

Paul Ashworth

From: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Sent: Thursday, September 1, 2022 11:49 AM
To: Paul Ashworth
Cc: chelsea@parkvillemarket.com; Hartford Planning Division; Kevin Henry; Kevin Henry; Evelyne St-Louis
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Paul,

I would like to withdraw the application for a special permit for 1390 Park Street and will resubmit.

The site plan review and special permit meeting for 1420 Park is scheduled for Sept. 13th?
How will not having the traffic study available impact the result of that meeting?

Thanks,

Natalie

From: Paul Ashworth <Paul.Ashworth@hartford.gov>
Sent: Wednesday, August 31, 2022 8:32 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>; Kevin Henry <khenry@pkv-mgmt.com>; Kevin Henry <kevin@parkvillemgmt.com>; Evelyne St-Louis <Evelyne.St-Louis@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Everyone,
Just to confirm what Kevin Henry and I spoke about earlier today.

Because the required public notice signs were not posted on site. This item is considered not properly before the Planning & Zoning Commission.

Kevin Henry confirmed that as a group you would withdraw and resubmit. If this is done in the next few days we can put this item on the 9/13/22 PZC meeting as received, and hear the item on 9/27/22. This is consistent with the reported traffic study timeline.

Please confirm,
Paul Ashworth
Senior Planner
City of Hartford - Department of Development Services
Planning & Zoning Division
he/him
260 Constitution Plaza, 1st Floor
Desk: 860-757-9055

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From: Paul Ashworth
Sent: Wednesday, August 31, 2022 11:55 AM
To: 'Natalie Sweeney' <n.sweeney@lifecaredesign.com>
Cc: 'chelsea@parkvillemarket.com' <chelsea@parkvillemarket.com>; Hartford Planning Division <oneplan@hartford.gov>; Kevin Henry <khenry@pkv-mgmt.com>; 'Kevin Henry' <kevin@parkvillemgmt.com>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie & Kevin,

I'm reaching out to both of you because Natalie is the applicant listed on the application, so all communication should go through her, however Kevin has reached out to me about the public notice requirements in the past.

I wanted to reiterate that we have not received the sign affidavit for this project. We must receive a copy of the signed/executed sign affidavit ASAP or the item will be considered improperly before the commission and no decision will be rendered. Because of where we are in the timeline, it would be too late to fix this and the application would be essentially denied.

The sign affidavit must reflect that the sign was installed 10 days prior the original opening of the hearing on 8/9/22.

Please provide a copy of the executed sign affidavit ASAP,

Paul Ashworth
Senior Planner
City of Hartford - Department of Development Services
Planning & Zoning Division
he/him
260 Constitution Plaza, 1st Floor
Desk: 860-757-9055

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From: Paul Ashworth
Sent: Wednesday, August 24, 2022 3:19 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,

In preparation for the upcoming 9/13/22 Planning & Zoning Commission hearing I wanted to summarize the outstanding items.

- We did not receive the sign affidavit prior to the opening of the hearing on 8/9/22. As of now the item is not properly before the planning & zoning commission. Please provide a copy of the executed sign affidavit confirming the sign was posted along Park Street the 10 days preceding the originally advertised public hearing date, 7/26/22. This must be received or the application will be considered incomplete and the Planning & Zoning Commission will not reopen the item on 9/13/22. Further, please schedule a time to bring the sign into our office to updated ahead of the 9/13/22 meeting.
- The revised plan set, received 8/9/22 by staff, includes duplicates of sheets sp-1, sp-2 and sp-3. Please confirm which sheets should be included, revise and resend.
- The traffic study should be completed ASAP. Please return a copy to Hartford staff by 9/2 to allow time to coordinate internal review of the traffic study by DPW and our traffic engineer. Please be advised if the study is not returned by this date internal review may not be complete prior to the hearing. If received after 9/2 it's possible internal review could be complete, but I can't guarantee it.

Thank you,

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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From: Paul Ashworth <>

Sent: Wednesday, August 10, 2022 10:47 AM

To: Natalie Sweeney <n.sweeney@lifecaredesign.com>

Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>

Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Confirmed receipt.

Thank you Natalie,

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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From: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Sent: Tuesday, August 9, 2022 4:54 PM
To: Paul Ashworth <Paul.Ashworth@hartford.gov>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Paul,
Yes I was responding to the July 26th special permit comments concerning the cannabis retailer area parking and have it bubbled out as revision 7. There are three drawings because the same revisions show up on the landscaping plan and parking layout.
Here is the pdfs with last revised drawings combined.

