



**DEPARTMENT OF DEVELOPMENT SERVICES – PLANNING DIVISION**  
**REPORT: Inland Wetlands & Watercourses Permit, 2 Maxim Rd.**  
for consideration September 22, 2020

**STAFF REPORT**

**TO:** Inland Wetlands Agency, designated as Planning & Zoning Commission

**PREPARED BY:** Elizabeth Sanderson, Principal Planner  
860-757-9238, elizabeth.sanderson@hartford.gov

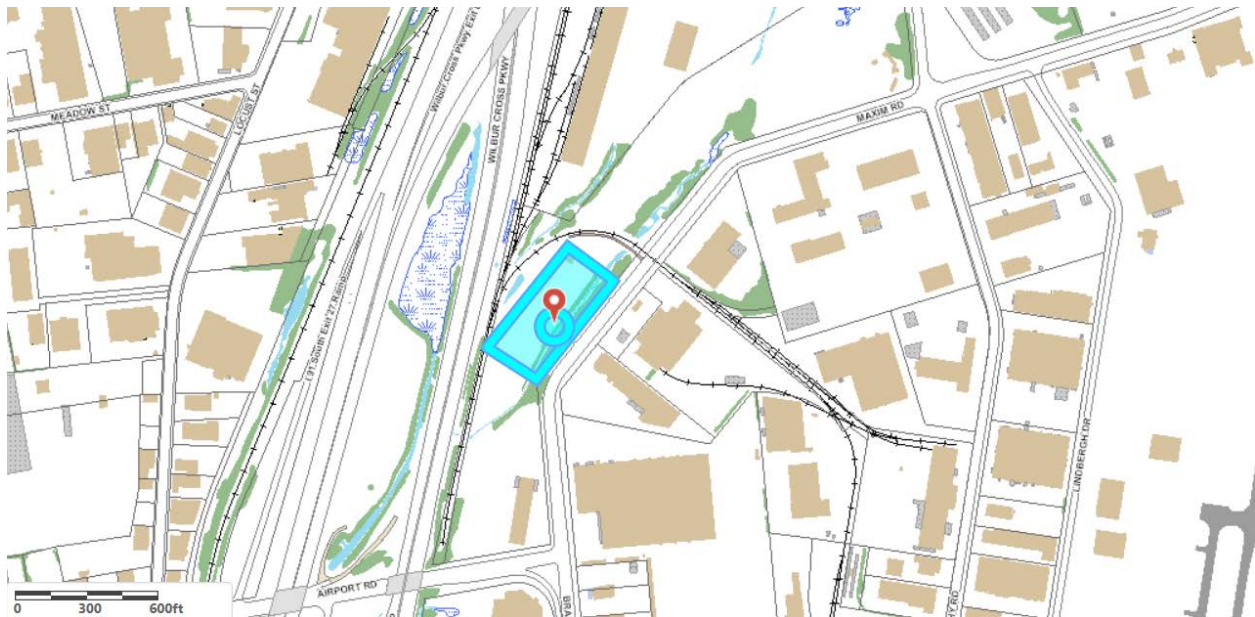
**PROJECT:** Bridge Construction at  
2 Maxim Rd.  
PARCEL ID: 315-693-002  
ENERGOV ID: P&Z-COMM-2020-0156

**ZONE:** ID-1 Industrial District

**TYPE:** Wetland Permit per Section 7 of the Inland Wetlands and Watercourses Regulations Last Amended February 28, 2017

**APPLICANT:** Glen Damboise

**OWNER:** R&B Associates, LLC



City GIS Map

### **BACKGROUND INFORMATION**

This Application is for Inland Wetlands & Watercourses Permit to conduct regulated activities within wetlands, watercourse, and upland review area in order to construct a driveway and bridge to provide access to the subject property from Maxim Rd.

A letter from Caitlin Palmer, Principal Planner, dated September 16, 2016 (included with Attachment #3) indicates the following previous activities relate to this property:

- 9/4/2015 Application for Wetlands Permit (EnerGov ID# 20153886-PZ75) for “relocation of drainage swale for construction of outdoor storage lot at 2 maxim road” was never heard or acted upon due to incompleteness.
- 9/10/2015 Application for Zoning Permit (EnerGov ID# 20153956-PZ75) for “Outdoor storage of gravel in deadman wall enclosure” was administratively approved by Planning Staff.
- The applicant has cleared, excavated, and filled the property with road millings without a sediment and erosion control in place, possibly impacting and encroaching upon the wetlands area with road millings; parks trucks and vehicles immediately adjacent to an identified wetlands area; develops and operates an outside construction equipment and materials storage yard along with the use of the property for the storage of automobiles and road milling without benefit of Site Plan and/or Wetland Permit Approvals to conduct such activities.
- Staff recommendation to “discontinue the uses of the property that we do not have record of approval for.”

City Planning Staff have been working with the Applicant, a new manager for the property, over several months to obtain necessary drawings and documents to make this pending Application complete. The necessary documents were received on August 28, 2020.



Figure 1. View of Subject Property from Maxim Rd., near proposed location of the new driveway, taken 3/24/2020.





Figure 2. View looking southwest of the wetland/watercourse area from the existing off-site driveway, taken 3/24/2020.

### **KEY APPLICATION TIMELINES**

- Application Submission Date: March 3, 2020.
- Date Application Accepted as Complete: August 28, 2020.
- Application Date of Receipt: September 8, 2020 (sooner of either: date of next regularly scheduled meeting, or 35 days after acceptance of complete application).
- Public Hearing is scheduled to open on Tuesday, September 22, 2020; Open Hearing Deadline: November 12, 2020.
- Close Hearing Deadline (if opens September 22, 2020): Tuesday, October 13, 2020.
- CT General Statutes Sec.8-7D allow that the applicant may consent to one or more extensions of time, provided the total extension of all time periods shall not be for longer than 65 days\*.
- On March 10, 2020, State of Connecticut Governor Ned Lamont declared a public health and civil preparedness emergency (“state of emergency”) as a result of coronavirus disease 2019 (COVID-19) outbreak and pandemic.
- The Planning Division is operating under a series of Executive Orders issued by Governor Lamont (7.E & 7.I) which modify public hearing noticing requirements.
- \*Time periods that may pass or expire during the state of emergency may be further extended by no more than an additional 90 days, for a total of 155 extension days available, which may be applied towards all time periods, as needed.

### **LEGAL STANDARD**

The Inland Wetlands Agency of the City of Hartford was established in accordance with an ordinance and designated to be the zoning commission (now the Planning and Zoning Commission) by ordinance in 1977, and shall implement the purposes and provisions of the Inland Wetlands and Watercourses Regulations (IWWR) and the Inland Wetlands and Watercourses Act in the City of Hartford. (IWWR, Sec. 1.3)

The Agency shall enforce the Inland Wetlands and Watercourses Act and shall issue, issue with terms, conditions, limitations or modifications, or deny permits for all regulated activities on inland

wetlands and watercourses in the City of Hartford pursuant to sections 22a-36 to 22a-45, inclusive, of the Connecticut General Statutes, as amended. (IWWE, Sec.1.5)

**STANDARD SPECIFIC TO THE USE**

Per IWWR section 4.3, all activities in wetlands and watercourses involving filling, excavating, dredging, clear cutting, clearing, or grading or any other alteration or use of a wetland or watercourse not specifically permitted by this section and otherwise defined as a regulated activity by these regulations shall require a permit from the Agency in accordance with section 6, or for certain regulated activities located outside of wetlands and watercourses from the duly authorized agent in accordance with section 12.

**FINDING OF FACTS**

- The required Public Notice that was posted on the property frontage contained outdated meeting information during a portion of the required notice period; however, the Applicant modified the sign on Saturday, September 12, 2020 to display updated meeting information (see Attachment #5).
- The property is located in the ID-1 zoning district.
- Some components of the bridge have been installed, without benefit of permit(s).
- Wetland Report entitled: “On-Site Soil Investigation Report” prepared by Edward M. Pawlak, Registered Soil Scientist & Certified Professional Wetland Scientist, Connecticut Ecosystems, LLC, dated 8/20/2015 (included with Attachment #1).



Figure 3. Adopted Zoning Map, dated August 28, 2018. The subject property is located in the ID-1 district, east of I-91 and north of Airport Rd.

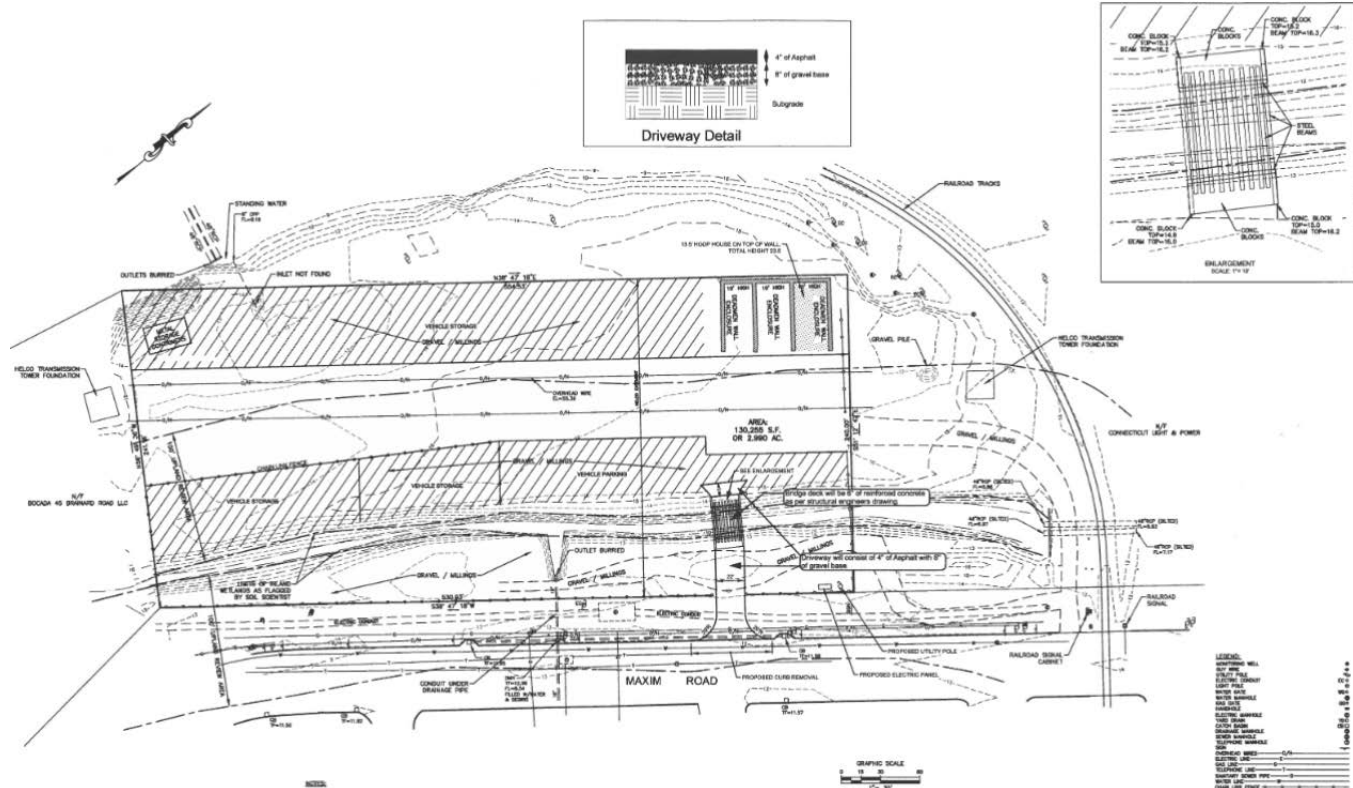


Figure 4. Proposed Site Plan. Existing (off-site) driveway is to the right, on property owned by Eversource. The proposed driveway and bridge are to be approximately 225 ft. away.

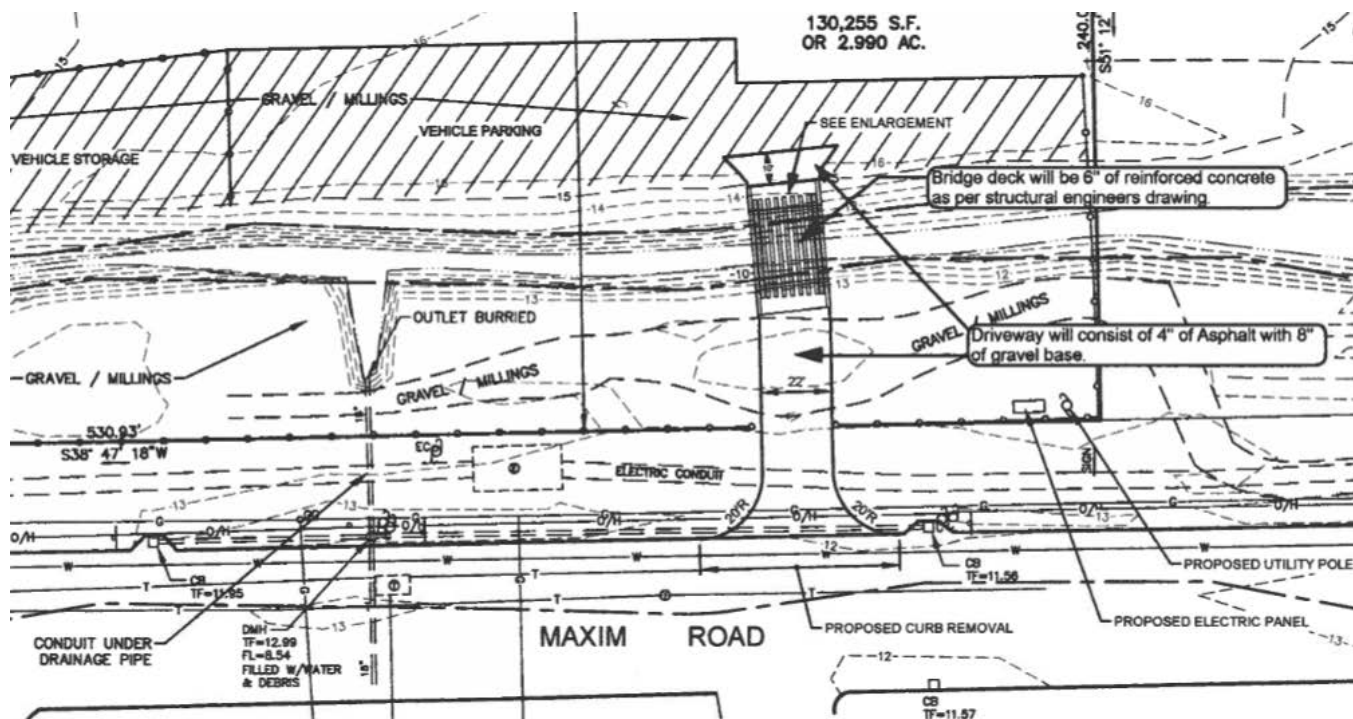


Figure 5. Enlargement of Site Plan, shows new bridge and driveway location across existing inland wetlands, as flagged by Soil Scientist.





