

DDS- Planning & Zoning: Plan Review Application



Submission date: **24 June 2022, 12:57PM**
Receipt number: **836**
Related form version: **2**

Application Type

Check all that apply: **Special Permit**

Property Information

Property Address: **1420 park st No coordinates found**
Zoning District: **dt-3, cx-2**
Parcel ID: **159-403-078**
Property Owner: **1420 park street llc**
Address of Property Owner: **77 grassmere av west hartford ct 06110**
Email: **n.sweeney@lifecaredesign.com**

Applicant

Name of Applicant: **Lifecare Design Inc.**
File Date: **06/24/2022**
Address: **1420 park street No coordinates found**
Phone: **860-726-4672**
Email: **n.sweeney@lifecaredesign.com**

Primary Point of Contact

Name:	Natalie Sweeney
Phone:	860-726-46720 203-448-7390
Email	n.sweeney@lifecaredesign.com

Project Narrative

Please describe your application action(s) and provide as much detail as possible. Attach additional pages if necessary: **special permit for outdoor drinking patio**

Zoning Map Change Application

Proposed Zone:

Describe the existing use of land and buildings in the zone change area:

Reason for this request:

Zoning Appeal Application

Are you an aggrieved party?

Permit or Violation Number:

State your reason for appealing the decision of the administrator or enforcement officer:

Variance Application

Please state the particular hardship* or unnecessary difficulty that prompts this application and the site the section of the zoning regulations that you are seeking relief from:

Subdivision Application

Number of lots to be created:

Area of each lot in square feet:

Street frontage of each of the new lots in feet:

Lot Combination Application

Addresses of lots to be combined

Map/Block/Lot for each property to be combined:

Liquor Permit Application

Please upload a copy of your State of CT Liquor Permit below.

Sign Permit Application

1. Is this sign proposed outside of the building line?

Maximum extension from building line:

2. Is this sign proposed outside of the street line?

Maximum extension from the Street line

3. Is the sign luminated?

4. Engineer Name (if any):

Phone:

Address:

5. Minimum distance from lowest point to the sidewalk:

6. Maximum height of sign from lowest point of established grade:

7. Distance from the nearest outdoor sign:

8. Square feet of surface for one face of the sign:

9. Wording of the sign (include all words):

Description of work (upload additional files if necessary)

Upload any supporting materials below.

[HOG RIVER.pdf](#)

Signatures

Signature of Applicant



[Link to signature](#)

Printed Name of Applicant:

natalie sweeney

Date:

06/24/2022

If you are not the property owner, you must attach a Letter of Authorization from the property owner to apply.

Letter of Authorization from Property Owner

[Zoning Review Authorization - 1420.pdf](#)

Date:

06/24/2022

1420 Park Street, LLC



December 8, 2021

Zoning Review Commission
Development Services
260 Constitution Plaza
Hartford, CT 06103

To Whom It May Concern:

Please accept this letter as authorization for Natalie Sweeney and/or Hermann Cartes-Barrios of Lifecare Design to submit the project at 1420 Park Street, Hartford to the Zoning Review Commission on my behalf.

Please contact me with any questions at (860) 796-8174.

Thank you.

Sincerely,



Carlos Mouta

LANDSCAPING SCHEDULE

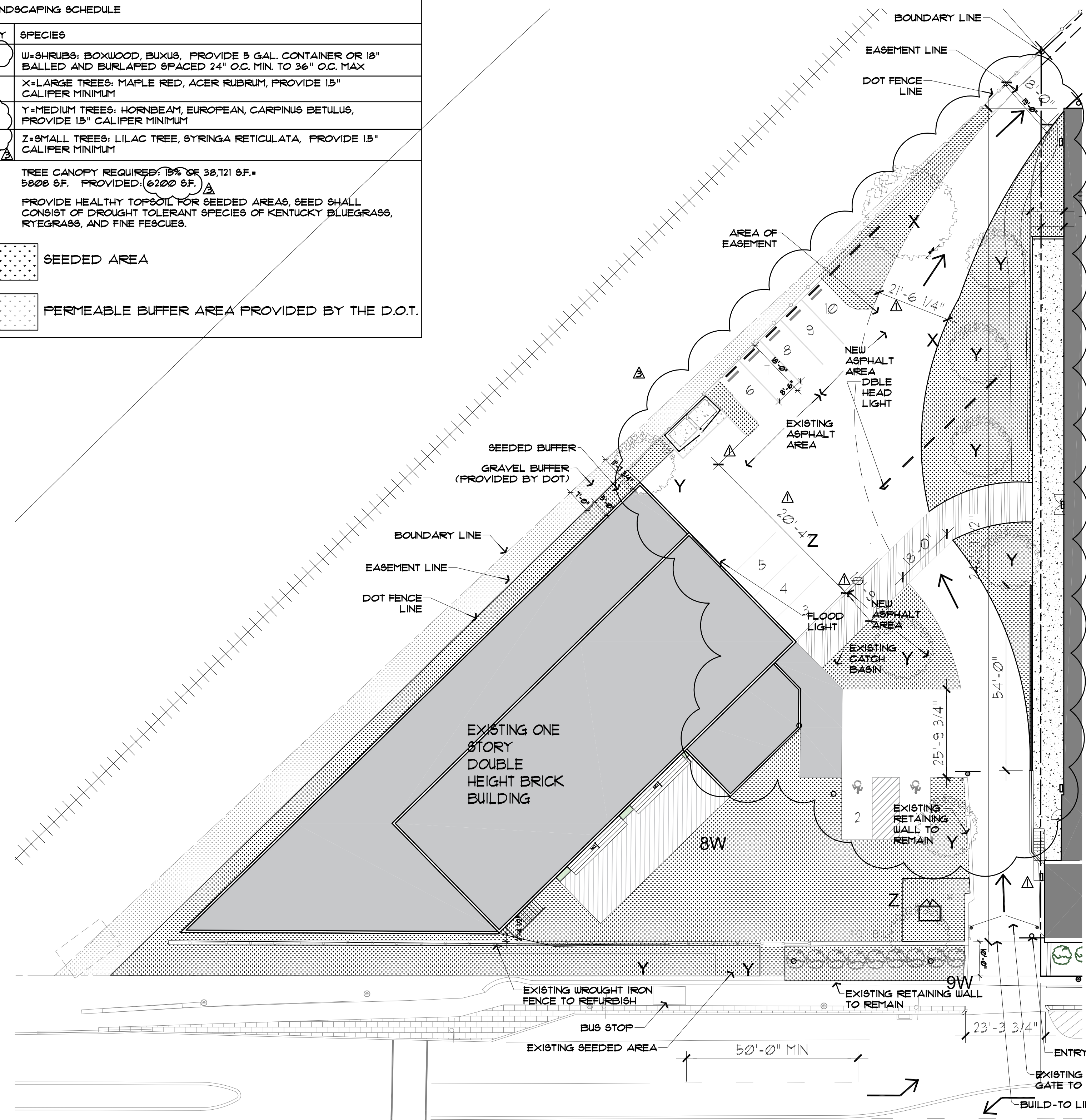
QTY	SPECIES
11	W-SHRUBS: BOXWOOD, BUXUS, PROVIDE 5 GAL. CONTAINER OR 18" BALLED AND BURLAPED SPACED 24" O.C. MIN. TO 36" O.C. MAX
1	X-LARGE TREES: MAPLE RED, ACER RUBRUM, PROVIDE 15" CALIFER MINIMUM
7	Y-MEDIUM TREES: HORNBAM, EUROPEAN, CARPINUS BETULUS, PROVIDE 15" CALIFER MINIMUM
1	Z-SMALL TREES: LILAC TREE, SYRINGA RETICULATA, PROVIDE 15" CALIFER MINIMUM

TREE CANOPY REQUIRED: 15% OF 38,121 SF. = 5800 SF. PROVIDED: (6200 SF.)

PROVIDE HEALTHY TOPSOIL FOR SEEDED AREAS, SEED SHALL CONSIST OF DROUGHT TOLERANT SPECIES OF KENTUCKY BLUEGRASS, RYEGRASS, AND FINE FESCUE.

SEEDED AREA

PERMEABLE BUFFER AREA PROVIDED BY THE D.O.T.



ZONE DT-3 T.O.D. OVERLAY GENERAL BLDG TYPE

A. Building Siting

1	Multiple Principal Buildings		not permitted
2	Min Front Lot Line Coverage	80%	NON-CONFORMING LOT 34.50%
3	Occupation of Corner		required NA
4	Front Build-to Zone	at or maximum 15' behind the Building line	3'-5' approx..
5	Corner Build-to Zone	at or maximum 15' behind the Building line	NA
6	Minimum Side Setback	abutting adjacent building or minimum 7.5'	3'
7	Minimum Rear Setback	10'	103'-167' non-conforming lot
8	Minimum Lot Width	none	
8	Maximum Building Width	none	
9	Maximum Building Coverage	90%	27%
9	Maximum Impervious Area	no limitation	69%
9	Add'l Semi-Permeable Area	10%	
10	Parking/Loading Locations	rear yard or internal to building (refer to 4.3.2.C.)	rear
11	Permitted Vehicular Access	one driveway off each abutting secondary street; no secondary street left to zoning administrator, circular drops DT-2 only.	front

B. Height

12	Minimum Overall Height	2 stories and 40'	2 stores as per note E. #6.
13	Maximum Overall Height	8 stories; 5 stories on lower Main Street	2 stories
14	Ground Story Min Height	9'	NA
14	Ground Story Max Height	14'	16'
15	Upper Stories Min Height	9'	NA
15	Upper Stories Max Height	14'	NA

C. Uses

16	Primary Street Ground Story	any use permitted by district except retail and service uses are limited to 25% of the ground floor and located at street façade	craftsman/studio	VARIANCE ACCORDED
17	Upper Stories	any use permitted by district except retail and service uses	NA	

18	Parking within Building	permitted fully in any basement and/or in rear of upper floors	NA
19	Entrance to Parking/Loading within Building	any rear, side, or Secondary Street Façade	NA
20	Required Occupied Space	minimum 30' deep on all full floors from Primary Street façade	complies

D. Street Façade Requirements

21	Min Transparency Ground Story of Front Façade	20%	20%
22	Min Transparency Per Story	15%	NA
23	Blank Wall Limits	required per floor on all stories (refer to 4.18.4.B.)	complies
24	Front Façade Entrance Type	stoop, arcade	none land elevation hardship VARIANCE ACCORDED
25	Principal Entrance Location	front, façade	side VARIANCE ACCORDED
26	Required # Street Entrances	1 per each 100' of front façade	1 on side
27	Ground Story Vertical Façade Divisions	every 100' of façade width	complies
28	Horizontal Façade Divisions	required within 3' of the top of the ground story and 5th floor above the first floor	complies
29	Permitted Roof Types	parapet, pitched, flat, tower	existing flat

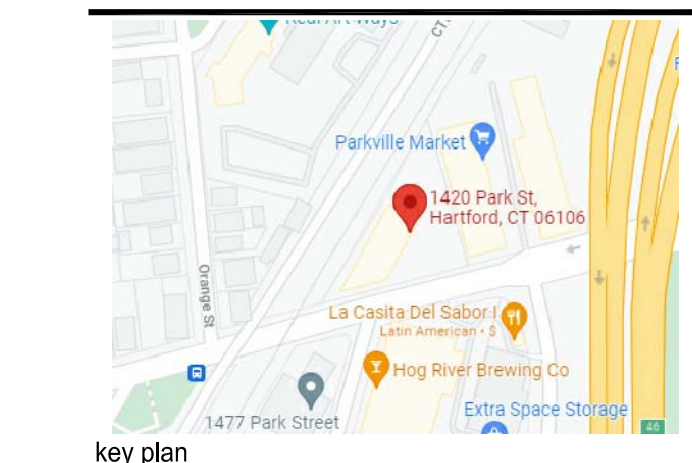
PKV, LLC
2047 PARK ST.
HARTFORD, CT 06106

HOG RIVER BREWERY RELOCATION
1420 Park St.
Hartford, CT 06106

LIFECARE DESIGN INC.
1429 Park St. Ste 201
Hartford Ct. 06106
architecture - planning - interior design



ACORN ENGINEERS INC.
244 Farms Village Rd.
West Simsbury, Ct. 06092
mechanical - electrical engineering



key plan

issue or revision	date
REVISIONS AS PER P 4 Z COMMENTS DATED 2/1/19	2/19/19
REVISIONS AS PER P 4 Z COMMENTS DATED 4/1/19	4/1/19
REVISIONS AS PER NEW TENANT DATED 11/23/21	11/23/21