Best,
Natalie

From: Paul Ashworth <Paul.Ashworth@hartford.gov>
Sent: Tuesday, August 9, 2022 4:18 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,
I'm responding to your most recent emails from 08/05/22 (attached) via this email chain for posterity.

The drawings you sent via email on 08/05/22, what changes were made? I see the landscape aisle was adjusted per the condition of approval for 1396 Park. Were any other changes made? Please provide a narrative of changes if so. Also, please combine all revised drawings into one complete PDF with all previously shown sheets. Please do this for all resubmittals.

Confirmed receipt of the transportation analysis statement from BETA dated 08/05/2022.

Thank you,
Paul Ashworth
Senior Planner
City of Hartford - Department of Development Services
Planning & Zoning Division
he/him
260 Constitution Plaza, 1st Floor
Desk: 860-757-9055

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From: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Sent: Friday, August 5, 2022 11:15 AM
To: Paul Ashworth <Paul.Ashworth@hartford.gov>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Paul,
I have BETA working on the summary to include the Cannabis retailer and the 1390 event space and market above. He said he could have it to me by EOD today or Monday.

Best,

Natalie

From: Paul Ashworth <Paul.Ashworth@hartford.gov>
Sent: Wednesday, August 3, 2022 3:29 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,

The provided traffic analysis is dated July 2018 and does not include the proposed Entertainment Assembly w/ drinking place use or the additional restaurant/retail space in the 1390 building. It references only the brewery at 1420, the entirety of the 1400 building and a potential winery at 1390. Another use that will be generating significant trips to this property is the recently approved Adult Use Cannabis retailer at 1396.

Additionally, the cannabis retailer was approved on July 26, 2022 with the following condition of approval. It may be more efficient to include these changes as part of your current site plan. Please consider coordinating with the 1396 applicant to meet these requirements.

"The applicant shall submit a site plan that will include, at a minimum, the following elements: (1) reorganization of the portion of the parking lot in front of the 1396 Park Street building, with the existing painted curbed to be flipped and moved further north, and upgraded to a curbed and landscaped island, to avoid cars backing in/out of parking spaces and preventing traffic circulation directly in front of the building; (2) installation of bollards or large planters to protect the pedestrian-only zone in front of the building, (3) installation of an awning along the building front façade to provide a protected and designated space for pedestrian queuing, and (4) a painting of a pedestrian walkway extending in front of the building. Alternative designs may be deemed acceptable by Planning Staff if pedestrian safety and access are adequately addressed."

Thank you,
Paul Ashworth

Senior Planner
City of Hartford - Department of Development Services
Planning & Zoning Division
he/him
260 Constitution Plaza, 1st Floor
Desk: 860-757-9055

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From: Paul Ashworth <>
Sent: Tuesday, August 2, 2022 5:31 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Confirmed receipt,

Thank you Natalie!

Paul Ashworth
Senior Planner
City of Hartford - Department of Development Services
Planning & Zoning Division
he/him
260 Constitution Plaza, 1st Floor
Desk: 860-757-9055

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From: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Sent: Tuesday, August 2, 2022 12:13 PM
To: Paul Ashworth <Paul.Ashworth@hartford.gov>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Sorry, here you go.

From: Paul Ashworth <Paul.Ashworth@hartford.gov>
Sent: Tuesday, August 2, 2022 11:02 AM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: chelsea@parkvillemarket.com; Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,
Thank you for sending over the narrative. The narrative references a transportation management plan by BETA Engineering. I think it was missing as an attachment.
Could you send that over?

I'm writing the staff report today so we need all the information in order for it to be included in the analysis.

Thank you,
Paul Ashworth
Senior Planner
City of Hartford - Department of Development Services
Planning & Zoning Division
he/him
260 Constitution Plaza, 1st Floor
Desk: 860-757-9055

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From: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Sent: Tuesday, August 2, 2022 8:36 AM
To: Paul Ashworth <Paul.Ashworth@hartford.gov>
Cc: chelsea@parkvillemarket.com
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Paul,

Here is the narrative for the Parkville market special permit. Chelsea, please let me know if what I have added to your operations answers is correct before Paul releases this to the other committee members. I believe you needed to release this today Paul?