Figure 6. Excerpt of FEMA Flood Insurance Rate Map Panel 09003C0506G, effective 9/16/2011, depicts the Subject Property within Other Flood Areas: Zone X, Area Protected from the 1% Annual Chance or Greater Flood Hazard by a Levee System.



Figure 7. View from existing off-site driveway looking south at the wetlands/watercourse, taken 9/10/2020.





Figure 8. View of Property, taken 9/10/2020. Depicts trucks and items stored, and gravel millings deposited within the upland review area west of the wetlands.



Figure 9. View of bridge components that have apparently been installed across wetlands/watercourse without prior approvals from City Staff, taken 9/10/2020.



Figure 10. View of apparent clearing and placement of millings within the upland review area on the east side of the watercourse (between Maxim Rd. and the wetlands/watercourse), taken on 9/10/2020.





Figures 11 & 12. View of material and debris stockpiled within the upland review area on the east side of the wetlands, taken 9/10/2020.



Figure 13. View from bridge crossing looking south, taken 9/10/2020. Depicts Phragmites growing in the wetlands, and tractor trailers stored in the upland review area.



Figure 14. View of Subject Property from existing off-site driveway, taken 3/24/2020.





Figure 15. View of wetland crossing for the existing, off-site driveway; railroad tracks and Maxim Rd. beyond, taken 3/24/2020.

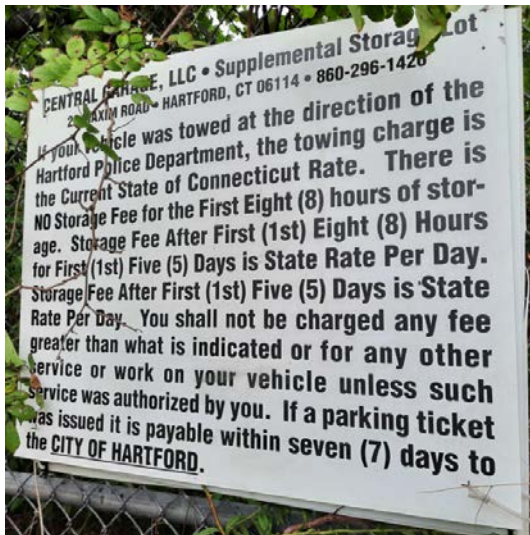


Figure 16. View of sign posted on fence along Maxim Rd., taken 9/10/2020. Indicates use of the Property as a tow and impound lot.

**COMMENTS RECEIVED (DEPARTMENTS, AGENCIES, NRZs, PUBLIC)**

This application was forwarded to the Licenses & Inspections Division Plans Examiner and City Engineer for comment. Comments that have been received as of September 8, 2020 are included with Attachment #2.

**ANALYSIS**

The Applicant proposes to create a new driveway to access the Central Auto Group business located on the Subject Property. A bridge over wetlands is needed to connect the business to Maxim Rd. Currently, access to the site is via an existing gravel/millings driveway located on the adjacent

property, which is owned by Eversource. In a letter from the Applicant (no date), it is indicated that the new driveway and bridge are needed so that the Subject Property may have direct access to Maxim Road since the access agreement with the adjacent property owner (Eversource) is coming to term.

Although portions of the bridge have been installed, the Structural Engineer's report (included with Attachment #1) indicates some corrective actions are recommended in order to make the bridge structurally adequate for anticipated vehicles. It is Planning Staff's understanding that such corrective measures would need to be taken as part of the Building Permit review. The Commission may wish to schedule a public site walk as part of the review of this application in order to gain a better understanding of impacts that have been made to wetlands and upland review area.

A sediment fence is proposed under the bridge decking on both ends to prevent erosion into the wetlands. To ensure wetlands are protected, it will be critical that this fence be inspected and maintained throughout construction, and only removed upon final permanent stabilization of slopes. Staff recommends that the Applicant be required to have a qualified Professional Engineer or Professional/Registered Landscape Architect prepare weekly inspection reports documenting site conditions and erosion controls throughout the construction process, and submit complete certified reports to the City Inland Wetland Agent as a condition of approval.

To address concerns raised by the City Engineer, it is recommended that the Applicant be required to work with a Qualified Environmental Scientist to clear the drainage swale on this property and near the culvert of Phragmites, debris, and other plants growing within the water flowline which obstruct drainage, likely contributing to flooding issues in the area.

To mitigate historic and future impacts to the wetlands/watercourse, the Commission may also consider imposing other conditions, such as:

1. Payment into the City Green Infrastructure Fund to assist with costs related to flood prevention and/or stormwater management improvements;
2. Payment into the Open Space Fund to support creation of meaningful outdoor spaces and/or wetlands elsewhere in the City;
3. Create additional wetlands on-site or off-site to mitigate historic and future disturbances to delineated wetlands and watercourse.

If wetlands are to be created as condition of approval, then Staff recommends the wetlands be created with prior authorization of Property Owner(s), if necessary, and under direction of a Qualified Environmental Scientist, Professional Engineer, and/or Landscape Architect with previous experience creating wetlands. It is also recommended that the new wetlands be subject to a 3-year monitoring period, during which time adjustments may be necessary to ensure successful creation of a functional wetland.

In accordance with IWWR Sec. 10.3 a permit shall not be issued unless the Agency finds on the basis of the record that a feasible and prudent alternative does not exist. The reasons for the finding must be stated on the record in writing. Sec. 10.5 states that aquatic, plant or animal life and habitats in wetlands or watercourses may be taken into consideration when making a decision on an application.

Issuance of Wetland Permit is separate from any Zoning Permit and/or Site Plan Review that may be necessary for Change of Use. The property is currently approved for use as an Outdoor Storage Yard, per Sec.3.3.9.C of current Zoning Regulations, which was administratively approved by Planning Staff on 9/10/2015 (EnerGov ID# 20153956-PZ75); however, it appears that Central Auto Group is using the property for vehicle towing and storage, which is a Warehouse/Distribution use, per Sec.3.3.9.E/Fig.3.3-F of current Zoning Regulations. Zoning Approval must be obtained for the change of use. The Applicant will also need to work with Licenses & Inspections to obtain necessary approvals related to the new bridge construction.

**STAFF RECOMMENDATION**

Staff recommends the public hearing be opened but continue until the October 13, 2020 to correct noticing errors.

A draft resolution follows.

**ATTACHMENTS**

1. Application & Supporting Documents
2. FEMA Flood Insurance Rate Map
3. Comments from City Departments
4. Various City Records
5. Email from Applicant (dated September 12, 2020)

**REVIEWED AND EDITED BY,**

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Aimee Chambers, Director



**PLANNING & ZONING COMMISSION AS INLAND WETLANDS AND  
WATERCOURSES COMMISSION  
INLAND WETLANDS AND WATERCOURSES PERMIT  
DRAFT APPROVAL RESOLUTION**

**2 Maxim Rd.**

**September 22, 2020**

**Whereas,** The Planning & Zoning Commission is designated as the Inland Wetlands Agency of the City of Hartford (the “Agency”); and

**Whereas,** The Agency has reviewed an application for Inland Wetlands and Watercourses Permit to conduct regulated activity related to construction of a new driveway and associated bridge over inland wetlands and upland review area on property that is identified by the City Assessor as 2 Maxim Rd., Parcel ID 315-693-002 (the “Property”); and

**Whereas,** FEMA Flood Insurance Rate Map Panel 09003C0506G, effective 9/16/2011, depicts the Property within the Other Flood Area: Zone X Area with Reduced Flood Risk Due to Levee; and

**Whereas,** The Municipal Inland Wetlands Agent has determined the proposed activity involves a significant impact to the wetlands and watercourse; and

**Whereas,** The City Engineer has indicated this area is prone to flooding; and

**Whereas,** Vehicular access to the site is currently via a driveway across the adjacent property, and the Applicant proposes the new driveway and bridge in order to gain access from the site to Maxim Road, thereby eliminating the need to use the driveway located on the adjacent property; and

**Whereas,** The Agency finds that a feasible and prudent alternative to the proposed regulated activity does not exist; **Now Therefore Be It**

**Resolved,** *That* the Agency hereby approves the petition of Glen Damboise to conduct the following activities on the Property:

1. Maintenance of installed erosion control measures, and installation of new or additional erosion control measures if installed measures are found to be inadequate, installed to the satisfaction of the Inland Wetland Agent and/or City Engineer.
2. Construction activities as depicted on plans entitled “Property Survey & Site Plan” prepared for 2 Maxim Road LLC, prepared by Close, Jensen & Miller, P.C., dated February 18, 2016, last revised October 11, 2019, consisting of one sheet, and “Erosion & Sedimentation Control Plan” prepared for Central Group Bridge, prepared by Dutch & Associates Land Surveyors, dated August 21, 2020, consisting of one sheet, subject to the following conditions:
  - a. Bridge and driveway construction are subject to review and approval by Licenses & Inspections Division and Office of the Fire Marshal; the Municipal Wetland Agent is authorized to approve minor amendments that may be necessary in order to comply with applicable codes.
  - b. The project Professional Engineer or Professional/Registered Landscape Architect shall prepare bi-weekly inspection reports documenting site conditions and effectiveness of installed erosion control measures and submit to the Inland Wetland Agent for monthly review by the s, and submit to the Inland Wetland Agent until the site has been determined to be stable.
  - c. To address concerns raised by the City Engineer, it is recommended that the Applicant be required to work with a Qualified Environmental Scientist to clear the drainage swale on this property and near the culvert, after obtaining authorization from the adjacent Property Owner, of Phragmites, debris, and other plants growing within the water flowline which obstruct drainage, likely contributing to flooding issues in the area, completed to satisfaction of the City Engineer.
  - d. Payment into the City Green Infrastructure Fund in the amount of [Enter Agreed Upon Amount] to assist with costs related to flood prevention and/or stormwater management improvements;

- e. Payment into the Open Space Fund in the amount of [Enter Agreed Upon Amount] to support creation of meaningful outdoor spaces and/or off-site wetlands elsewhere in the City;
- f. To mitigate disturbances to delineated wetlands and watercourse, the Applicant shall create additional wetlands measuring [Enter Square Footage of New Wetlands Area] on the Property under direction of a Qualified Soils Scientist, Professional Engineer, and/or Landscape Architect with experience creating wetlands, completed to satisfaction of the Wetland Agent, and subject to a 3-year monitoring period.
- g. To mitigate disturbances to delineated wetlands and watercourse, the Applicant shall create wetlands off-site measuring [Enter Square Footage of New Wetlands Area] in a location approved by City Staff, with prior authorization by the Property Owner, under direction of a Qualified Soils Scientist, Professional Engineer, and/or Landscape Architect with prior experience creating wetlands, completed to satisfaction of the Wetland Agent, and subject to a 3-year monitoring period.

**Resolved,** This permit shall become effective the day after the notice of this action is posted, and shall expire five years from that date;

**Resolved** this 22<sup>nd</sup> day of September, 2020.





LUKE BRONIN  
MAYOR

# CITY OF HARTFORD

## DEPARTMENT OF DEVELOPMENT SERVICES

Division of Planning  
260 Constitution Plaza  
Hartford, Connecticut 06103

Telephone: (860) 757- 9040  
Fax: (860) 722-6402  
[www.hartford.gov](http://www.hartford.gov)



I. CHARLES MATTHEWS  
ACTING DIRECTOR

AIMEE CHAMBERS  
DIRECTOR OF PLANNING

### **NOTICE OF PUBLIC HEARING**

A Public Hearing by the City of Hartford Inland Wetlands Commission, as required under Governor Lamont's Executive Order 7i, Sec. 19(f), will be held on Tuesday, September 22, 2020 at 6:00 P.M. via remote access:

#### **Webex Teleconference Virtual Meeting**

<https://tinyurl.com/ddsPZC092220>

Meeting number: 173 569 2113

Password: ddsPZC092220

OR Join by phone: 408-418-9388

Access code: 173 569 2113

For the following pending application:

**2 Maxim Rd. – Inland Wetlands and Watercourses Permit** to conduct a regulated activity in wetlands and upland review area related to the construction of a bridge on the property that will provide vehicular access to/from Maxim Rd.

Property Owner: R&B Associates I LLC

Applicant: Glen Damboise

All interested parties are invited to be access the meeting remotely or represented remotely. Oral statements will be heard and written statements shall be emailed to [Elizabeth.Sanderson@hartford.gov](mailto:Elizabeth.Sanderson@hartford.gov) in advance of the public hearing to be entered into record during the public hearing. Anyone knowing persons interested in or affected by this proposal is requested to inform them of the hearing. Documents are available for inspection at <https://www.meetinginfo.org/groups/30>

City of Hartford  
Department of Development Services  
Planning Division

Return Form to the Planning Desk at the  
Licenses & Inspections Division Counter  
860-757-9239  
260 Constitution Plaza  
Hartford, Connecticut 06103-1822



For Assistance Contact Planning Division  
860-757-9040  
250 Constitution Plaza, 4th Floor  
Hartford, Connecticut 06103-1822  
<http://planning.hartford.gov>

# INLAND WETLANDS AND WATERCOURSES PERMIT APPLICATION

(Please reference all attachments by appropriate identification on application form)

- Wetlands Permit
- Map Amendment

**A. PROPERTY INFORMATION**

Property Address: 2 Maxim Rd City: Hartford State: Ct. Zip Code: 06114  
 Zoning District: \_\_\_\_\_  
 Property Owner: R+B Associates, LLC  
 Property Owner's Address: 195 Maxim Rd. City: Hartford State: Ct. Zip Code: 06114  
 Phone: 860 246 7616 Email: rgseco@centralgroups.com

**B. APPLICANT**

Name of Applicant: Glen Damboise File Date: \_\_\_\_\_  
 Address: 195 Maxim Rd City: Hartford State: Ct. Zip Code: 06114  
 Phone: 860-877-6496 Email: servicemanager@centralgroups.com  
 Is applicant owner, lessee, or prospective tenant? \_\_\_\_\_  
 Property Owner's Consent to Apply \_\_\_\_\_

**C. PRIMARY POINT OF CONTACT:**

Name: Glen Damboise  
 Phone: 860-877-6496  
 Email: servicemanager@centralgroups.com

**D. PROJECT INFORMATION:**

1. Project Name (may be address) 2 Maxim Rd
2. Size in Square Feet \_\_\_\_\_
3. Linear Feet of Watercourse and/or Adjacent to site 530'
4. Describe Wetlands and/or Watercourses conditions that make Permit necessary. (Attach description)
5. Attach an 8 1/2 x 11 inch photocopy of the appropriate portion of the USGS quadrangle map with the bounds of the property outlined or pinpointed with an arrow adequate to locate site on map.