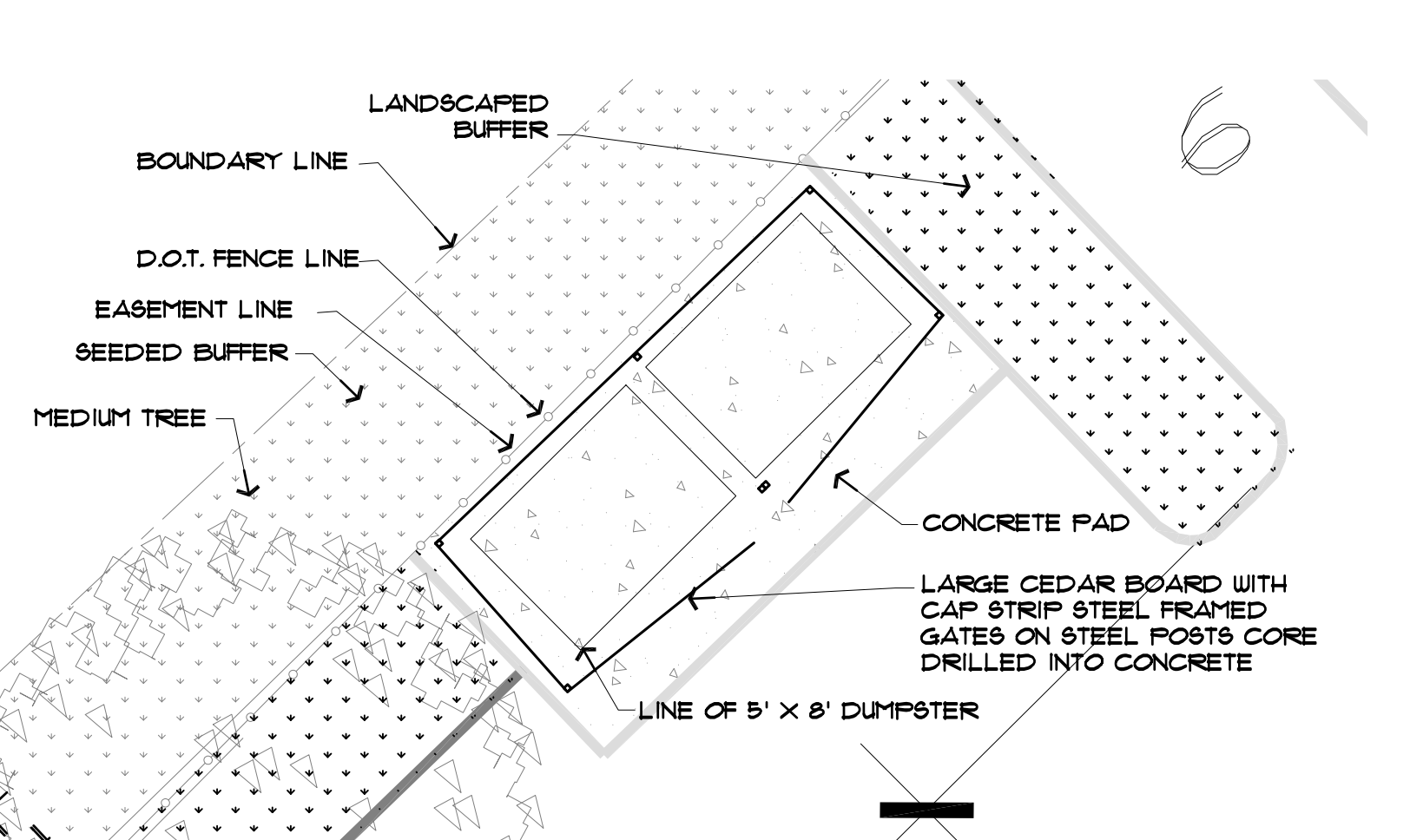
drawing title
PROPOSED SITE PLAN, ZONING INFORMATION, LANDSCAPE SCHEDULE & SITE DETAILS

scale: as indicated
designer: h.c.b.
project no.: 21917
drawn by: s.m.
date: 11/27/21
checked by:
sheet number: SP-1

① PROPOSED SITE PLAN & ZONING INFORMATION



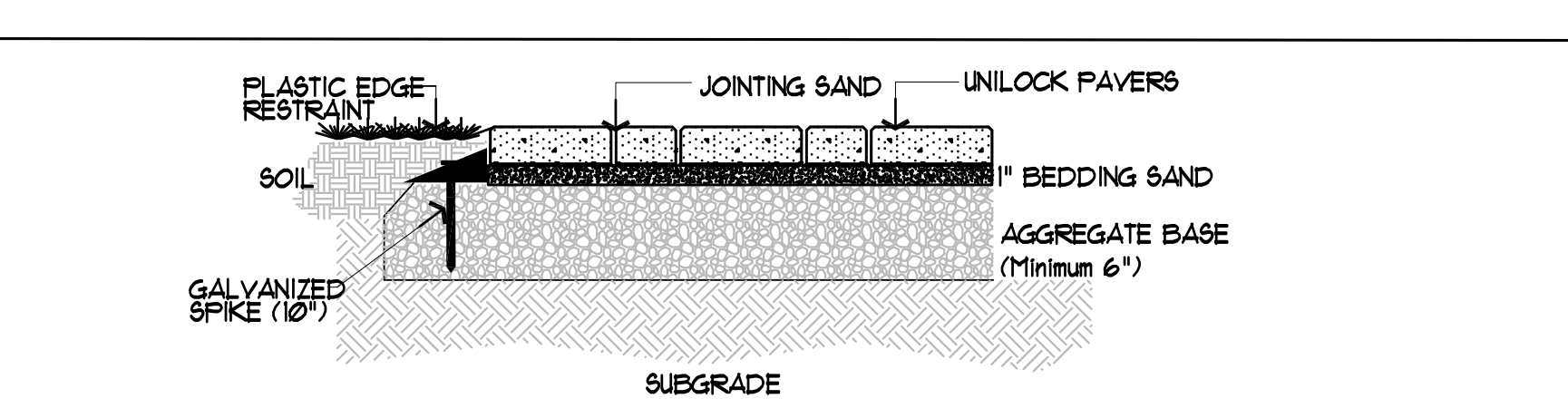
② ZONING INFORMATION



PARKING SPACES REQUIRED:
66 SPACES TOTAL REQUIRED
X.15 BICYCLE CREDIT
9.9 SPACES CREDITED = 56 SPACES
56 X 50% TRANSIT CREDIT = 28 SPACES REQUIRED
23 SPACES PROVIDED
ACCESSIBLE SPACES REQUIRED: 1 PROVIDED: 1 (VAN ACCESSIBLE)

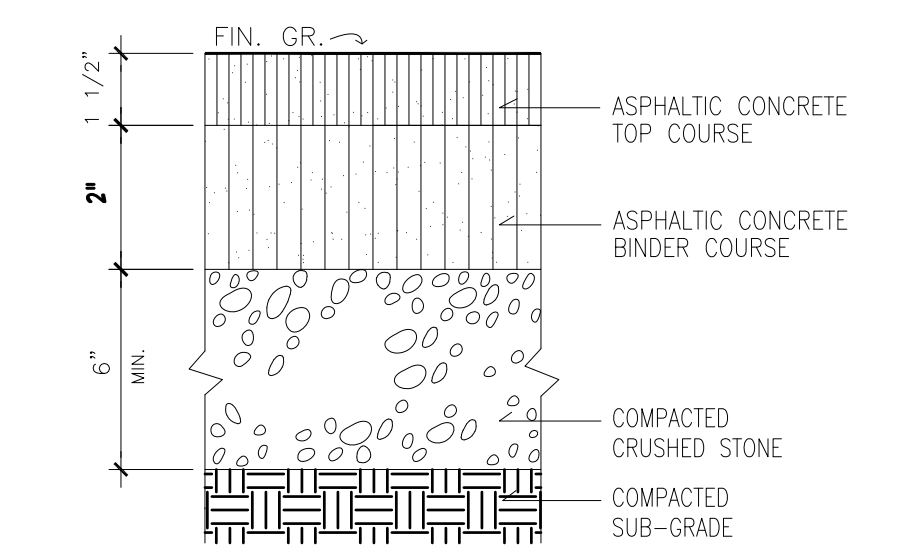
**BICYCLE SPACES REQUIRED = 3
BICYCLE SPACES PROVIDED = 28**

④ PARKING INFORMATION



⑤ PAVER DETAIL AT STAIR TO STREET

SCALE: N.T.S.



⑥ ASPHALT PAVING FOR ROAD OR PARKING LOT

SCALE: N.T.S.

③ DUMPSTER ENCLOSURE

SCALE: 1/8\"/>

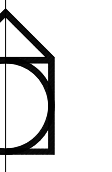
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HOG RIVER BREWERY RELOCATION

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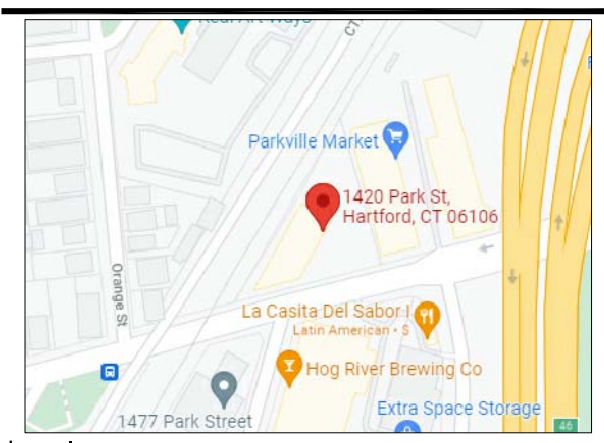
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issue or revision	date

drawing title

DEMOLITION PLAN

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

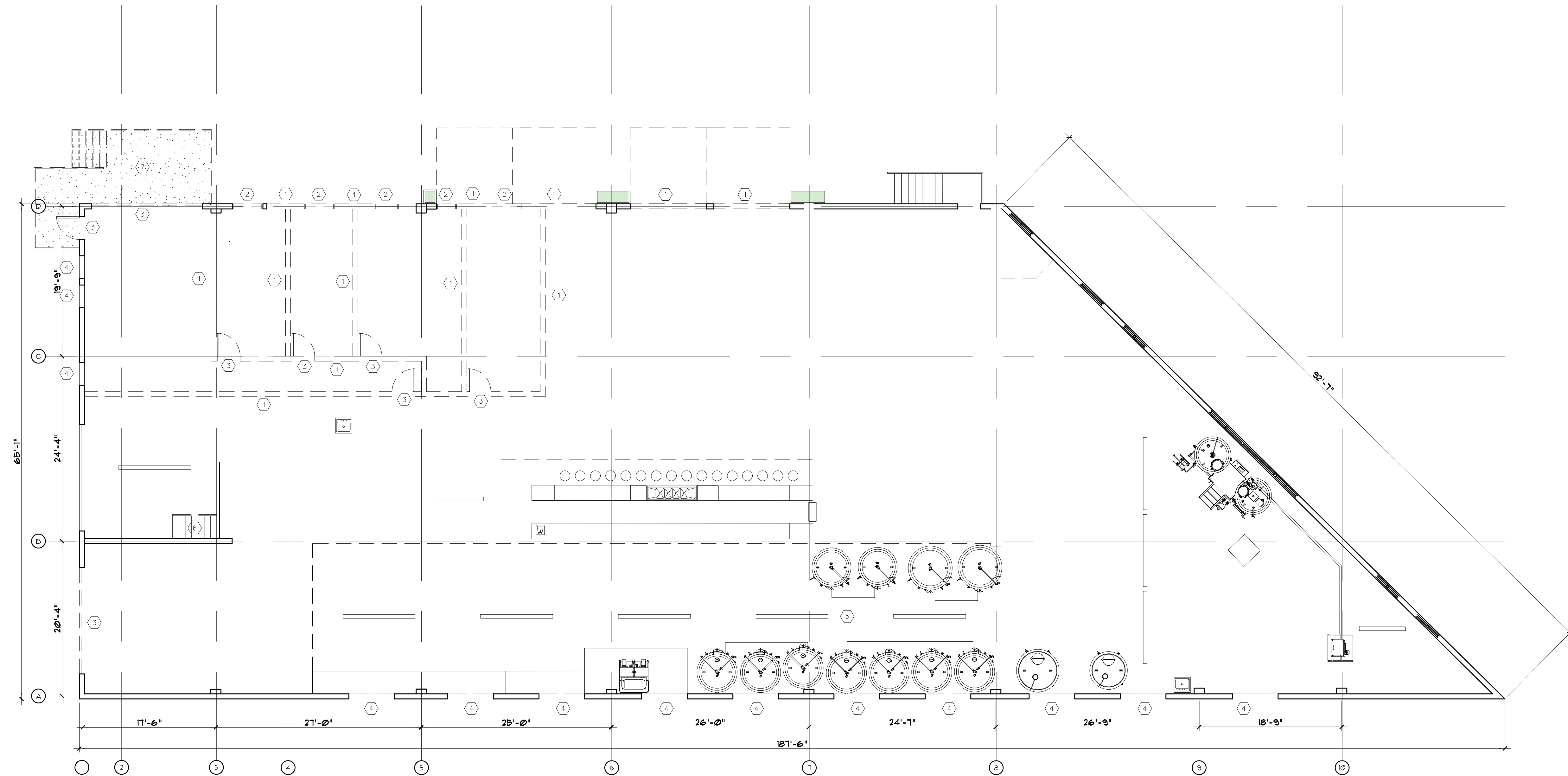
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DEMOLITION NOTES

