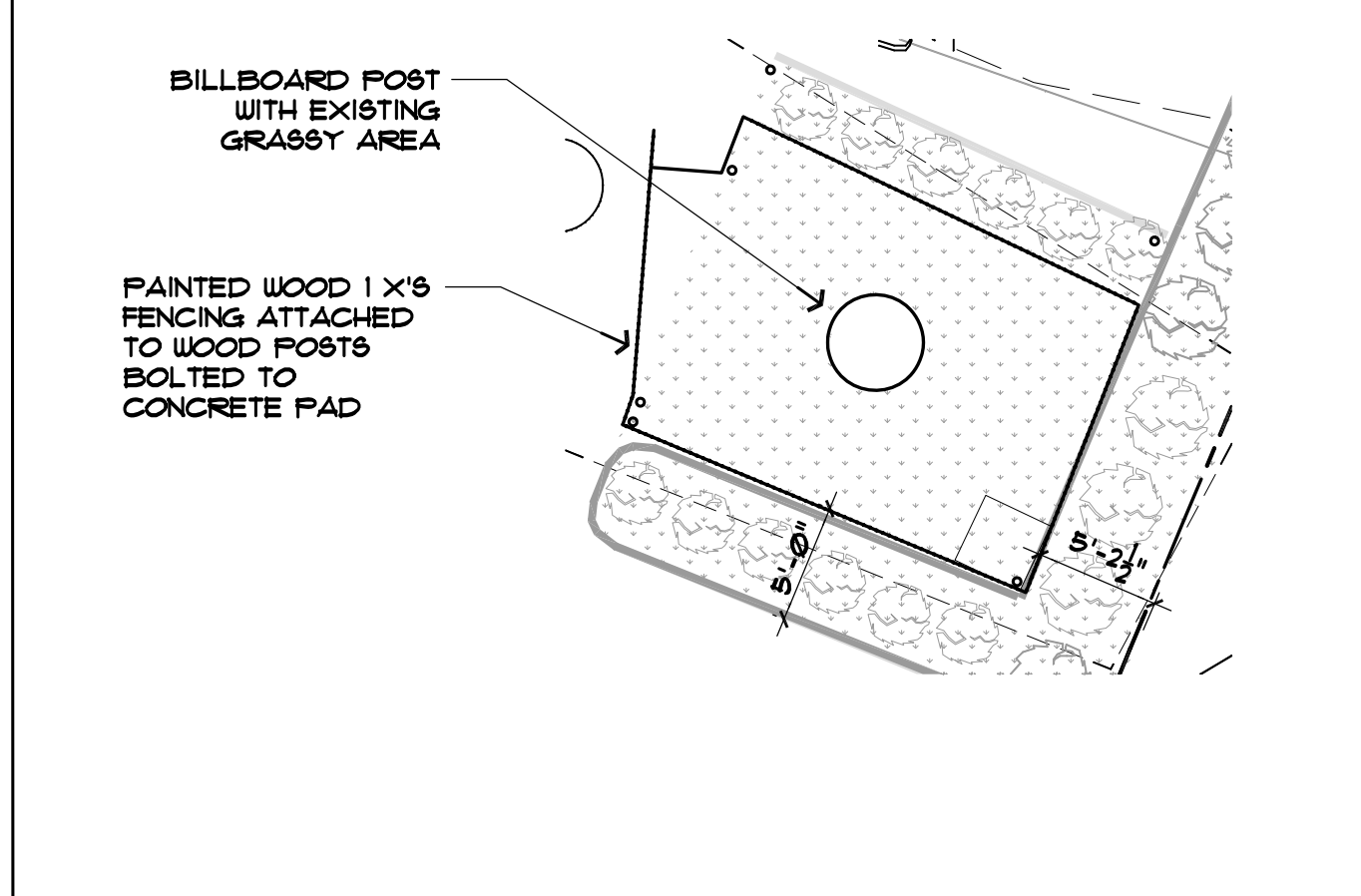
B. Height

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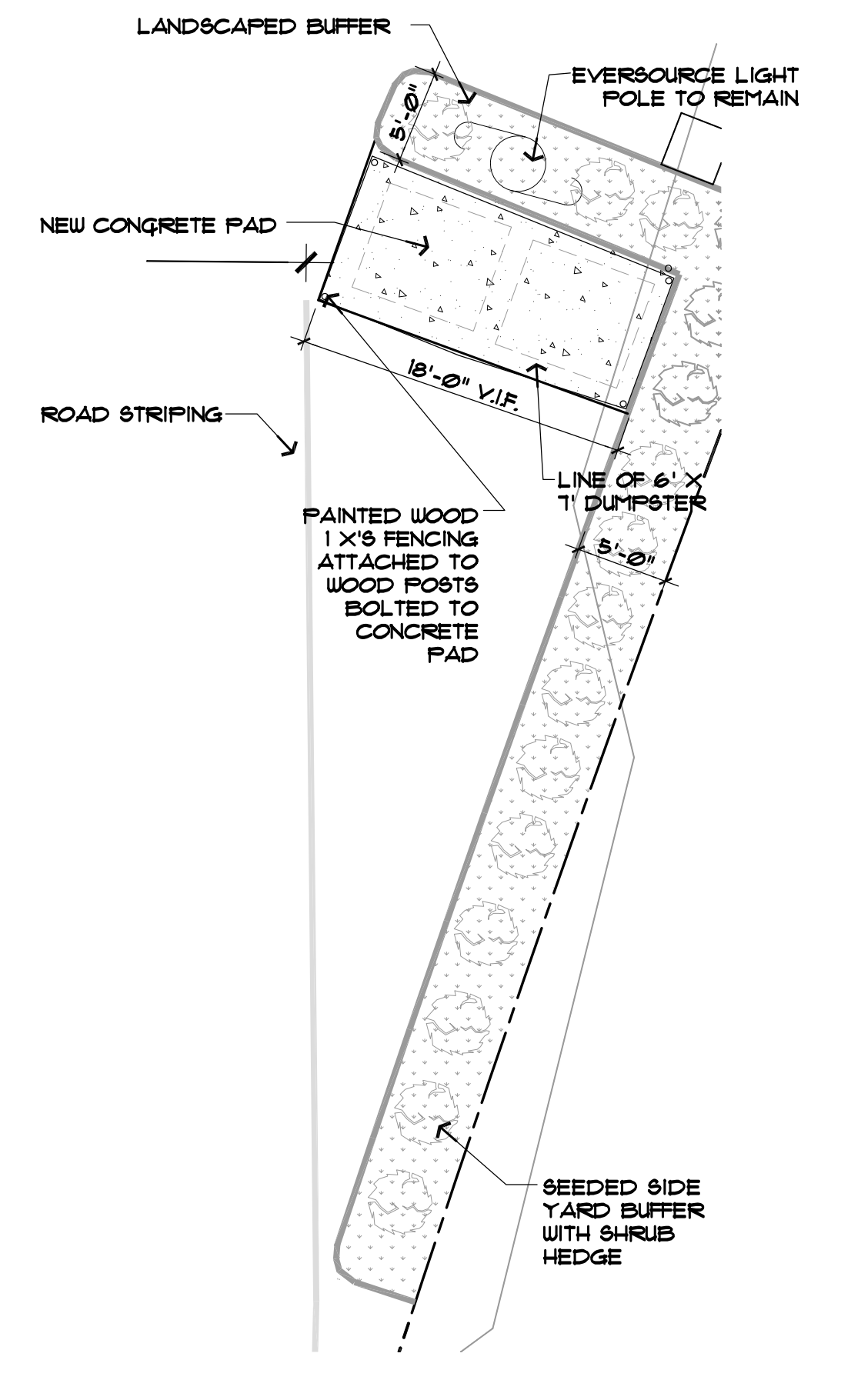
2 ZONING INFORMATION



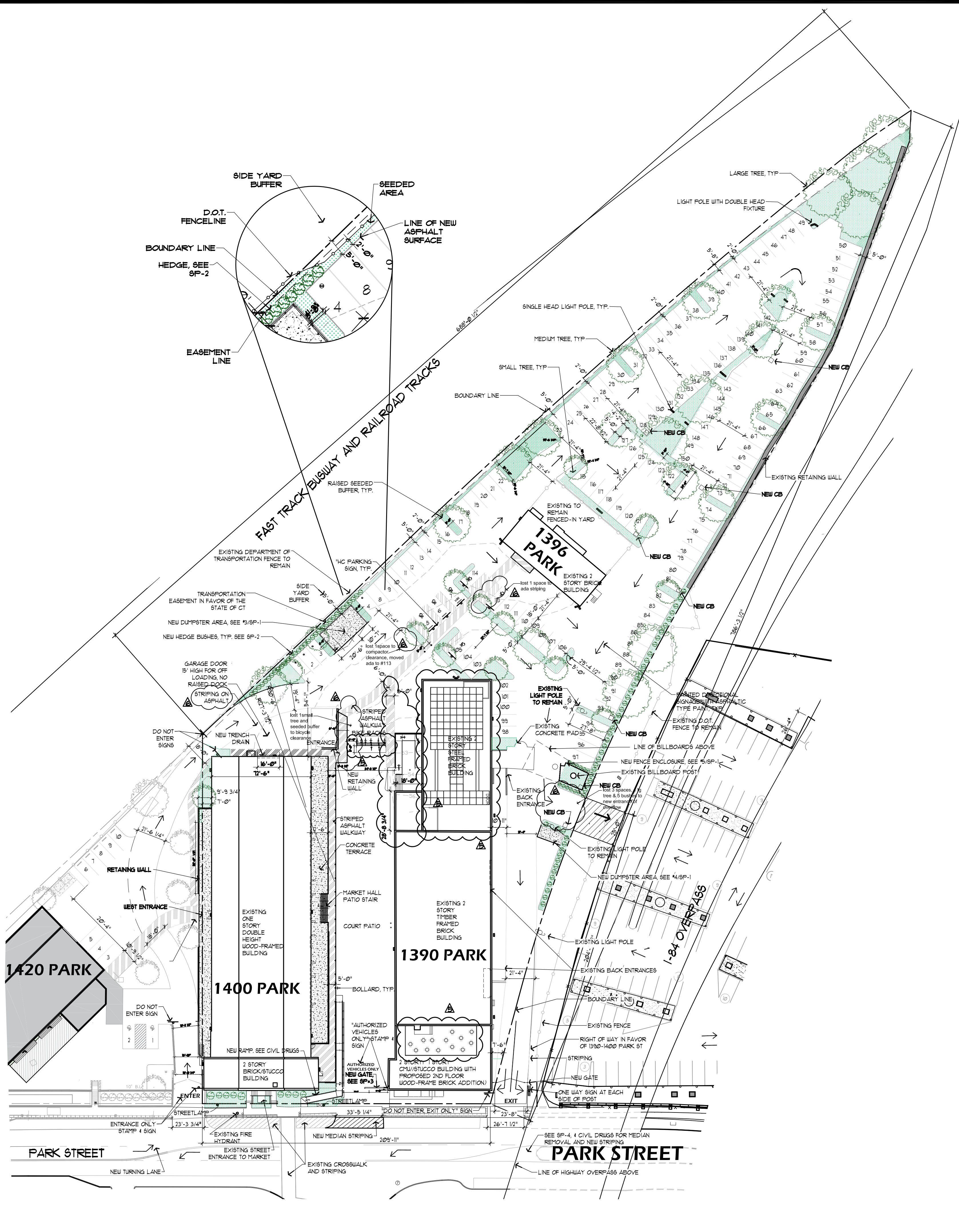
3 EXIST. DUMPSTER ENCLOSURE 1400 PARK



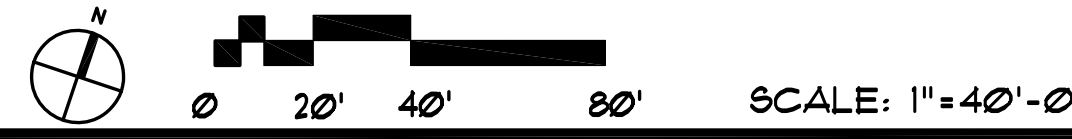
5 EXIST. BILLBOARD POST FENCE ENCLOSURE



4 EXIST. DUMPSTER ENCLOSURE 1390 PARK

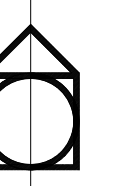


1 PROPOSED SITE PLAN & ZONING INFORMATION



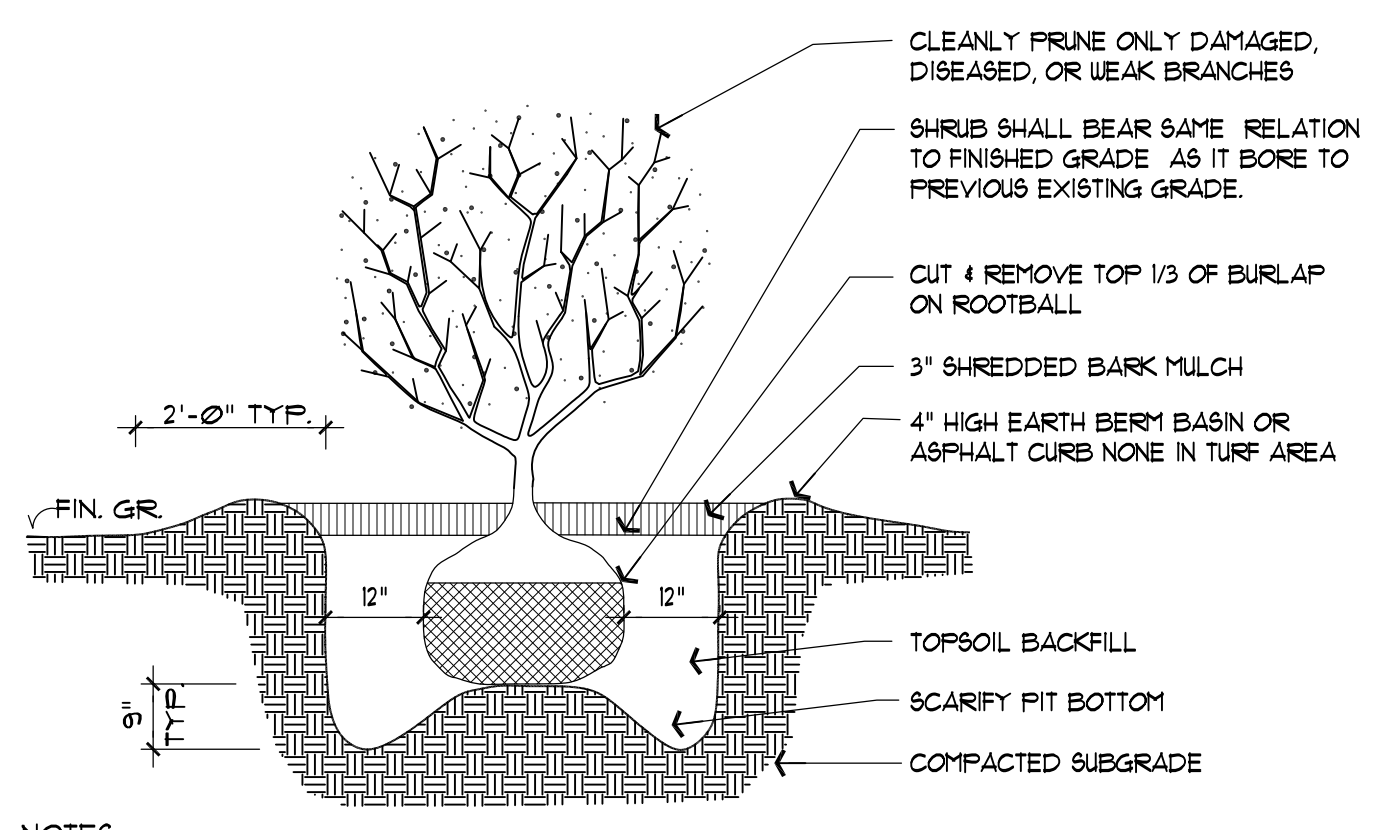
**1390 PARK ST
BUILDING
ALTERATIONS**

1390 PARK ST.
HARTFORD, CT 06106



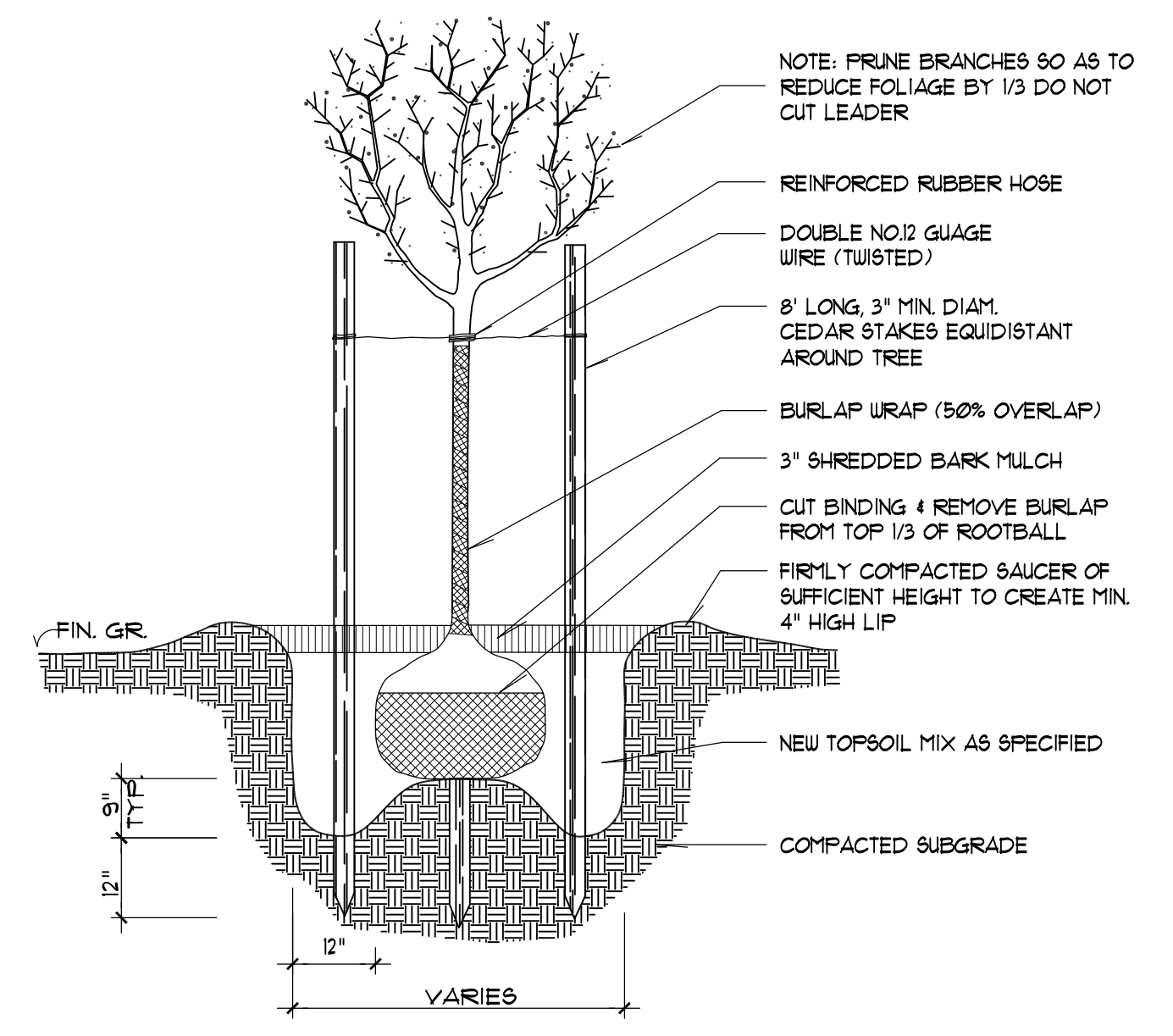
LIFECARE DESIGN INC.

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NOTES:
1. IF CONTAINERS ARE USED CAREFULLY REMOVE TOP 1/3 OF CONTAINER (IF CONTAINER IS NON-ORGANIC, REMOVE COMPLETELY). CUT VARIOUS SLITS IN ORGANIC CONTAINER TO FACILITATE ROOT PENETRATION (OR REMOVE CONTAINER BOTTOM).
2. DO NOT ALLOW ANY PORTION OF CONTAINER TO REMAIN EXPOSED.
3. WATER THOROUGHLY SUBSEQUENT TO INSTALLATION.