**E. PROPOSED ACTION:**

1. Activity to be Undertaken:

- |  |  |
|--|--|
| <input type="checkbox"/> Filling                                   | <input type="checkbox"/> Culverting  |
| <input type="checkbox"/> Excavation                                | <input type="checkbox"/> Underground utilities (no other activity)             |
| <input type="checkbox"/> Land clearing/grubbing (only)             | <input checked="" type="checkbox"/> Roadway construction                       |
| <input type="checkbox"/> Stream stabilization                      | <input type="checkbox"/> Drainage improvements, pond dredging/dam construction |
| <input type="checkbox"/> Stream clearance (removal of debris only) | <input type="checkbox"/> Other (Explain and attach)                            |

2. How much soil will be removed by type of soil? (NCCS Classifications)? (Attach)
3. How much soil will be added by type? (NCCS Classifications)? (Attach)
4. Provide chemical analysis of fill materials by cubic yard. (Attach)
5. Describe specific activities by soil type by cubic yard. (Attach)
6. Describe all proposed paving and activities by location. (Attach)
7. Describe all proposed buildings both permanent and temporary and give dimensions. (Attach)

**F. TIME PERIOD:**

1. Is this permit needed for 2, 3, 4 or 5 years? 5 Years
2. Will applicant request renewal of permit? \_\_\_\_\_ Yes

**G.** Provide names and mailing addresses of all property owners within 150 feet of site including those opposite all public rights-of-way for map amendments and all abutting property owners for permit applications.

**H. ALTERNATIVES:**

Ever Source  
P.O. Box 56002  
Boston, Ma. 02205-6002

Five Star Fire  
45 Brainard Rd,  
Hartford, Ct. 06114



1. Explain each alternative site considered for proposed activity and explain why it was rejected. (Attach location map for each site).
2. Explain each alternative considered for changing the wetlands and watercourses and explain why it was rejected. (Attach site plans and maps).

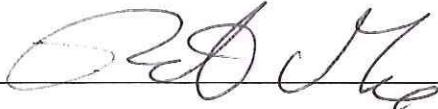
I. Required supplementary materials which must be attached to each copy of the application prior to its official receipt.

Please reference each item by its identification on this application form.

1. Site plan showing existing conditions with contours at two (2) foot intervals, in relation to wetlands and watercourses, existing drainage ways, stormwater runoff systems and how they relate to the existing sewer system (including MDC).
2. Site plans for the proposed use or operation and the property which will be affected with two (2) foot contours, which show proposed conditions, wetlands and watercourses boundaries, boundaries of land ownership, proposed alterations and uses of wetlands and watercourses, and other pertinent features of the development drawn by a professional surveyor, engineer or landscape architect licensed and registered by the State of Connecticut or by other such qualified person.
3. Appropriate engineering reports and analyses and additional drawings to fully describe the proposed project and any filling, excavation, drainage or hydraulic modification to wetlands or watercourses.
4. A map of soil types consistent with the categories established by the National Cooperative Soil Survey (NCCS) of the U.S. Soil Conservation Service delineated in the field by a soil scientist. This soil information is to be incorporated into both side plans.
5. Descriptions of the ecological communities and functions of the wetlands and watercourses involved and the effects of the proposed regulated activities on these communities and wetland functions, and descriptions of how the proposed activities will change, diminish, or enhance the ecological communities and functions of the wetlands or watercourses involved in the application, and with each alternative, a description of why each alternative considered was deemed neither feasible nor prudent.
6. Descriptions of the mitigation actions proposed, including, but not limited to plans or actions which prevent destruction or diminution of wetland or watercourse functions, recreational uses and natural habitats; which prevent flooding, degradation of water quality, erosion and sedimentation and obstruction of drainage; or which otherwise safeguard water resources.
7. DEEP Wetlands and Watercourses Activity Form:  
[http://www.ct.gov/deep/lib/deep/water\\_inland/wetlands/siwwarf.pdf](http://www.ct.gov/deep/lib/deep/water_inland/wetlands/siwwarf.pdf)




J. I hereby consent to the submission of the attached application for property identified above and for the use described herein.

  
Signature of Property Owner

ROBERT MOOR  
Print Name of Property Owner

3/3/20  
Date

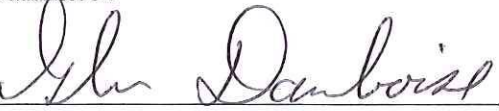
K. The applicant hereby certifies that he is familiar with all the information provided in the application and is aware of the penalties for obtaining a permit through deception and through inaccurate or misleading information.

  
Signature of Applicant/Agent

Glen Damboise  
Print Name of Applicant/Agent

3/3/20  
Date

L. The applicant hereby consents to necessary and proper access to the above-mentioned property by the agents of the Agency, at reasonable times, both before and after any permit in question has been granted or denied by the Agency for the purpose of evaluating the application, monitoring implementation or curtailing or correcting any violation of the Inland Wetlands and Watercourses Regulations brought about through the actions or inactions of the applicant or permittee .

  
Signature of Applicant/Agent

Glen Damboise  
Print Name of Applicant/Agent

3/3/20  
Date

M. Additionally the applicant shall certify and attach such certification as to whether:

1. Any portion of the property on which the regulated activity is proposed is located within 500 feet of the boundary of an adjoining municipality.
2. Traffic attributable to the completed project on the site will use streets within an adjoining municipality to enter or exit a site.
3. Sewer or water drainage from the project site will flow through and impact the sewage and drainage system within an adjoining municipality.

4. Water run-off from the improved site will impact streets or other municipal or private property with an adjoining municipality.

N. Application fee accepted.

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Date

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Signature of Agent of Agency



R & B Associates, LLC

195 Maxim Rd.

Hartford, CT 06114

RE: 2 Maxim Rd. Hartford, CT 06114

To Whom This May Concern,

I am writing this letter to request that a bridge be approved to cross wetlands for entry to our property at 2 Maxim Rd. Hartford. We have been entering the property with an agreement with our neighbor (Eversource) which is coming to its term. The property is not accessible through the property of our other neighbor (5 Star Fire). This has been a long going request and we would like to come to a resolution as soon as we can. I will be providing an On-Site Soil Investigation Report which was completed on 8/20/15 and submitted to the City of Hartford with an Application for Inland Wetland and Watercourses Permit.

I have provided, with this letter, a copy of the above mentioned and the site plans which is what was stated as being missing from the application (8/6/2015) in a letter from the City of Hartford. I expect that this packet will assist in us moving forward with our plan. Please feel free to contact me at any time to discuss any matter regarding this request.

Sincerely,

***Glen Damboise***

***servicemanager@centralgroups.com***

**Phone: 860-246-7616**

**Cell: 860-877-6496**

**Fax: 860-246-3446**

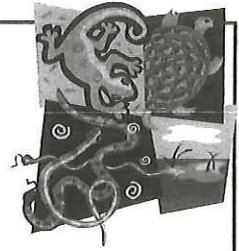
**TOLL FREE: 1-800-598-6742**

Visit our Web site @ **[www.centralgroups.com](http://www.centralgroups.com)**



# Connecticut Ecosystems LLC

- Wetland Delineation • Wetland & Aquatic Evaluation • Mitigation
- Natural Resource Inventory • Permit Assistance • Expert Testimony



## ON-SITE SOIL INVESTIGATION REPORT

### Project Name & Location

2 Maxim Road

Hartford, CT

### CE Job No.: 15-9

Field Investigation Date(s): 8/20/15

Field Investigation Method(s):

Spade & Auger

Backhoe & Test Pits

### Report Prepared For:

Central Auto & Transport

195 Maxim Road

Hartford, CT 06134

### Field Conditions:

Weather: Sunny, 85° F

Recent Precipitation: below average

Soil Moisture: below average

Snow Depth: "

Frost Depth: "

### Purpose of Investigation:

Wetland Delineation/Flagging

Sketch Wetland Boundaries on Base Map (No Flagging)

High Intensity Soil Mapping by Soil Scientist

Medium Intensity Soil Mapping from SCS Soil Survey Maps

**Wetland Boundary Marker Series:** CE 1-1/40

**Intermittent Watercourse Marker Series:** ---

### Wetland Notes:

- **Type(s):** Shallow marsh
- **Hydroperiod(s):** Intermittently flooded
- **Soil Parent Material(s):** Glacial till
- **Drainage Class(es):** poorly drained
- **Slope:** gentle

38 Westland Avenue • West Hartford, CT 06107

Phone (860) 561-8598 • Fax (860) 561-0223 • email [ecosys@comcast.net](mailto:ecosys@comcast.net)

**CONNECTICUT ECOSYSTEMS LLC  
ON-SITE SOIL INVESTIGATION REPORT (CONTINUED)**

**Project Name & Location: 2 Maxim Road Hartford, CT**

**Project #: 15-9**

**SOIL MAP UNITS**

Soil symbols used below and on the accompanying Wetland Sketch Map correspond to those in the National Cooperative Soil Survey.

**WETLAND SOIL SERIES**

**Aquents (Disturbed Wetland Soils) (Aq)**

This soil map unit consists of poorly drained and very poorly drained, disturbed land areas. They are most often found on landscapes that were subject to prior filling and/or excavation activities. In general this soil map unit occurs where two or more feet of the original soil surface has been filled over or excavated. Aquents are characterized by a seasonal to prolonged high ground water table and either support or are capable of supporting wetland vegetation.

Aquents are recently formed soils that have an aquic moisture regime. An aquic moisture regime is associated with a reducing soil environment that is virtually free of dissolved oxygen because the soil is saturated by groundwater or by water of the capillary fringe. The key feature is the presence of a ground water table at or very near to the soil surface for a period of fourteen days or longer during the growing season

The Aquents soil mapping unit is a miscellaneous unit that includes a large variety of soil materials and landscape features. Common locations of Aquents include former gravel pits, urban areas abutting marshland and broad ditches along highways.

Aquents are poorly and very poorly drained. Soil saturation may vary from periodic saturation during the growing season in poorly drained areas, to extended saturation for long periods throughout the year along with periodic ponding in very poorly drained areas. Due to the wide variation of soil materials included in this soil map unit predictions of water table elevations and soil permeabilities require on-site investigations and evaluations.

**UPLAND (NON-WETLAND) SOIL SERIES**

**Udorthents, Smoothed (308)**

This soil type was formerly mapped in Connecticut as **Made Land (Ma)**.

Udorthents consist of well drained to moderately well drained soils that have been altered by cutting, filling, or grading. The areas either have had 2 feet or more of the upper part of the original soil removed or have more than 2 feet of fill material on top of the original soil. Udorthent soils can be found on any soil type but typically are on glacial till plains and outwash plains and stream terraces.

**CONNECTICUT ECOSYSTEMS LLC  
ON-SITE SOIL INVESTIGATION REPORT (CONTINUED)**

**Project Name & Location: 2 Maxim Road Hartford, CT  
Project #: 15-9**

These areas are mostly irregular in shape or are rectangular or long and narrow, and they generally range from 5 to 60 acres. Slopes range from 0 to 15 percent. Udorthent soils are commonly more than 60 inches thick and contain 10 to 65 percent rock fragments. Reaction is very strong to slightly acid.

Udorthent soils are well drained to moderately well drained. The determination of the water table and permeability requires onsite investigation and evaluation.

The wetlands were field delineated in accordance with the standards of the National Cooperative Soil Survey and the definition of wetlands as found in the Connecticut General Statutes, Chapter 440, Section 22A-38. The investigation was conducted and reviewed by a Registered Soil Scientist.

Respectfully submitted,

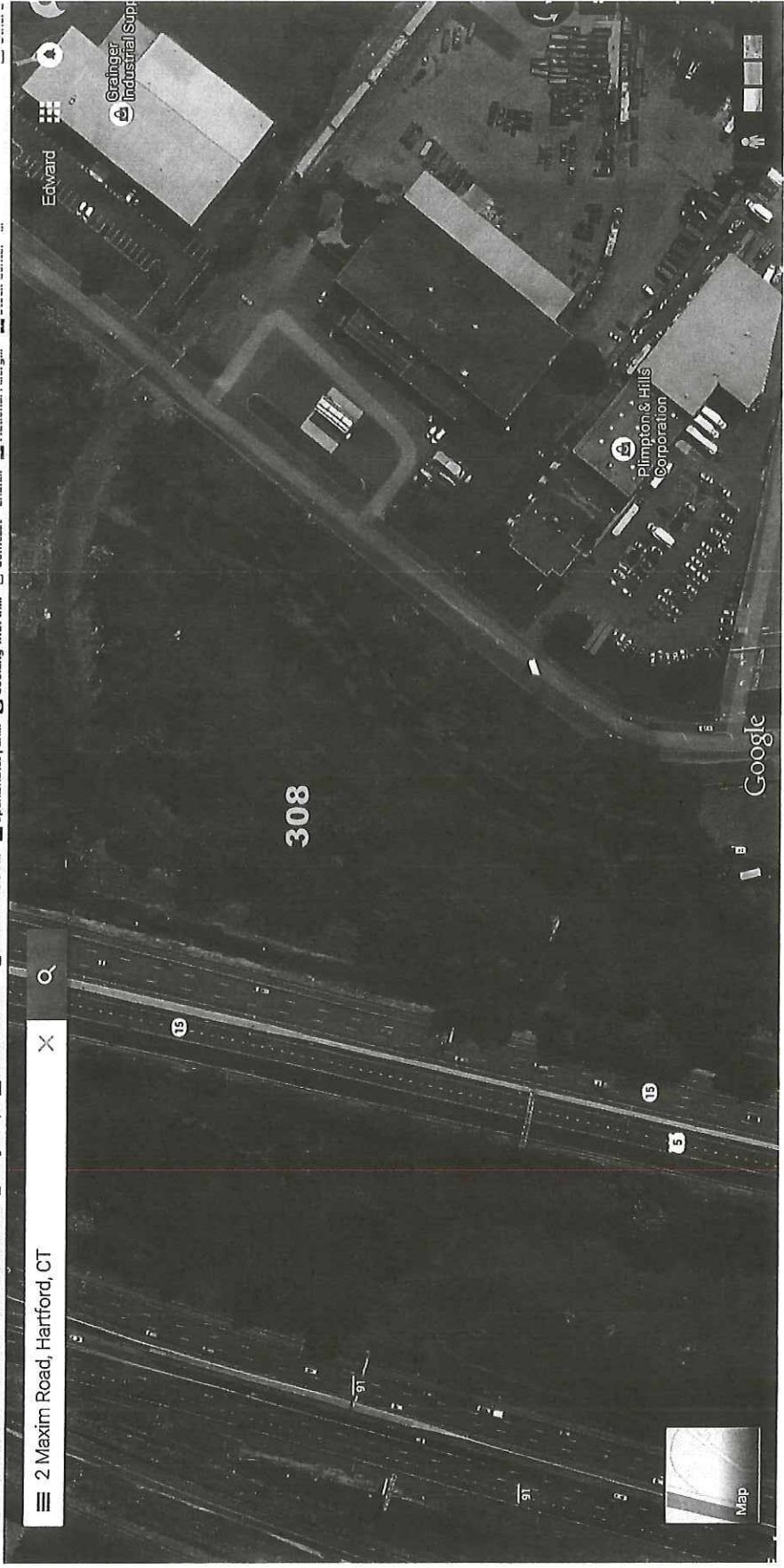
Connecticut Ecosystems LLC



Edward M. Pawlak  
Registered Soil Scientist  
Certified Professional Wetland Scientist