- ① REMOVE WALL
- ② REMOVE WINDOW, SURE OPENING
- ③ REMOVE DOOR
- ④ DEMOLISH WALL FOR DOOR/WINDOW OPENING, SEE ELEVATIONS
- ⑤ DEMOLISH CONCRETE SLAB
- ⑥ DEMOLISH STAIRS
- ⑦ DEMOLISH STAIRS AND PLATFORM

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**HOG RIVER
BREWERY
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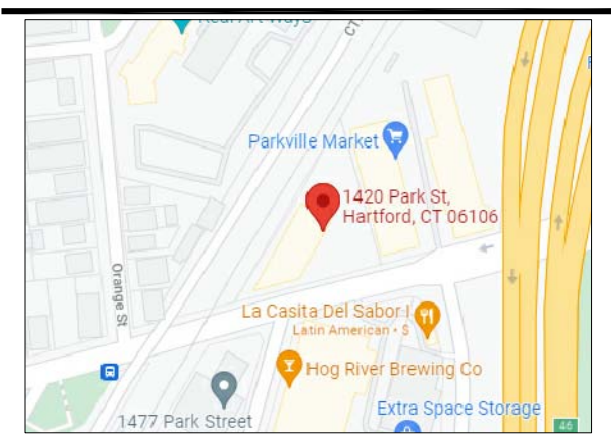
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issue or revision	date

drawing title

**PROPOSED 1ST
FLOOR PLAN**

scale: as indicated

designer: h.c.b.

project no.: 21917

drawn by: s.m.

date: 11/27/21

checked by:

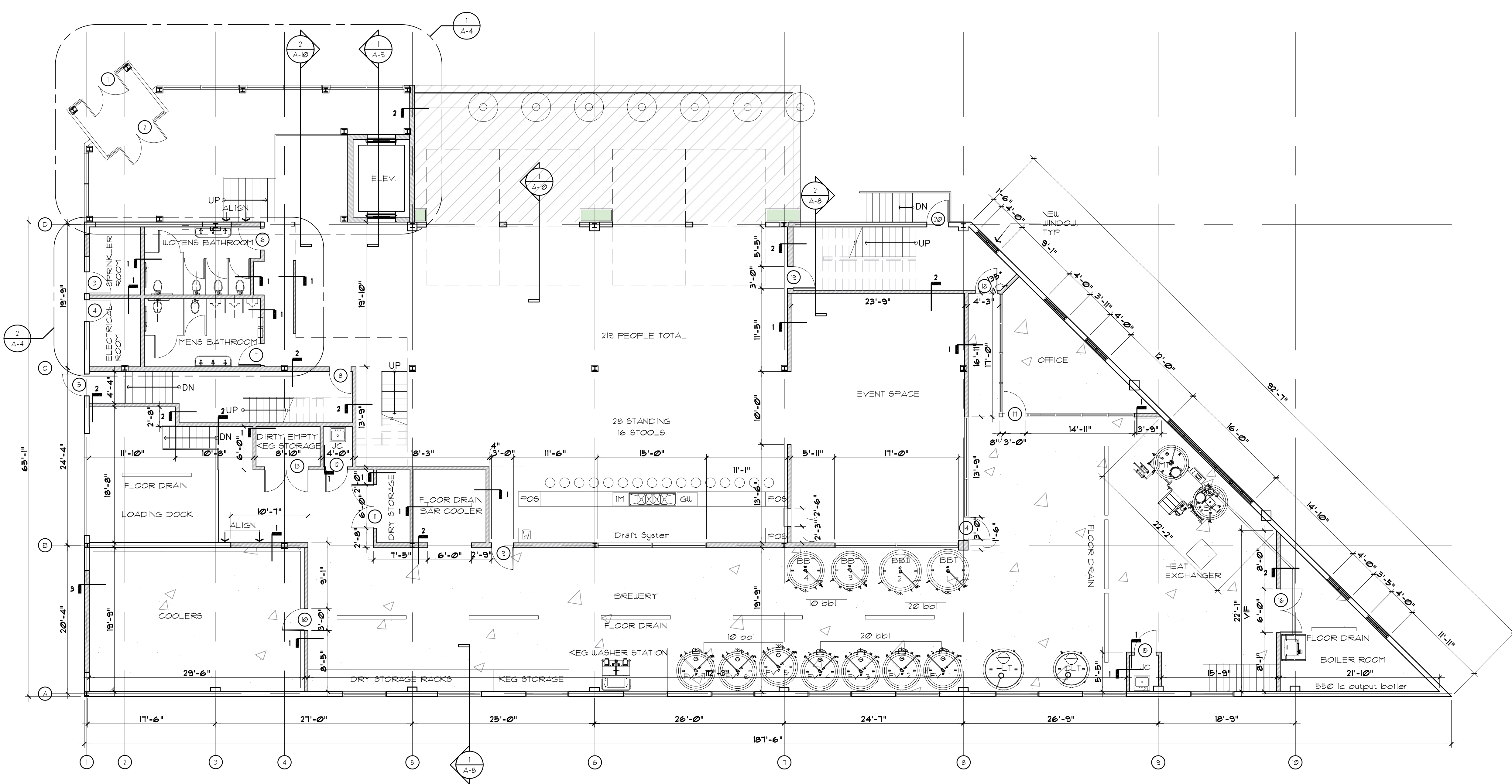
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① PROPOSED 1ST FLOOR PLAN

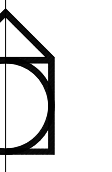


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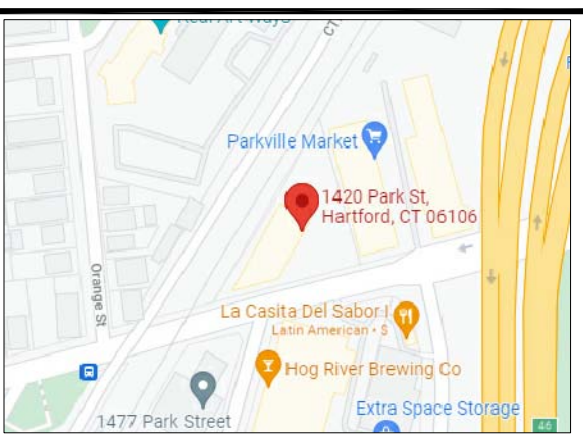
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key plan

issue or revision	date

drawing title

PROPOSED MEZZANINE FLOOR PLAN

scale: as indicated

designer: h.c.b.

project no.: 21917

drawn by: s.m.

date: 11/27/21

checked by:

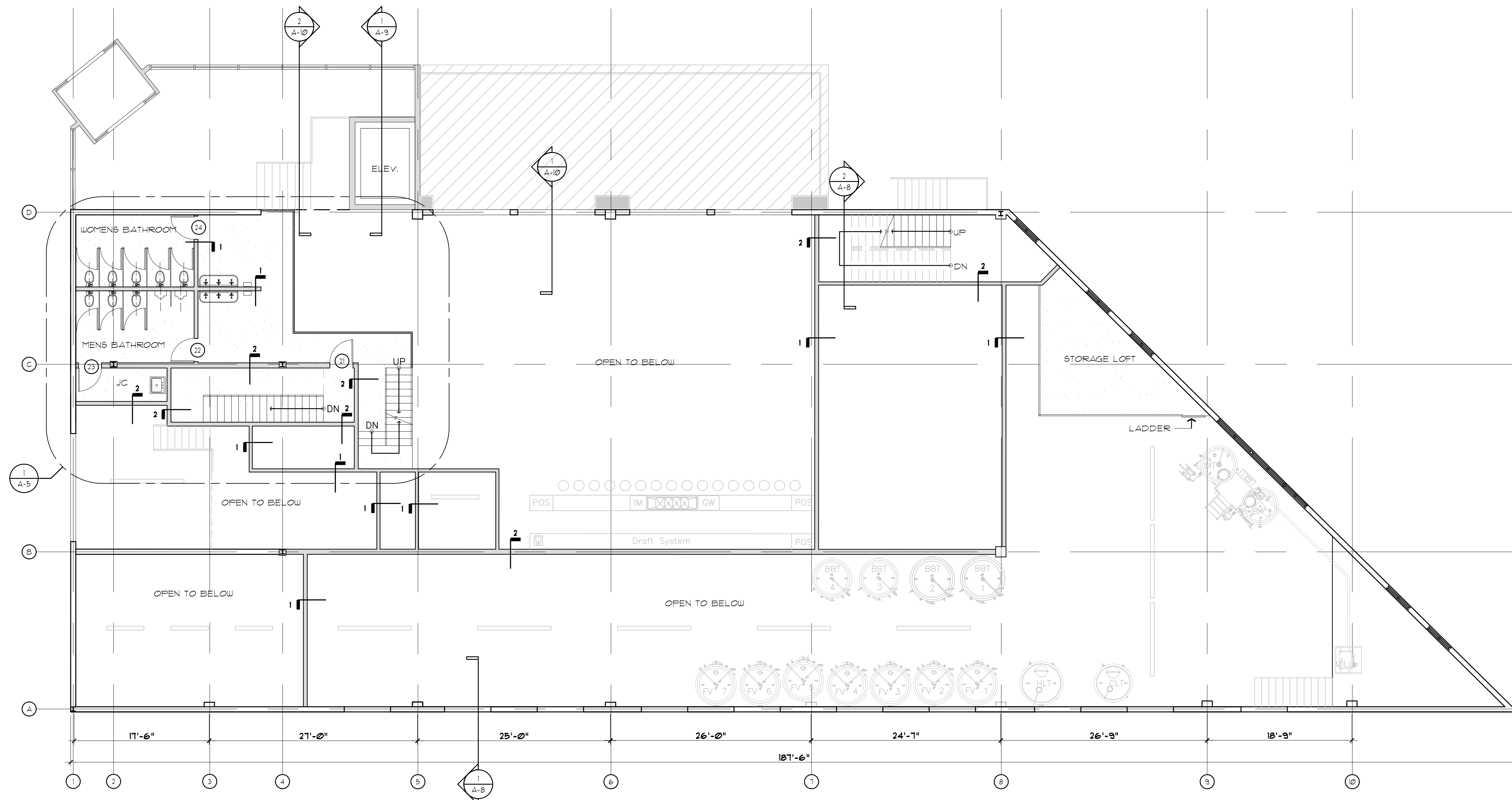
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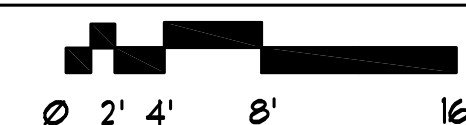
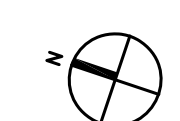
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① PROPOSED MEZZANINE FLOOR PLAN



SCALE: 1/8" = 1'-0"