Thanks,

Natalie

From: Paul Ashworth <Paul.Ashworth@hartford.gov>
Sent: Friday, July 29, 2022 6:14 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: Hartford Planning Division <oneplan@hartford.gov>; Hermann Cartes-Barrrios <hcb@lifecaredesign.com>; Carlos

Mouta <carlos@parkvillemgmt.com>

Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,

You mentioned in your email today (attached) if there was anything else you needed to do for this hearing. We still need copies of the sign affidavits for both commission level items, this one 1390 Park, and the other special permit application at 1420 Park. I would also direct you back to the comments below, originally delivered on 6/29/22.

A complete response to those should be received by our division by end of day Monday 8/1/22 in order for them to be included in the staff report. I do not recommend going to the hearing without a full response to comments on file.

All the best,

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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From: Paul Ashworth <>

Sent: Tuesday, July 26, 2022 10:37 AM

To: Natalie Sweeney <n.sweeney@lifecaredesign.com>

Cc: Hartford Planning Division <oneplan@hartford.gov>

Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,

Do you have an estimated date of response to special permit comments issued 6/29/22?

They're below in this email chain for reference.

Thank you,

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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From: Paul Ashworth <>
Sent: Monday, July 25, 2022 6:07 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: Hartford Planning Division <oneplan@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,
Please find the public notice requirements for this item attached. I apologize for delivering these later than usual.

Let me know if you have any questions,

Paul Ashworth
Senior Planner
City of Hartford - Department of Development Services
Planning & Zoning Division
he/him
260 Constitution Plaza, 1st Floor
Desk: 860-757-9055

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From: Hartford Planning Division <oneplan@hartford.gov>
Sent: Thursday, July 14, 2022 4:07 PM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: Paul Ashworth <Paul.Ashworth@hartford.gov>
Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hello Natalie,

As we discussed on the phone, the Public Hearing for 1390 Park is officially rescheduled for the August 9th Planning & Zoning Commission Meeting because of scheduling conflicts.

Best,

Paige Berschet
Administrative Assistant
City of Hartford - Department of Development Services
Planning & Zoning Division
she/her/hers
260 Constitution Plaza, 1st Floor

oneplan@hartford.gov

Desk: 860-757-9029

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From: Natalie Sweeney <n.sweeney@lifecaredesign.com>

Sent: Thursday, July 7, 2022 1:46 PM

To: Paul Ashworth <Paul.Ashworth@hartford.gov>

Cc: Hartford Planning Division <oneplan@hartford.gov>; Hermann Cartes-Barrios <hcb@lifecaredesign.com>

Subject: Re: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Paul, yes thats ok, can we still have the 26th date?

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From: Paul Ashworth <Paul.Ashworth@hartford.gov>

Sent: Thursday, July 7, 2022 12:11:37 PM

To: Natalie Sweeney <n.sweeney@lifecaredesign.com>

Cc: Hartford Planning Division <oneplan@hartford.gov>; Hermann Cartes-Barrios <hcb@lifecaredesign.com>

Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,

I just got off the phone w/ Hermann discussing this. After reviewing this project with the Director, she confirmed the Outdoor Café use should be added to this application to facilitate the use of the existing outdoor café area between the buildings by the new Entertainment Assembly/Drinking Place use. Further, the Entertainment Assembly use should also include this area between the buildings. The presence of a stage and the past use of this area as an entertainment assembly space supports this request.

I've attached a revised public notice letter for the abutter notice. Please use this in place of the previous version.

Please confirm via response to this email that you consent to the revision of the application as stated above.

Thank you and please let me know

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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accordance with the Hartford Zoning Regulations. Please visit www.hartfordct.gov/dds and click on "Our Services" to begin the application process.

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From: Paul Ashworth <>

Sent: Wednesday, June 29, 2022 11:45 AM

To: Natalie Sweeney <n.sweeney@lifecaredesign.com>

Cc: Hartford Planning Division <oneplan@hartford.gov>; Hermann Cartes-Barrios <hcb@lifecaredesign.com>

Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943 & COMM-2022-0633

Hi Natalie,

I'm glad we could clear up the uses requested on the phone yesterday and finalize the special permit language. The request is now for Entertainment Assembly with a Drinking Place. In order to allow time for additional information and analysis by both Staff and your development team, we have rescheduled the request from the 7/12/22 Planning & Zoning Commission (PZC) hearing to the 7/26/22 meeting of the PZC. This later meeting date is within the timeline allowed by the State of Connecticut so no extension is required. Please find public notice instructions and documents attached.