File c:\soils2015\15-9.doc



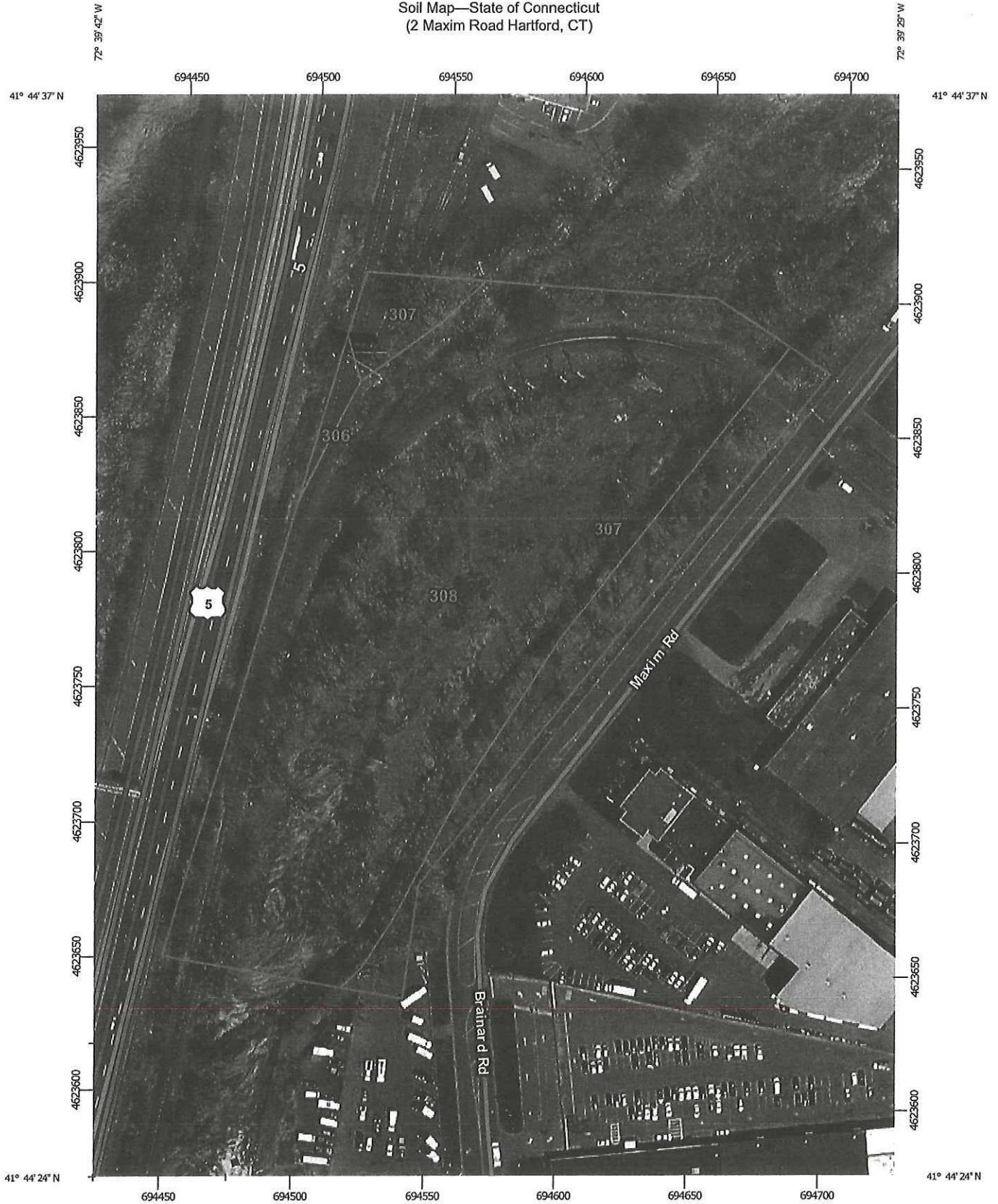


**Legend**

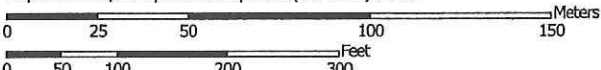
Wetland Flag #	1-1
Intermittent Watercourse	.....
Soil Series Symbol	3
Sketch of Delineated	- - - - -
Wetland Boundary	- - - - -

Wetland Delineation Sketch Map  
 2 Maxim Road  
 Hartford, CT  
 Connecticut Ecosystems LLC  
 8/20/15

Soil Map—State of Connecticut  
(2 Maxim Rd Hartford, CT)



Map Scale: 1:1,960 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 18N WGS84



## MAP LEGEND

Area of Interest (AOI)	Spoil Area
Soils	Stony Spot
Soil Map Unit Polygons	Very Stony Spot
Soil Map Unit Lines	Wet Spot
Soil Map Unit Points	Other
<b>Special Point Features</b>	Special Line Features
Blowout	<b>Water Features</b>
Borrow Pit	Streams and Canals
Clay Spot	<b>Transportation</b>
Closed Depression	Rails
Gravel Pit	Interstate Highways
Gravelly Spot	US Routes
Landfill	Major Roads
Lava Flow	Local Roads
Marsh or swamp	<b>Background</b>
Mine or Quarry	Aerial Photography
Miscellaneous Water	
Perennial Water	
Rock Outcrop	
Saline Spot	
Sandy Spot	
Severely Eroded Spot	
Sinkhole	
Slide or Slip	
Sodic Spot	

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut  
Survey Area Data: Version 13, Oct 28, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 28, 2011—Apr 18, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

State of Connecticut (CT600)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
306	Udorthents-Urban land complex	0.1	0.9%
307	Urban land	1.3	14.7%
308	Udorthents, smoothed	7.2	84.4%
<b>Totals for Area of Interest</b>		<b>8.6</b>	<b>100.0%</b>



City of Hartford  
Planning Division  
Department of Development Services

MUNIS App.#: \_\_\_\_\_

THOMAS E. DELLER, AICP  
Director

Return Form to the Planning Desk at the  
Licenses & Inspections Division Counter  
860-757-9239  
260 Constitution Plaza  
Hartford, Connecticut 06103-1822



For Assistance Contact Planning Division  
860-757-9025,  
250 Constitution Plaza, 4<sup>th</sup> Floor  
Hartford, Connecticut 06103-1822  
<http://planning.hartford.gov>

**APPLICATION FOR INLAND WETLAND AND  
WATERCOURSES PERMIT**

(Please reference all attachments by appropriate  
identification on application form)

\_\_\_\_\_ Wetlands Permit  
\_\_\_\_\_ Map Amendment

**A. PROPERTY INFORMATION**

Property Address: 2 MAXIM ROAD City: Hartford State: CT Zip Code: 06114  
Zoning District: HARTFORD  
Property Owner: 2 Maxim Rd LLC  
Property Owner's Address: 677 Cromwell Ave City: Rock Hill State: CT Zip Code: 06067  
Phone: 860 655 4291 Email: \_\_\_\_\_

**B. APPLICANT**

Name of Applicant: Lee Ann Greco File Date: \_\_\_\_\_  
Address: 677 Cromwell Ave City: Rock Hill State: CT Zip Code: 06067  
Phone: 860 655 4291 Email: \_\_\_\_\_  
Is applicant owner, lessee, or prospective tenant? member  
Property Owner's Consent to Apply Lee Ann Greco

**C. PRIMARY POINT OF CONTACT:**

Name: ANGELO OETSI  
Phone: 860 246 7616 Ext #19 / 860 655 4012 cell  
Email: aoet@centralgroups.com

**D. PROJECT INFORMATION:**

1. Project Name (may be address): 2 Maxim Rd
2. Size in Square Feet 130'244.4 / 2.99 ACRES

- 3. Linear Feet of Watercourse and/or Adjacent to site \_\_\_\_\_
- 4. Describe Wetlands and/or Watercourses conditions that make Permit necessary. (Attach description)
- 5. Attach an 8 1/2 x 11 inch photocopy of the appropriate portion of the USGS quadrangle map with the bounds of the property outlined or pinpointed with an arrow adequate to locate site on map.

**E. PROPOSED ACTION:**

1. Activity to be Undertaken:

- |  |   |
|--|---|
| <input type="checkbox"/> Filling                                   | <input type="checkbox"/> Culverting   |
| <input type="checkbox"/> Excavation                                | <input type="checkbox"/> Underground utilities (no other activity)                        |
| <input checked="" type="checkbox"/> Land clearing/grubbing (only)  | <input type="checkbox"/> Roadway construction   |
| <input type="checkbox"/> Stream stabilization                      | <input checked="" type="checkbox"/> Drainage improvements, pond dredging/dam construction |
| <input type="checkbox"/> Stream clearance (removal of debris only) | <input checked="" type="checkbox"/> Other (Explain and attach)                            |

RELOCATE SWALE TO ACCESS PROPERTY

- 2. How much soil will be removed by type of soil? (NCCS Classifications)? (Attach)
- 3. How much soil will be added by type? (NCCS Classifications)? (Attach)
- 4. Provide chemical analysis of fill materials by cubic yard. (Attach)
- 5. Describe specific activities by soil type by cubic yard. (Attach)
- 6. Describe all proposed paving and activities by location. (Attach)
- 7. Describe all proposed buildings both permanent and temporary and give dimensions. (Attach)

**F. TIME PERIOD:**

- 1. Is this permit needed for 2, 3, 4 or 5 years? 2 Years
- 2. Will applicant request renewal of permit? \_\_\_\_\_ Yes

G. Provide names and mailing addresses of all property owners within 150 feet of site including those opposite all public rights-of-way for map amendments and all abutting property owners for permit applications.

**H. ALTERNATIVES:**

- 1. Explain each alternative site considered for proposed activity and explain why it was rejected. (Attach location map for each site).
- 2. Explain each alternative considered for changing the wetlands and watercourses and explain why it was rejected. (Attach site plans and maps).



I. Required supplementary materials which must be attached to each copy of the application prior to its official receipt. Please reference each item by its identification on this application form.

1. Site plan showing existing conditions with contours at two (2) foot intervals, in relation to wetlands and watercourses, existing drainage ways, stormwater runoff systems and how they relate to the existing sewer system (including MDC).
2. Site plans for the proposed use or operation and the property which will be affected with two (2) foot contours, which show proposed conditions, wetlands and watercourses boundaries, boundaries of land ownership, proposed alterations and uses of wetlands and watercourses, and other pertinent features of the development drawn by a professional surveyor, engineer or landscape architect licensed and registered by the State of Connecticut or by other such qualified person.
3. Appropriate engineering reports and analyses and additional drawings to fully describe the proposed project and any filling, excavation, drainage or hydraulic modification to wetlands or watercourses.
4. A map of soil types consistent with the categories established by the National Cooperative Soil Survey (NCCS) of the U.S. Soil Conservation Service delineated in the field by a soil scientist. This soil information is to be incorporated into both side plans.
5. Descriptions of the ecological communities and functions of the wetlands and watercourses involved and the effects of the proposed regulated activities on these communities and wetland functions, and descriptions of how the proposed activities will change, diminish, or enhance the ecological communities and functions of the wetlands or watercourses involved in the application, and with each alternative, a description of why each alternative considered was deemed neither feasible nor prudent.
6. Descriptions of the mitigation actions proposed, including, but not limited to plans or actions which prevent destruction or diminution of wetland or watercourse functions, recreational uses and natural habitats; which prevent flooding, degradation of water quality, erosion and sedimentation and obstruction of drainage; or which otherwise safeguard water resources.

J. I hereby consent to the submission of the attached application for property identified above and for the use described herein.

*Lee-Ann Greco*


Signature of Property Owner

LEE ANN GRECO

Print Name of Property Owner

8/6/15  
Date

K. The applicant hereby certifies that he is familiar with all the information provided in the application and is aware of the penalties for obtaining a permit through deception and through inaccurate or misleading information.

  
Signature of Applicant/Agent

Angelo ARTISI  
Print Name of Applicant/Agent  
8/6/15  
Date

L. The applicant hereby consents to necessary and proper access to the above-mentioned property by the agents of the Agency, at reasonable times, both before and after any permit in question has been granted or denied by the Agency for the purpose of evaluating the application, monitoring implementation or curtailing or correcting any violation of the Inland Wetlands and Watercourses Regulations brought about through the actions or inactions of the applicant or permittee.

  
Signature of Applicant/Agent

Angelo ARTISI  
Print Name of Applicant/Agent  
8/6/15  
Date

M. Additionally the applicant shall certify and attach such certification as to whether:

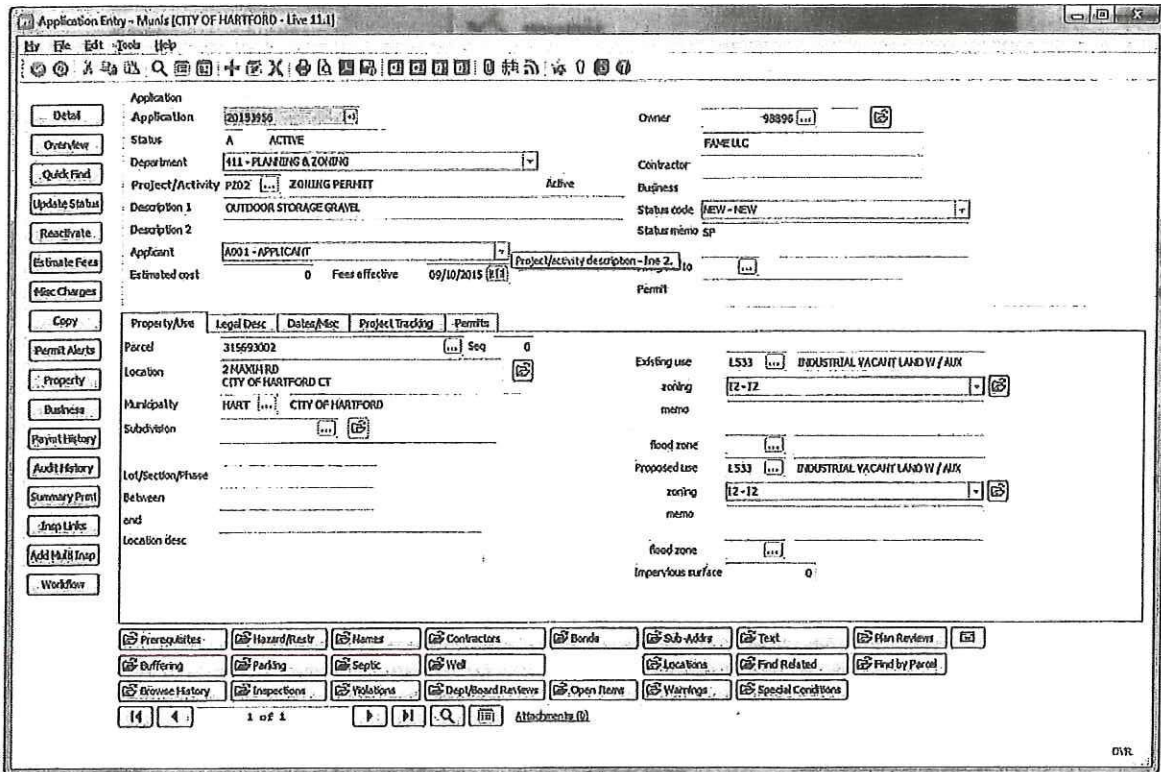
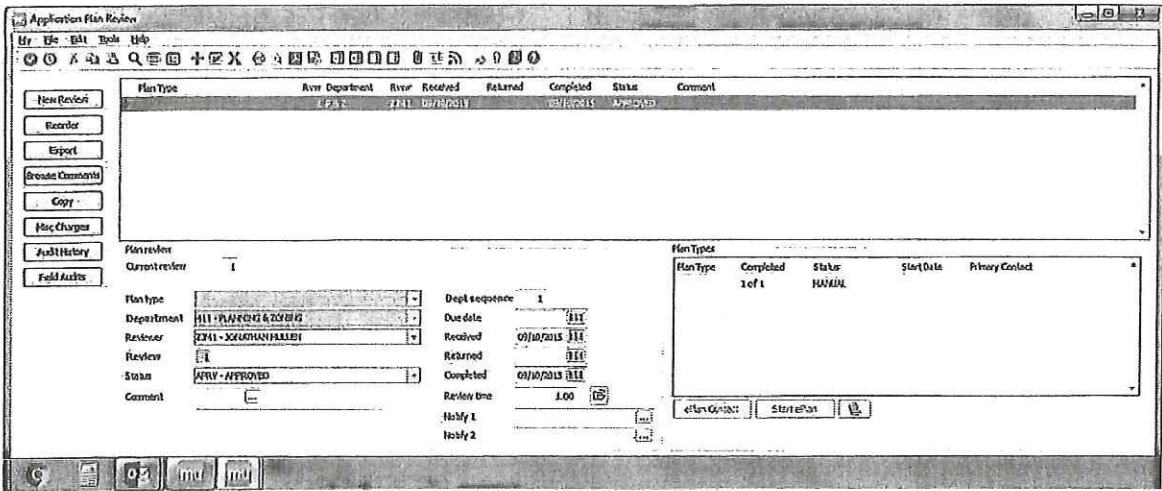
1. Any portion of the property on which the regulated activity is proposed is located within 500 feet of the boundary of an adjoining municipality.
2. Traffic attributable to the completed project on the site will use streets within an adjoining municipality to enter or exit a site.
3. Sewer or water drainage from the project site will flow through and impact the sewage and drainage system within an adjoining municipality.
4. Water run-off from the improved site will impact streets or other municipal or private property with an adjoining municipality.