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BREWERY
RELOCATION**

1420 Park St.
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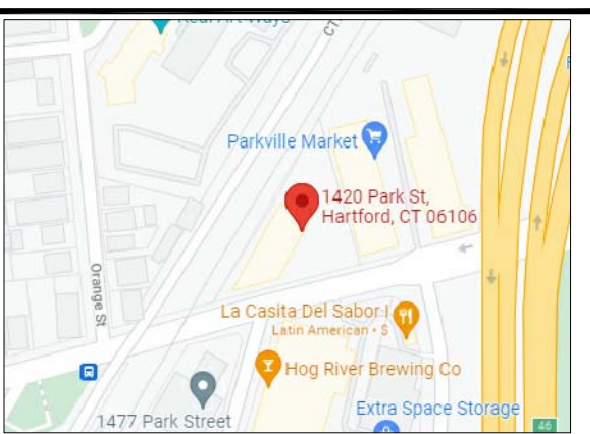
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issue or revision	date

drawing title

PROPOSED ROOF PLAN

scale: _____ designer: _____

as indicated h.c.b.

project no.: _____ drawn by: _____

21917 s.m.

date: _____ checked by: _____

11/27/21

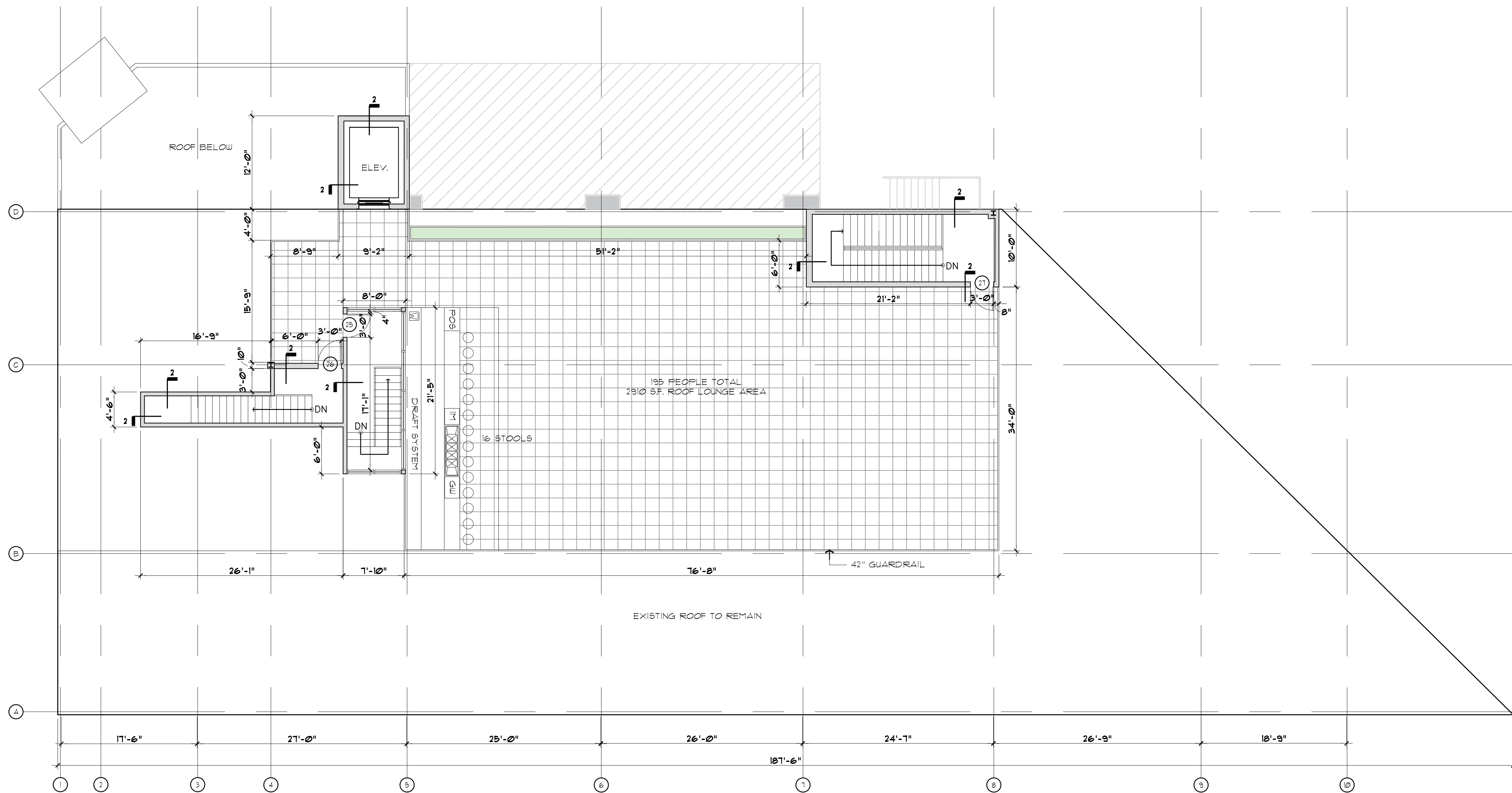
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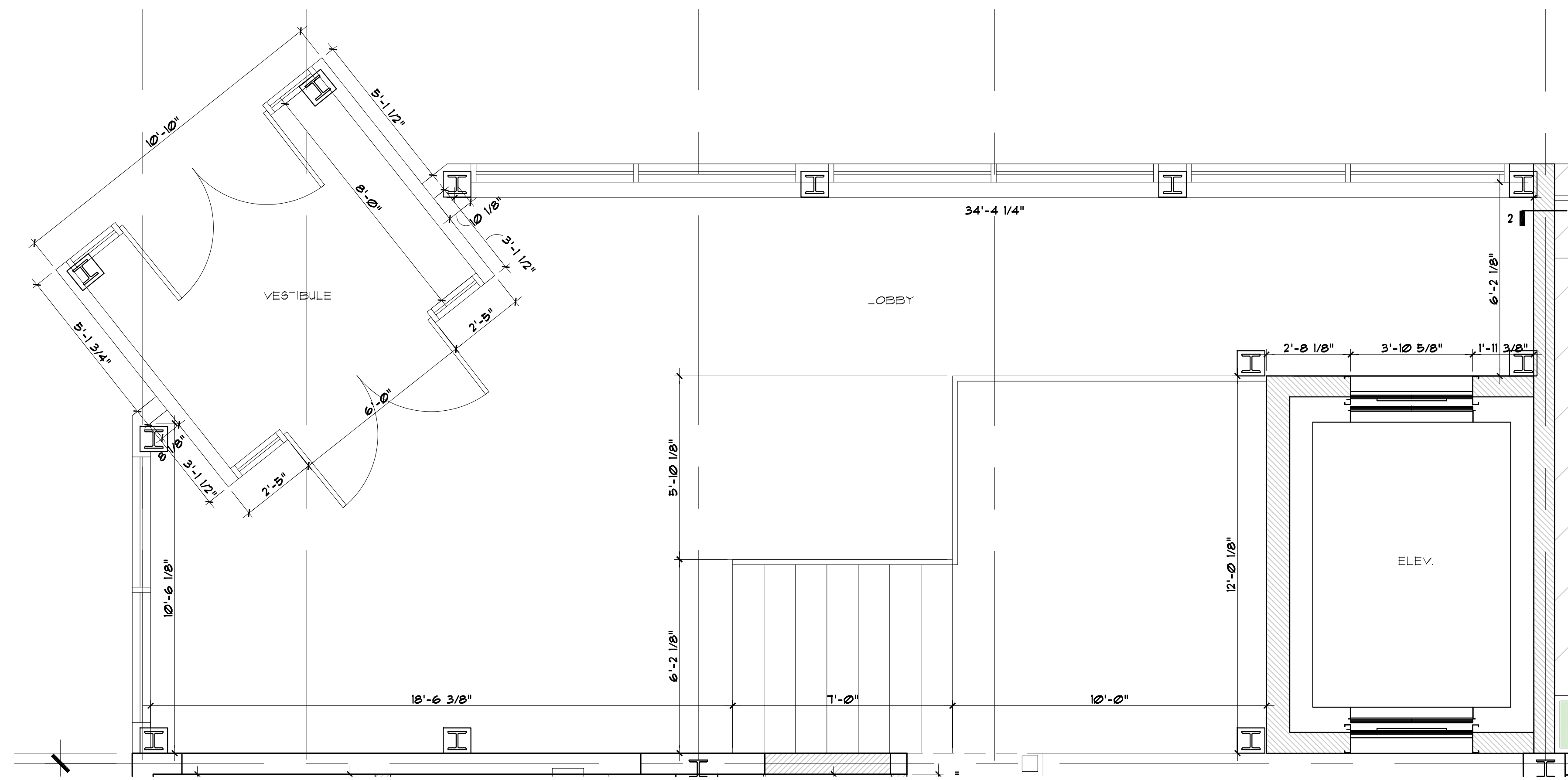
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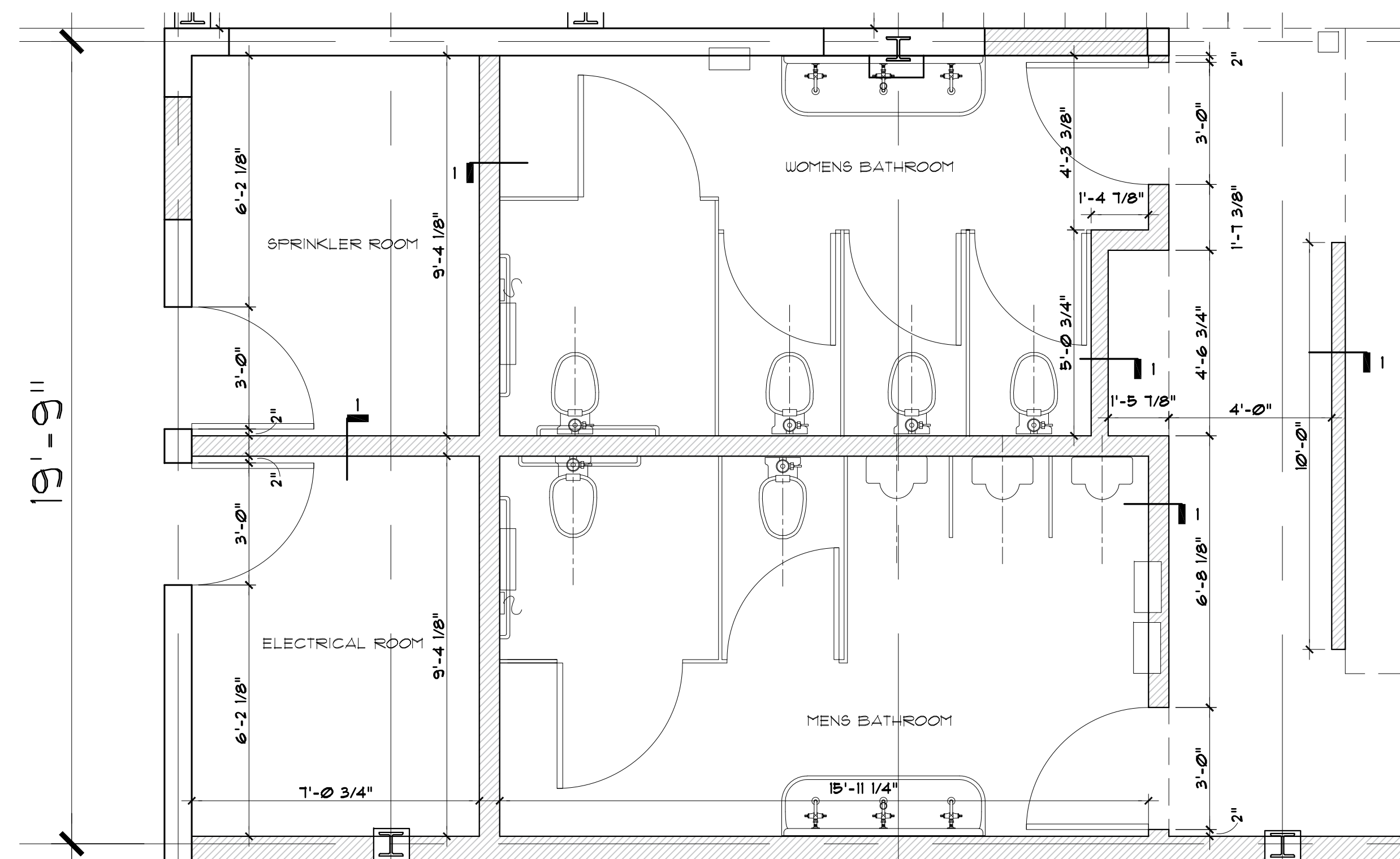
① PROPOSED ROOF TOP BAR PLAN