Site Plan: You previously received and responded to comments for the site plan. I'm still reviewing your responses. Staff may have follow-up regarding the design of the site and the site plan.

Please find the requirements for a special permit for entertainment assembly with a drinking place below.

Formatting: Consider a narrative format as a response to the following request for information. Many applicants use the narrative format with labeled sections assigned to each category – security plan, noise mitigation plan, transportation management etc. It is also common to reference supporting documents within the narrative – "Please see Attachment 1, Transportation Management Plan" etc. The Commission has responded favorably to this type of submittal in the past.

(5)Approval of Drinking & Entertainment Assembly Places. Establishments that combine the sale of alcoholic beverages with Entertainment Assembly uses (refer to [3.3.5 K.](#)) require a separate special permit (per [1.3.4](#) Special Permits). This includes facilities for banquets, parties, events, dancing, and other entertainment. This use is subject to the following conditions:

(a)These establishments are limited to the locations where Entertainment Assembly uses are permitted per [3.3.5 K.](#) and Figure 3.2 -A Table of Principal Uses. **Complete.**

(b)Food is required to be served. – Please confirm how food will be provided at all times either through a menu or confirmation that the food vendors in the market will be open and accessible to patrons of the entertainment venue.

(c)Applicants must submit:

(i)Menu

(ii)Security plan

~~(iii)Parking management plan, except in the DT-1 zoning district~~

(iv)Floor plan(s) – **Complete.**

(v)Noise mitigation plan

(vi)The commission may also require any additional information pertaining to the application that it deems necessary to aid in its decision.

- **Per Sec.1.3.4.D(2)** – Special Permits shall show that they: Do not create safety hazards in the proposed vehicular and pedestrian circulation pattern; Will not seriously degrade traffic levels of service without providing adequate mitigation measures; and provide pedestrian amenities.

- Please provide a transportation management analysis that determines necessary mitigations to the pedestrian, bicycle and vehicular systems on Park St and the connections to the nearby transit station. This study should include all currently proposed uses on the entire property. This may not need to be a full traffic study because the property is located in the Transit Oriented Development overlay and the focus should be on pedestrian, bicycle and transit modes, but at the least it should be an analysis by a professional that determines necessary improvements to the existing infrastructure to ensure safe conditions in light of the additional flow. [Please see Section 1.3.3\(B\)\(16\)\(A\) for details.](#)
- Please discuss the impact of this increase in users on the site and on the pedestrian streetscape and the connection to the nearby transit station.
- Please confirm hours of operation of the Entertainment Assembly and Drinking Place use.
- Please confirm that the hours of operation of the roof-top areas (both of them) will coincide only with those of the food vendors in the market hall. If they are to operate outside of market or food vendor business hours a special permit for a drinking place and a special permit for an outdoor café associated with a drinking place shall be required.

(6)**Hours of Operation.** Drinking Places shall serve alcohol only during the hours authorized by Connecticut general statutes section 30-91, provided, however, that the commission may further restrict such hours as a condition of a special permit.

Please reach out to me with any questions,

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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Make an appointment online: <https://developmentsservices.setmore.com/>

From: Natalie Sweeney <n.sweeney@lifecaredesign.com>

Sent: Monday, June 27, 2022 11:13 PM

To: Paul Ashworth <Paul.Ashworth@hartford.gov>

Cc: Hartford Planning Division <oneplan@hartford.gov>; Hermann Cartes-Barrios <hcb@lifecaredesign.com>

Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Please contact the helpdesk at 860-757-9411 if you have any questions.

Hi Paul,

Here are the drawings for 1390 Park and 1420 Park. I sent in an application for 1420 Park last Friday. I color coded the uses for 1390 as per your more recent email, dated 6-14-22. Below are responses to the comments in red.