N. Application fee accepted.

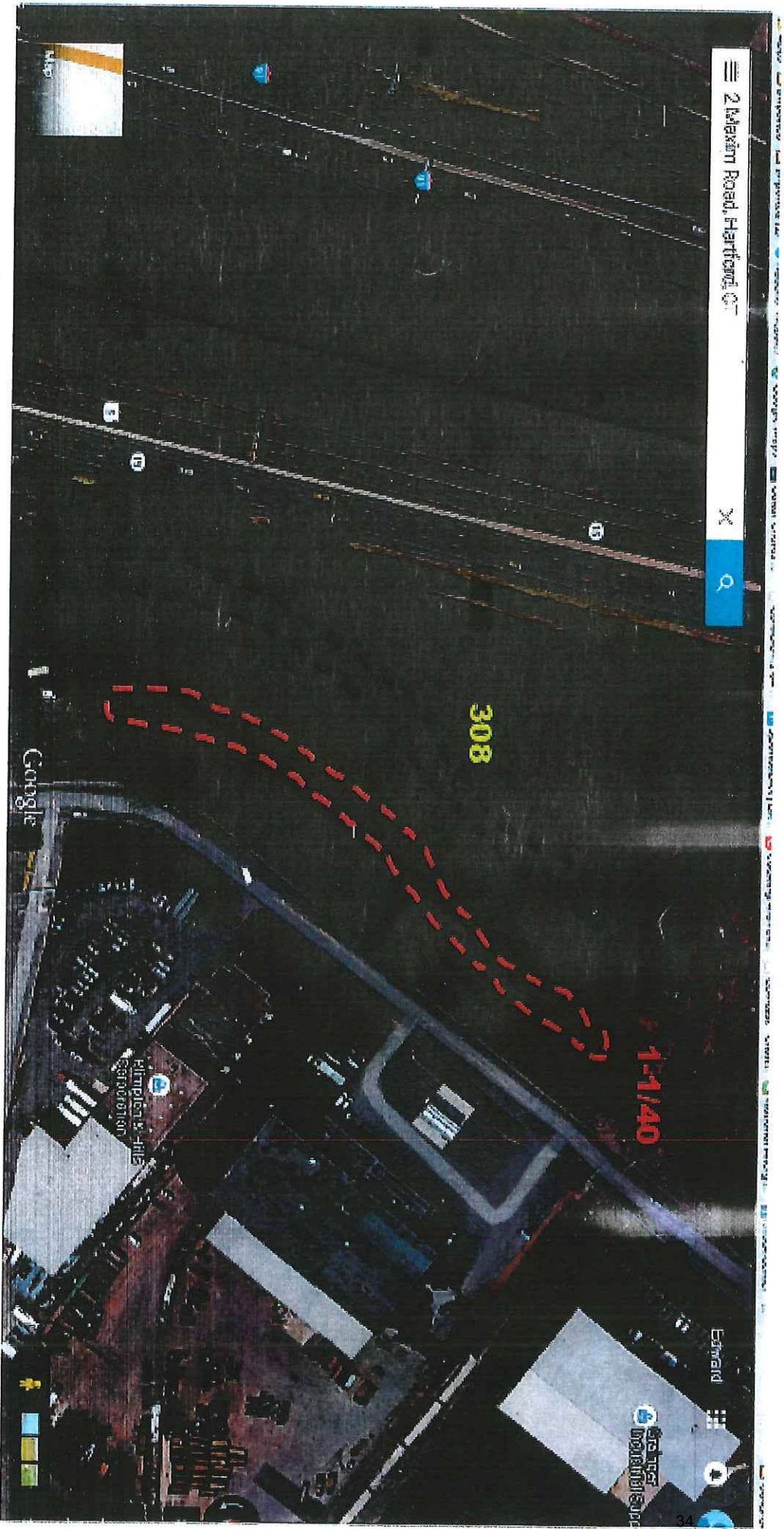
\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Agent of Agency

FOR OFFICE USE ONLY:			
Final Action: Approved	Denied	Withdrawn	Date of Action



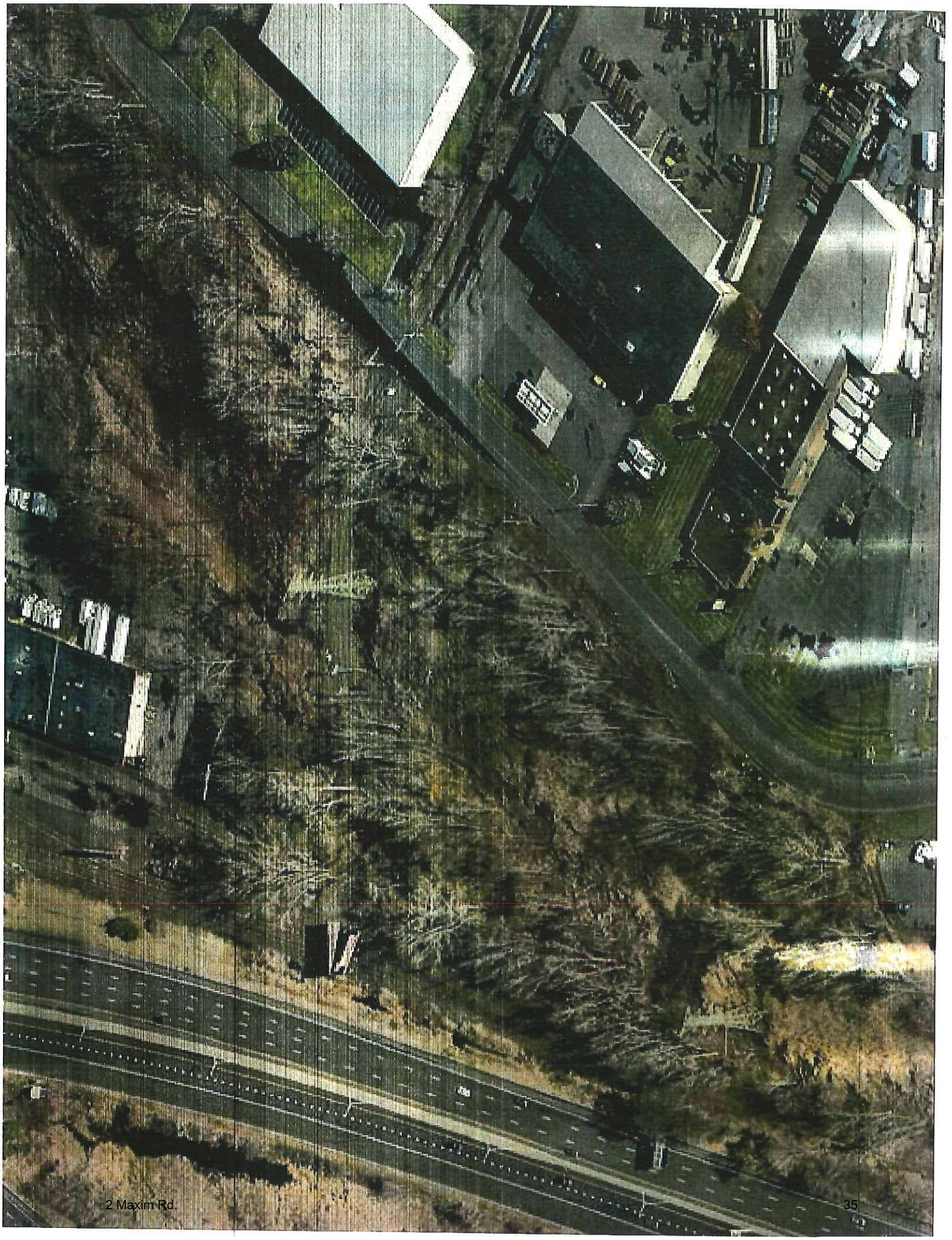




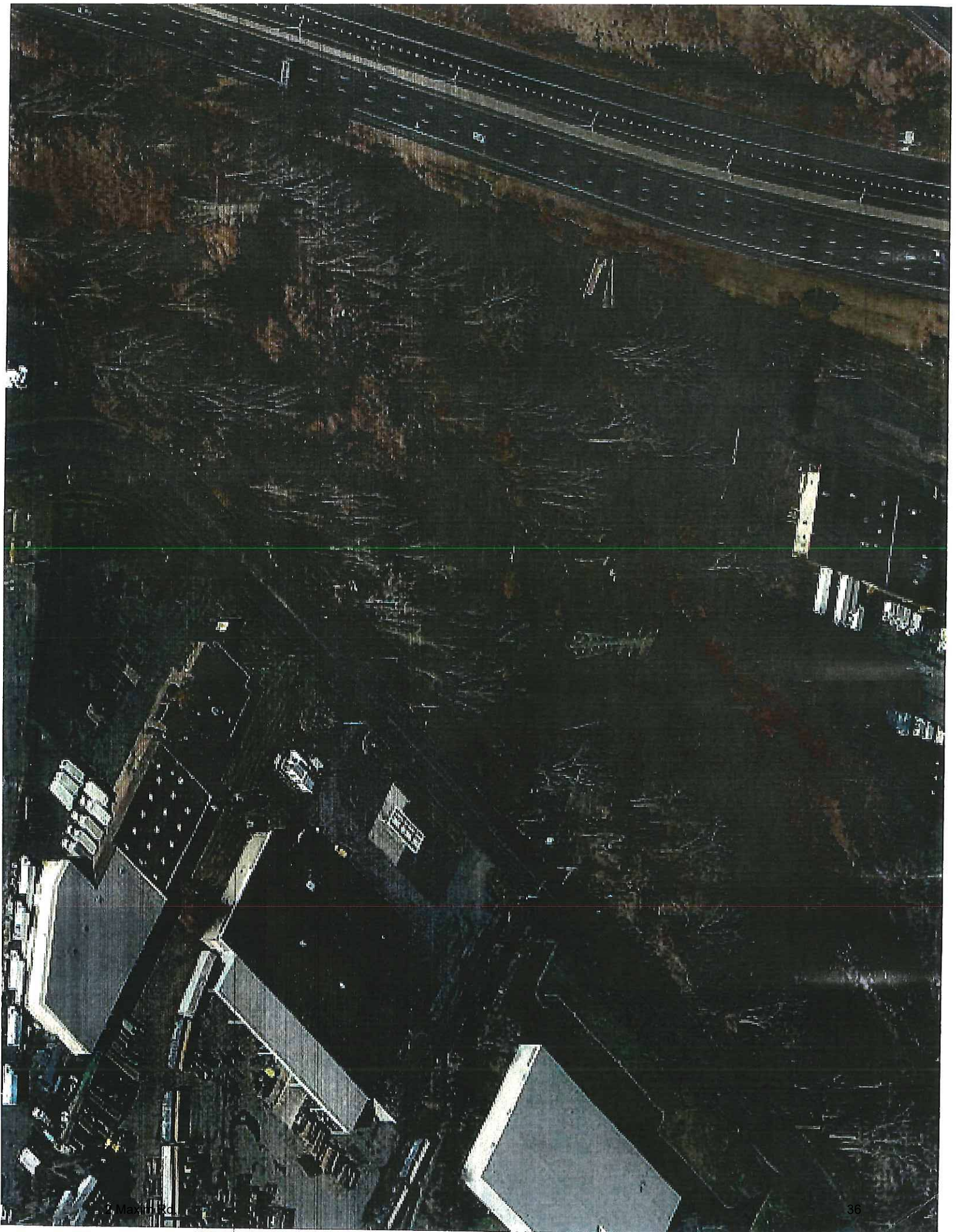
Wetland Delineation Sketch Map  
 2 Maxim Road  
 Hartford, CT  
 Connecticut Ecosystems LLC  
 8/20/15

Legend	
Wetland Flag #	1-1
Intermittent Watercourse	.....
Soil Series Symbol	3
Sketch of Delineated Wetland Boundary	- - - - -













LUKE BRONIN  
MAYOR

# CITY OF HARTFORD

## DEPARTMENT OF DEVELOPMENT SERVICES

Division of Development Services  
250 Constitution Plaza, 4th Floor  
Hartford, Connecticut 06103

Telephone: (860) 757- 9040  
Fax: (860) 722-6402  
www.hartford.gov



SEAN FITZPATRICK  
DIRECTOR OF  
DEVELOPMENT SERVICES

JAMIE BRÄTT  
DIRECTOR OF PLANNING &  
ECONOMIC DEVELOPMENT  
DIVISION

September 16, 2016

2 Maxim Road LLC  
677 Cromwell Ave  
Rocky Hill, CT 06067

RE: 2 Maxim Road

Dear Property Owner:

Following is a listing of prior applications of record for the subject property:

09/04/2015 Application for Inland Wetlands and Watercourses Permit # 20153886 for work within the upland review area of flagged wetlands. The scope of work was to be the relocation of a drainage swale, clearing and construction of outside storage lot. Application 20153886 was not placed on the 09/22/2015 P&Z agenda because the application was incomplete; although a soil report was submitted a site plan showing current conditions and proposed use was not included. Therefore the application was never heard or acted on.

09/10/2015 Application for Zoning Permit #20153956 for the "Outdoor Storage of Gravel in Deadman Wall Enclosure". Application was administratively approved by J. Mullen.