○ SHRUB PLANTING DETAIL (BALL & BURLAP) SECTION

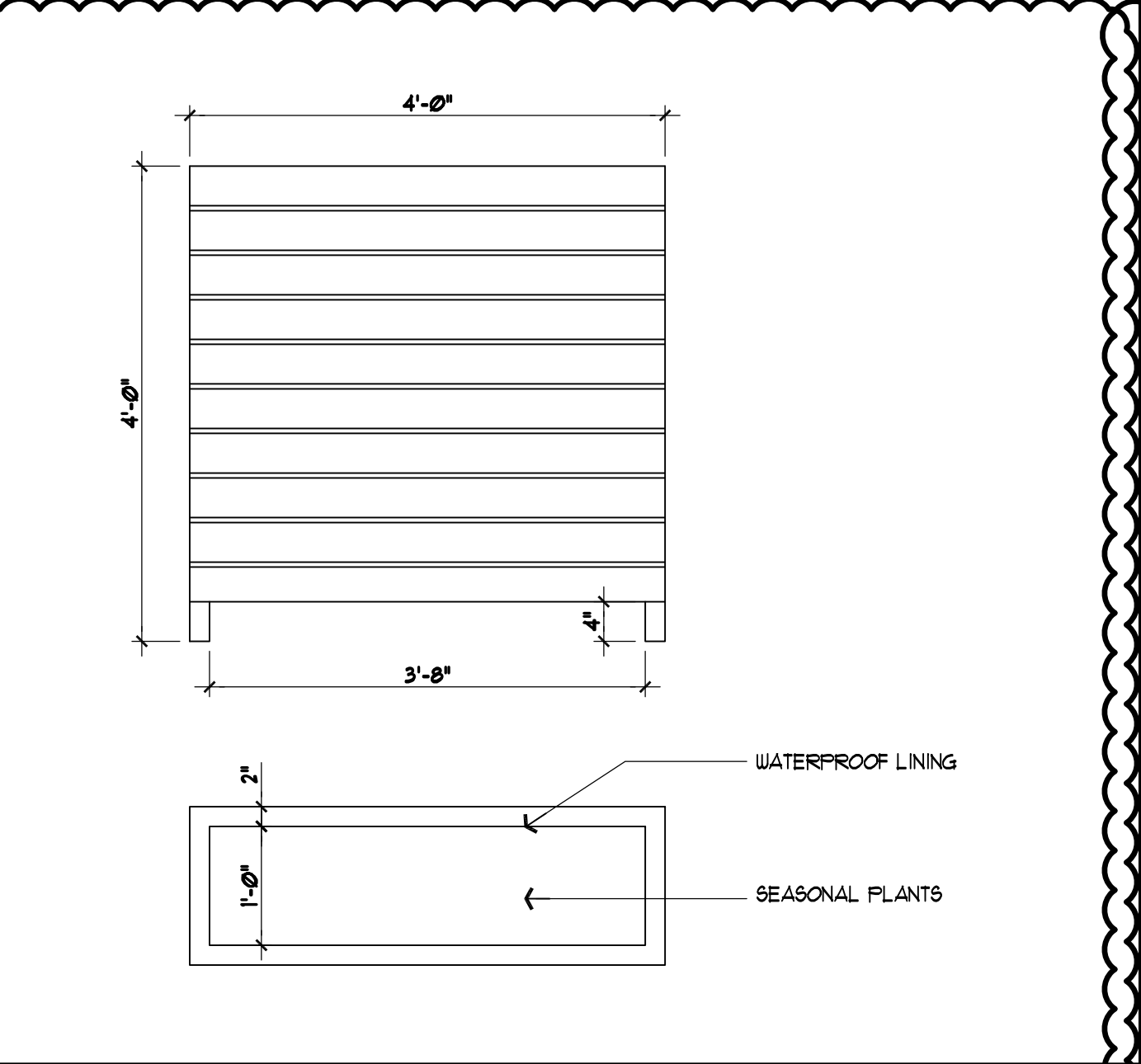


○ DECIDUOUS TREE PLANTING DETAIL SECTION

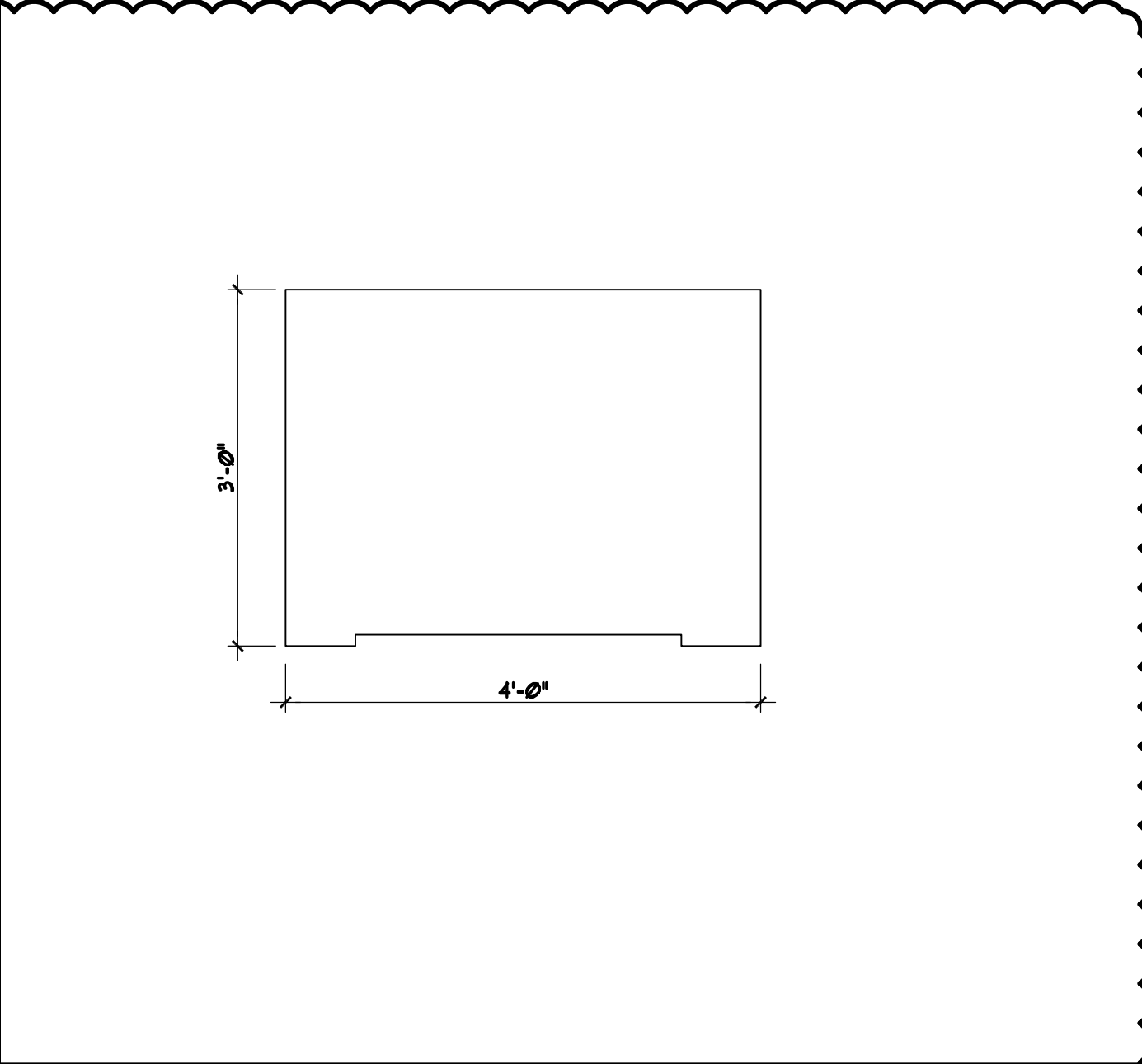
PROVIDE STRUCTURAL SOIL AS NEEDED PER SPECIES OF TREE. EXTEND BENEATH PARKING SURFACE BEYOND RAISED SEEDING PARKING ISLAND

② PLANTING DETAILS

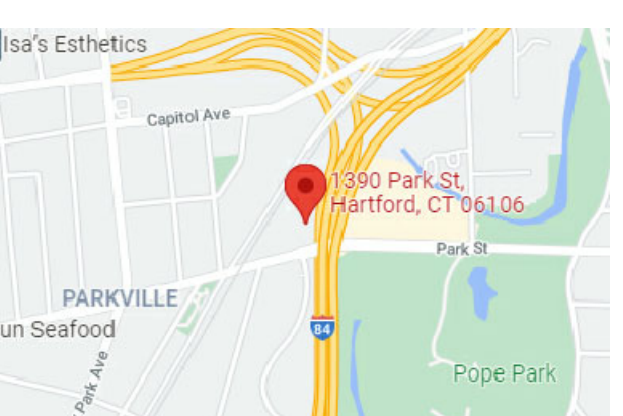
SCALE: N.T.S.



③ TYPICAL ROOFTOP PLANTER DETAIL SCALE: 3/4"=1'



③A TYPICAL PARKING LOT CONCRETE PLANTER ELEVATION SCALE: 3/4"=1'



key plan

issue or revision	date
SITE PLAN REVIEW SUBMISSION	2/6/18
REVISIONS AS PER P & Z COMMENTS DATED 2/13/18	2/13/18
NEW BACKGROUND AS PER ALL WASTE COMPUTER CLEARANCE REQUIREMENTS	6/7/19
NEW BACKGROUND SHADING REVISIONS AS PER P&Z COMMENTS (ELIZABETH BANDERSON)	10/10/19
REVISIONS AS PER NEW TENANT	11/30/21
CLARIFICATIONS TO P&Z COMMENTS DATED 3/30/22	6/5/22
CLARIFICATIONS TO P&Z COMMENTS DATED 3/24/22	6/5/22
REV AS PER DOJ COMMENTS DATED 8-1-22	8/15/22

drawing title
LANDSCAPE PLAN AND SITE DETAILS CONT'D

designer:	h.c.b.
project no.:	s.m.
date:	checked by:
11/30/2021	h.c.b.
seal	sheet number

SP-2
sheet

4 of 10

① LANDSCAPING PLAN

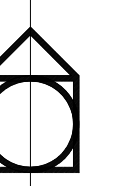


④ LANDSCAPING LEGEND

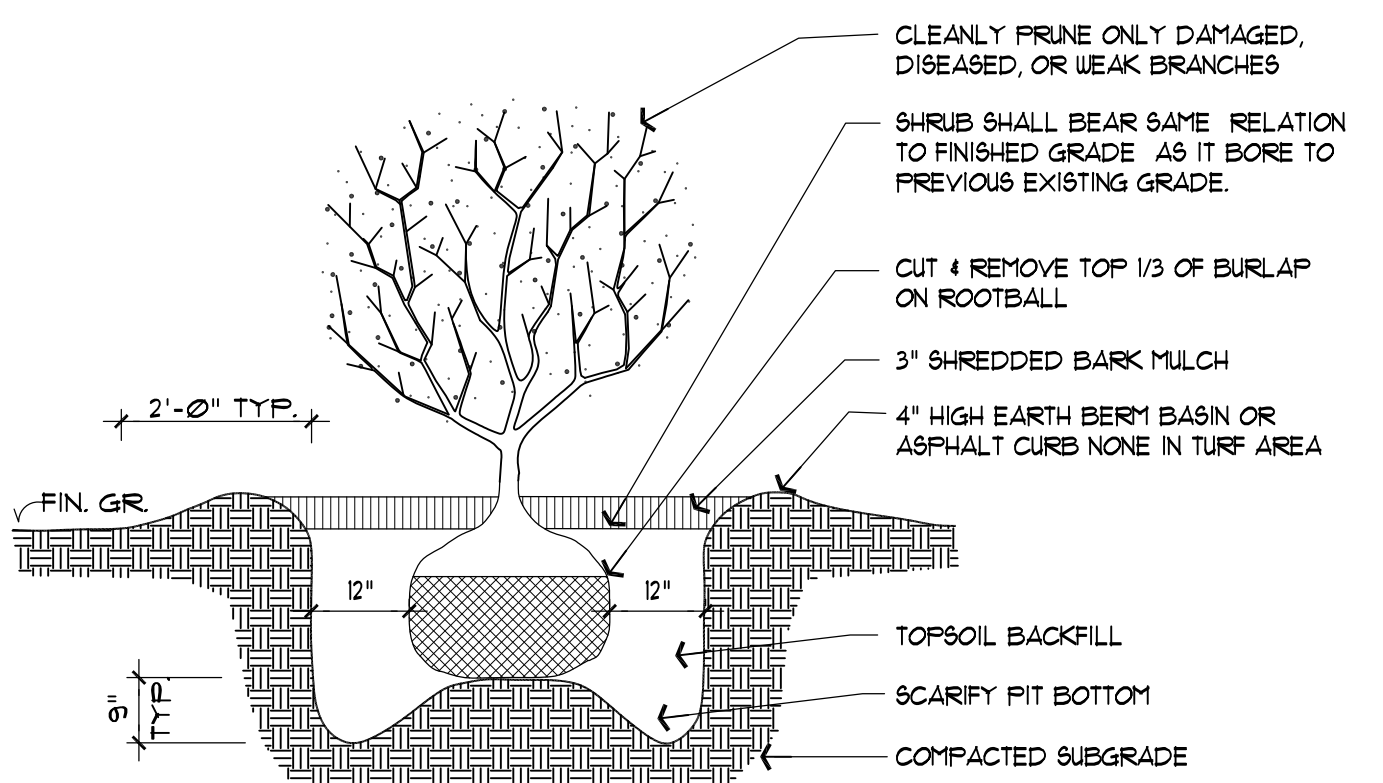
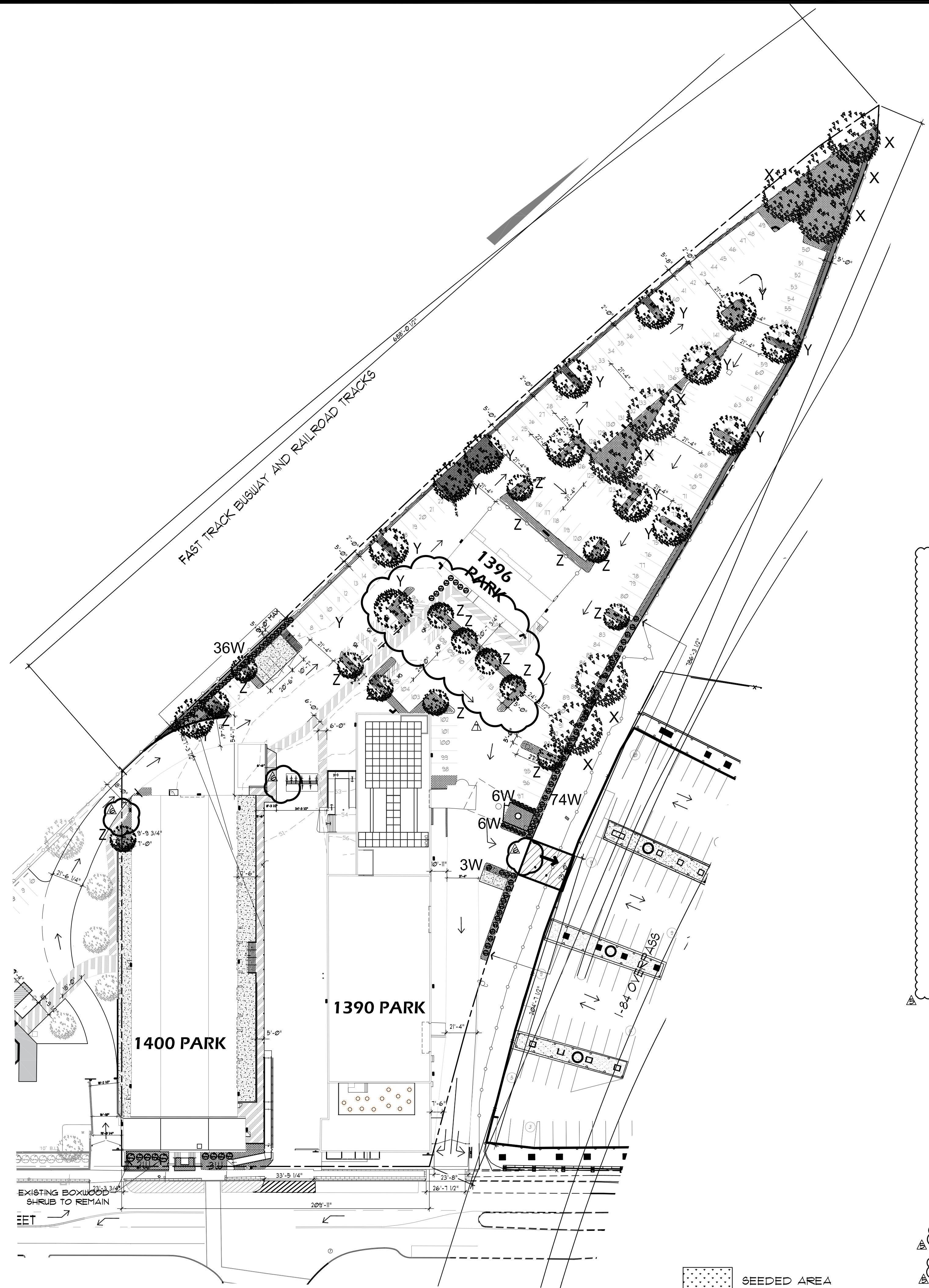
QTY	SPECIES
112	W. SHRUBS: BOXWOOD, BUXUS, PROVIDE 5 GAL. CONTAINER OR 18" BALLED AND BURLAPED SPACED 24" O.C. MIN. TO 36" O.C. MAX
6	XU. LARGE TREES: MAPLE RED, ACER RUBRUM, PROVIDE 18" CALIPER MINIMUM
14	Y. MEDIUM TREES: LORNBAM, EUROPEAN GARRINUS, BETULUS, PROVIDE 18" CALIPER MINIMUM
16	Z. SMALL TREES: LILAC TREE, STRINGA RETICULATA, PROVIDE 1.5" CALIPER MINIMUM
	TREE CANOPY REQUIRED: 15% OF 142,232 SF. PROVIDED: 21,335 SF.
	PROVIDE HEALTHY TOPSOIL FOR SEEDING AREAS. SEED SHALL CONSIST OF DROUGHT TOLERANT SPECIES OF KENTUCKY BLUEGRASS, RYEGRASS, AND FINE FESCUES.

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BUILDING
ALTERATIONS
1390 PARK ST.
HARTFORD, CT 06106