① PROPOSED LOBBY PARTIAL PLAN

SCALE: 3/8" = 1'-0"



② PROPOSED 1ST FLOOR BATHROOM PARTIAL PLANS

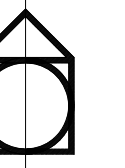
SCALE: 3/8" = 1'-0"

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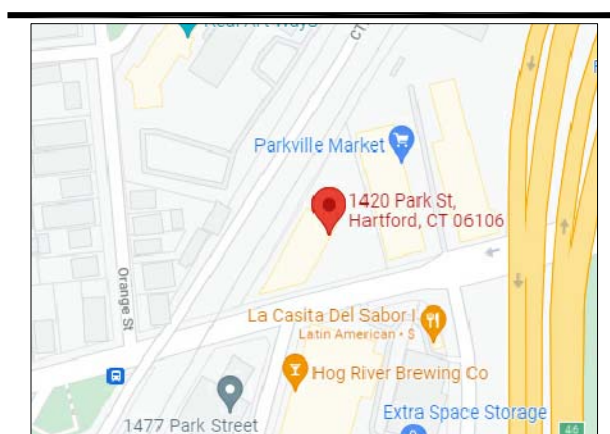
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PARTIAL FLOOR PLANS

scale: designer:

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RELOCATION

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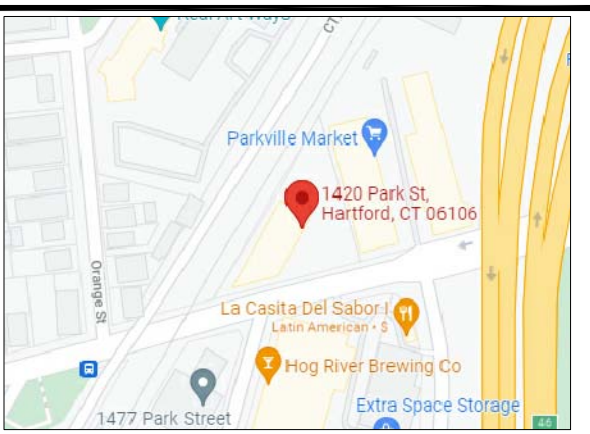


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PARTIAL FLOOR PLANS

scale: as indicated
designer: h.c.b.

project no.: 21917
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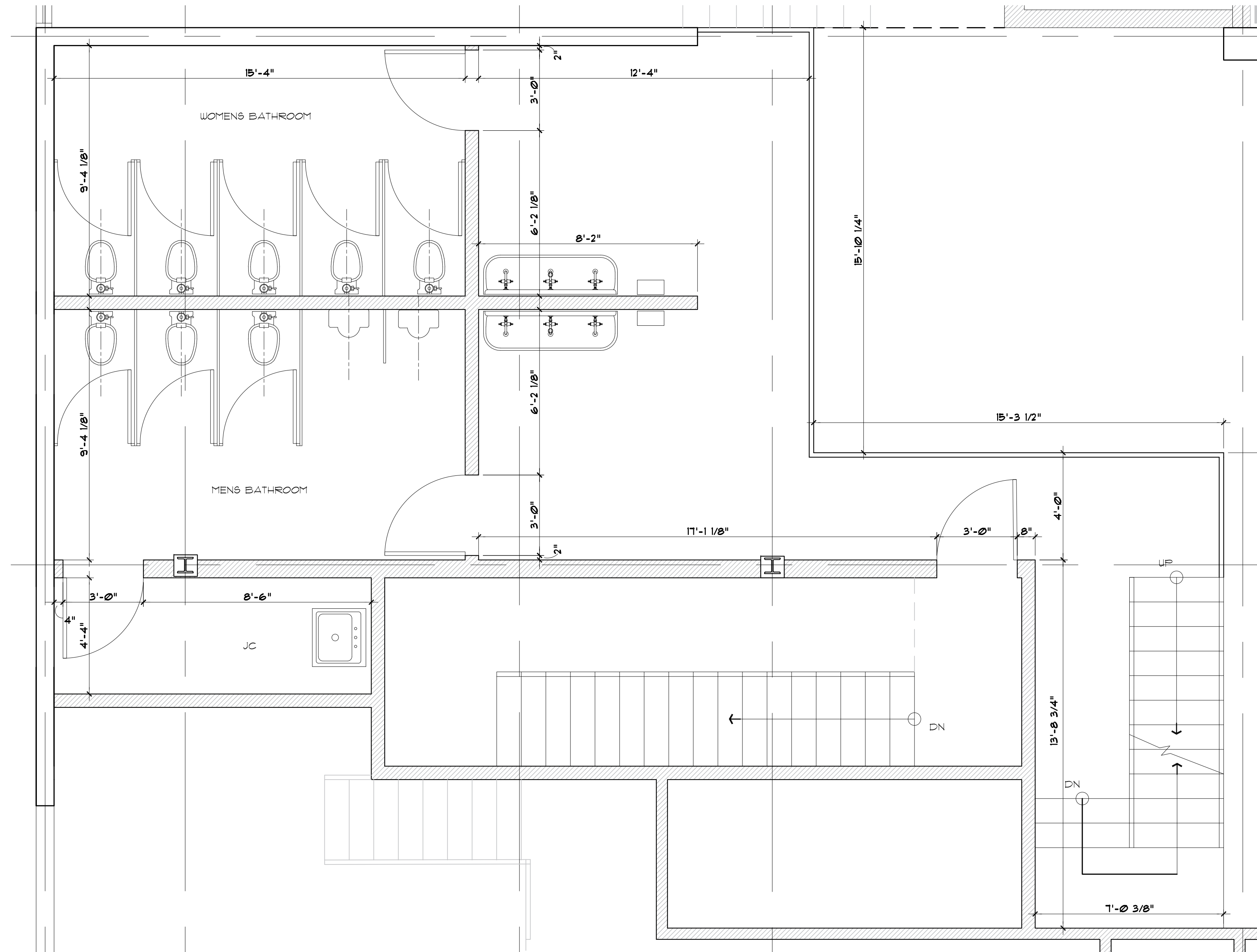
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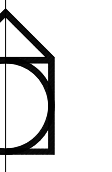


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HOG RIVER BREWERY RELOCATION

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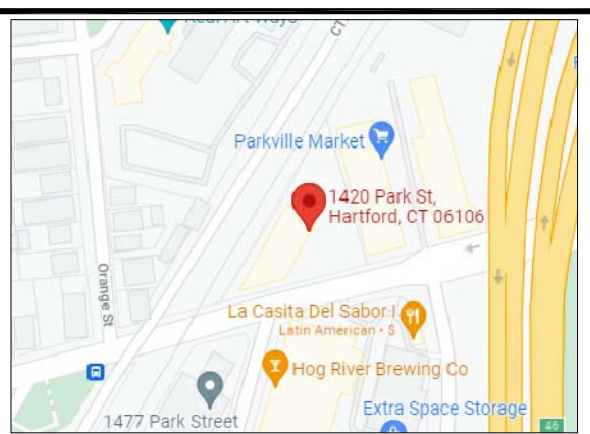
architecture - planning - interior design



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issue or revision	date

drawing title

EXTERIOR FACADES

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

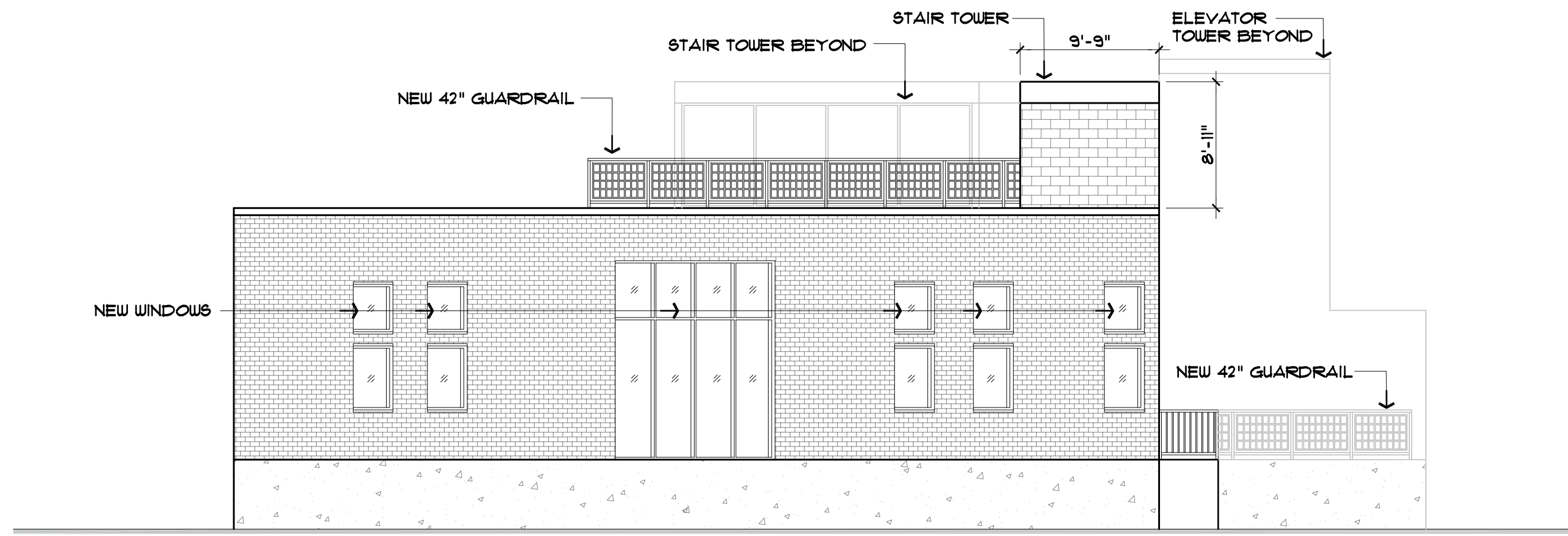
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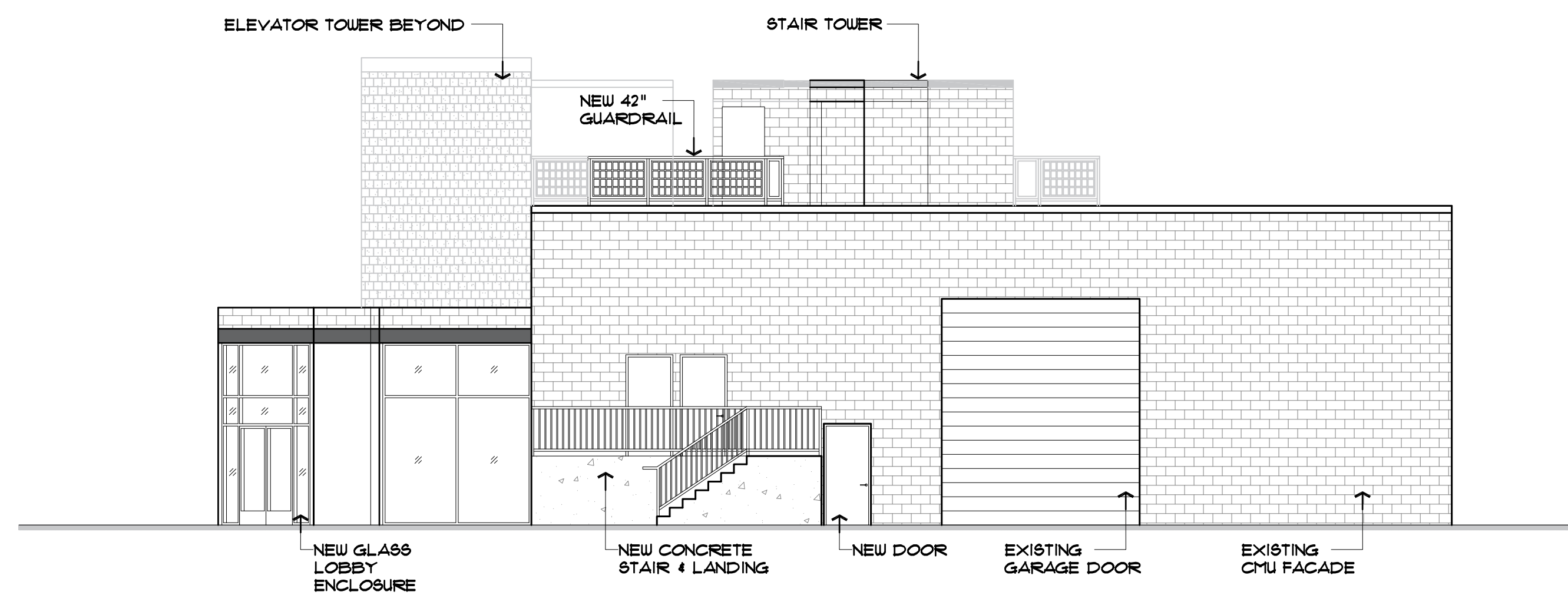
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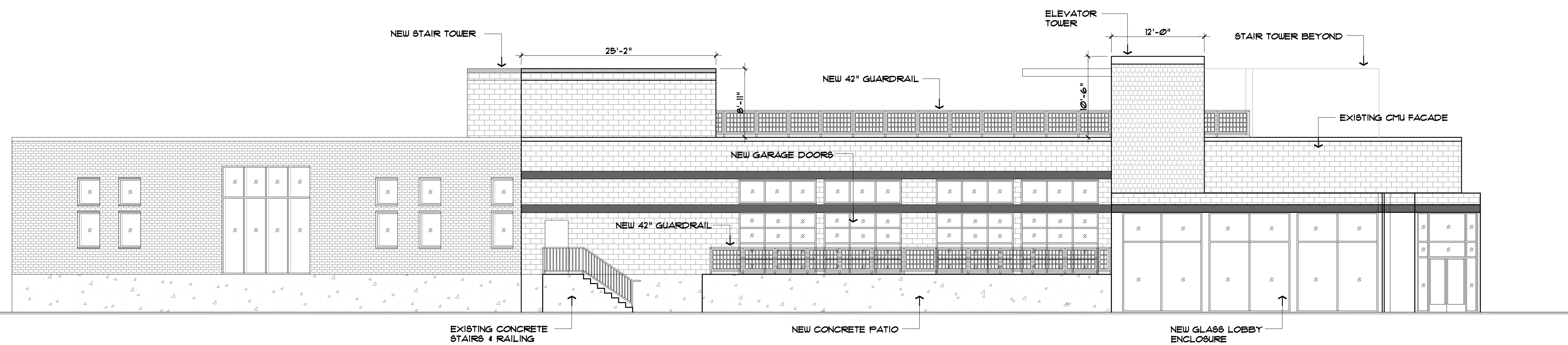