The applicant/agent for the aforementioned applications was Angelo Ortisi and/or Rob Greco.

The administrative approval for the outside storage of gravel was not an automatic approval of the application filed for an Inland Wetlands Permit, which would have to be approved by the Planning and Zoning Commission. However, it appears the applicant, with knowledge of the permit process evidenced by the prior applications proceeded to; clear, excavate and fill the subject property with road millings without a sediment and erosion control in place, possibly impacting and encroaching upon the wetlands area with road millings; park trucks and vehicles immediately adjacent to an identified wetlands area; develop and operate an outside construction equipment and materials storage yard along with the use of the property for the storage of automobiles and road milling. No applications for site plan review or approval of location have been filed or approved for any of the activities other than the storage of gravel.

## AFFIDAVIT

Ronald Gaudet states that:

1. I am over the age of eighteen and understand the seriousness of making this statement.
2. My name is Ronald Gaudet, and I am the Director of Operations for the Central Group Companies which includes Central Auto & Transport, LLC (together referred to as the “Company”).
3. The Company is planning to construct a driveway from Maxim Road onto property at 2 Maxim Road owned by R&B Associates, LLC. The driveway will go over an existing bridge which spans a narrow strip of wetlands.
4. I submit this Affidavit in support of the Company’s request for a 30 day extension of time to submit and Erosion & Sedimentation Control Plan signed/sealed by a professional engineer.
5. The COVID-19 public health emergency adversely affected the Company’s operations and caused the Company to redirect critical management team resources away from this project. It also delayed the Company’s ability to obtain an Erosion & Sedimentation Control Plan signed/sealed by a professional engineer.
6. The Company did not know that the COVID-19 health emergency would delay our ability to get the necessary items to the City of Hartford in a timely manner.

  
\_\_\_\_\_  
Ronald Gaudet  
Director of Operations  
Central Group Properties



## ANSWERS TO QUESTION FOR 2 MAXIM ROAD BRIDGE

Thanks for taking the time to discuss your pending Wetland Permit application with me today. As discussed, during my review (which included discussions with representatives from the Department of Public Works and Building Division), some concerns have been raised which may impact your pending application:

- The proposed driveway and bridge depicted on the provided Site Plan are not paved. Please note that site access & driveways must comply with standards of Sec. 7.5 of the City of Hartford Zoning Regulations (see link to current regulations here: [http://www.hartford.gov/images/DDS\\_Files/Plan\\_Zoning/Zoning\\_Regs/zr03052020.pdf](http://www.hartford.gov/images/DDS_Files/Plan_Zoning/Zoning_Regs/zr03052020.pdf) )

See driveway detail and structural engineers drawings and report.

- The proposed bridge will need to be designed by a structural engineer, subject to review by the City of Hartford Division of Licenses & Inspections. It is my understanding that a Special Inspections Statement will need to be completed & submitted to L&I for this type of project. Typically, bridges of this nature consist of pre-cast concrete, including a culvert. If the bridge requires modifications, then your plans will need to indicate removal of the bridge as part of this permit.

The bridge is existing and has been inspected by a Connecticut licensed structural engineer. He has completed a 14 page report and a two page plan showing the bridge to be structurally sound and having the load capacity to support large heavy truck traffic. The bridge will need a concrete deck which will be poured in place to be complete. We will obtain a building permit to pour the concrete deck prior to any work being started.

- The driveway and bridge will need to be designed to withstand loads of heavy vehicles/equipment that will use it daily.

Please see engineers report. The bridge will withstand heavy vehicle/equipment Loads.

- Due to flooding issues in this area, it will be necessary that the bridge will not impede flow of the drainage swale.

The bridge will not impede the flow of the drainage swale. The bottom of the bridge stringers are 7 feet above the current flow line. The bottom of the bridge stringers are higher in elevation than Maxim Road.

- During a recent site inspection, stockpiled material was observed within and adjacent to wetland areas. Please note that unpaved areas shall be covered in accordance with standards of Sec. 6.3 (which does not include gravel millings).

The stockpiled material next to the bridge is crushed stone and will be used as a base for the driveway.

- An existing chain link fence is shown on the Site Plan along the front property line, no break for the driveway.

Two sections of the chain link fence will be removed at time of the driveway construction.

- The proposed driveway will cross an existing electric conduit – have approvals been obtained for work over this utility? How will this conduit be protected during construction and after?

We have contacted Eversource and have a meeting with their field rep Nelson Blanco to discuss.

- An Erosion & Sedimentation Control Plan has not been provided (required to complete this application, per Sec. 7.5.(e) of the Inland Wetlands & Watercourses Regulations (the “Wetlands Regulations”))

We will supply.

- A State of Connecticut Department of Environmental Protection (DEEP) Statewide Inland Wetlands & Watercourses Reporting Form (SIWWRF) has not been provided (required to complete application, per Sec.7.5.(k) of the Wetlands Regulations).

In order to address these concerns, please submit the following information:

- Structural Design Drawing of the bridge, certified by a structural engineer, indicating design will withstand the loads of the intended users (dump trucks, heavy equipment, etc.)
  - Include a cross-section at the wetlands/watercourse crossing.

See Attached

- Revised Site Plan to include the following:
  - Modifications to proposed bridge, designed/certified by a structural engineer

See Structural Engineers Plan

- Identify material of proposed pavement of the new driveway and bridge surfaces, include details/sections of proposed pavement.

See detail on site plan

- Identify limits of gravel milling stockpiles and debris deposits along the Maxim St. frontage and within the drainage swale that must be removed in order to comply with Sec. 6.3 and to maintain positive drainage within the swale; indicate disturbed areas will be restored and stabilized.

Will be on Erosion & Sedimentation Plan

- Indicate how significant trees will be protected from damage throughout development.

Trees will not be damaged throughout development.

- Identify the limits of disturbance for the proposed activity; include calculation of disturbed area in square feet.

- **Complete the attached SIWWRF and return it to me.**

See Attached.

- **Provide an Erosion & Sedimentation Control Plan signed/sealed by a professional engineer.**
  - **Indicate how the wetlands and adjacent properties/streets will be protected from erosion throughout development activities.**

Will be provided within 30 days.



- **Identify limits of disturbance, taking into consideration other comments above re: removal of debris and stockpiles, and wetland restoration, as per Sec. 7.5.(e) of Wetlands Regulations.**

Please note that additional comments and recommendations may be raised, including during the Public Hearing, which may require further modification of plans. Despite this, I wanted to pass along these initial comments/concerns raised by the Planning Division, as well as other city departments/divisions so you will have time to address them. To avoid potential delays in processing this application, it is recommended that you please submit the requested information as soon as possible (especially bold items).

It is my understanding that subsequent approvals will be necessary related to the proposed work, such as: Site Plan Review, Building Permit(s) from Licenses & Inspections (for the new bridge), and permit(s) from the Department of Public Works (for work within the right-of-way). If plan revisions are necessary in order to comply with other codes and regulations, then any previously approved wetlands permit may need to be modified through a second application. You may wish to coordinate your proposed plans with other departments and/or utility companies to reduce the chance of this happening.

Feel free to e-mail me with questions or comments, or to schedule a time to discuss this over the phone. During COVID-19 pandemic, I am working remotely.



## Statewide Inland Wetlands & Watercourses Activity Reporting Form

*Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:*

*DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3<sup>rd</sup> Floor, Hartford, CT 06106*

*Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.*

### PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: \_\_\_\_\_ month: \_\_\_\_\_
- ACTION TAKEN (see instructions, only use one code): \_\_\_\_\_
- WAS A PUBLIC HEARING HELD (check one)? yes  no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(print name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (print name): Hartford  
does this project cross municipal boundaries (check one)? yes  no   
if yes, list the other town(s) in which the action is occurring (print name(s)): \_\_\_\_\_, \_\_\_\_\_
- LOCATION (see instructions for information): USGS quad name: Hartford or number: 37  
subregional drainage basin number: 4005
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Central Auto & Transport, LLC
- NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 2 Maxim Road, Hartford, CT 06114  
briefly describe the action/project/activity (check and print information): temporary  permanent  description: Install bridge and driveway to access property from Maxim Road.
- ACTIVITY PURPOSE CODE (see instructions, only use one code): D
- ACTIVITY TYPE CODE(S) (see instructions for codes): 9, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_
- WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):  
wetlands: N/A acres open water body: N/A acres stream: N/A linear feet
- UPLAND AREA ALTERED (must provide acres): .12 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): N/A acres

DATE RECEIVED:

### PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

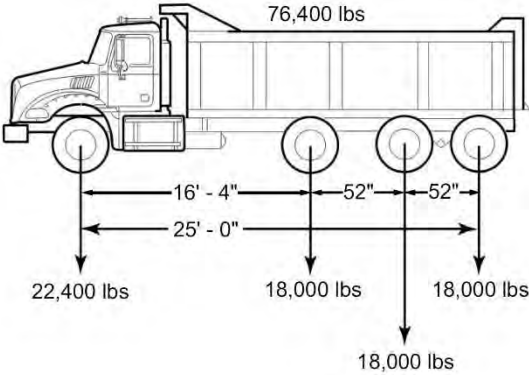
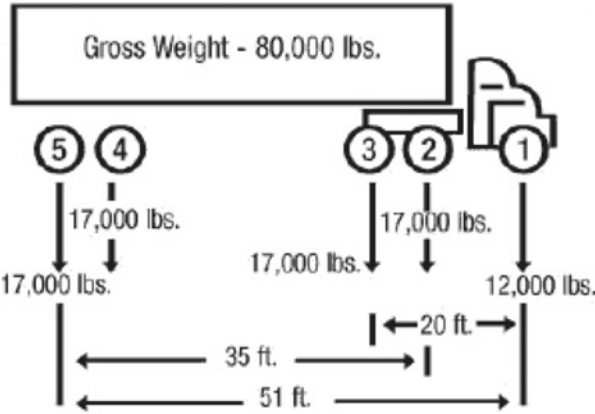
<b>SUBJECT</b>	<i>Stress Evaluation for Bridge</i>
	2 Maxim Road – Hartford CT
	For Central Group Bridge
	<i>JM Albaine Engineering, LLC.</i>

BY <i>J. M. Albaine</i>	DATE 07/17/20
	REV.
CALC. NO. JMA20-327-58	REV.
SHEET NO. 1 of 14	

## Structural Evaluation of Private Road Bridge 2 Maxim Road, Hartford, CT

### 1) Scope:

The scope of this evaluation is to determine the structural capacity of the bridge to support regular daily traffic and occasionally, a heavy truck (Truck 1) weighing 80,000 lbs, and a 76,400 lbs dump truck (Truck 2) with wheel load distributions as shown below.



*J. M. Albaine*



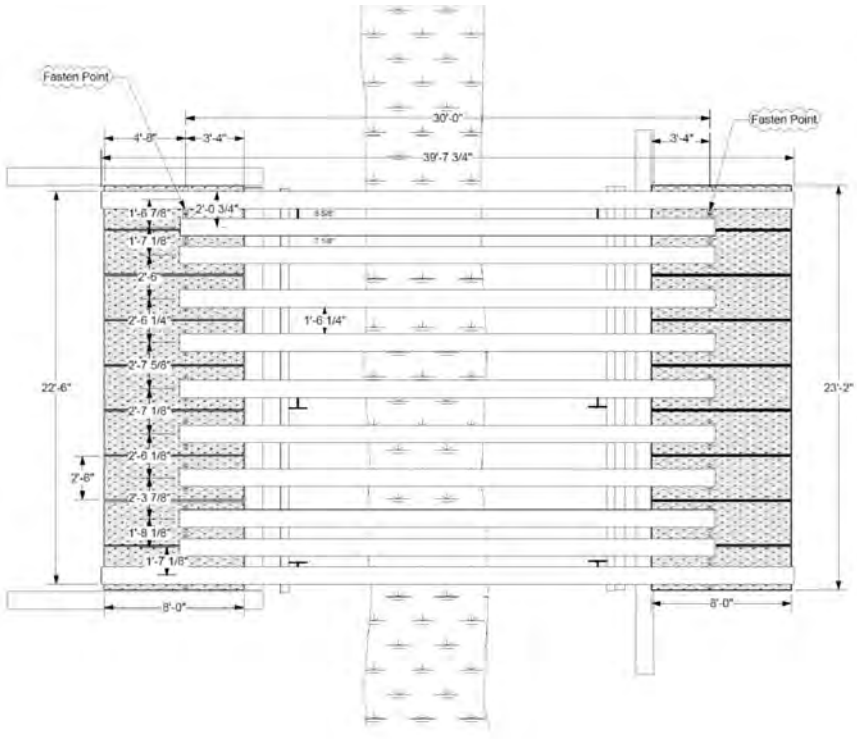
<b>SUBJECT</b>	<i>Stress Evaluation for Bridge</i>
	2 Maxim Road – Hartford CT
	For Central Group Bridge
	<i>JM Albaine Engineering, LLC.</i>

BY <i>J. M. Albaine</i>	DATE 07/17/20
	REV.
CALC. NO. JMA20-327-58	REV.
SHEET NO. 2 of 14	

The following components will be analyzed using AASHTO criteria for wheel load distribution and impact live load. Level Strength II is used for both the 80,000 lbs truck load & dump truck, which has a load factor 1.25 for dead load and 1.35 for live load, and resistance factor 0.90 for both bending and shear. The stresses on the steel stringers and concrete deck are evaluated using criteria from the American Institute of Steel Construction (AISC) and the American Concrete Institute (ACI). The foundation capacity will be assumed at a relatively safe allowable soil bearing strength since no geotechnical information is available.

**2) Description of Bridge**

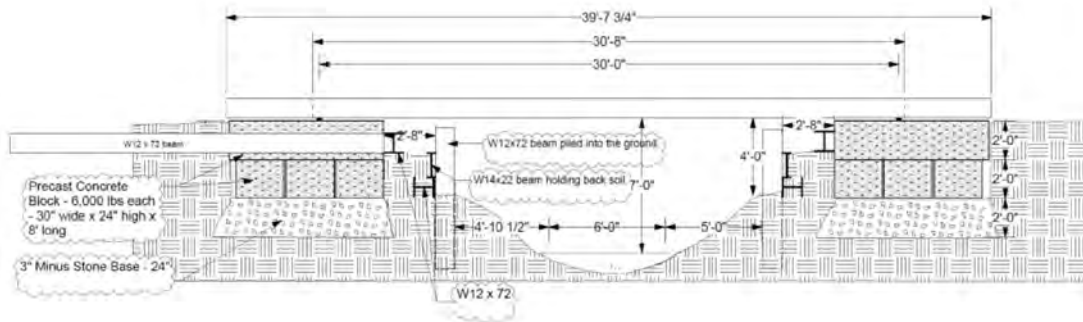
A two-lane bridge with a span bearing to bearing equal to 30 feet (ft). The bridge consists of steel stringers, HP12 x 53 spaced closely, a 5” thick reinforced concrete deck, and supported on abutments at the ends constructed of pre-cast concrete planks.