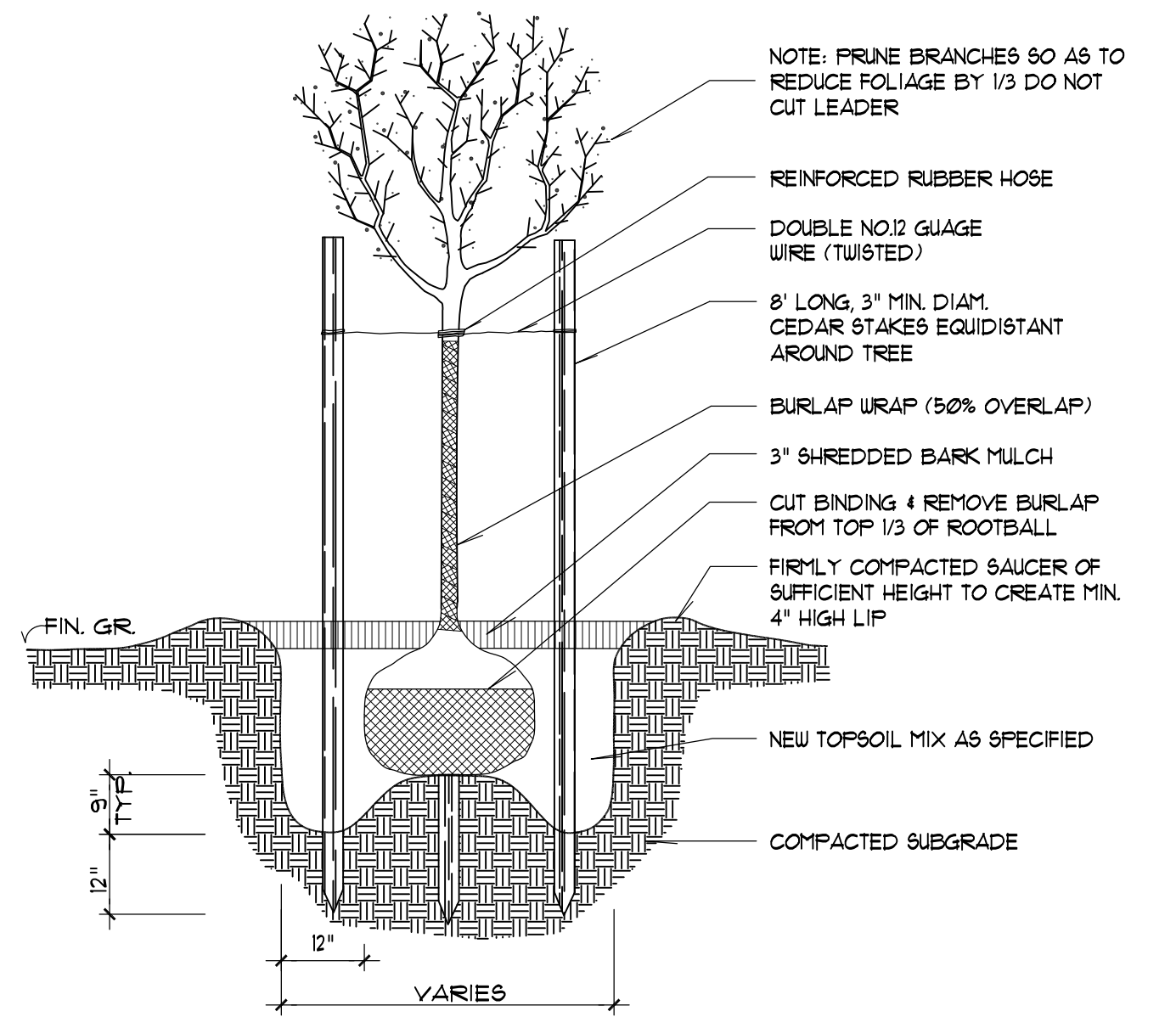


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NOTES:
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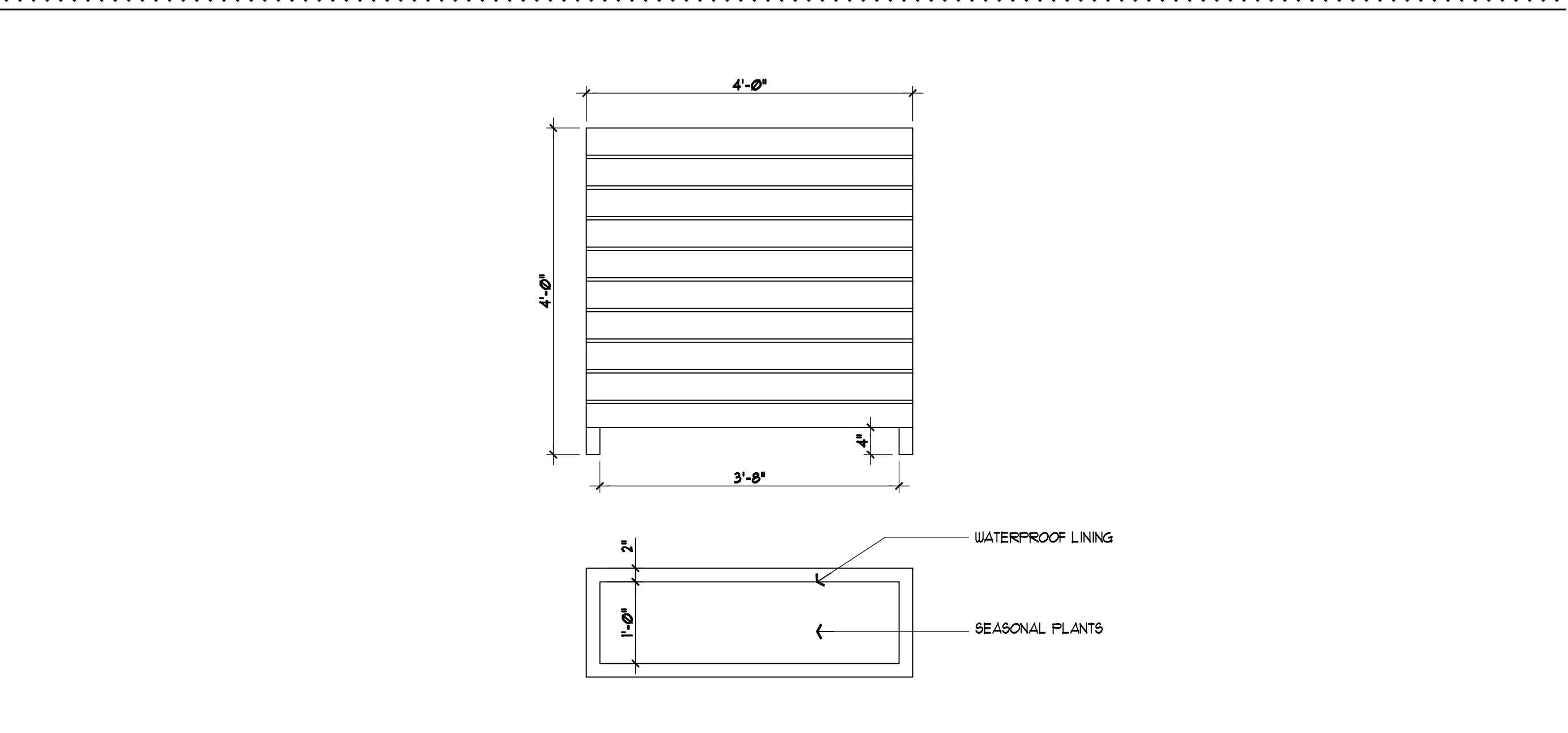
SHRUB PLANTING DETAIL SECTION
(BALL & BURLAP)



DECIDUOUS TREE PLANTING DETAIL SECTION

PROVIDE STRUCTURAL SOIL AS NEEDED PER SPECIES OF TREE. EXTEND BENEATH PARKING SURFACE BEYOND RAISED SEEDED PARKING ISLAND

2 PLANTING DETAILS



3 TYPICAL ROOFTOP PLANTER DETAIL

SCALE: 3/4" = 1"

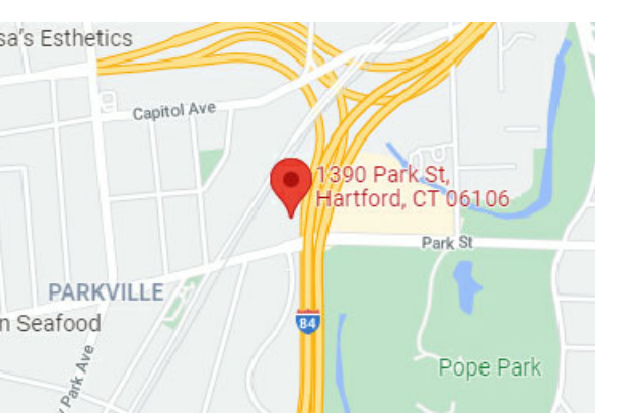
4 LANDSCAPING LEGEND

QTY	SPECIES
130	W-SHRUBS: BOXWOOD, BUXUS, PROVIDE 5 GAL. CONTAINER OR 18" BALLED AND BURLAPED SPACED 24" OC. MIN. TO 36" OC. MAX.
6	X-LARGE TREES: MAPLE, RED ACER, RUBUS, PROVIDE 15" CALIBER MINIMUM
4	Y-MEDIUM TREES: NORWEGIAN EUROPEAN, CARRINUS, BETULUS, PROVIDE 15" CALIBER MINIMUM
16	Z-SMALL TREES: LILAC TREE, SYRINGA RETICULATA, PROVIDE 15" CALIBER MINIMUM
	TREE CANOPY REQUIRED: 15% OF 146,234 S.F. = 21,935 S.F. PROVIDED: 21,920 S.F.

PROVIDE HEALTHY TOPSOIL FOR SEEDED AREAS, SEED SHALL CONSIST OF DROUGHT TOLERANT SPECIES OF KENTUCKY BLUEGRASS, RYEGRASS, AND FINE FESCUES.

1 LANDSCAPING PLAN

SCALE: 1" = 40'-0"



key plan

issue or revision	date
SITE PLAN REVIEW SUBMISSION	8/6/18
REVISIONS AS PER P & Z COMMENTS DATED 8/19	2/19/19
NEW BACKGROUND AS PER ALLIANCE	6/7/19
NEW BACKGROUND SHADING REVISIONS AS PER P&Z COMMENTS, RE: ELIZABETH SANDERSON	10/10/19
REVISIONS AS PER NEW TENANT	11/30/21
CLARIFICATIONS TO P&Z COMMENTS DATED 12/22	6/5/22
CLARIFICATIONS TO P&Z COMMENTS DATED 12/22	8/5/22

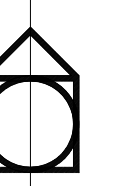
drawing title
LANDSCAPE PLAN AND SITE DETAILS CONT'D

scale:	designer:
as indicated	h.c.b.
project no.:	drawn by:
21729	s.m.
date:	checked by:
11/30/2021	h.c.b.
seal	sheet number

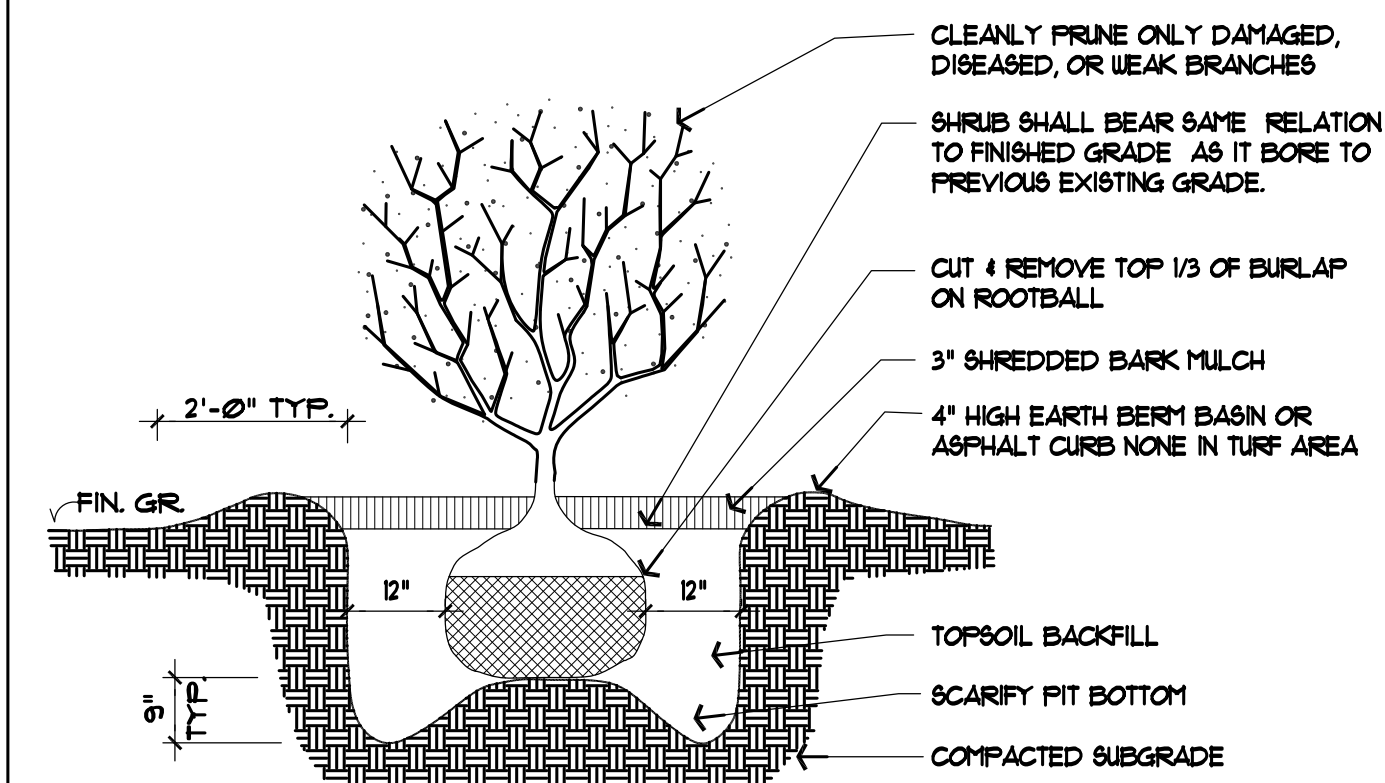
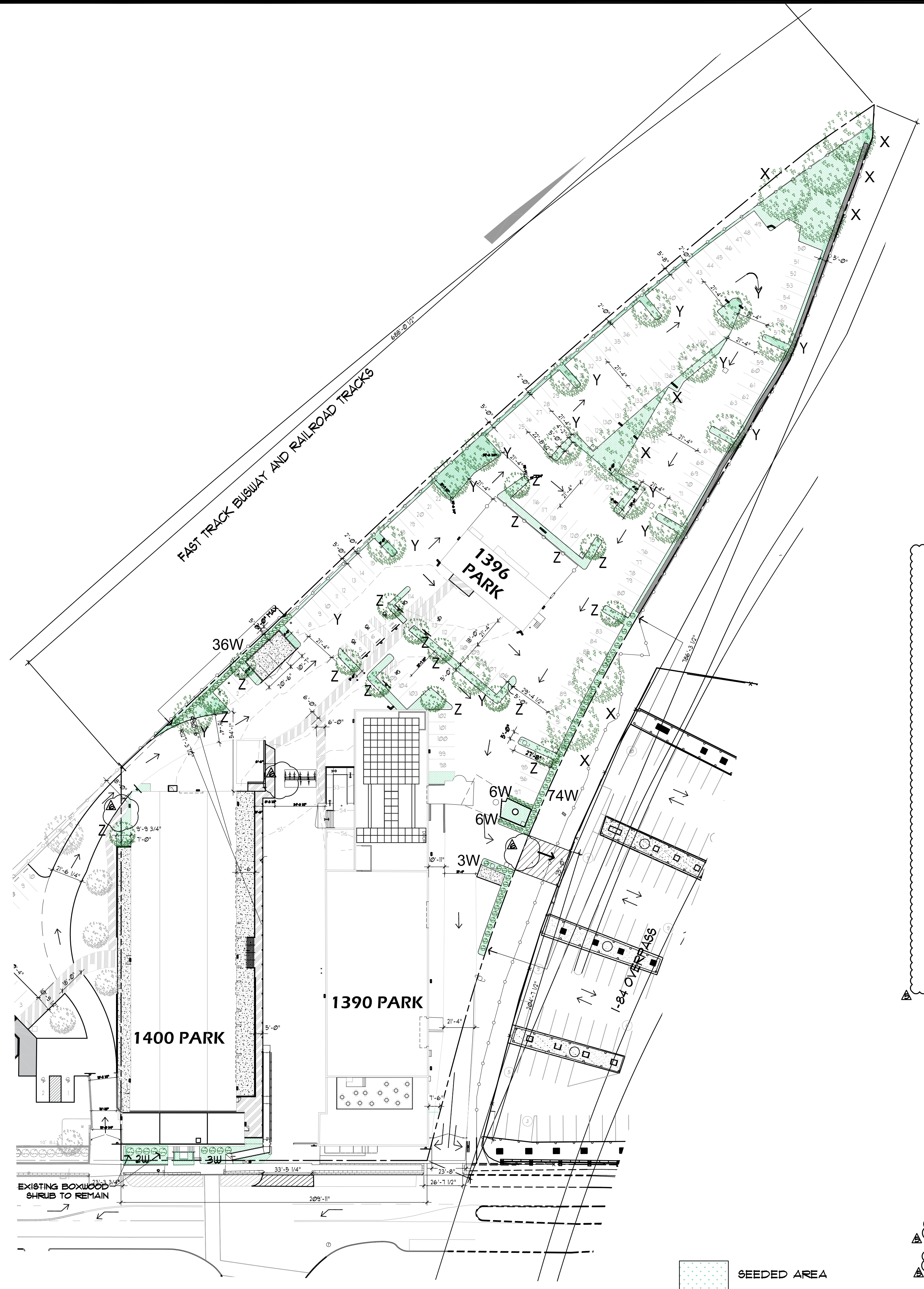
SF-2
sheet

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ALTERATIONS
1390 PARK ST.
HARTFORD, CT 06106

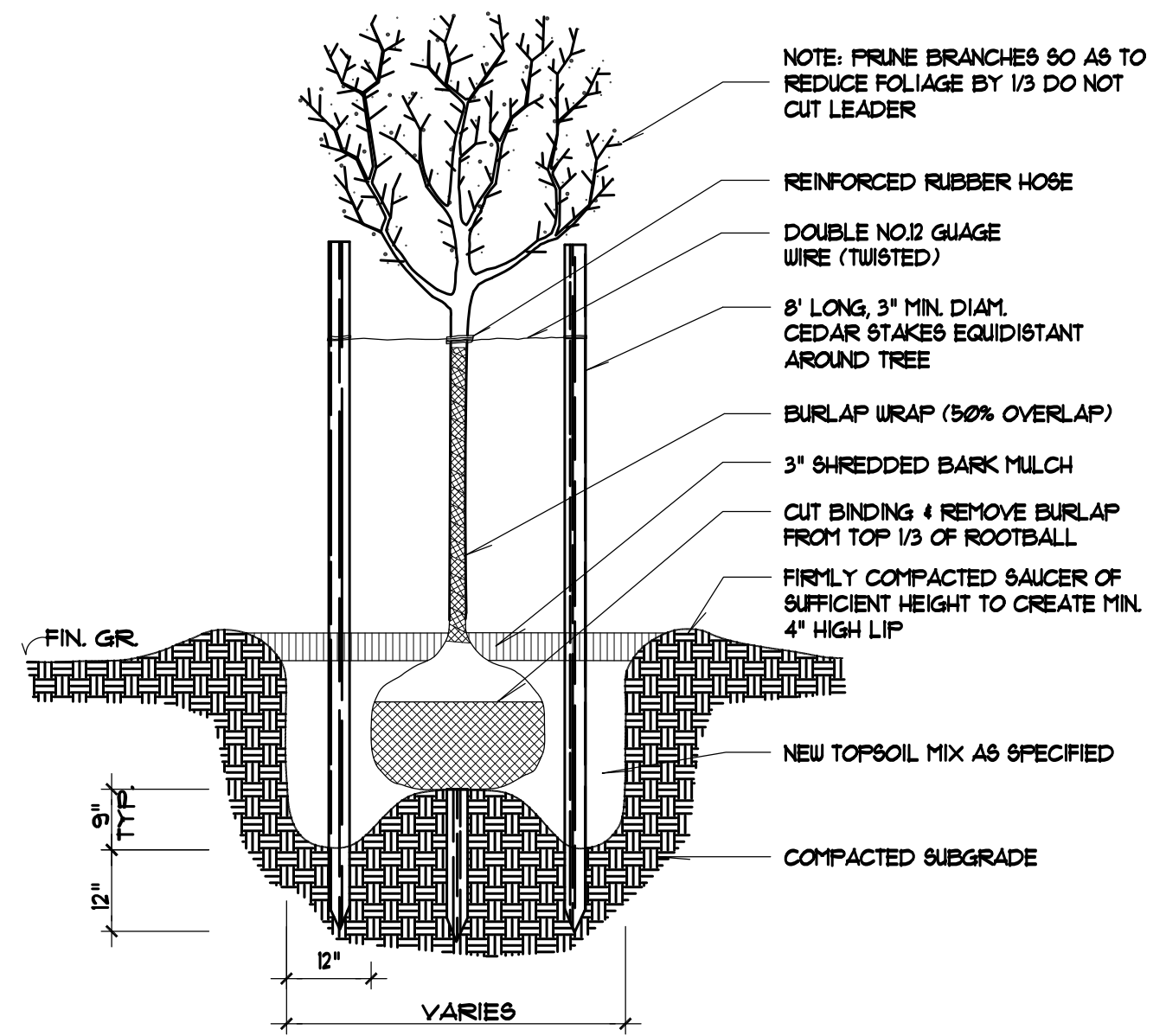


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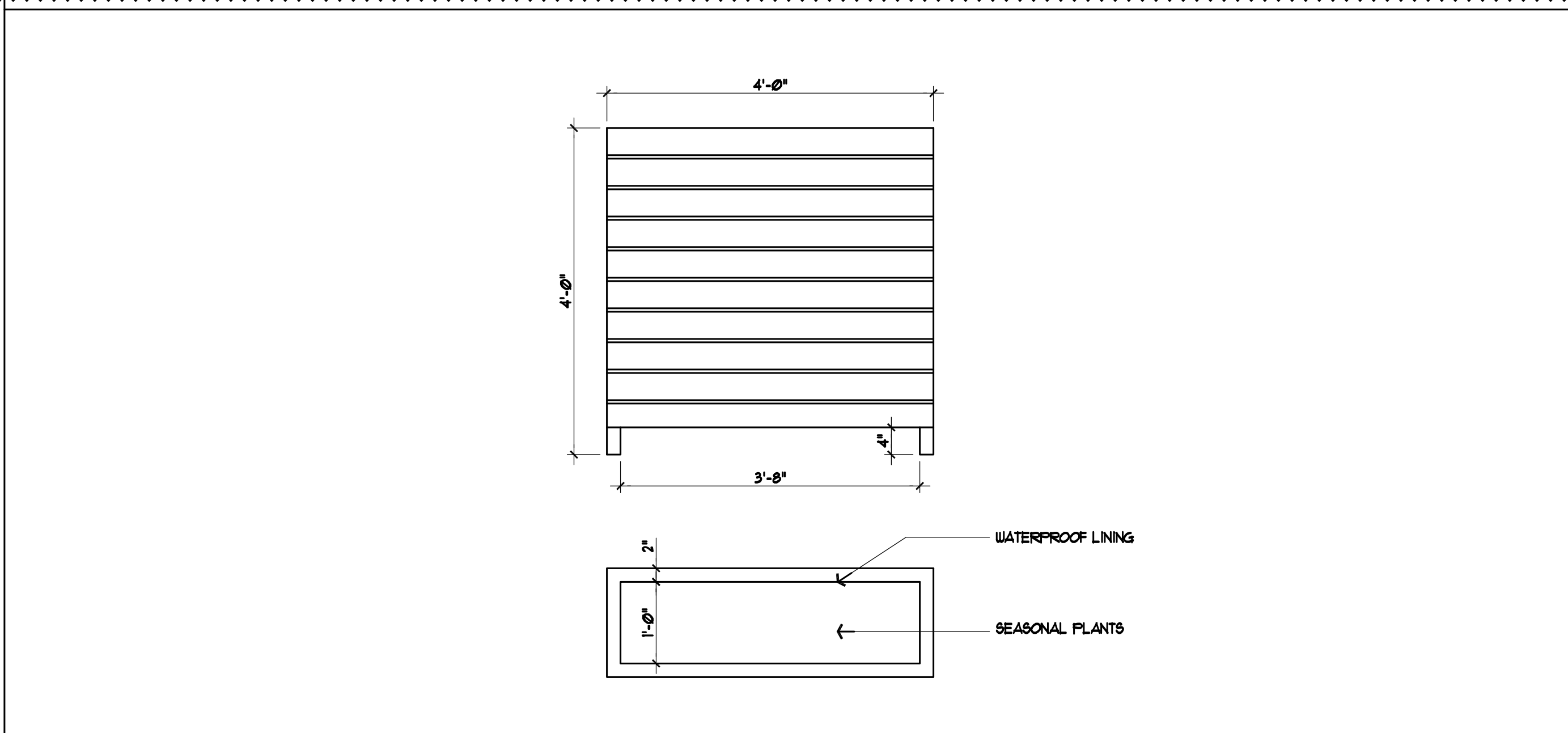
NOTES:
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SHRUB PLANTING DETAIL (BALL & BURLAP) SECTION
PROVIDE STRUCTURAL SOIL AS NEEDED PER SPECIES OF TREE. EXTEND BENEATH PARKING SURFACE BEYOND RAISED SEEDED PARKING ISLAND