① SOUTH FACADE

SCALE: 1/8" = 1'

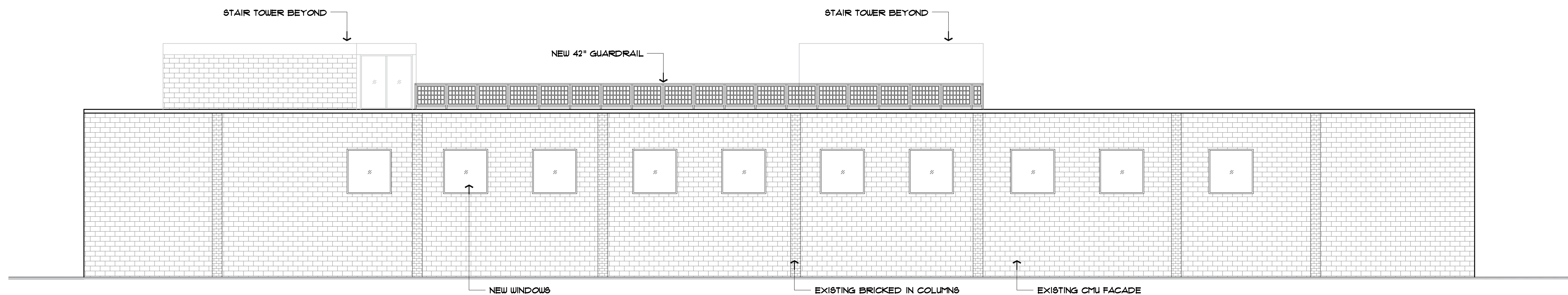


② NORTH FACADE



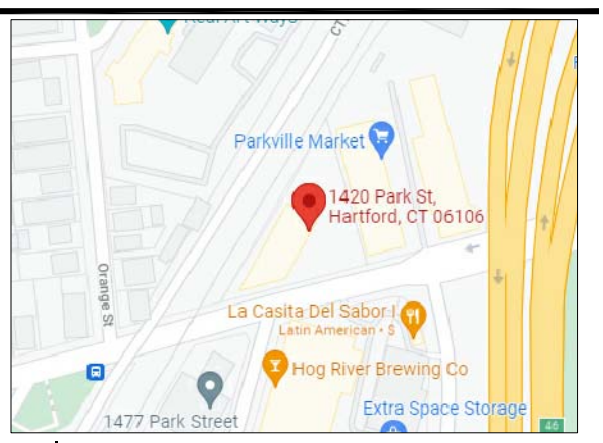
③ EAST FACADE

SCALE: 1/8" = 1'



④ WEST FACADE

SCALE: 1/8" = 1'



key plan

issue or revision	date

drawing title

WALL SECTIONS

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

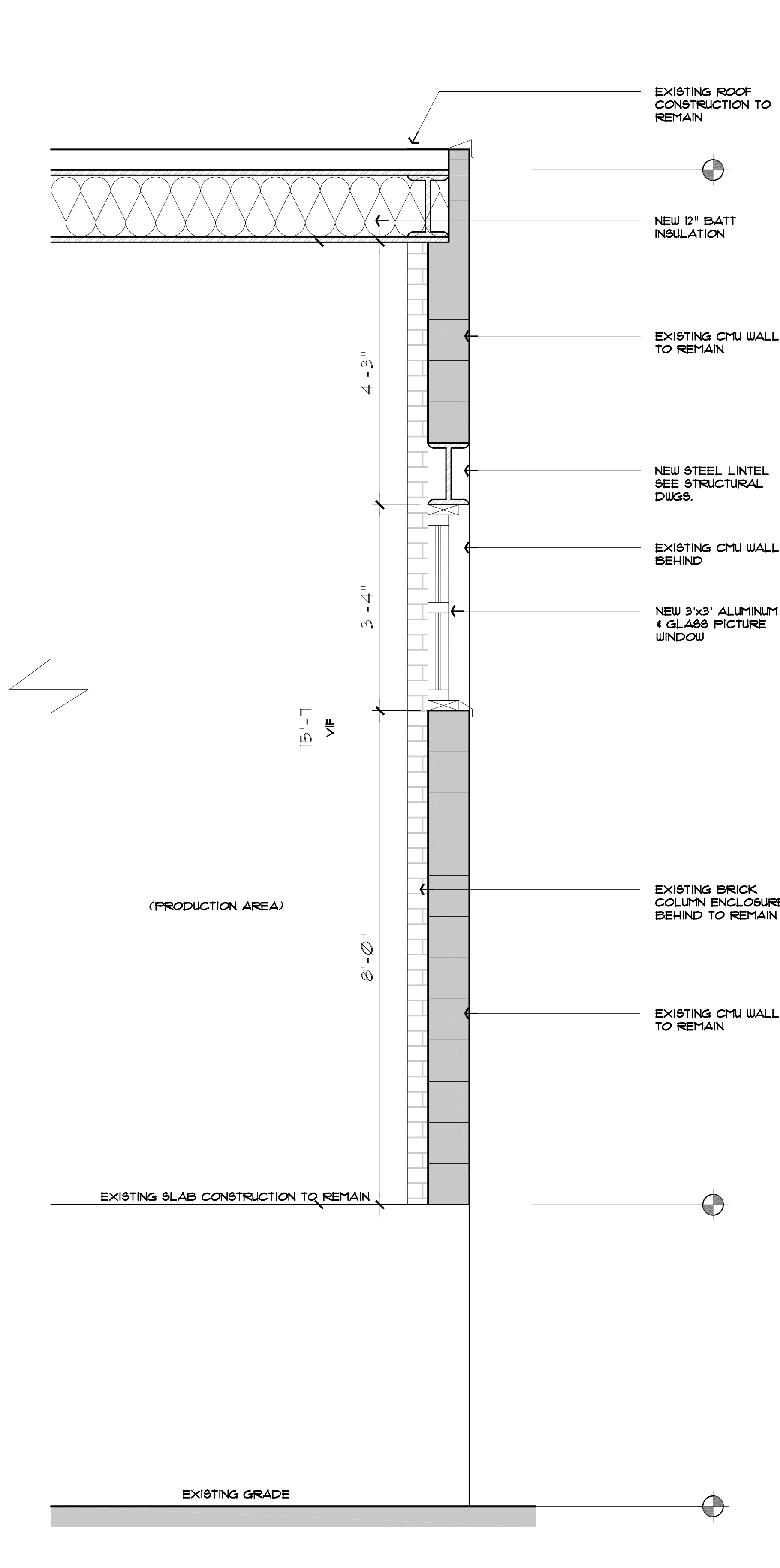
seal sheet number

A-8

sheet

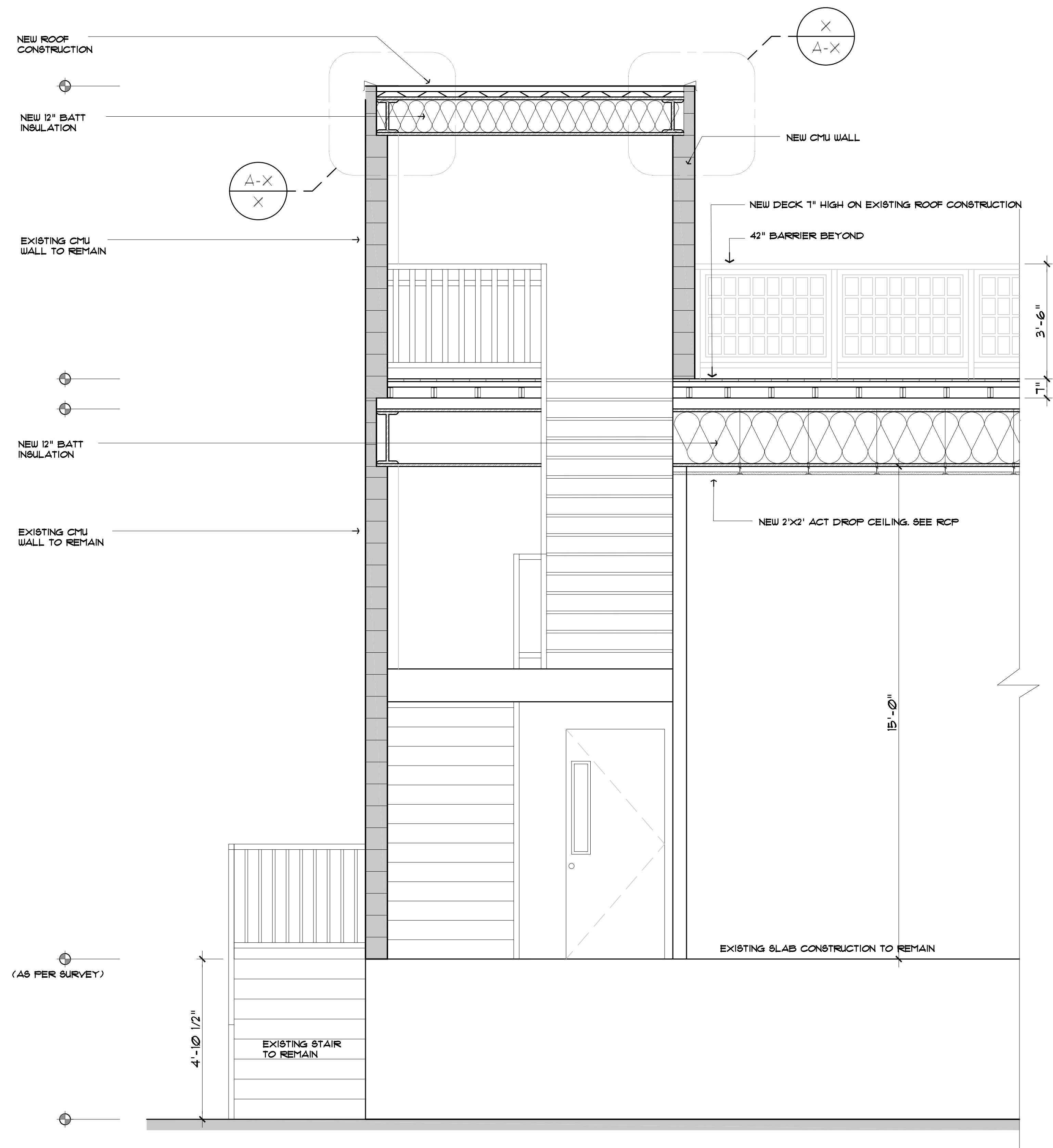
X of X

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① EAST FACADE

SCALE: 3/4" = 1'



① EAST FACADE

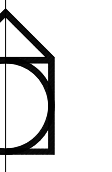
SCALE: 3/4" = 1'

PKV, LLC

2047 PARK ST.
HARTFORD, CT 06106

HOG RIVER BREWERY RELOCATION

1420 Park St.
Hartford, CT 06106



LIFECARE DESIGN INC.