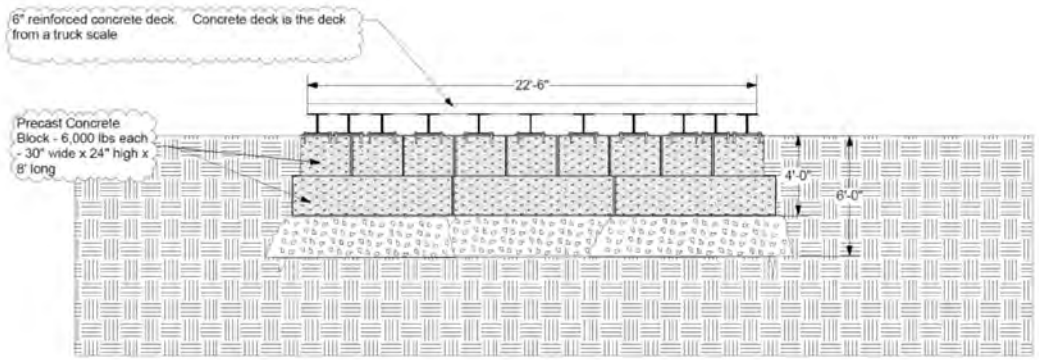
**Bridge Plan View**

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**Bridge Elevation View**



**Bridge Cross-Section**

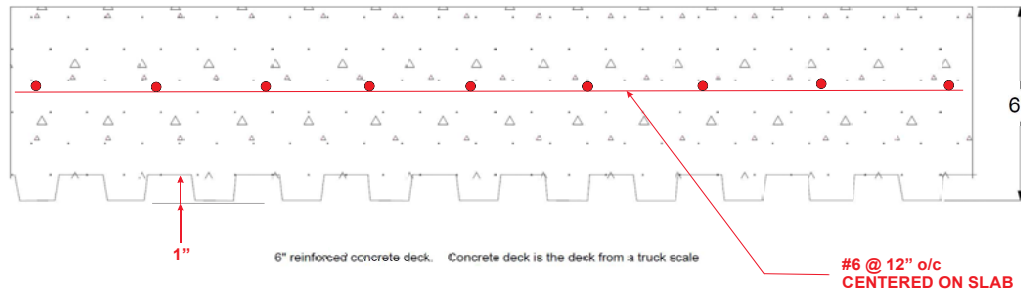
**3) Structural Analyses**

**a) Existing Concrete Deck:**

Effective thickness = 5 in ; Assume specified concrete compressive strength @ 28 day,  $f_c = 3,000$  psi, and rebar yield strength  $F_y = 60,000$  psi & effective depth,  $d_e = 1.75$  in

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The concrete deck was analyzed for bending and two-way shear forces caused by a maximum wheel load of 8,500 lbs for Truck 1 & 11,200 lbs for the truck 2 applied between the steel stringer. Impact effect 33%.

For Truck 1:

The maximum factored moment at both the midspan and over the steel stringer,  
 $\mu_u = 1,840 \text{ lb-ft/ft}$

The slab strength in bending was computed as  $\phi M_n = 1,898 \text{ lb-ft/ft} > \mu_u = 1,840 \text{ lb-ft}$  OK

For Truck 2:

The maximum factored moment at both the midspan and over the steel stringer,  
 $\mu_u = 2,402 \text{ lb-ft/ft} > 1,898 \text{ lb-ft/ft}$  therefore NG

The maximum two-way (punching) factored shear,  $V_u = 11,607 \text{ lbs}$  for Truck 1 & 15,120 lbs for Truck 2

The slab two-way (punching shear strength was computed as:

$\phi V_c = 17,255 \text{ lbs} > V_u = 11,606 \text{ lbs}$  OK

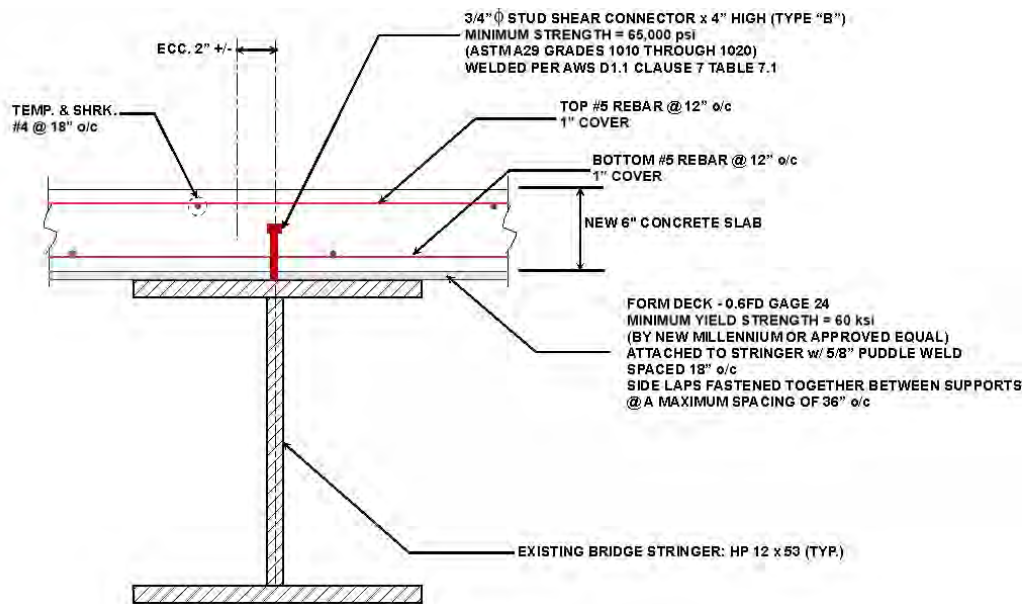
The Concrete deck is determined to be **not** structurally adequate to resist the maximum forces induced by Truck 2, Therefore we recommend a new slab design with reinforcement placed on locations to resist the maximum moment more effectively (mainly 1" from the bottom for positive moment and 1" for negative moment).



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New Proposed Concrete Deck Design:  
Concrete Slab 6" thick on light gage steel Form Deck 9/16" spanning between the stringers



**TYP. STRINGER SECTION: HP 12 x 53**

The effective depth of both reinforcement (top & bottom) is  $d = 4"$  (conservative)  
The concrete specified compressive strength @ 28 days,  $f'c = 4,000$  psi, rebar yield strength  $F_y = 60,000$  psi, and using #5 rebars spaced 12" o/c

Therefore, the computed nominal Moment strength

$\phi M_n = 5,102$  lb-ft/ft  $>$   $M_u = 2,402$  lb-ft OK New Slab design is structurally sound

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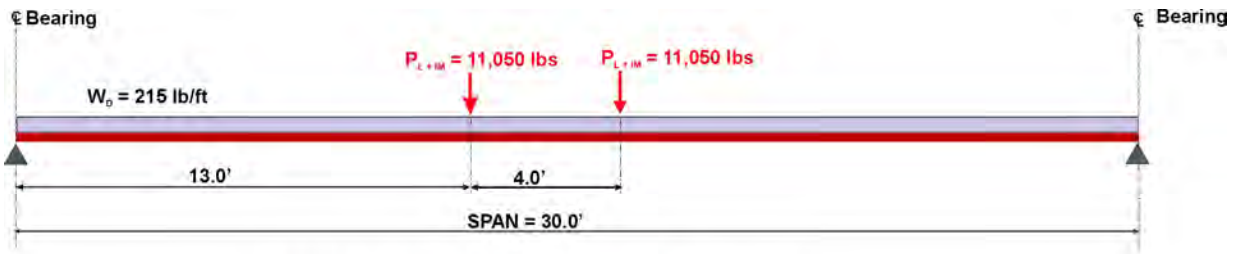
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**b) Stringers: HP12 x 53:**

Consider ASTM A572 Grade 50

**TRUCK 1:**

Two maximum trucks load are used to obtain maximum bending strength and maximum shear:



**LOAD ON STRINGER FOR MAXIMUM MOMENT**

W<sub>D</sub> = DEAD LOAD FROM CONCRETE DECK

P<sub>L+IM</sub> = LIVE LOAD + IMPACT, FULL WHEEL ON BEAM

The maximum code check for a typical stringer is **0.924 < 1.0. therefore ok**

**Steel Beam X\_G 1: Strong Flexure Check**

(extreme rows: max)

Member	Section	Offset ft	Result Case	Demand Mz lb-ft	Capacity Mz lb-ft	Code Reference	Unity Check	Details
BmX001	HP12X53	15.000	16-2Lr	226969.640	245591.700	F3-1	0.924	Lb = 15 ft, Cb = 1.476

**NOTE:**

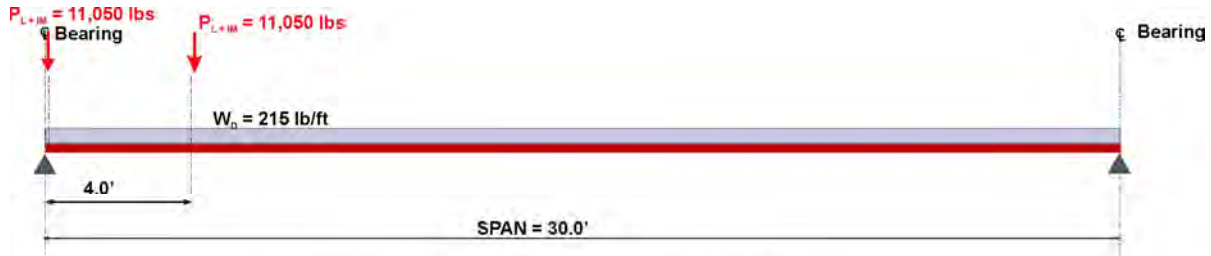
The set stringers will require the top flange to be laterally braced at midspan to prevent lateral buckling and meet the bending strength requirement. The lateral bracing would be accomplished by welding the boundary 6" deep channel around the concrete deck to the stringers.

At each abutment the stringers should be ties together (cross frame / diaphragm) to prevent axial rotation (twisting) of the stringers on the bearing support.

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Check Shear Capacity:



**LOAD ON STRINGER FOR MAXIMUM SHEAR**

$W_d$  = DEAD LOAD FROM CONCRETE DECK

$P_{L+IM}$  = LIVE LOAD + IMPACT, FULL WHEEL ON BEAM

The maximum Code shear ratio = **0.25 < 1.0 OK**

**Steel Beam X G 1: Strong Shear Check**

(EXPERIENCE RIBS: MAX)

Member	Section	Offset ft	Result Case	Demand Vy lb	Capacity Vy lb	Code Reference	Unity Check	Details
BmX001	HP12X53	0.00	16-2Lr	37764.57	153990.00	G2-1a	<b>0.25</b>	Shear Area = 5.13 in <sup>2</sup> , Cv = 1

Therefore, stringers are structurally adequate in supporting the weight of truck 1 load

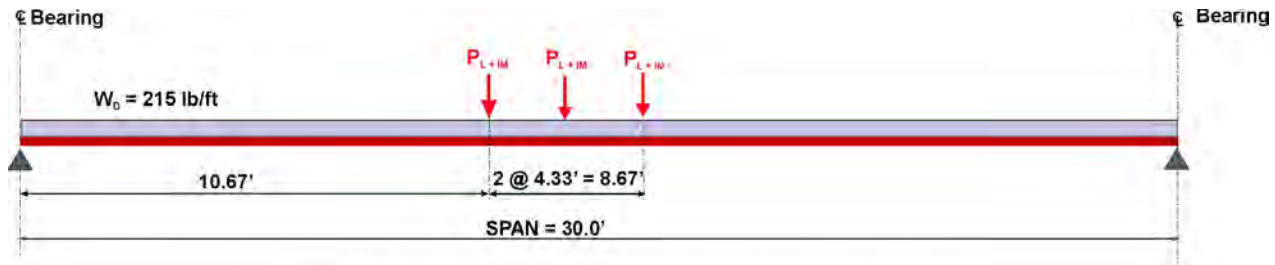


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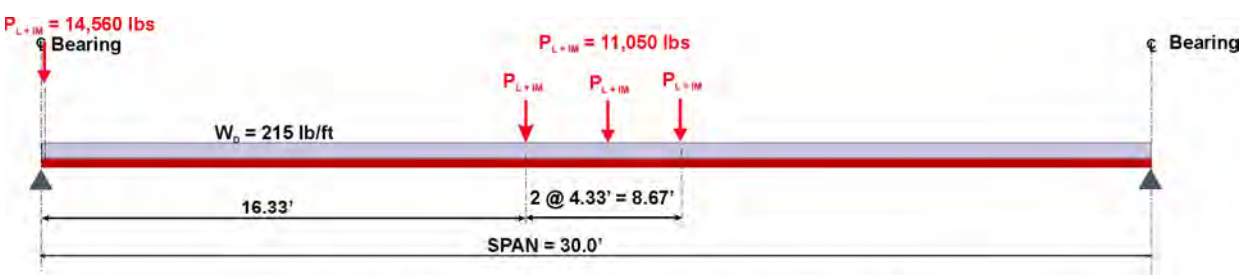
**TRUCK 2:**

THE MAXIMUM Moment is obtained when the centroid of the three rear axles are at midspan  
 We will use a composite design to check the stringers for this larger concentrated loads since we are placing a new concrete slab, and the stringers will need to act compositely with the slab to meet both the strength and serviceability requirements.