DECIDUOUS TREE PLANTING DETAIL SECTION

2 PLANTING DETAILS



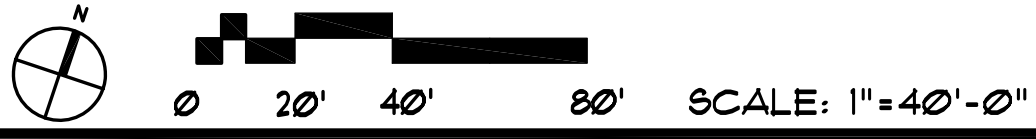
3 TYPICAL ROOFTOP PLANTER DETAIL

SCALE: 3/4"=1'

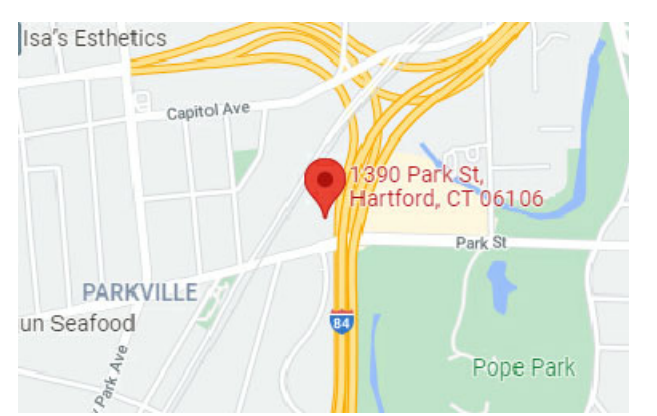
QTY	SPECIES
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1 LANDSCAPING PLAN



4 LANDSCAPING LEGEND



key plan

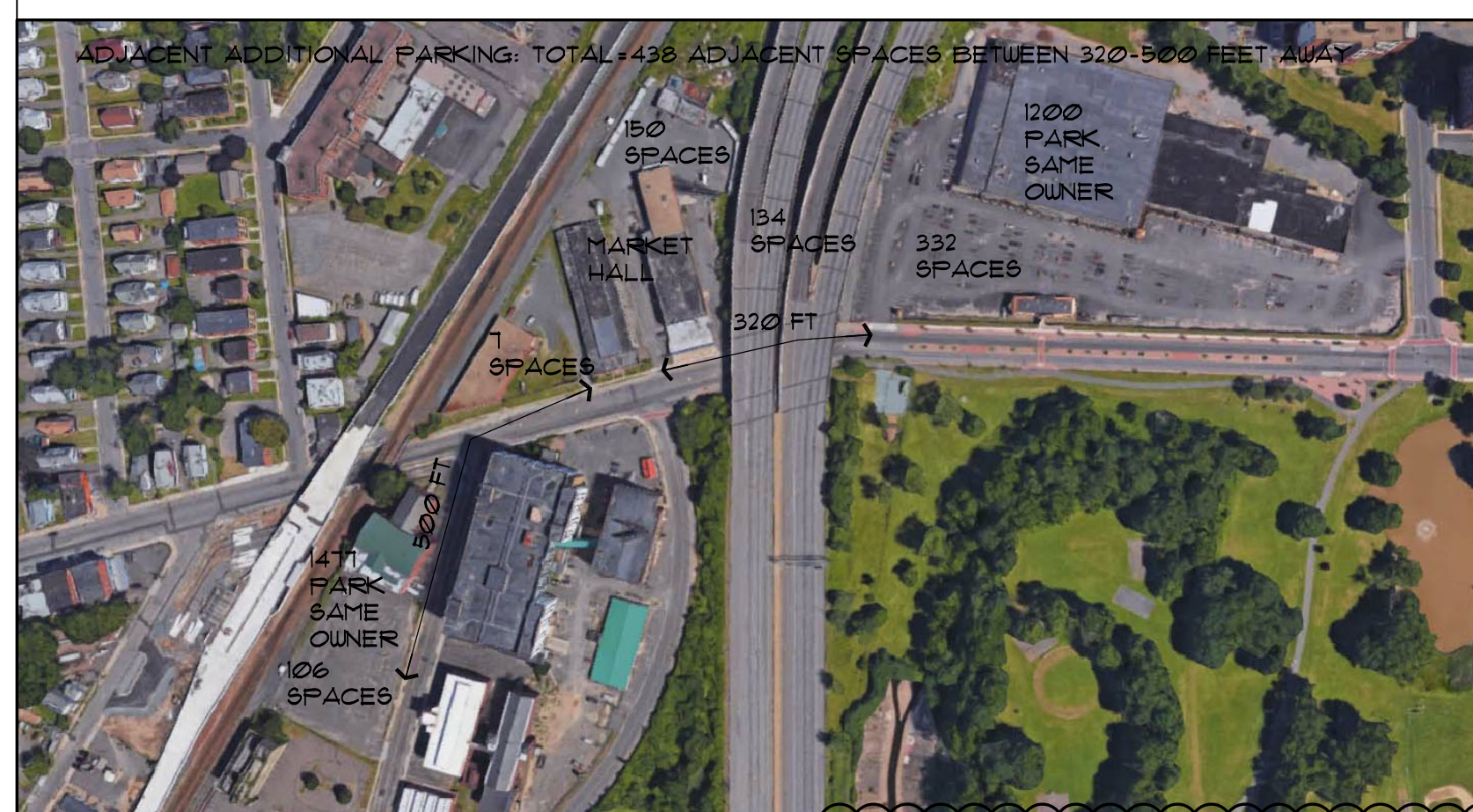
issue or revision	date
SITE PLAN REVIEW SUBMISSION	8/6/18
REVISIONS AS PER P & Z COMMENTS DATED 8/19	2/19/19
NEW BACKGROUND AS PER ALLOWABLE DISTRICT CLEARANCE REQUIREMENTS	5/7/19
NEW BACKGROUND SHADING REVISIONS AS PER P&Z COMMENTS, RE: ELIZABETH SANDERS	10/10/19
REVISIONS AS PER NEW TENANT	11/30/21
CLARIFICATIONS TO P&Z COMMENTS DATED 8/16/22	6/5/22

drawing title
LANDSCAPE PLAN AND SITE DETAILS CONT'D

scale:	designer:
as indicated	h.c.b.
project no.:	drawn by:
21729	s.m.
date:	checked by:
11/30/2021	h.c.b.
sheet	sheet number

SF-2
sheet
4 of 10

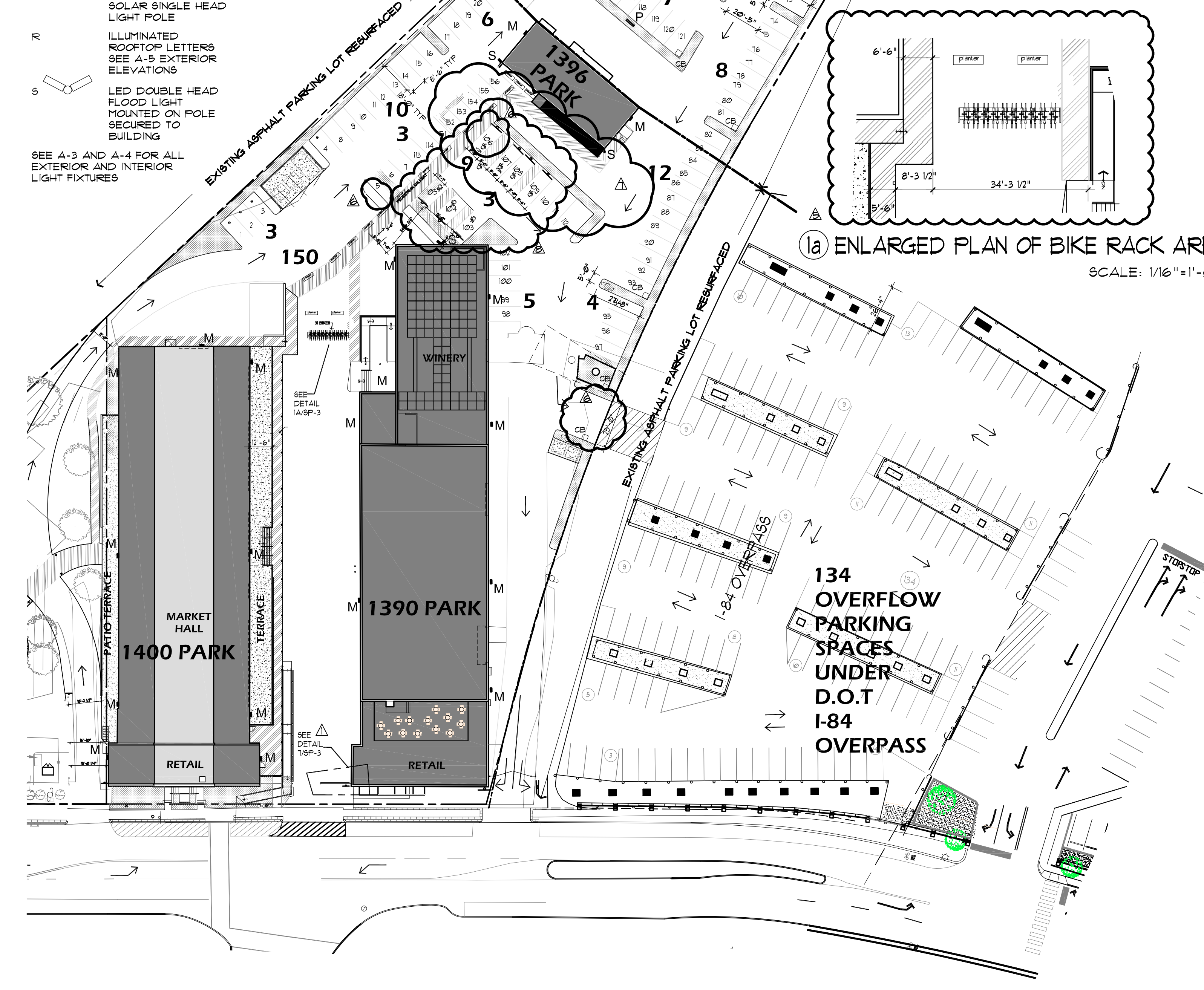
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	REQUIRED	PROPOSED
PARKING SPACES	141 (332x15 BIKE CREDIT/2 TRANSIT CREDIT)	150 134 OVERFLOW PARKING LOT #184
ADA SPACES	6	10 (10 SPACES INCLUDED, SPACES #103-109)
ADJACENT SPACES	n/a	438 ADJACENT SPACES WITHIN 500 FT.
BICYCLE SPACES	n/a	20
SCOOTER SPACES	n/a	0
MOTORCYCLE	n/a	0

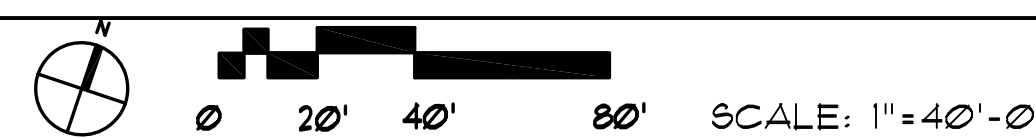
- M EXTERIOR SECURITY LIGHT, SEE SITE PLANS FOR LOCATIONS
 - P DOUBLE HEAD SOLAR LIGHT POLE
 - Q WALKWAY HEIGHT SOLAR SINGLE HEAD LIGHT POLE
 - R ILLUMINATED ROOFTOP LETTERS SEE A-5 EXTERIOR ELEVATIONS
 - S LED DOUBLE HEAD FLOOD LIGHT MOUNTED ON POLE SECURED TO BUILDING
- SEE A-3 AND A-4 FOR ALL EXTERIOR AND INTERIOR LIGHT FIXTURES

NOTE: THE CITY OF HARTFORD ENGINEER RESERVES THE RIGHT TO CHANGE TRAFFIC PATTERNS AND ENSURE THE PUBLIC SAFETY AT THE INTERSECTIONS WHEN AND IF DEEMED NECESSARY



(la) ENLARGED PLAN OF BIKE RACK AREA SCALE: 1/16"=1'-0"

(1) PARKING PLAN

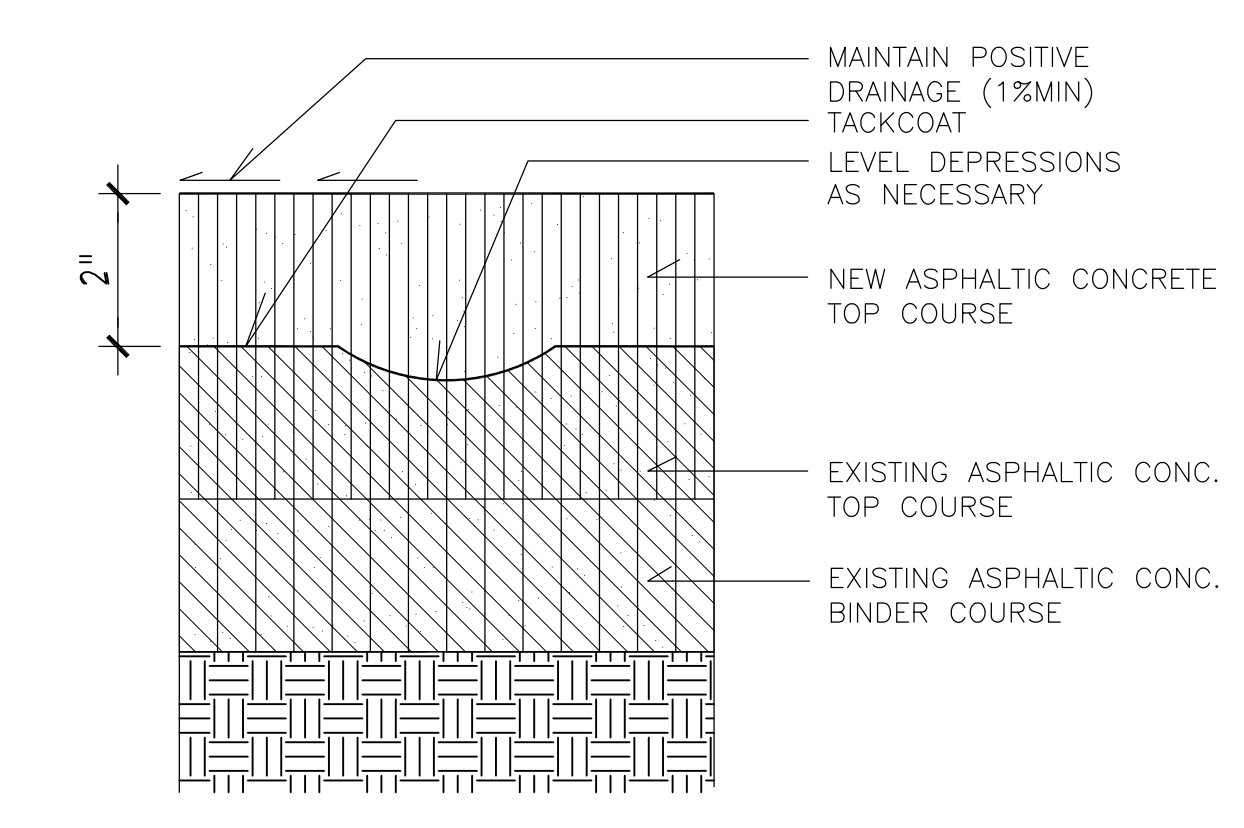
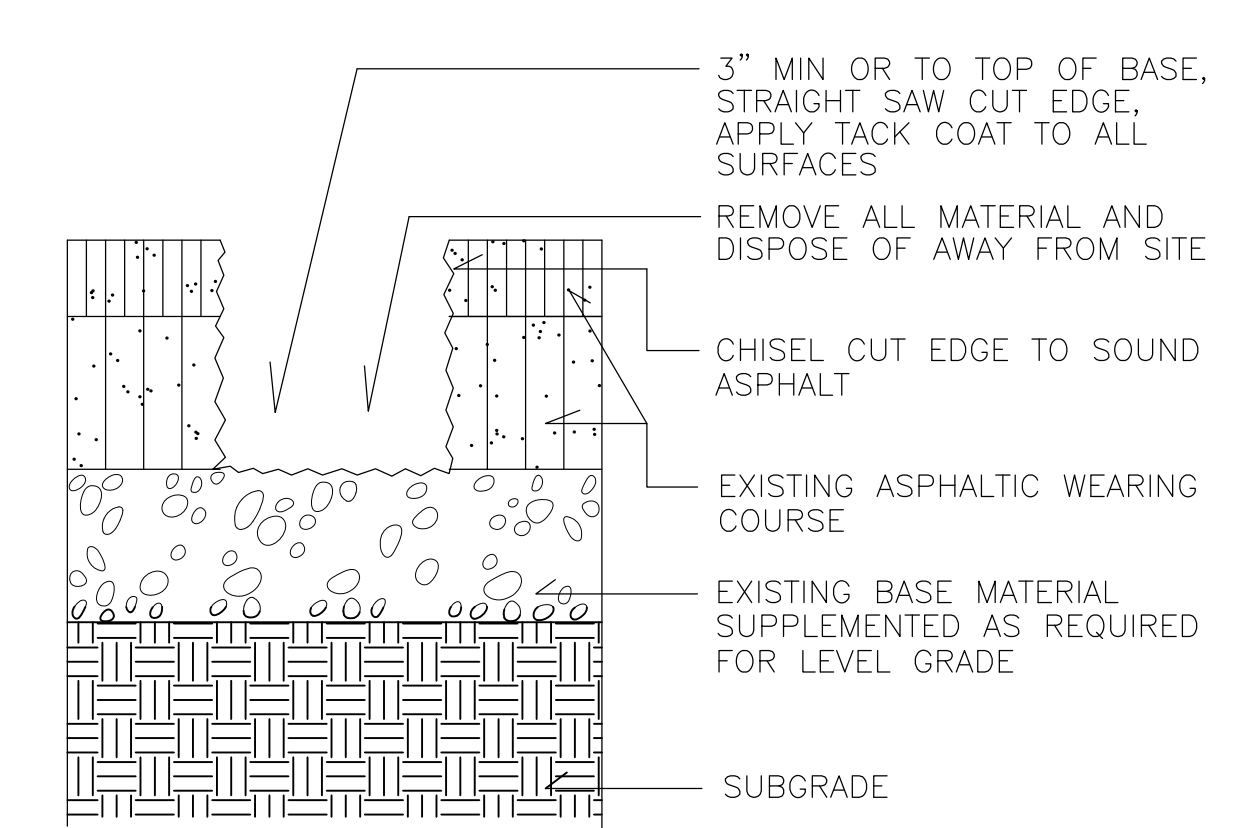


CHAINS AND U-LOCKS SUPPORTED AT 2 POINTS OF FRAME

U-Lockit 10-Bike 66 in. Galvanized Bike Rack

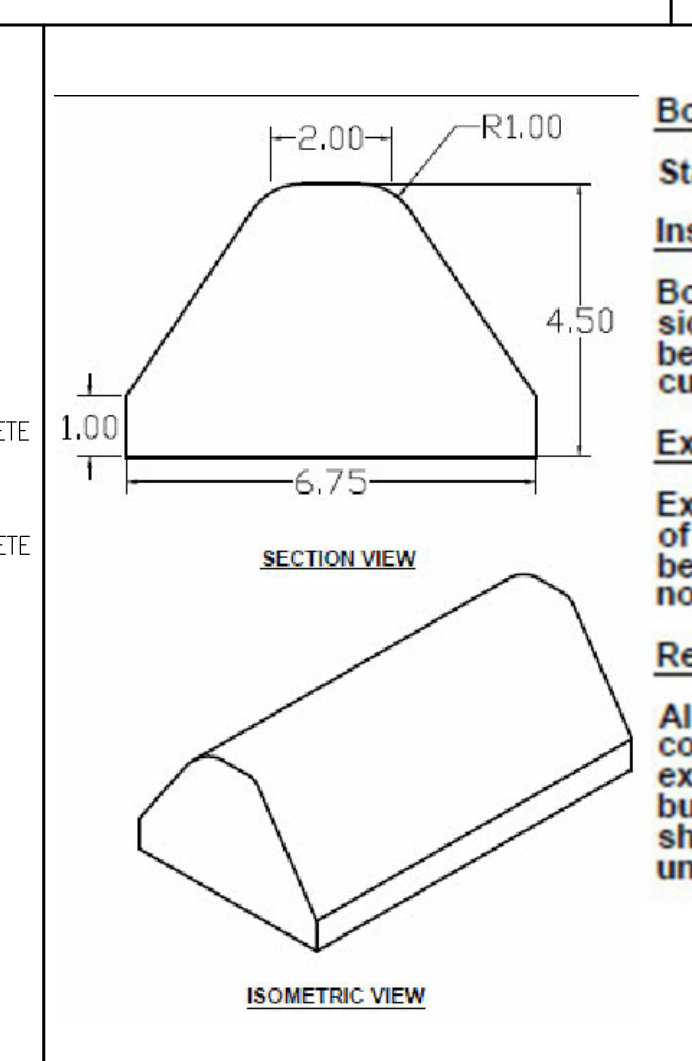
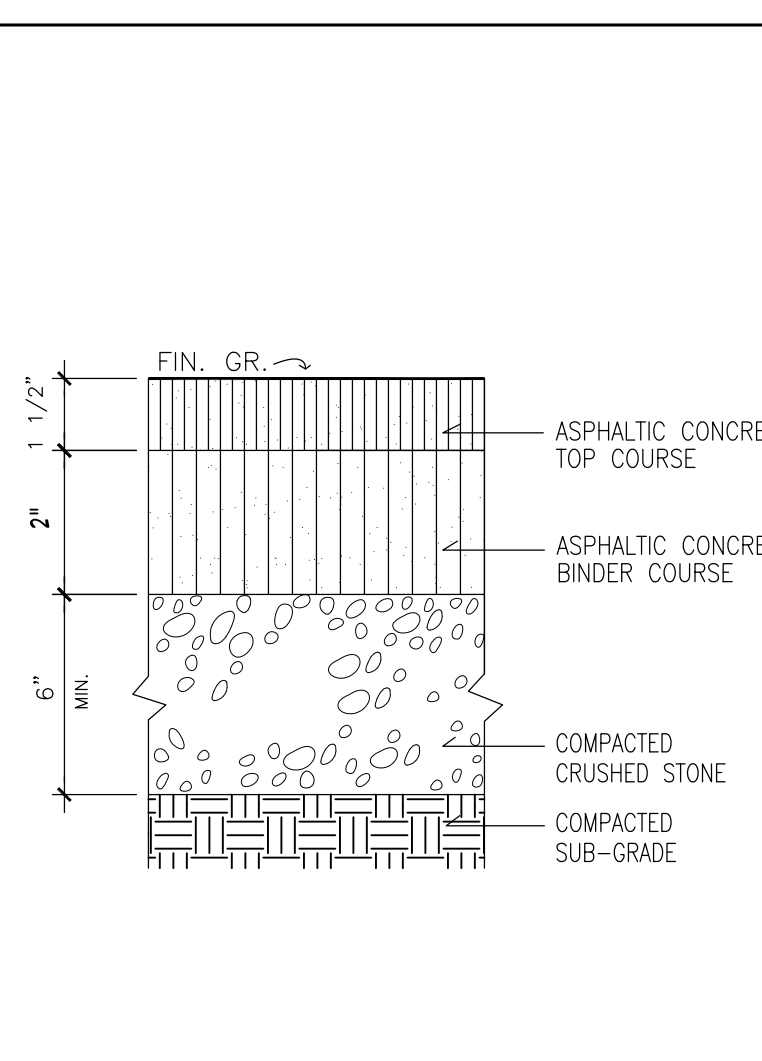
(2) TYP. BIKE RACK DETAIL

SCALE: N.T.S.