Thank You,

Natalie

From: Paul Ashworth <Paul.Ashworth@hartford.gov>

Sent: Monday, April 18, 2022 1:51 PM

To: Natalie Sweeney <n.sweeney@lifecaredesign.com>

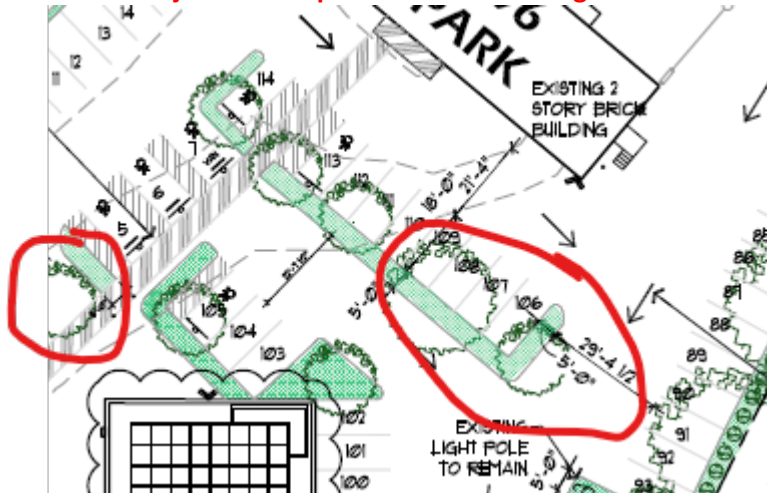
Cc: Hartford Planning Division <oneplan@hartford.gov>; Hermann Cartes-Barrios <hcb@lifecaredesign.com>

Subject: RE: 1390 Park St - Site Plan Application - ADMIN-2022-2943

Hi Natalie,

I was able to take a look at the site plan amendment to 1390 Park St. Please respond to each of the comments listed below:

1. Please show a bike rack detail confirming design consistent w/ section 7.3.3.
Bike rack for multiple bikes and as per reg. 7.3.3 shown on A-3.
2. Just northwest of the new bike rack a comment has been removed calling out a "Painted, Slotted mountable curb." A landscape island is also missing however a tree is still shown that location. Please describe the changes made here and verify that the siting table is up to date (total ISR should be increased). **Asphalt curb was removed and striped instead. One ada space was relocated to allow better clearance towards trash compactor. One space removed to allow for relocated ada striping. 3 spaces, 5 bushes and 1 large tree removed to create drive to spillover parking under DOT overpass. One small tree and buffer removed to allow for clearance around bike rack. One small tree removed at north east corner of building to allow for walkway. See A-1, A-2, A-3 for notes and revisions clouds. Changes did not affect Total ISR, the green buffer by walk and at drive increased ISR by .05%, not enough to round up 90%.**
3. Has the zoning table been updated with the increase in building coverage?
There is no change to building coverage, new addition increased coverage from 27% to 27.25% so left it at 27% on matrix. Landscaping legend and parking have been updated on A-2 and A-3.
4. Adjacent to the north of the 1390 Park building there appear to have been some changes to parking lot layout. There are now trees shown floating in asphalt. What changed here? **Old drafting not updated when parking stalls were adjusted as explained in #2. Drafting has been rectified.**



5. Please cloud all changes and provide a narrative describing the changes to the site layout and their purpose. Additional comments may generated depending on changes made. **Everything clouded, see drawings attached. Description at #2 above.**
6. Please label the proposed use of each tenant space. **Labled on A-1 and A-2**

7. The provided elevation drawings match the Historic Commission approved elevation drawings. **Comment Met.**

Thank you,

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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Please be advised that unless it is expressly stated, this correspondence does not constitute a zoning permit, certificate of zoning compliance, certification of a legal nonconforming use, or other approval within the Division's jurisdiction. If a permit or approval is desired, an application, application fee, and all required supporting documentation must be submitted to the Zoning Administrator in accordance with the Hartford Zoning Regulations. Please visit www.hartfordct.gov/dds and click on "Our Services" to begin the application process.

Make an appointment online: <https://developmentservices.setmore.com/>

From: Berschet, Paige

Sent: Monday, March 28, 2022 5:01 PM

To: Natalie Sweeney <n.sweeney@lifecaredesign.com>

Cc: Hartford Planning Division <oneplan@hartford.gov>; Paul Ashworth <Paul.Ashworth@hartford.gov>

Subject: 1390 Park St - Site Plan Application

Hello Natalie,

Thank you for submitting your Site Plan Application for 1390 Park St. The application review is assigned to Paul Ashworth who will be in touch with any questions/comments from staff.

Let us know if you have any questions.

Best,

Paige Berschet

Administrative Assistant

City of Hartford - Department of Development Services

Planning & Zoning Division

she/her/hers

260 Constitution Plaza, 1st Floor

oneplan@hartford.gov

Desk: 860-757-9029

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