1429 Park St. Ste 201
Hartford Ct. 06106

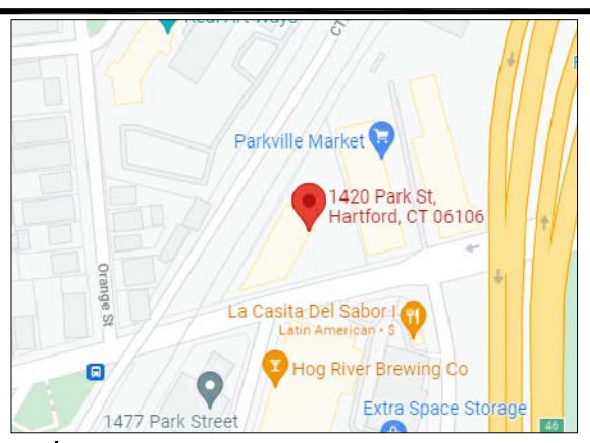
architecture - planning - interior design



ACORN ENGINEERS INC.

244 Farms Village Rd.
West Simsbury, Ct. 06092

mechanical - electrical engineering



key plan

issue or revision	date

drawing title

WALL SECTIONS

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

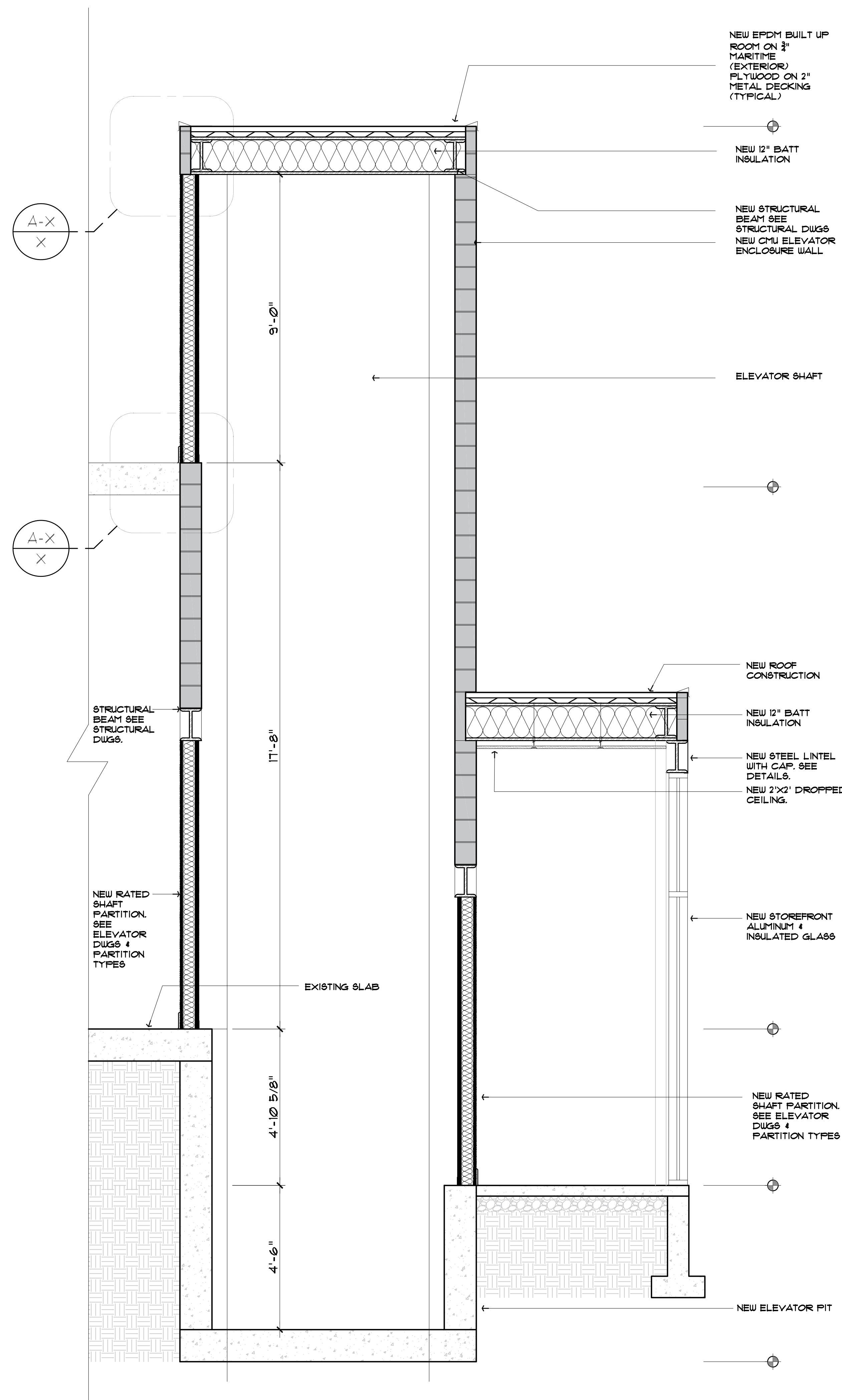
seal sheet number

A-9

sheet

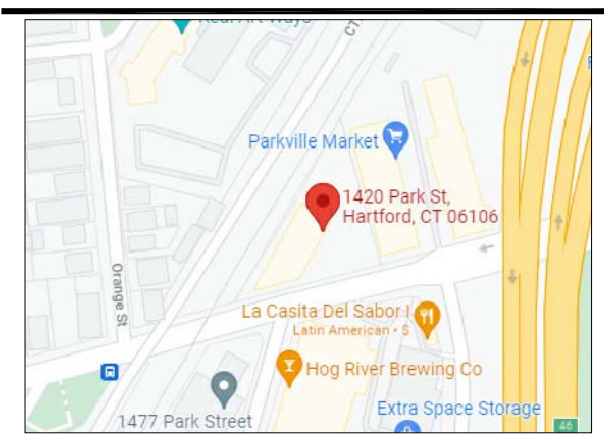
X of X

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① WALL SECTION

SCALE: 3/4" = 1'



key plan

issue or revision	date

drawing title

WALL SECTIONS

scale: designer:

as indicated h.c.b.

project no.: drawn by:

21917 s.m.

date: checked by:

11/27/21

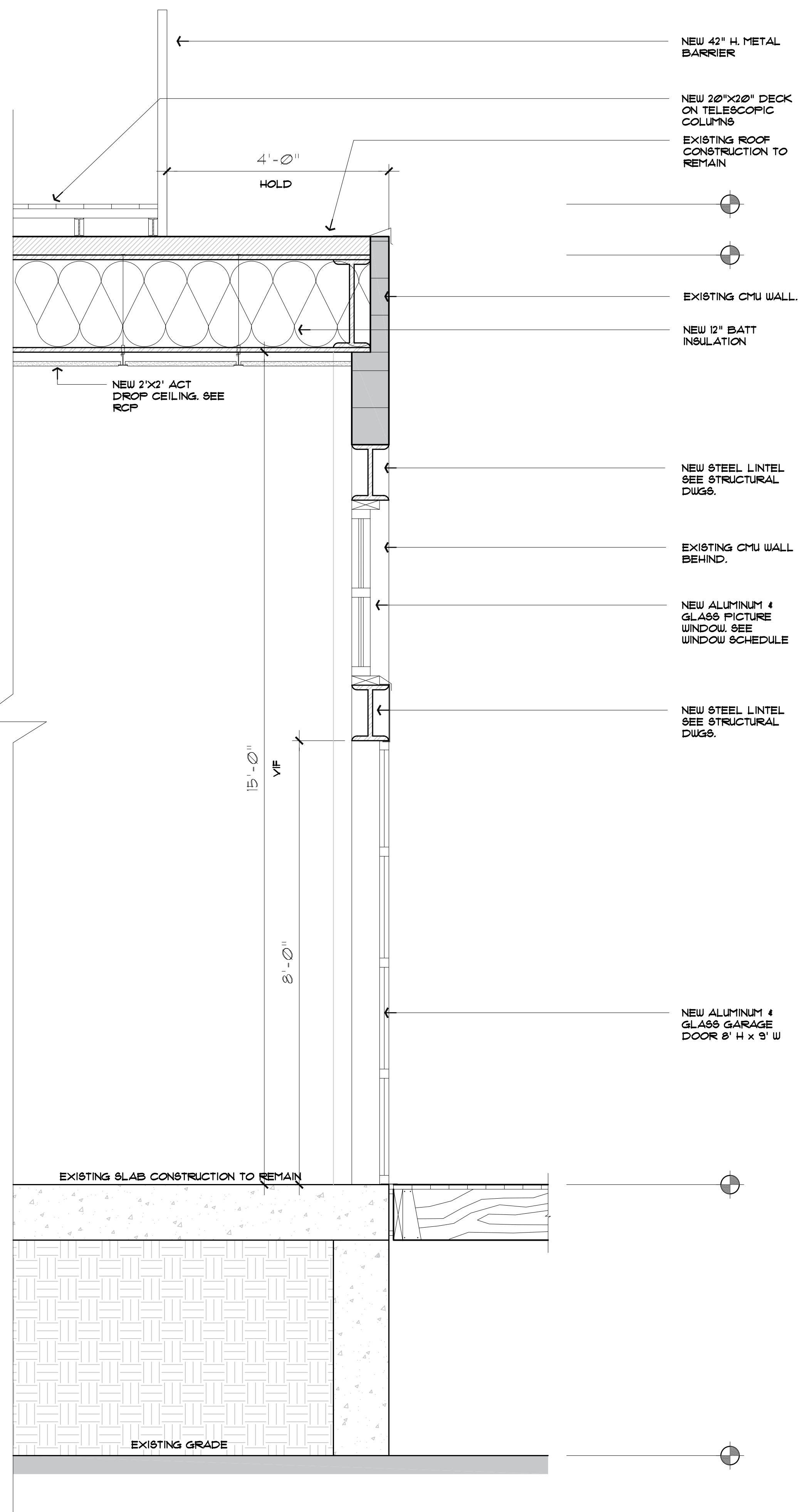
seal sheet number

A-10

sheet

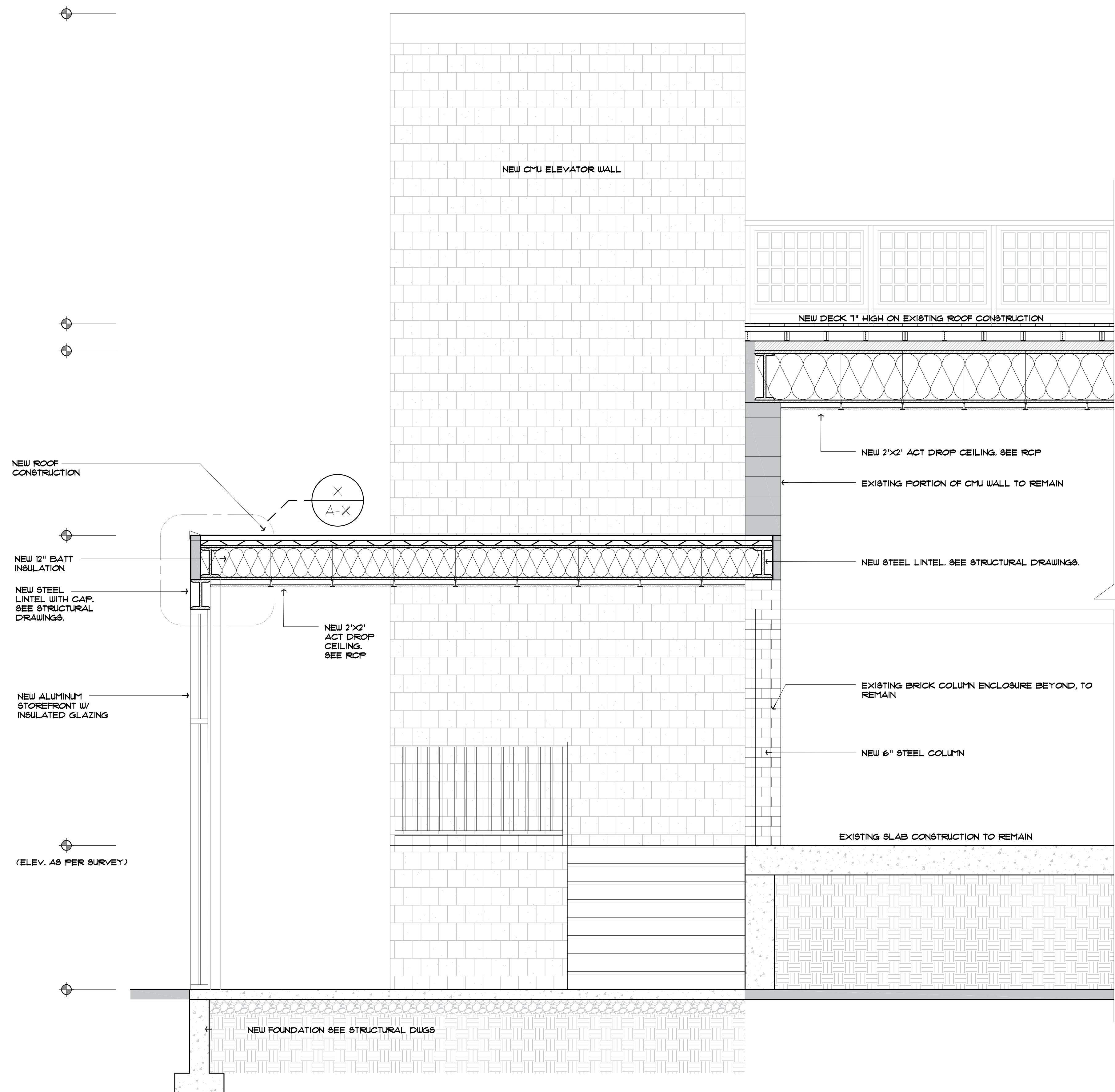
X of X

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1 WALL SECTION

SCALE: 3/4" = 1'



1 WALL SECTION

SCALE: 3/4" = 1'

Paul Ashworth

From: Paul Ashworth
Sent: Wednesday, July 13, 2022 3:34 PM
To: Berschet, Paige; Natalie Sweeney
Cc: Hartford Planning Division
Subject: RE: 1420 Park St - Special Permit Application - P&Z-COMM-2022-0264

Good afternoon Natalie,

Unfortunately, because of some scheduling conflicts, this item is being rescheduled to the 8/9/22 meeting of the Planning & Zoning Commission. This will also allow additional time to address the below comments.

After reviewing the request for a special permit for an Outdoor Café associated with a drinking place associated with a Craftsman Industrial use, I've put together the following set of comments. They include requests for more information as well as a few tasks. Please respond to each comment. If a resubmittal is received and each comment does not have a response, the resubmittal will be considered incomplete.

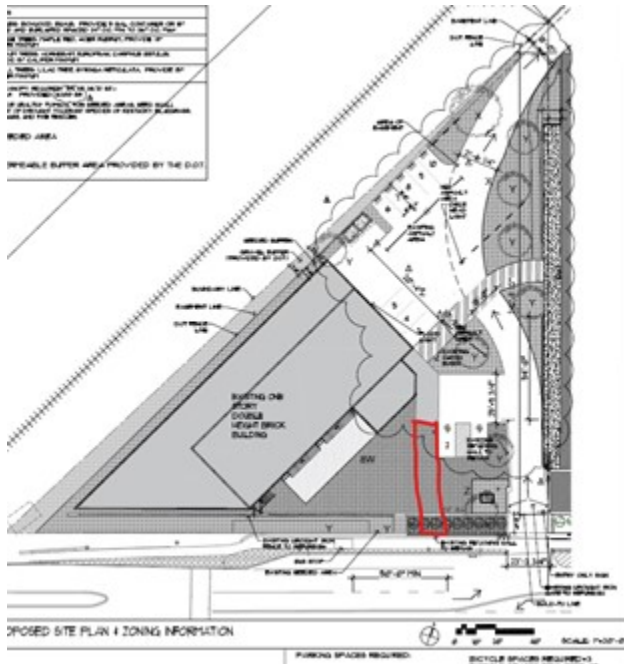
The primary use, Craftsman Industrial, has never been permitted at this location. It appears portions of this lot were included on previous submittals for the neighboring parcel, but this lot was never reviewed for this use. The proposed use combined with the scope of work requires site plan review. Please confirm via response to this email that you consent to include site plan review with this application, OR submit another application for site plan review.

Special Permit Comments

1. Please provide a narrative describing how any negative impacts created by the outdoor café on any neighboring developments or communities, or the public right-of-way will be mitigated. These may include, but are not limited to, sound/noise, light, smells or traffic. I recommend that the transportation impact analysis required of the special permit at 1390 Park include the impacts of this use. One comprehensive analysis would be very helpful and would eliminate duplication of effort.
2. Please address how pedestrians will access the business and how per Sec.1.3.4.D, the proposed "Provides pedestrian amenities" and "Does not create safety hazards in the proposed vehicular and pedestrian circulation pattern." Please also review the rest of the requirements of this section for compliance.
3. I noticed that the proposed elevation drawings do not match what was approved by the historic preservation board 12/15/21 (COMM-2021-0548). **Paige Berschet** will confirm whether this will require additional review by HPC.
4. What are the proposed hours of operation of the overall craftsman industrial use; what are the proposed hours of operation for the outdoor café (rooftop and front patio area).
5. Please provide a square footage table. Please calculate the square footage of the overall use and the outdoor café. Include a calculation of the area devoted to Drinking or eating place. Sec.3.3.7.B requires that at least 10% of the square footage be used as a "showroom" or shop selling the product manufactured on site (drinking place).

Site Plan Comments

1. Please include a survey in the plan set.
2. Landscape plan was delivered to the City Forester's representative for review.
3. In zoning table on sheet SP-1. Multiple items are marked "Variance Accorded". I don't see a variance(s) on file. Please provide verification of a variance issued by the Zoning Board of Appeals for these items. Please note items #2 and #16 do not require variances. Item number 24 and 25 should be met.
4. Front entrance should be accessible from the street and not required to cross a separate parcel for entrance. Please show a pedestrian accessway from the bus stop directly to the front entrance of the building.



5. Section 4 on sheet SP-1 implies there is a minimum number of parking spaces and does not reflect City of Hartford parking requirements. Maximum parking for this use is 4 spaces per 1000 sf (see employment uses [i.e.craftsman industrial] in Fig.7.2-A). Revise table to show adherence with Hartford regulations.
6. Bicycle parking cannot be more than 50' from the entrance to a building and located on the same lot per Sec.7.3.3. Please show bicycle parking on site.
7. The ADA parking is currently shown in what could be the side or front yard. Parking is not permitted in this location. Please remove from the plan.
Staff found no record of parking being approved in this location in the past.



8. Please confirm parking lot lighting and site lighting is compliant w/ section 7.3.1.J and section 6.15.2 respectively. Please confirm fixture types and provide a photometric plan showing illuminance of the parking and pedestrian areas.
9. Please provide a demolition plan identifying paving to be removed or replaced. Please note new pavement must meet the requirements of section 7.3.1.H.
10. Please provide an erosion control plan or confirm the scope will not trigger section 6.16.3.
11. It appears the total impervious area will be increased. Please provide a stormwater management plan consistent with Section 6.14.2.C unless you can demonstrate how the scope is exempt per section 6.14.2.C(4). If exempt please confirm how the basic requirements of section A are met (6.14.2.A).
12. Please confirm how the tree requirement is met. 15% tree canopy coverage is required in the CX districts.

Thank you for your time,

Paul Ashworth

Senior Planner

City of Hartford - Department of Development Services

Planning & Zoning Division

he/him

260 Constitution Plaza, 1st Floor

Desk: 860-757-9055

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Please be advised that unless it is expressly stated, this correspondence does not constitute a zoning permit, certificate of zoning compliance, certification of a legal nonconforming use, or other approval within the Division's jurisdiction. If a permit or approval is desired, an application, application fee, and all required supporting documentation must be submitted to the Zoning Administrator in accordance with the Hartford Zoning Regulations. Please visit www.hartfordct.gov/dds and click on "Our Services" to begin the application process.

Make an appointment online: <https://developmentservices.setmore.com/>

From: Berschet, Paige <Paige.Berschet@hartford.gov>
Sent: Thursday, June 30, 2022 10:42 AM
To: Natalie Sweeney <n.sweeney@lifecaredesign.com>
Cc: Hartford Planning Division <oneplan@hartford.gov>; Paul Ashworth <Paul.Ashworth@hartford.gov>
Subject: 1420 Park St - Special Permit Application

Hello Natalie,

Thank you for submitting your Special Permit Application for 1420 Park St. The application review has been assigned to Paul Ashworth (cc'd) who will be in touch with any questions as she completes the staff report and the applicant public noticing requirements that must be completed prior to the public hearing. The public hearing is tentatively scheduled for the July 26, 2022 Planning & Zoning Commission Meeting and the meeting login information and documents will be posted here: <https://www.meetinginfo.org/meetings/1735>

We ask that all Commission level applicants reach out to their respective NRZ for a letter of support for their application. 1420 Park St is located within the Parkville NRZ and their contact info is as follows:

Parkville NRZ
Meetings: 2nd Wednesday, at 6:00 PM

At Parkville Community Center
11 New Park Avenue

Contact: David Morin, Chair
barridoncorp@aol.com

The application fee is \$350 and can be paid in person with credit card or a check made out to the City of Hartford by scheduling an appointment online (<https://developmentservices.setmore.com/>), by mailing us a check with this email attached to the check and the address referenced to 260 Constitution Plaza, 1st Floor, Hartford, CT 06103 ATTN: Planning Division, or by paying online (<https://hartfordct-energov.tylerhost.net/Apps/SelfService#/payinvoice>) and searching for the invoice number: INV-00061594. The application fee must be paid before the public hearing date.

Let us know if you have any questions.

Best,

Paige Berschet
Administrative Assistant
City of Hartford - Department of Development Services
Planning & Zoning Division
she/her/hers
260 Constitution Plaza, 1st Floor
oneplan@hartford.gov
Desk: 860-757-9029

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fee, and all required supporting documentation must be submitted to the Zoning Administrator in accordance with the Hartford Zoning Regulations. Please visit www.hartfordct.gov/dds and click on "Our Services" to begin the application process.

Parkville N.R.Z.

Parkville Revitalization Association

11 New Park Avenue

Hartford, CT. 06106

Hartford Planning & Zoning Commission
Department Of Development Services
260 Constitution Plaza, 1st Floor
Hartford, CT. 06103

August 3, 2022

Subject: 1420 Park Street, Hartford, CT 06106

Special Permit Application for Approval of Use of an proposed Accessory Outdoor Café associated with a Drinking Place per Section 3.5.2. D, to be reviewed in a CX-2/TOD Zone.

Dear Hartford Planning & Zoning Commission Members:

I am pleased to inform you that on June 22, 2022, the Parkville Revitalization Association ("N.R.Z.") at our Wed., June 22, 2022 monthly meeting voted (9) Yes & (0) No with One Abstention to support & endorse the Special Permit application for a Outdoor Café that is being proposed at 1420 Park St., Hartford, CT. We believe the applicant and her team demonstrated the knowledge, expertise, & a cognizance that is aligned with our Committees' vision for the future of our Parkville Neighborhood.

Parkville Revitalization Association (N.R.Z.) believes this proposal complements the other existing businesses located in this area of Parkville. The proposed plan is designed very comprehensively.

Parkville Revitalization Association (N.R.Z.) looks at this Special Permit Application to approve an Accessory Outdoor Café associated with a Drinking Place per Section 3.5.2.D clearly favorably.

Respectfully,



David Morin
President (N.R.Z.)
Parkville Revitalization Association
Cell Phone # (860) 830-5292
Email: barridoncorp@aol.com