(3) ASPHALT PATCH DETAIL, TYP

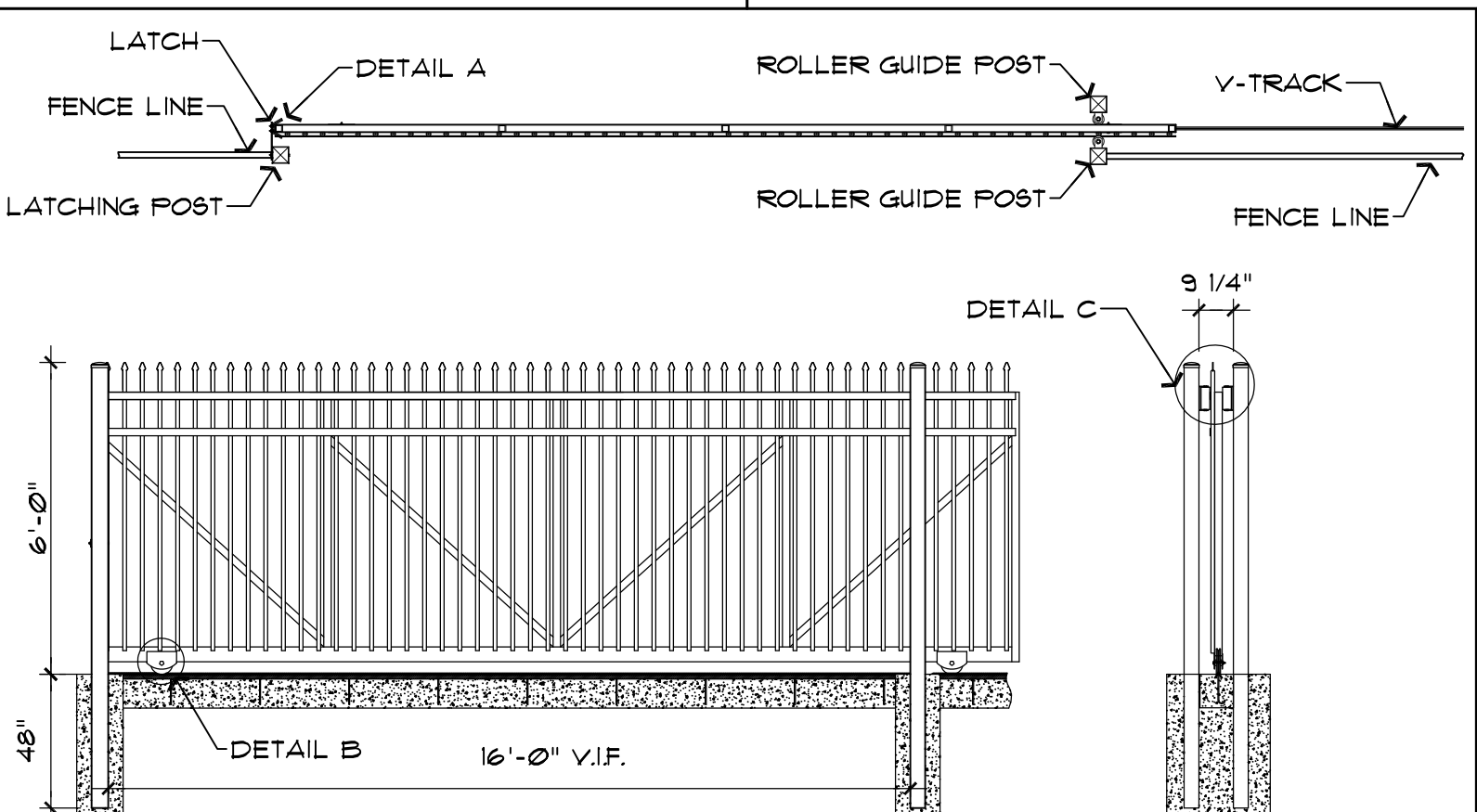
(4) ASPHALT RESURFACING SECTION, TYP



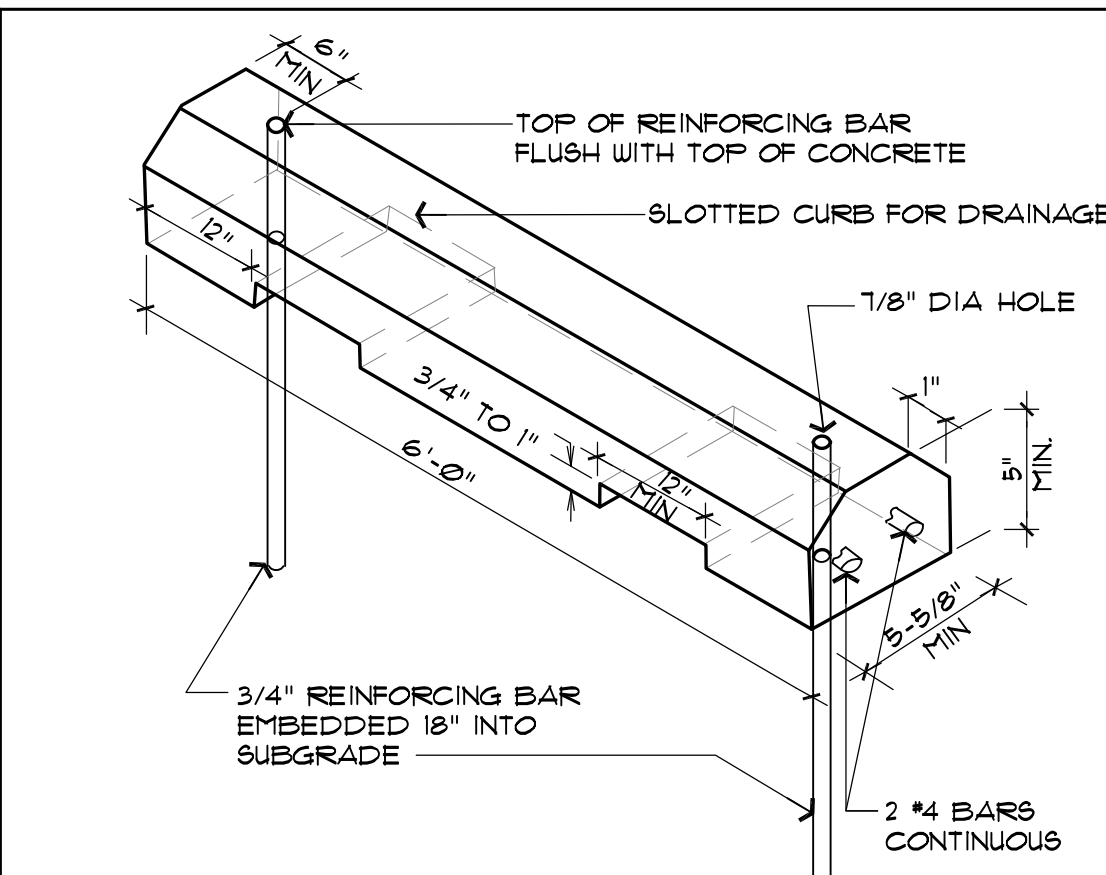
Bonding agent / Asphalt Extruded Curb on Asphalt:
 Standard asphalt "tack" is acceptable. Available at most asphalt plants.
Instructions for placing Bonding agent regardless of type:
 Bonding agent, placed with synthetic broom shall be placed end to end and side to side such that when curb is placed on same, a small amount of bonding agent can be seen on one side or the other in multiple locations. In the case of asphalt curbing, tack may be placed using any method that achieves similar results.
Expansion joints / Drain Hole Placement:
 Expansion joints shall be placed no less than every 20' and run entire depth/height of curb and shall be finished with appropriate finishing tool. All drain holes shall be placed at the bottom of every other expansion joint and at any low spots. Does not apply to asphalt extruded curbing.
Re-enforcement:
 All outside corners and radii, up to 12 foot radii, shall have a "Bullnose" (added concrete to reinforce curbing). Bullnose shall be flush with the top of the curb and extend the entire radius. In the case of outside corners (facing parking area), bullnose shall extend no less than 12 inches back from the corner of the curb. All shall be beveled at 45 degrees to lessen impact damage. No steel shall be allowed unless mandated by Architect, Engineer or Municipal agency.

(5) TYPICAL ASPHALT PAVING FOR ROAD OR PARKING LOT

(6) ASPHALT CURB DETAIL

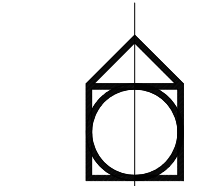


(7) EXISTING GATE PLAN SECTION AND ELEVATION SCALE: 1/4"=1'-0"

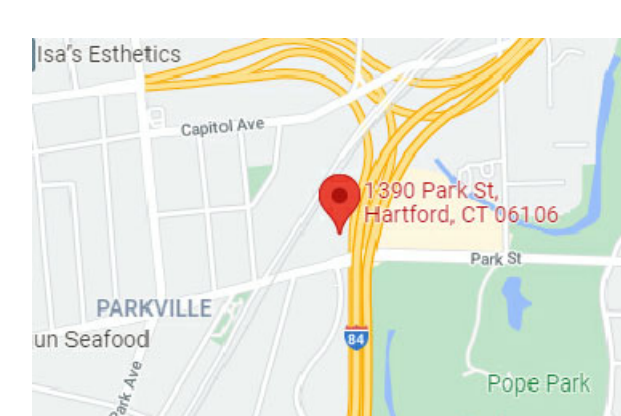


(8) WHEEL STOP DETAIL, TYP SCALE: N.T.S.

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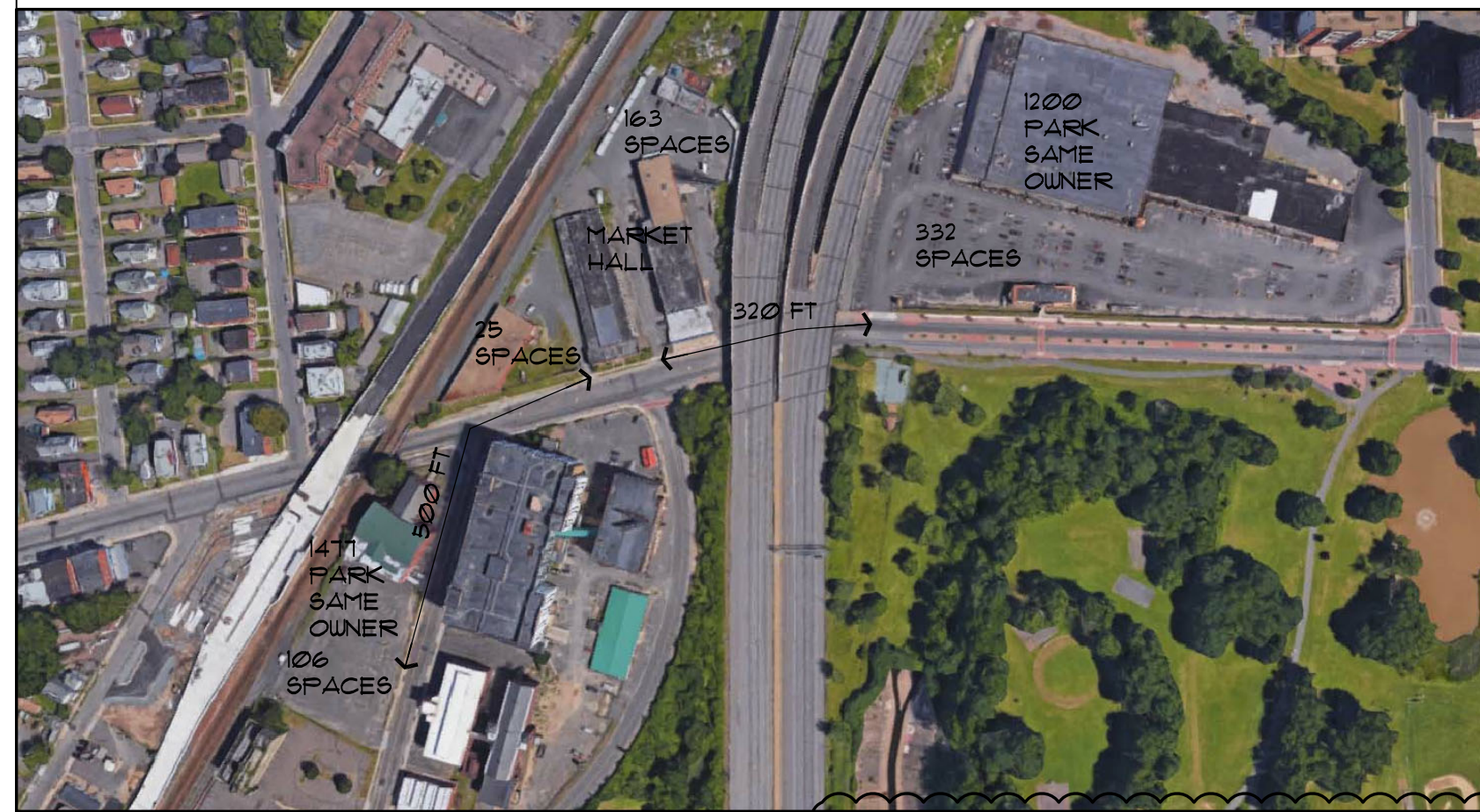
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	SITE PLAN REVIEW SUBMISSION	8/16/18
	REVISIONS AS PER P & Z COMMENTS DATED 2/1/19	2/19/19
	REVISIONS AS PER P&Z COMMENTS (ELIZABETH GANDESON)	10/10/19
	REVISIONS AS PER NEW TENANT	11/30/21
	CLARIFICATIONS TO P&Z COMMENTS DATED 5-10-22	6/5/22
	CLARIFICATIONS TO P&Z COMMENTS DATED 7-28-22	8/5/22
	REV AS PER DOJ COMMENTS DATED 8-1-22	8/15/22

drawing title
 PARKING PLAN, LIGHTING LAYOUT & SITE DETAILS CONT'D

scale:	designer:
as indicated	h.c.b.
project no.:	drawn by:
21729	s.m.
date:	checked by:
11/30/2021	h.c.b.
seal	sheet number
	SP-3
	sheet
	X of X

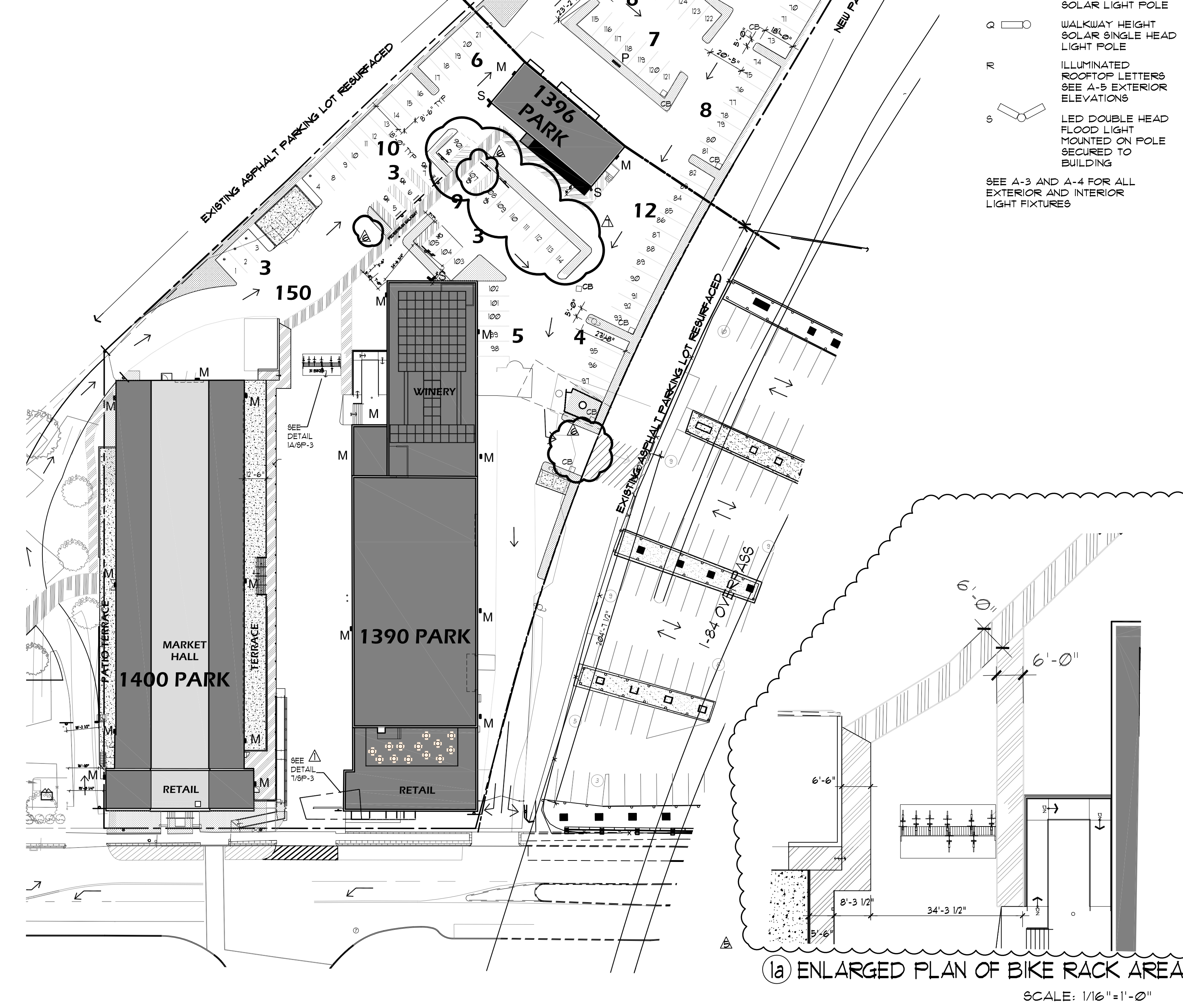
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ADJACENT ADDITIONAL PARKING: TOTAL 463 ADJACENT SPACES BETWEEN 0-500 FEET AWAY



	REQUIRED	PROPOSED
PARKING SPACES	141 (332x15 BIKE CREDIT/2 TRANSIT CREDIT)	150
ADA SPACES	6	6 (ONE SPACE INCLUDED, SPACE #56, 105, 110, 114)
ADJACENT SPACES	n/a	432 ADJACENT SPACES WITHIN 500 FT.
BICYCLE SPACES	n/a	62
SCOOTER SPACES	n/a	0
MOTORCYCLE	n/a	0

NOTE: THE CITY OF HARTFORD ENGINEER RESERVES THE RIGHT TO CHANGE TRAFFIC PATTERNS AND ENSURE THE PUBLIC SAFETY AT THE INTERSECTIONS WHEN AND IF DEEMED NECESSARY

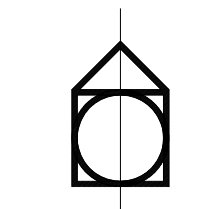


(a) ENLARGED PLAN OF BIKE RACK AREA
SCALE: 1/16" = 1'-0"

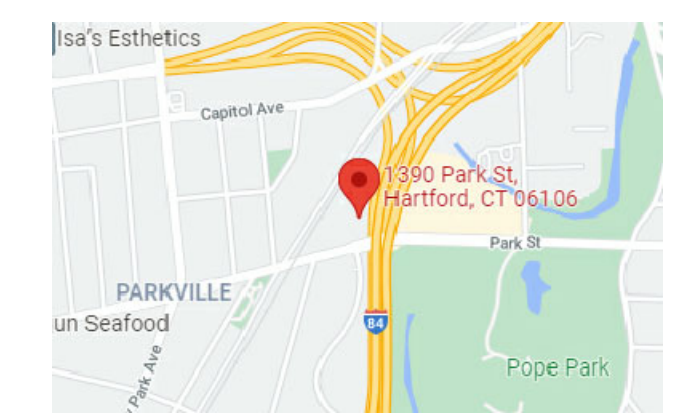
CHAINS AND U-LOCKS SUPPORTED AT 2 POINTS OF FRAME

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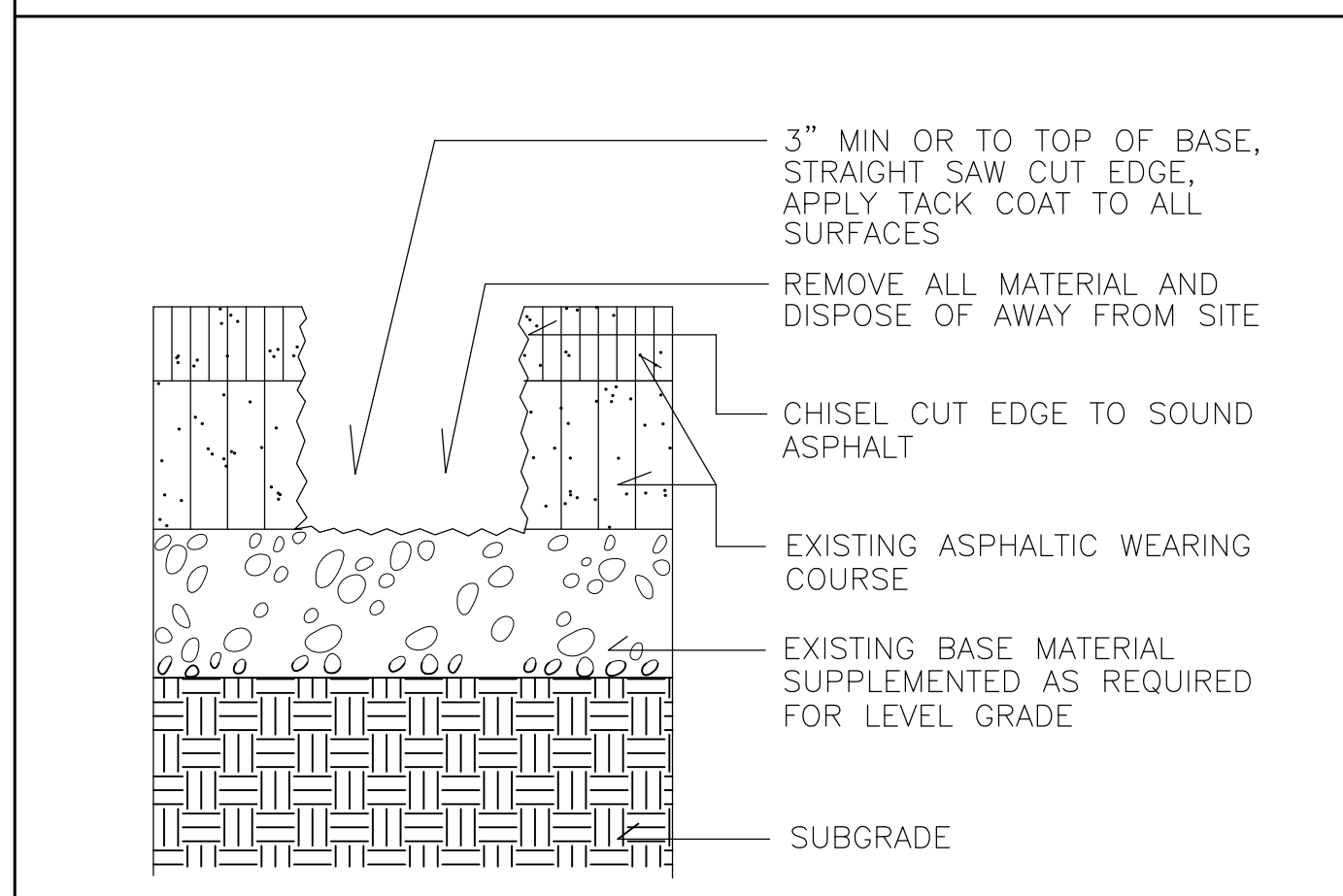
key plan	issue or revision	date
	SITE PLAN REVIEW SUBMISSION	8/6/18
	REVISIONS AS PER P + Z COMMENTS DATED 2/1/19	2/19/19
	REVISIONS AS PER PAZ COMMENTS TELIZABETH SANDERSON	10/10/19
	REVISIONS AS PER NEW TENANT	11/30/21
	CLARIFICATIONS TO PAZ COMMENTS DATED 8-18-22	6/5/22
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drawing title
PARKING PLAN, LIGHTING LAYOUT & SITE DETAILS CONT'D

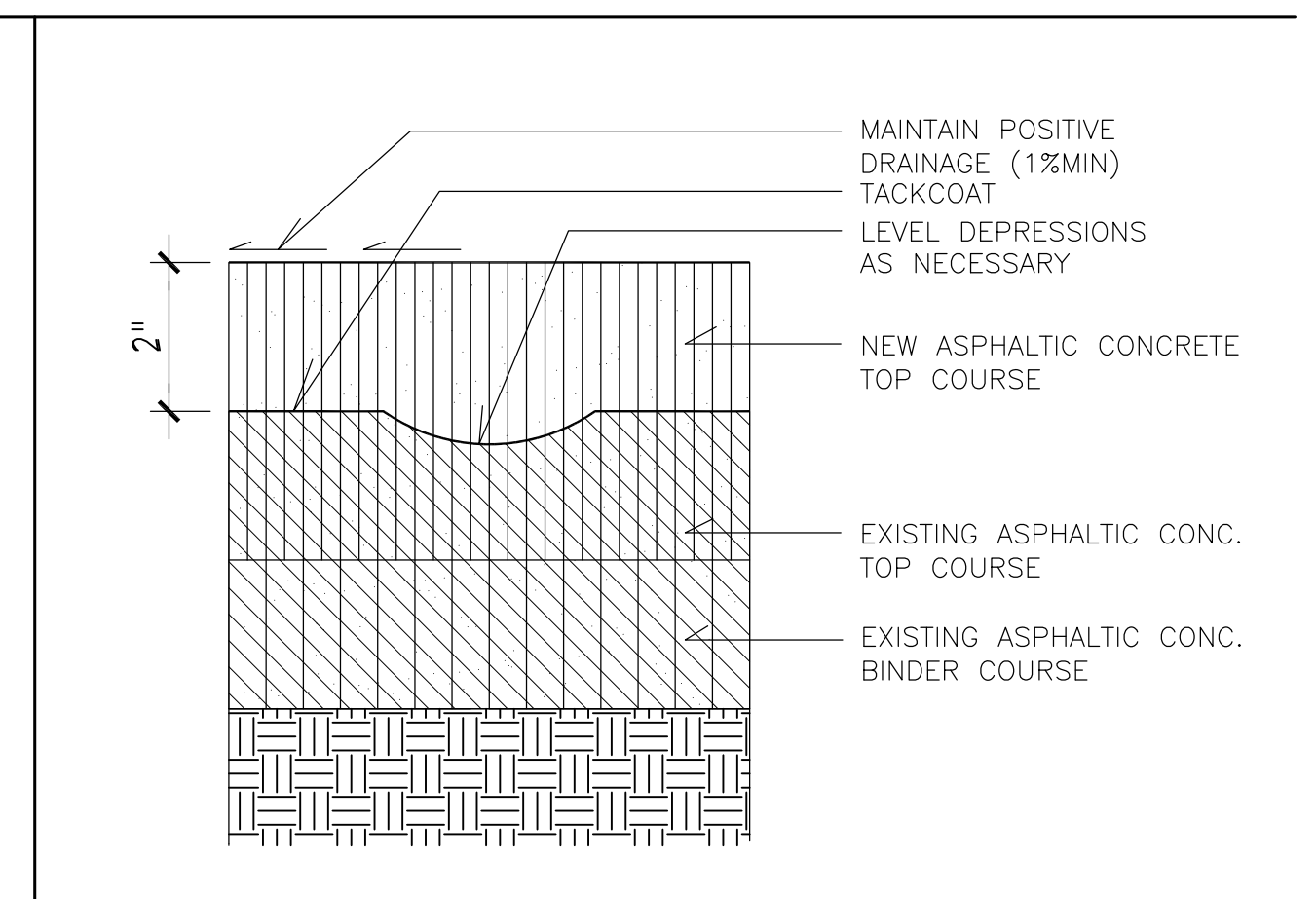
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designer: h.c.b.
project no.: 21729
drawn by: s.m.
date: 11/30/2021
checked by: h.c.b.
sheet number: SF-3
sheet: X of X

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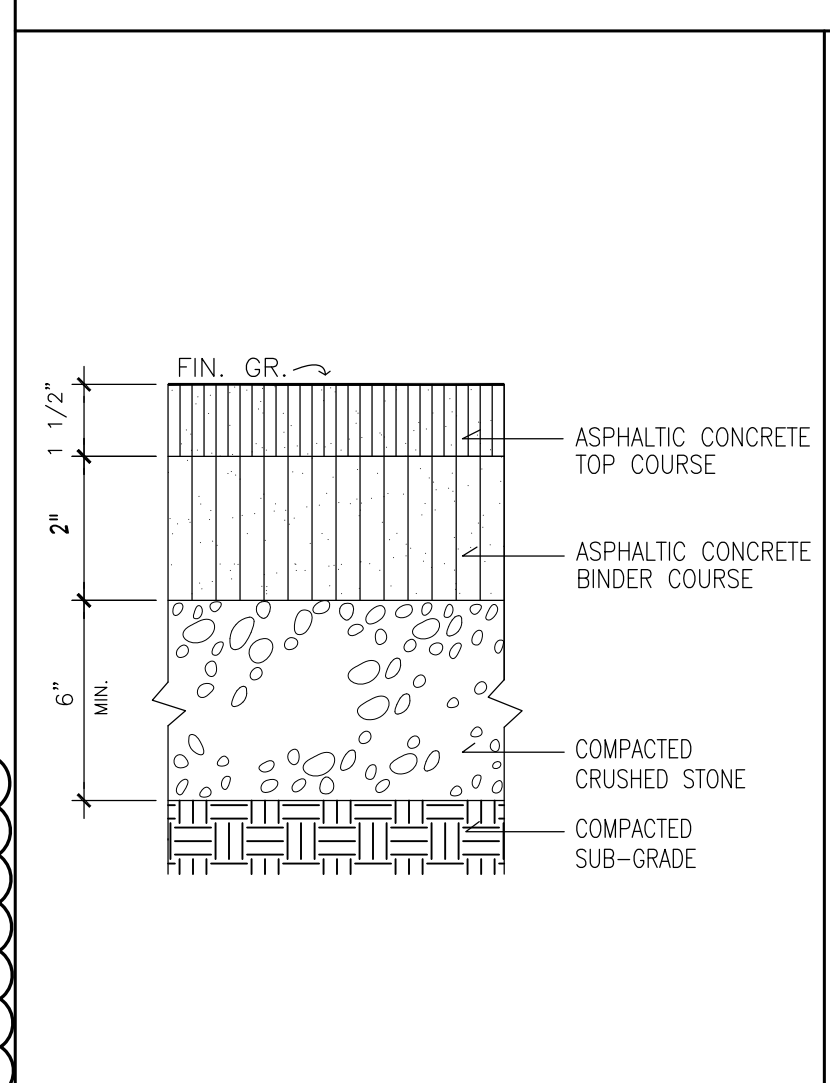
(2) TYP. BIKE RACK DETAIL



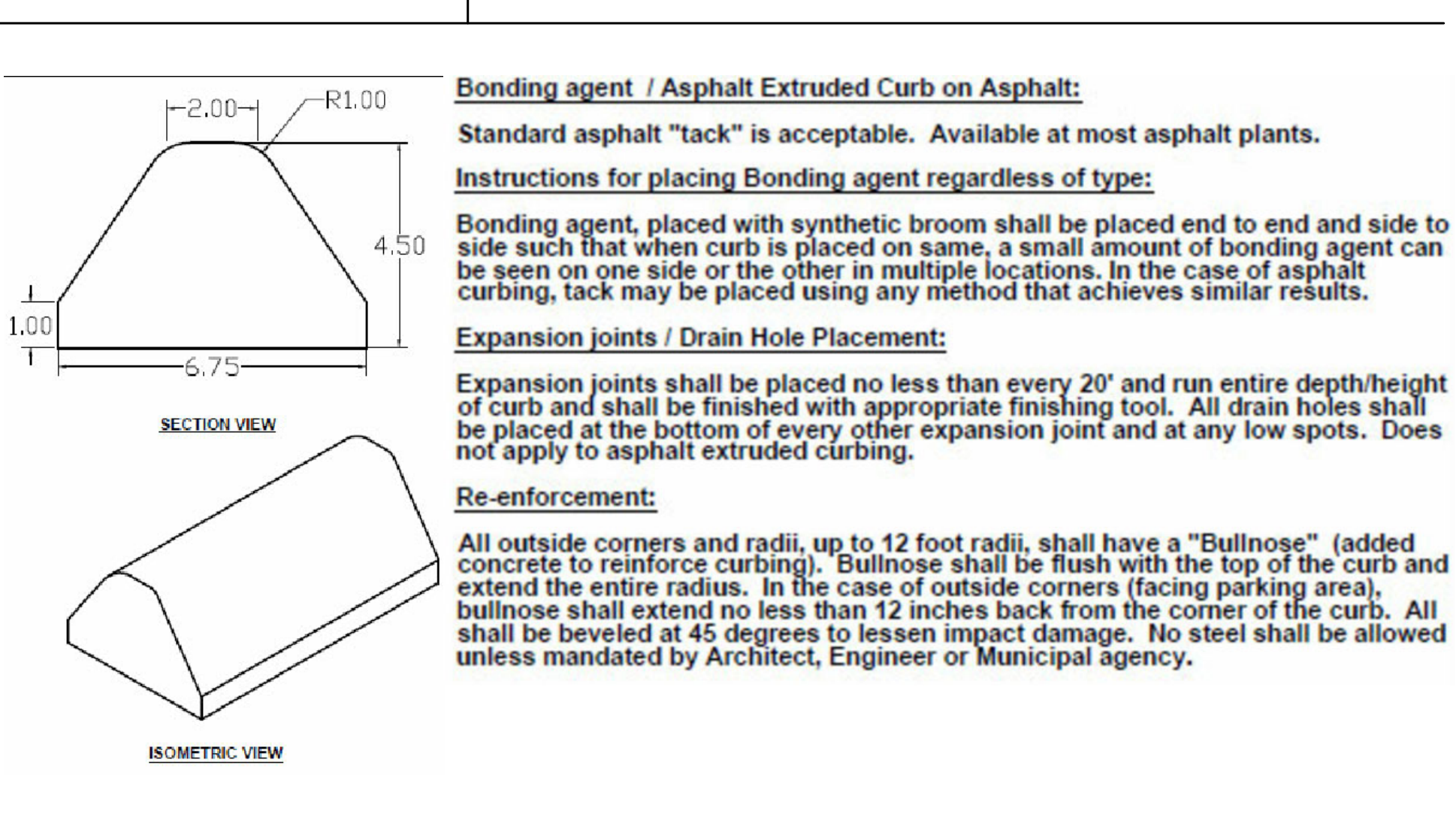
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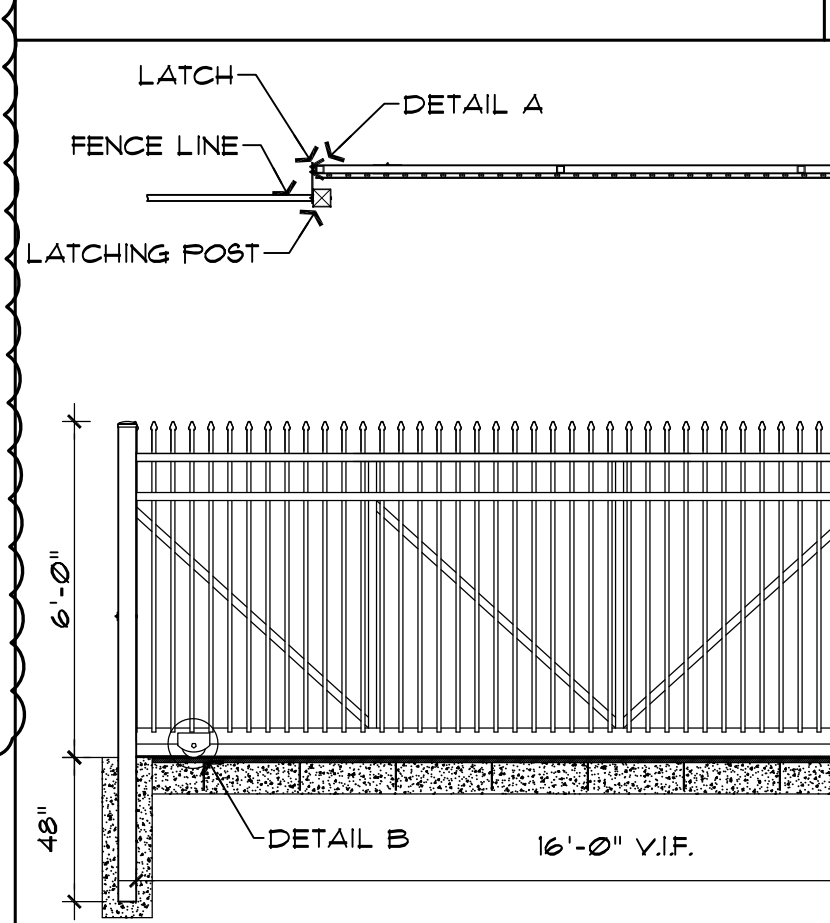
(3) ASPHALT PATCH DETAIL, TYP



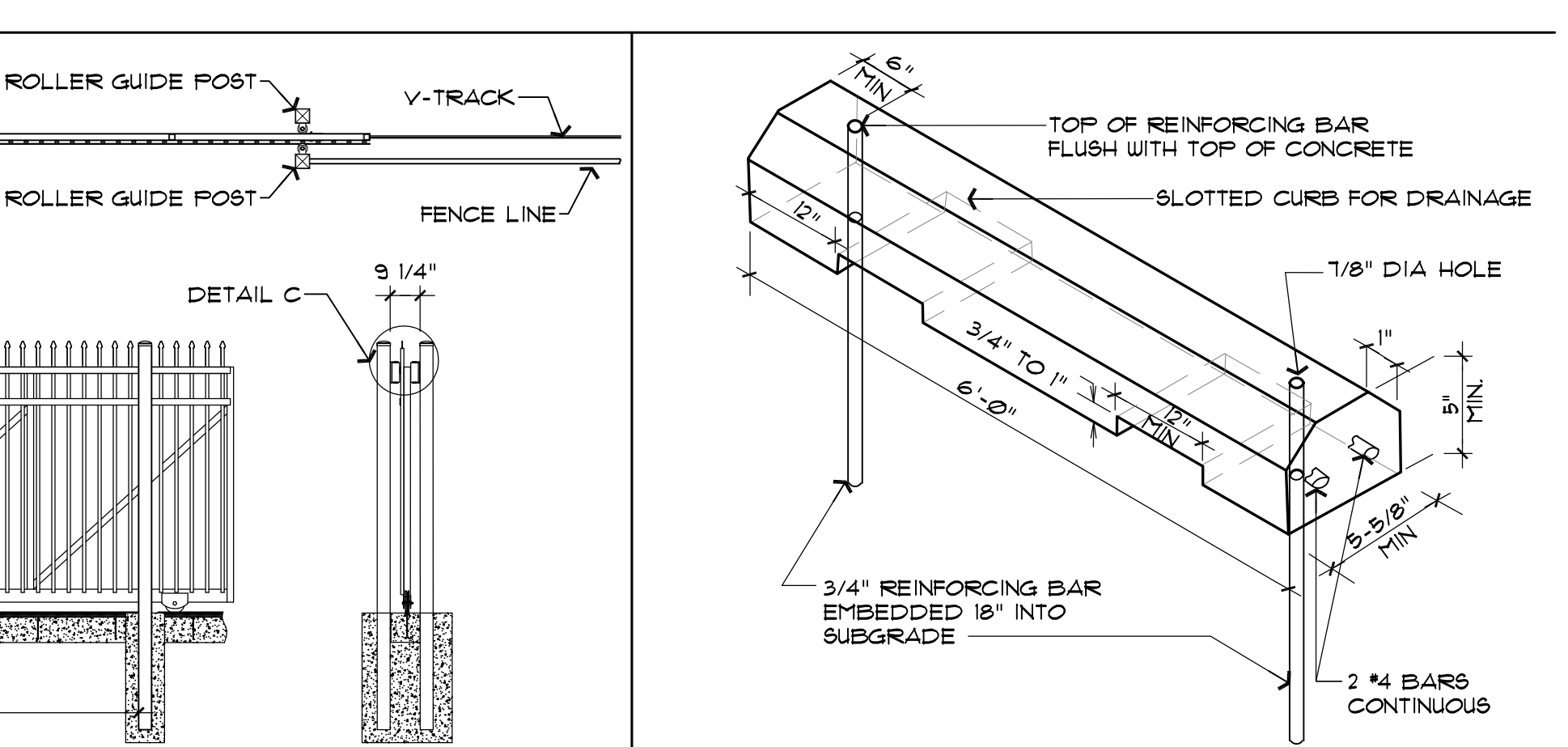
(4) ASPHALT RESURFACING SECTION, TYP



(5) TYPICAL ASPHALT PAVING FOR ROAD OR PARKING LOT



(6) ASPHALT CURB DETAIL



(7) EXISTING GATE PLAN SECTION AND ELEVATION
SCALE: 1/4" = 1'-0"



(8) WHEEL STOP DETAIL, TYP

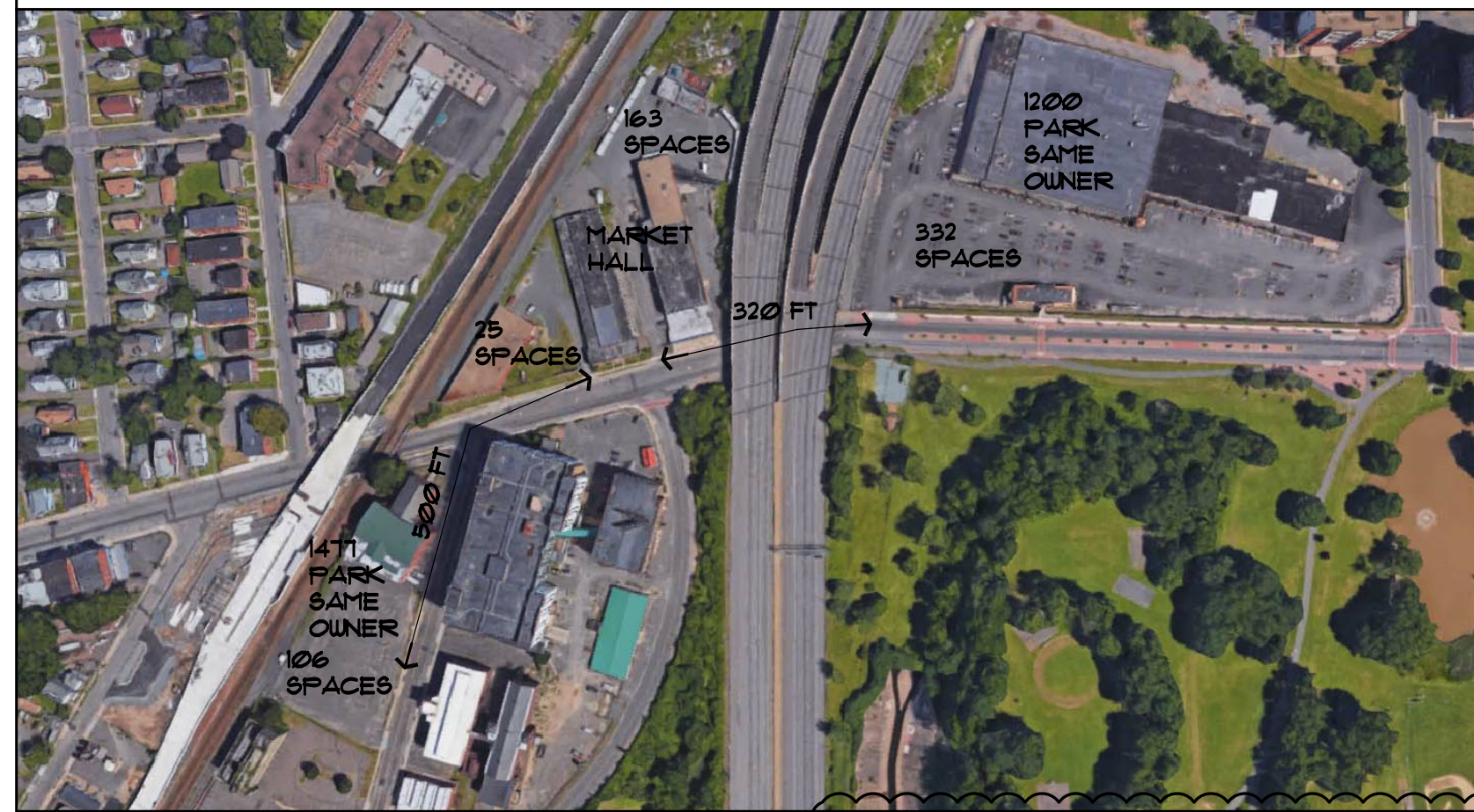


(1) PARKING PLAN



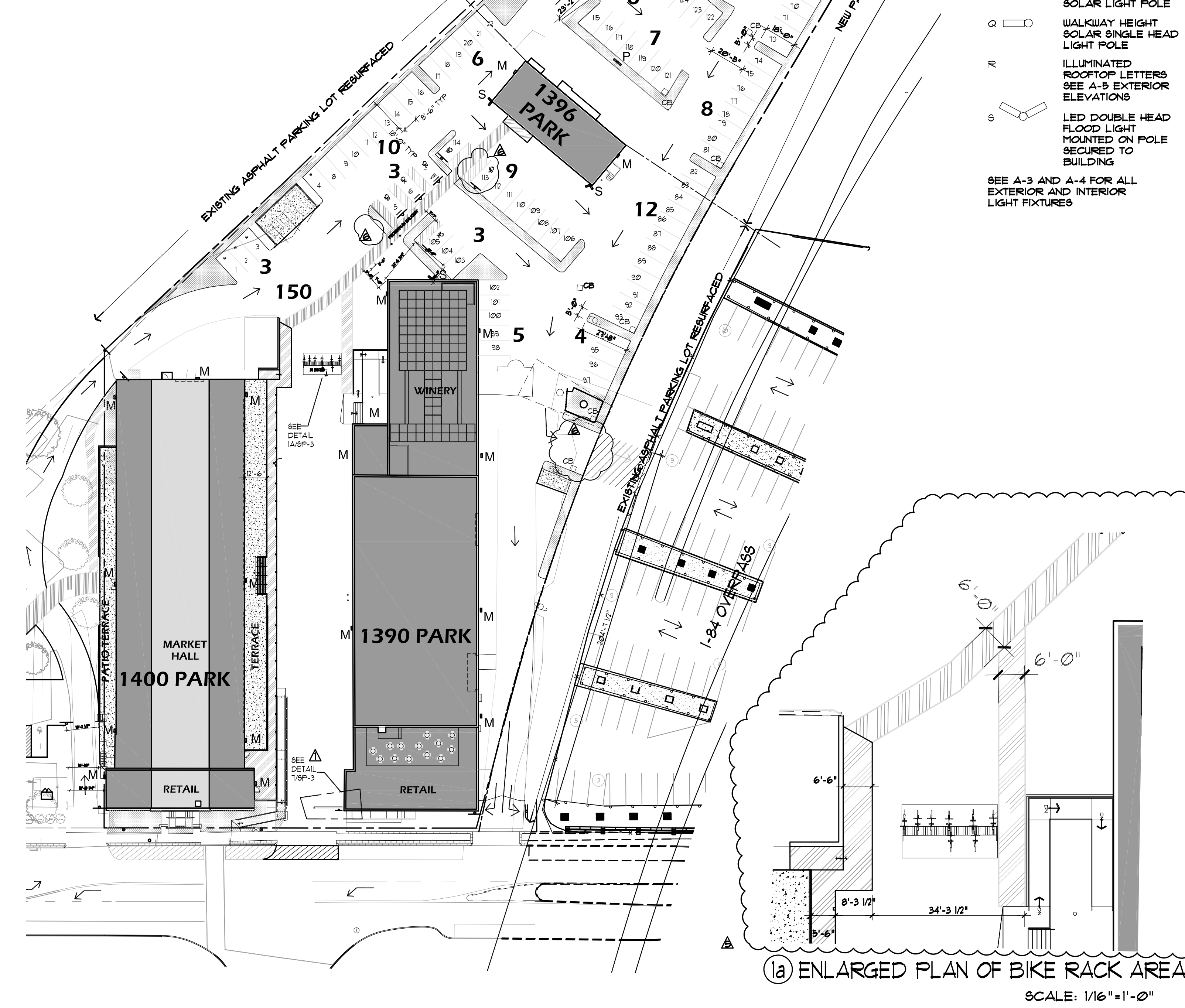
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ADJACENT ADDITIONAL PARKING: TOTAL 463 ADJACENT SPACES BETWEEN 2'-500 FEET AWAY

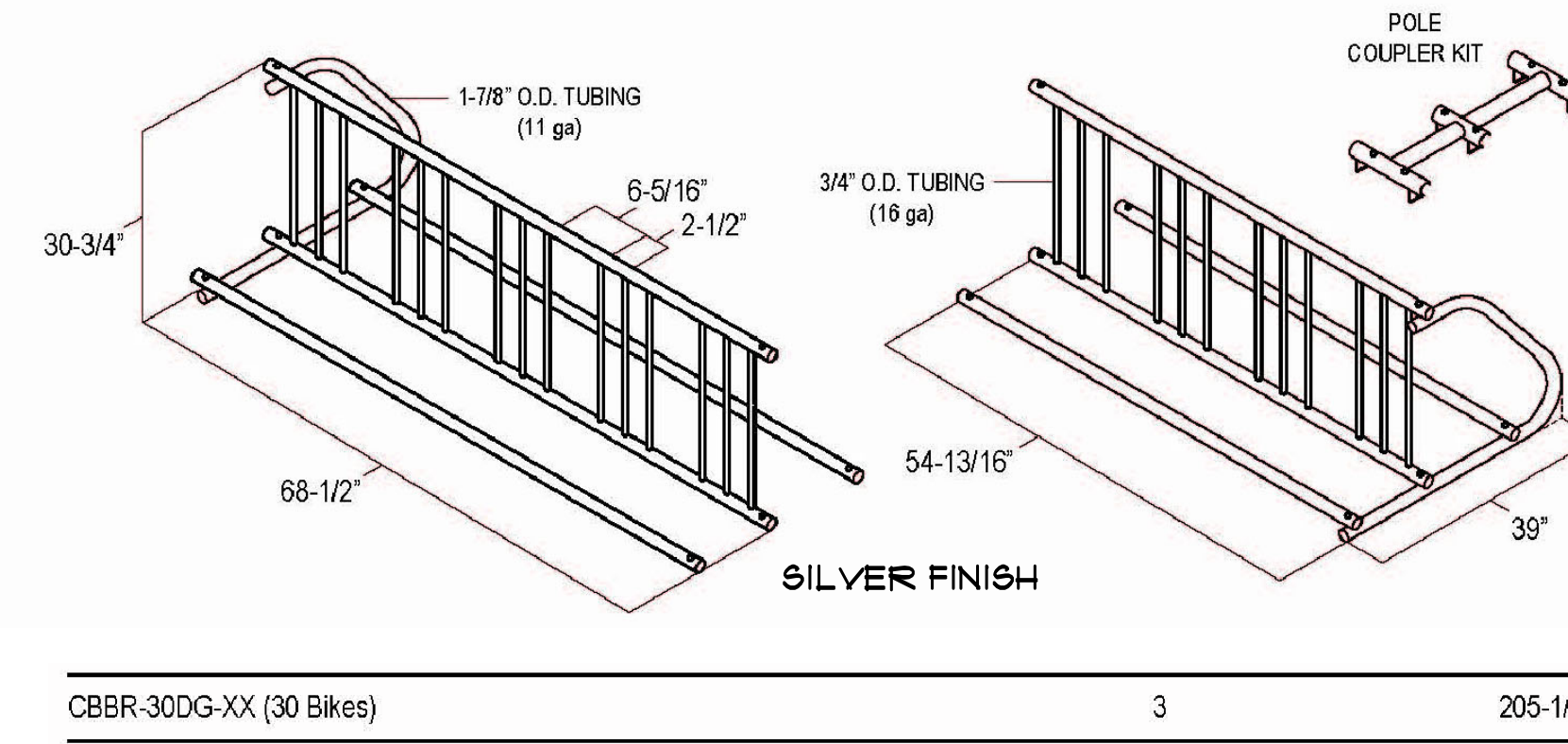
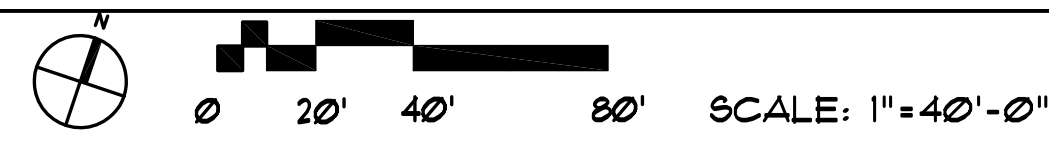


	REQUIRED	PROPOSED
PARKING SPACES	141 (332x15 BIKE CREDIT/2 TRANSIT CREDIT)	150
ADA SPACES	6	6 (2 VAN SPACE INCLUDED, 3 SPACE 5.6, 105 (VAN) 113)
ADJACENT SPACES	n/a	432 ADJACENT SPACES WITHIN 500 FT.
BICYCLE SPACES	n/a	62
SCOOTER SPACES	n/a	0
MOTORCYCLE	n/a	0

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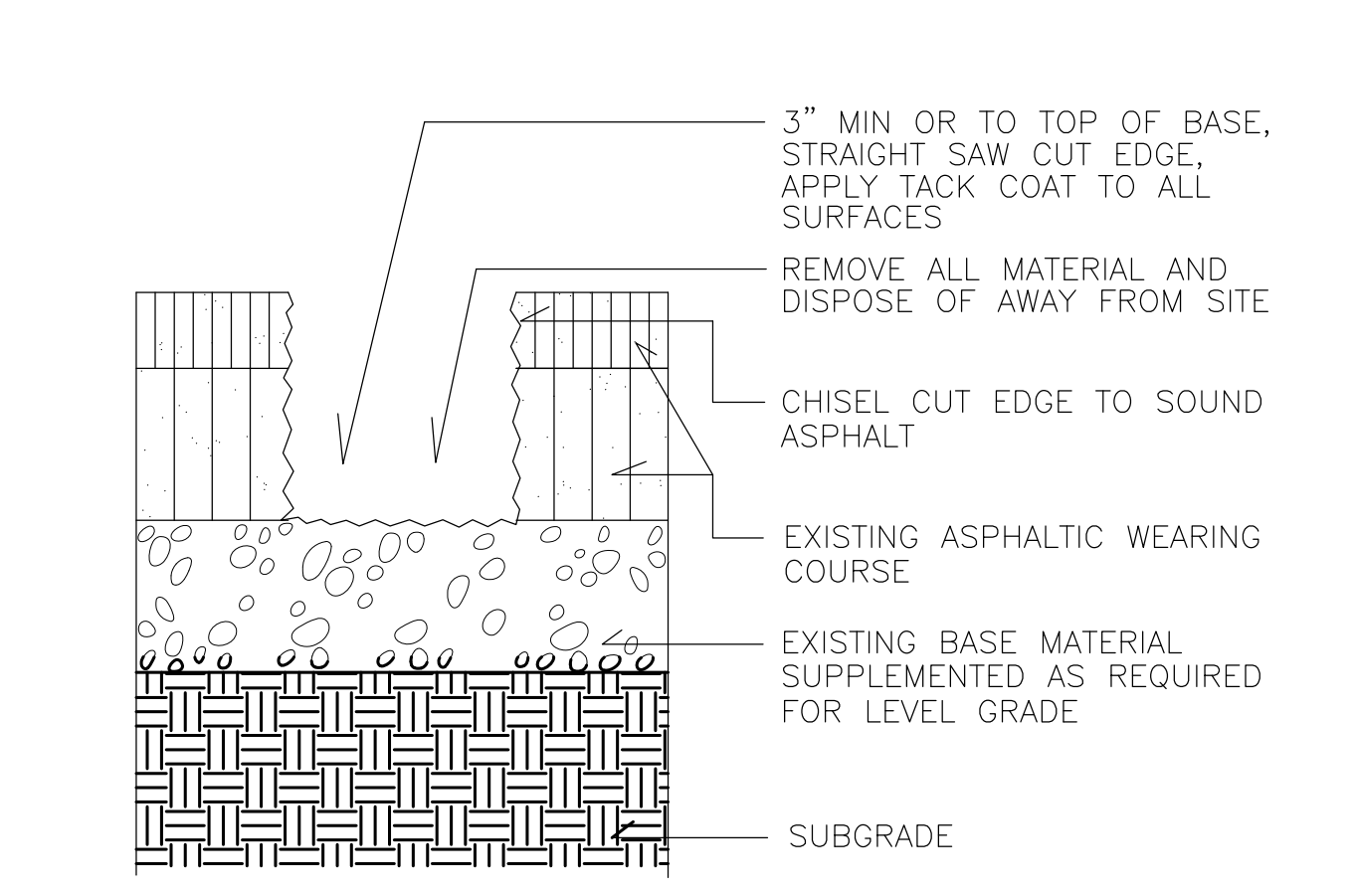
① PARKING PLAN



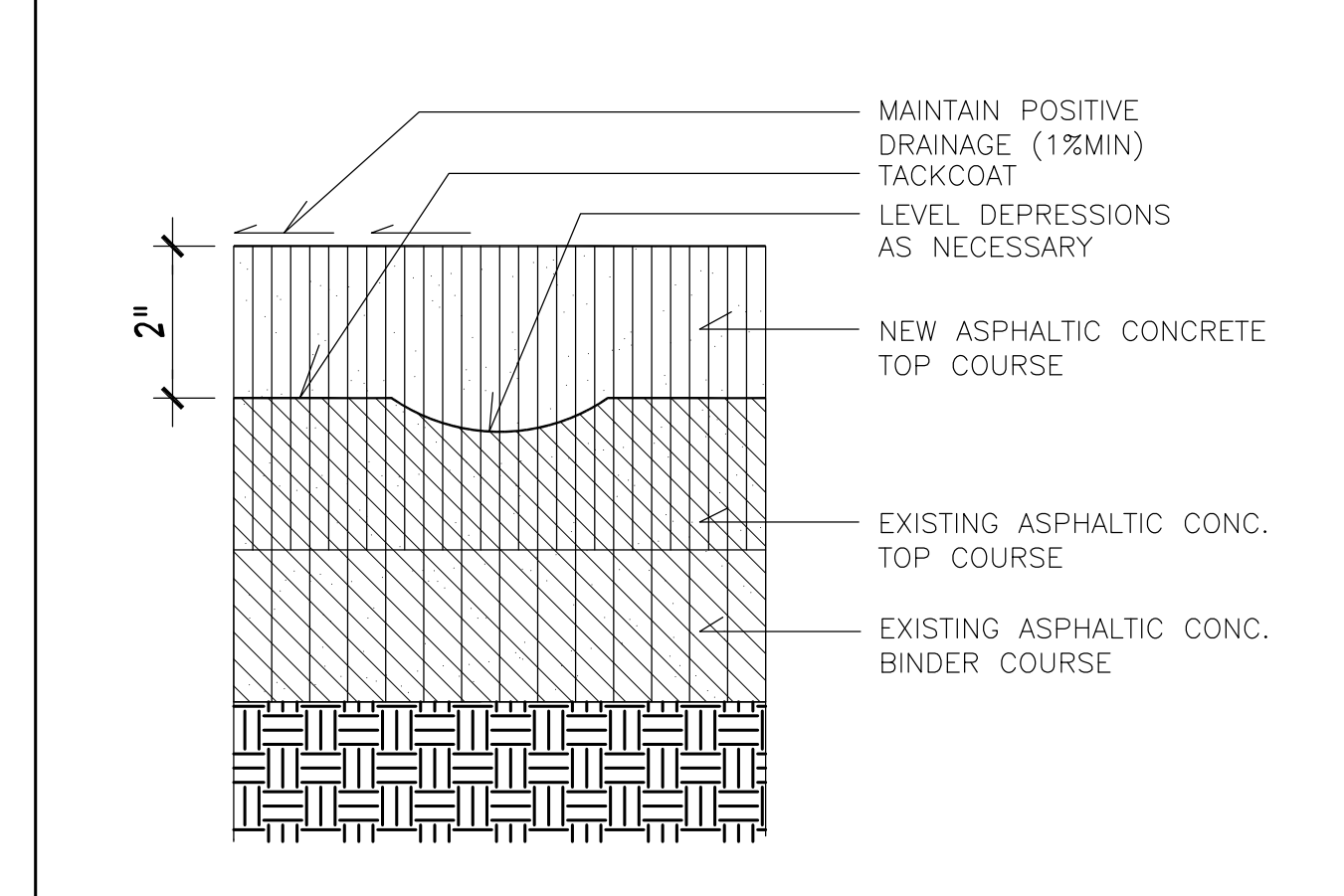
CHAINS AND U-LOCKS SUPPORTED AT 2 POINTS OF FRAME

② TYP. BIKE RACK DETAIL

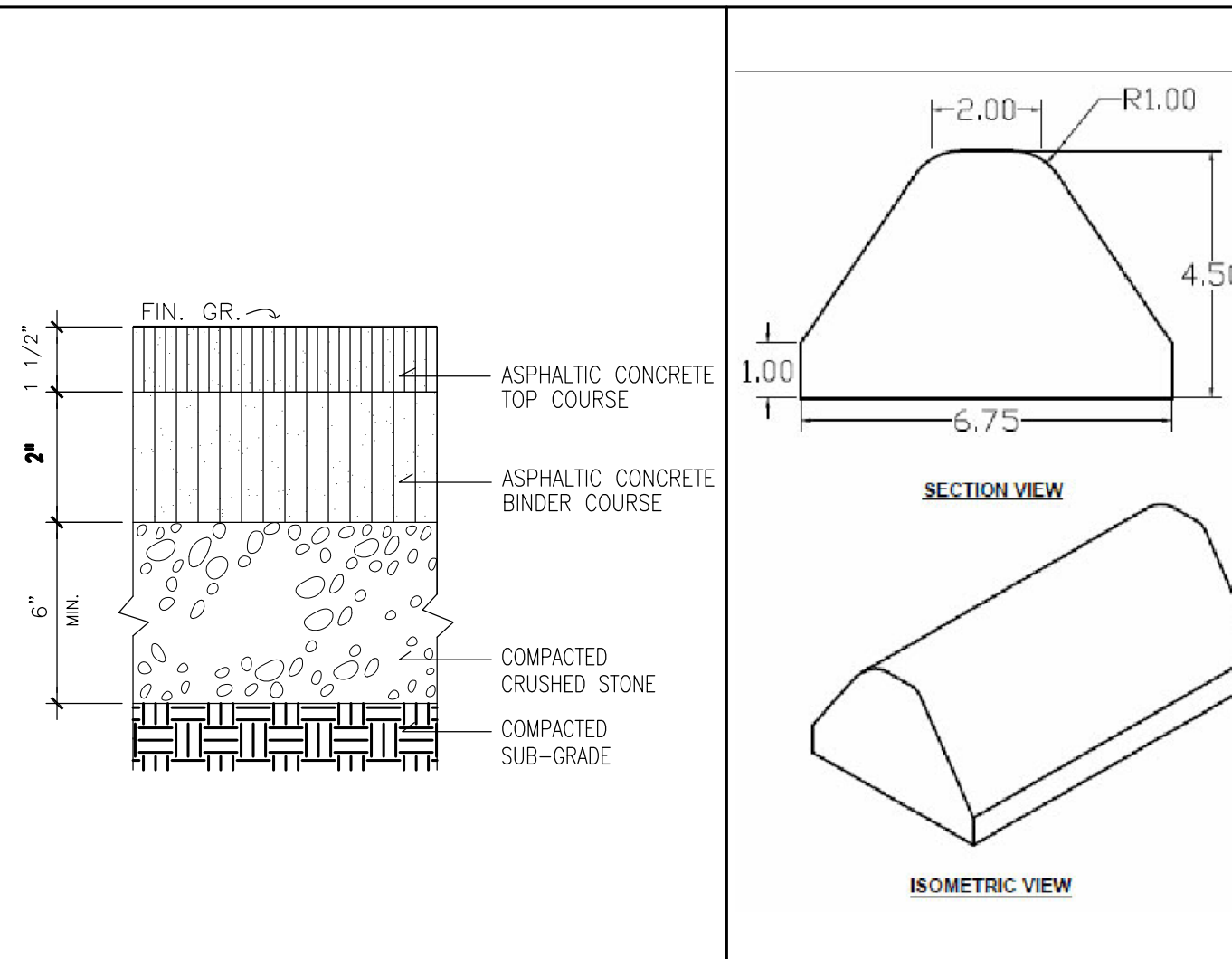
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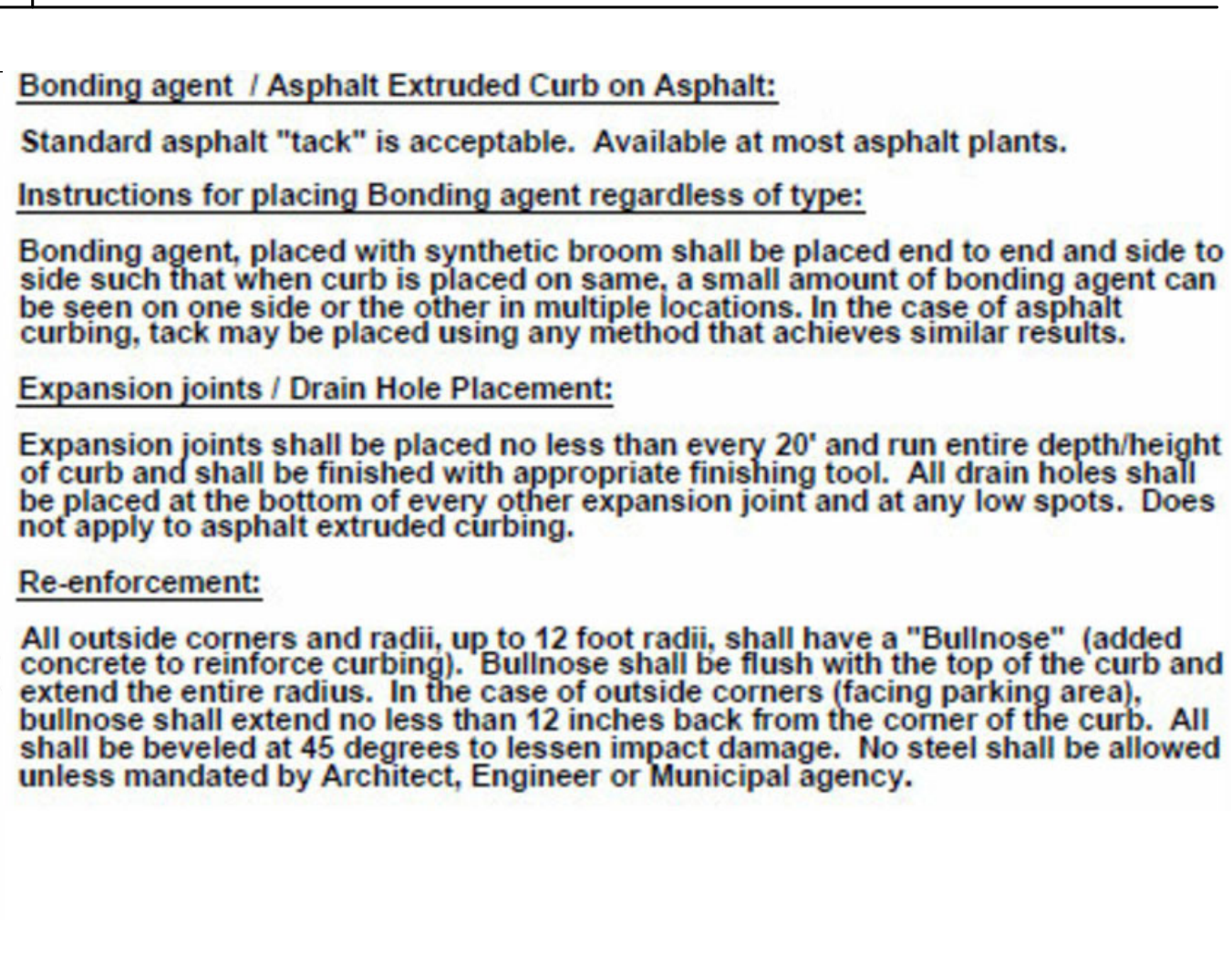
③ ASPHALT PATCH DETAIL, TYP



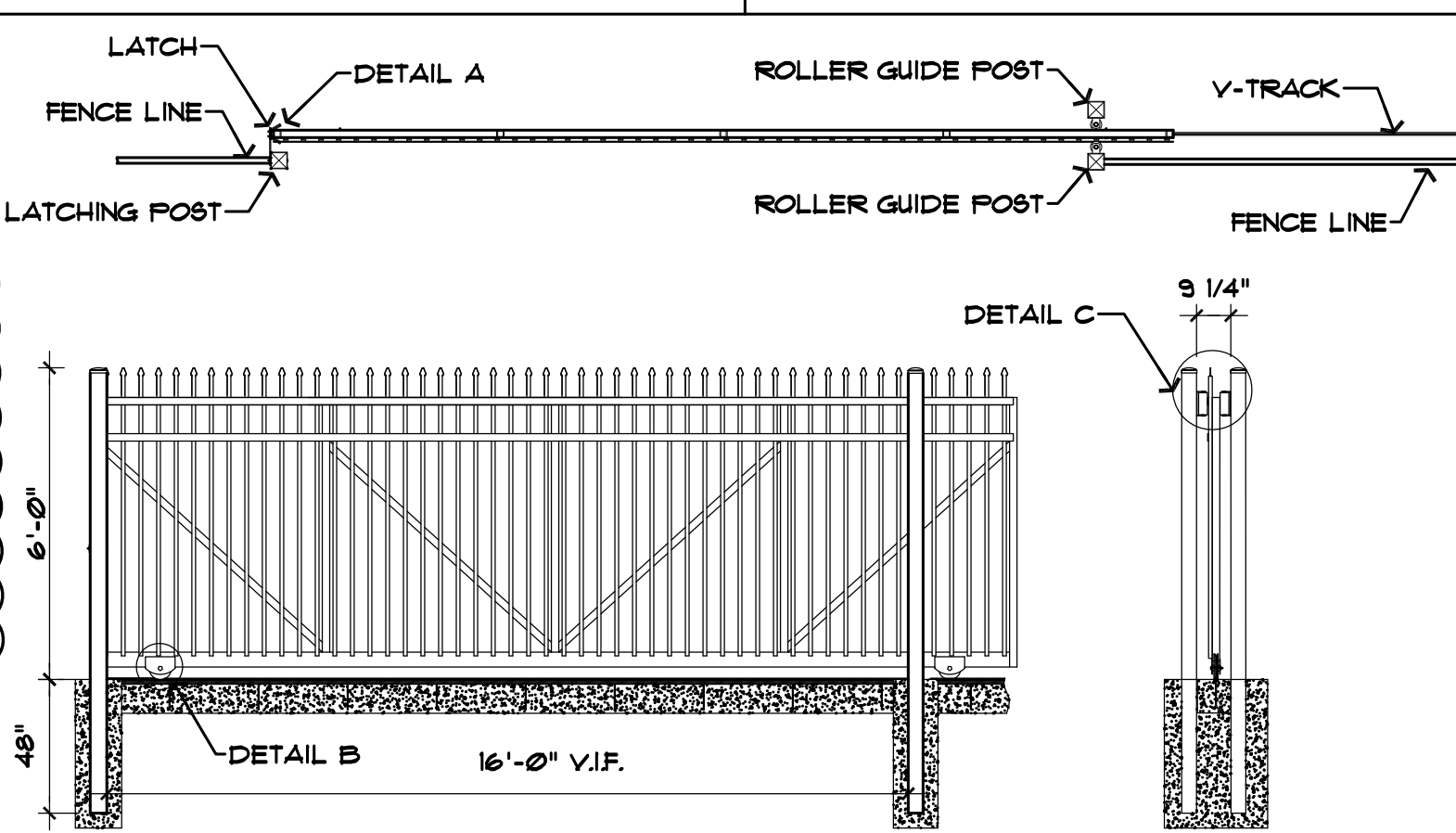
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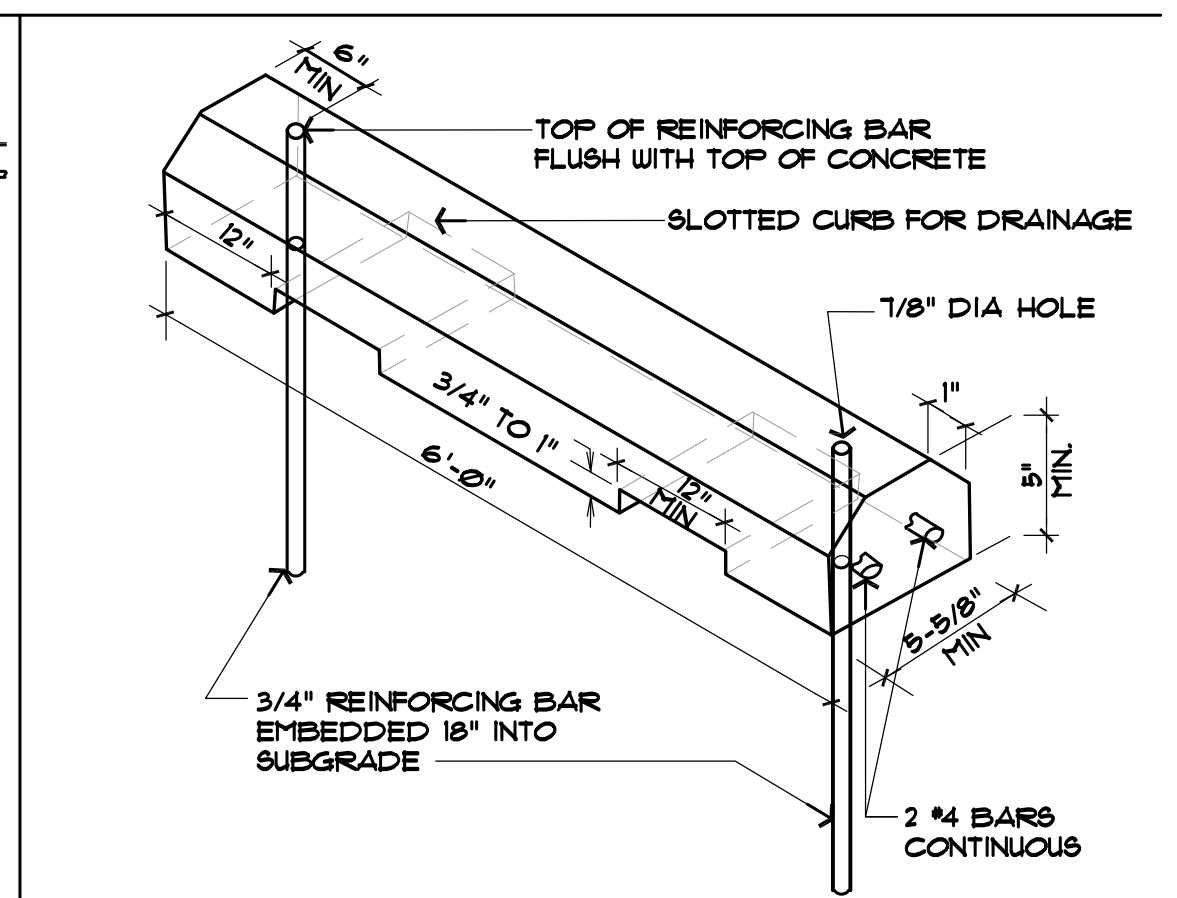
⑤ TYPICAL ASPHALT PAVING FOR ROAD OR PARKING LOT



⑥ ASPHALT CURB DETAIL



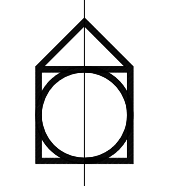
⑦ EXISTING GATE PLAN SECTION AND ELEVATION



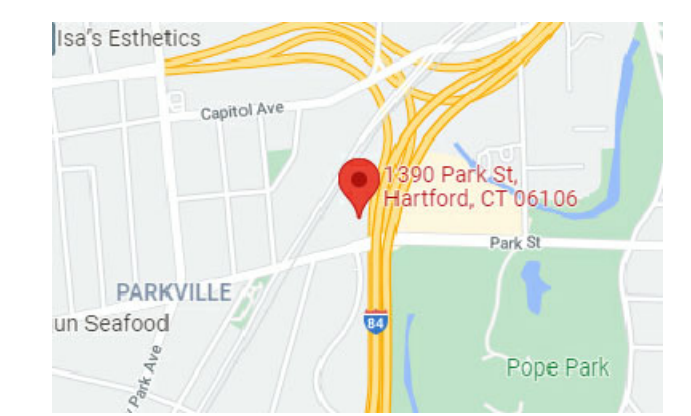
⑧ WHEEL STOP DETAIL, TYP

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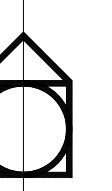
key plan	issue or revision	date
	SITE PLAN REVIEW SUBMISSION	8/6/19
	REVISIONS AS PER P + Z COMMENTS DATED 2/18	2/19/19
	REVISIONS AS PER PZ COMMENTS TELIZABETH SANDROSCAU	10/10/19
	REVISIONS AS PER NEW TENANT	11/30/21
	CLARIFICATIONS TO PZ COMMENTS DATED 8-18-22	6/5/22

drawing title
PARKING PLAN, LIGHTING LAYOUT & SITE DETAILS CONT'D

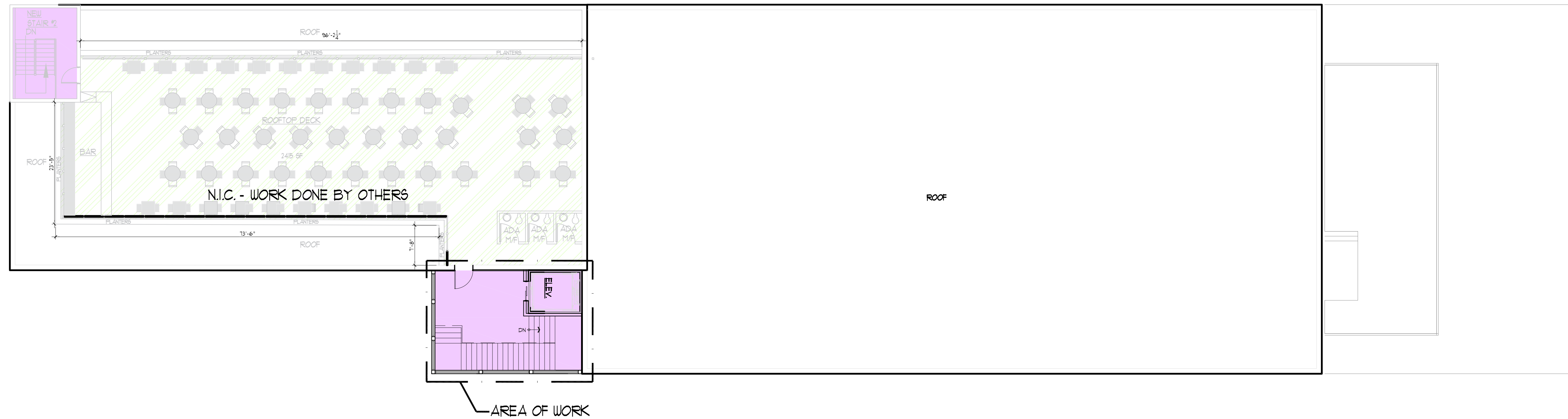
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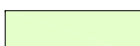

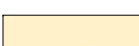


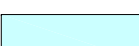



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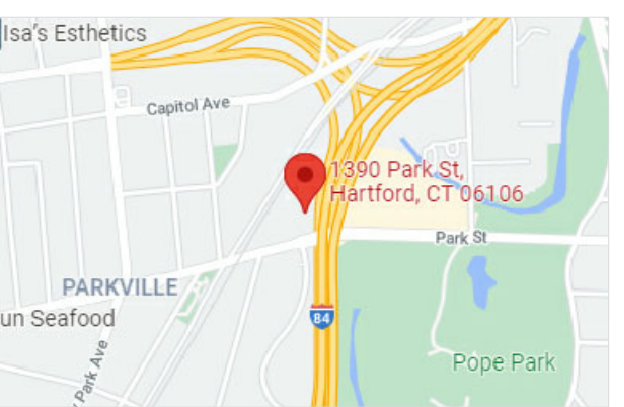
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 16,483 SF	 9810 SF	 1123 SF	 5610 SF	 1800 SF				
EVENT /ENTERTAINMENT ASSEMBLY	EATING PLACE W/ DRINKING	DRINKING PLACE	EATING AND/OR CRAFTSMAN INDUSTRIAL/TBD	NEIGHBORHOOD RETAIL	PUBLIC FACILITIES	CIRCULATION/ EGRESS	UTILITY	OUTDOOR SPACE ACCESSORY TO ADJACENT OR BELOW USE OF SAME COLOR



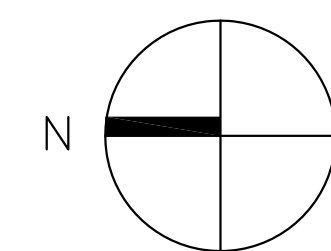
issue or revision	date

drawing title
ROOFTOP FLOOR PLAN

scale:	designer:
as indicated	h.c.b.
project no.:	drawn by:
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date:	checked by:
11/30/2021	h.c.b.
seal	sheet number

A-2
sheet

X of X



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