**LOAD ON STRINGER FOR MAXIMUM MOMENT: TRUCK 2**

$W_D$  = DEAD LOAD FROM CONCRETE DECK  
 $P_{L+IM}$  = LIVE LOAD + IMPACT, FULL WHEEL ON BEAM = 11,700 lbs



**LOAD ON STRINGER FOR MAXIMUM SHEAR: TRUCK 2**

$W_D$  = DEAD LOAD FROM CONCRETE DECK  
 $P_{L+IM}$  = LIVE LOAD + IMPACT, FULL WHEEL ON BEAM

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### Maximum Results for Bending Moment

#### Typical Stringer: Results

Composite Beam Specification: AISC 360-10 LRFD Composite Beam?: True Seismic Compactness: Not Ductile Overstrength?: False Live Load Reduction: None Disable Checks?: False Check Level: Each Limit State	Bracing (Pre-composite) Lateral Top (+y): Unbraced Lateral Bottom (-y): Unbraced	Deflections Strong (dy): Total Span Ratio 'L only': 360 'W or S only': 360 'D + L': 240 Other: 180 Weak (dz): None
Concrete Slab Construction Type: Unshored (Approximate) Strength, f <sub>c</sub> : 4000 psi Thickness: 6 in Weight: Normal 145 pcf Beam Spacing: 2.5 ft Is Spandrel?: False	Deck and Anchors Type: 3/4" Headed Stud x 4 in x 1 rows Spacing: 3 divisions, studs @ (10, 24, 10) in o.c. Deck Type: No Metal Deck	Axial Manual Kz: False Kz Sidesway?: False Manual Ky: False Ky Sidesway?: False
Size Constraints Limit Depth?: False Limit Width?: False	Overrides Override Fy?: False Override Cb?: False Override HSS t <sub>des</sub> ?: False	

#### Typical Stringer: Strong Deflection Check

(extreme rows: max)

Member	Section	Offset ft	Result Case	Demand dy in	Capacity dy in	Code Reference	Unity Check	Details
Typical Stringer	HP12X53	15.00	Unshored (Approximate)	-0.37	2.00	IBC 1604.3.1	<b>0.19</b>	Pre-composite Deflection, L/Δ = 962

#### Typical Stringer: Composite Beam Check

(extreme rows: max)

Member	Section	Offset ft	Result Case	Demand Mz lb-ft	Capacity Mz lb-ft	Code Reference	Unity Check	Details
Typical Stringer	HP12X53	15.00	16-2Lr	387773.64	443560.32	I3.2a(a)	<b>0.87</b>	Partial Composite Behavior, Q <sub>n</sub> = 21537 lb, Effective slab width = 30 in, Effective slab thickness = 6 in, L <sub>b</sub> = 0 ft, Effective Studs = 15, R <sub>g</sub> = 1, R <sub>p</sub> = 0.75

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### Maximum Results for shear:

#### Typical Stringer: Results

<b>Composite Beam</b> Specification: AISC 360-10 LRFD Composite Beam?: True Seismic Compactness: Not Ductile Overstrength?: False Live Load Reduction: None Disable Checks?: False Check Level: Each Limit State	<b>Bracing (Pre-composite)</b> Lateral Top (+y): Unbraced Lateral Bottom (-y): Unbraced	<b>Deflections</b> Strong (dy): Total Span Ratio 'L only': 360 'W or S only': 360 'D + L': 240 Other: 180 Weak (dz): None
<b>Concrete Slab</b> Construction Type: Unshored (Approximate) Strength, fc: 4000 psi Thickness: 6 in Weight: Normal 145 pcf Beam Spacing: 2.5 ft Is Spandrel?: False	<b>Deck and Anchors</b> Type: 3/4" Headed Stud x 4 in x 1 rows Spacing: 3 divisions, studs @ (10, 24, 10) in o.c. Deck Type: No Metal Deck	<b>Axial</b> Manual Kz: False Kz Sidesway?: False Manual Ky: False Ky Sidesway?: False
<b>Size Constraints</b> Limit Depth?: False Limit Width?: False	<b>Overrides</b> Override Fy?: False Override Cb?: False Override HSS t_des?: False	

#### Typical Stringer: Strong Deflection Check

(extreme rows: max)

Member	Section	Offset ft	Result Case	Demand dy in	Capacity dy in	Code Reference	Unity Check	Details
Typical Stringer	HP12X53	15.00	Unshored (Approximate)	-0.37	2.00	IBC 1604.3.1	<b>0.19</b>	Pre-composite Deflection, L/Δ = 962

#### Typical Stringer: Composite Beam Check

(extreme rows: max)

Member	Section	Offset ft	Result Case	Demand Mz lb-ft	Capacity Mz lb-ft	Code Reference	Unity Check	Details
Typical Stringer	HP12X53	18.15	16-2Lr	329037.20	432452.04	I3.2a(a)	<b>0.76</b>	Partial Composite Behavior, Qn = 21537 lb, Effective slab width = 30 in, Effective slab thickness = 6 in, Lb = 0 ft, Effective Studs = 13, Rg = 1, Rp = 0.75

#### Typical Stringer: Strong Shear Check

(extreme rows: max)

Member	Section	Offset ft	Result Case	Demand Vy lb	Capacity Vy lb	Code Reference	Unity Check	Details
Typical Stringer	HP12X53	0.00	16-2Lr	47080.01	153990.00	G2-1a	<b>0.31</b>	Shear Area = 5.13 in <sup>2</sup> , Cv = 1

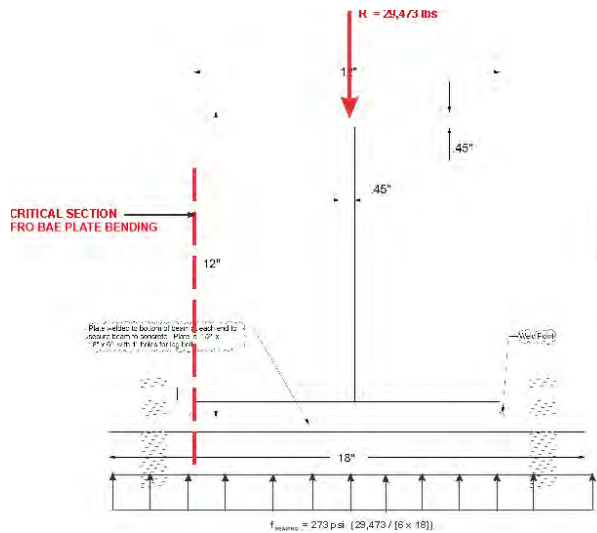


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**c) Base Support for the Stringers**

The maximum reaction at each end on any given stringer R = 24,067 lbs (unfactored loads)



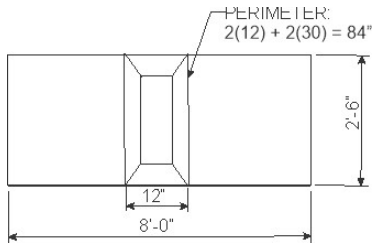
Bending at Base Plate Critical Section =  $273 \times 6 \times 3^2 / 2 = 7,368$  in-lb

**$F_b = 7,368 \times 6 / (6 \times 0.5^2) = 29,473$  psi < 36,000 psi OK**

**Bearing on Concrete Block**

Allowable Concrete Bearing stress,  $f_c = 0.35 \times 3,000 = 1,050$  psi > 273 psi ok

Concrete two-way (“punching”) shear stress):



Concrete Strength:

$V_c = \phi (4) \times [f'_c]^{1/2} \text{ Perimeter} \times \text{depth} =$

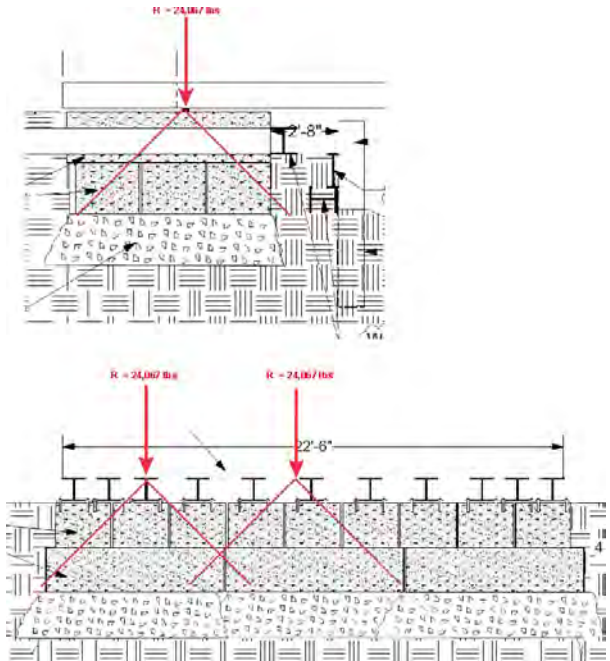
$= 0.75 \times 4 [3000]^{1/2} \times 84 \times 6 = 82,816$  lbs

$V_u = 1.6 \times 29,473 = 47,155$  lbs < 82,816 lbs OK

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**d) Foundation & Retaining Structure**



Maximum Load Reaction = 2 x 29,473 = 58,946 lbs

Weight of concrete blocks = 12 x 6000 = 72,000 lbs

Total Load = 58,946 + 72,000 = 130,946 lbs

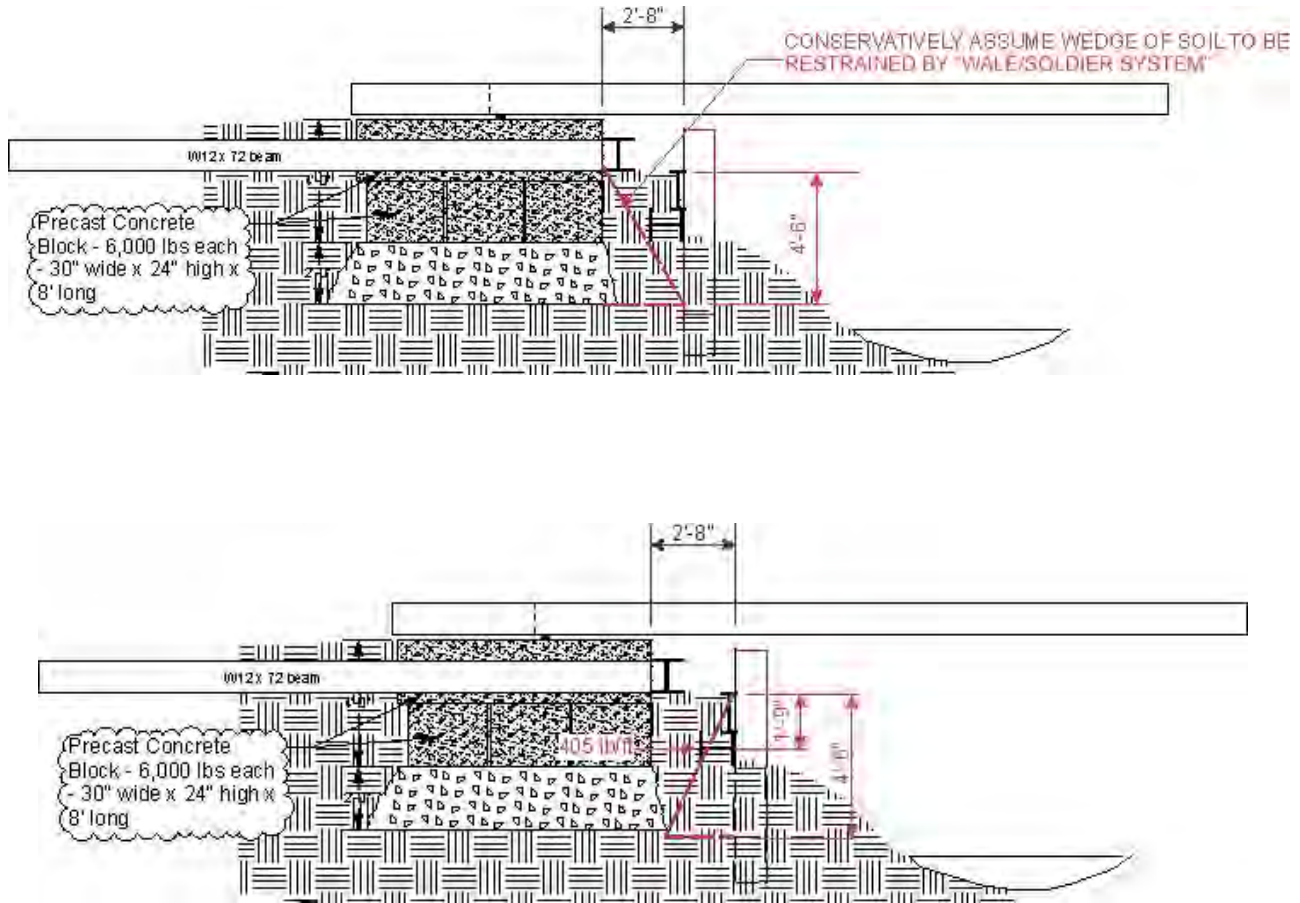
Soil Pressure,  $f_s = 130,946 / 64 = \underline{\mathbf{2,046 \text{ psf} \sim 2,000 \text{ psf Say OK}}$

Soil Bearing Capacity should be verified to be at least 2,000 psf

NOTE: PRECAST CONCRETE BLOCKS should be tied together to ensure acting as a unit

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Consider the following typical soil properties (to be verified by owner):

Soil Angle of Internal Friction,  $\phi = 30^\circ$

Density of Soil,  $\delta = 120$  pound per cubic foot (pcf)

Using Rankine soil Active Pressure,  $K_a = 0.333$  thus,  $H = 0.333 \times 120 \times (4.5)^2 / 2 = 405$  lb/ft  
Acting on the "Wale Beam" W12 x 72 spanning 10' between the "Soldiers Piles" W 12 x 72

Capacity of W12 x 72,

Applied Maximum Moment,  $M = 5,961$  lb-ft < Allowable Moment = 26,942 lb-ft ok

Applied Maximum Shear,  $V = 2,980$  lb < Allowable Shear = 105,780 lbs ok



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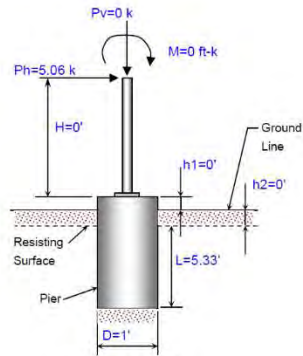
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Soldier Piles:  
Maximum Applied Load @ center soldier pile = 5,063 lbs

Based on the soil properties stated above, the minimum embedment of the soldier pile should be 5'-4"

**Input Data:**

<b>Pier Data:</b>	
Pier Foundation Diameter, D =	1.000 ft.
Pier Height Above Soil, h1 =	0.000 ft.
<b>Soil Data:</b>	
Unit Weight of Soil, $\gamma$ =	0.120 kcf
Blows/Foot (Penetrometer), N =	5
Depth to Resisting Surface, h2 =	0.000 ft.
Allow. Soil Bearing Pressure, Pa =	2.000 ksf
<b>Pier Loadings:</b>	
Axial Load, Pv =	0.000 kips
Horizontal Load, Ph =	5.060 kips
Distance from Ph to Top/Pier, H =	0.000 ft.
Externally Applied Moment, M =	0.000 ft-kips
Overload Factor, OLF =	1.000



**Nomenclature**

**Results:**

<b>Granular Soil Parameters:</b>	
$\phi = 29.75$ deg.	$\phi = 28.5 + N/4$ (angle of internal friction)
$K_p = 2.970$	$K_p = \text{TAN}(45 + \phi/2)^2$ (passive soil pressure coefficient)
<b>Pier Embedment and Total Length:</b>	
$H_o = 5.06$ kips	$H_o = Ph \cdot OLF$
$M_o = 0.00$ ft-kips	$M_o = (M + Ph \cdot (H + h_1 + h_2)) \cdot OLF$
$L = 5.33$ ft.	$L = \text{solution of cubic equation: } L^3 - 2 \cdot H_o \cdot L / (K_p \cdot \gamma \cdot D) - 2 \cdot M_o / (K_p \cdot \gamma \cdot D) = 0$
$L_t = 5.33$ ft.	$L_t = h_1 + h_2 + L$ (total length)
<b>Pier End Bearing Pressure:</b>	
$A_f = 0.79$ ft. <sup>2</sup>	$A_f = \pi \cdot D^2 / 4$ (pier base area)
$W_f = 0.63$ kips	$W_f = (A_f \cdot L_t) \cdot 0.150$ (pier weight)
$\Sigma P_v = 0.63$ kips	$\Sigma P_v = P_v + W_f$ (total vertical load)
$P(\text{bot}) = 0.799$ ksf	$P(\text{bot}) = \Sigma P_v / A_f$

**RECOMMENDATION:**

We recommend that tests be done when the bridge is operational, mainly to install gauges at each abutment to measure or detect any movement during the transit of vehicles. The length of time for the testing will be determined at the appropriate time with the Testing Lab.

Refer to JMA Structural Dwgs S-1 & S-2 dated 07/17/2020



GENERAL STRUCTURAL AND CONSTRUCTION NOTES:

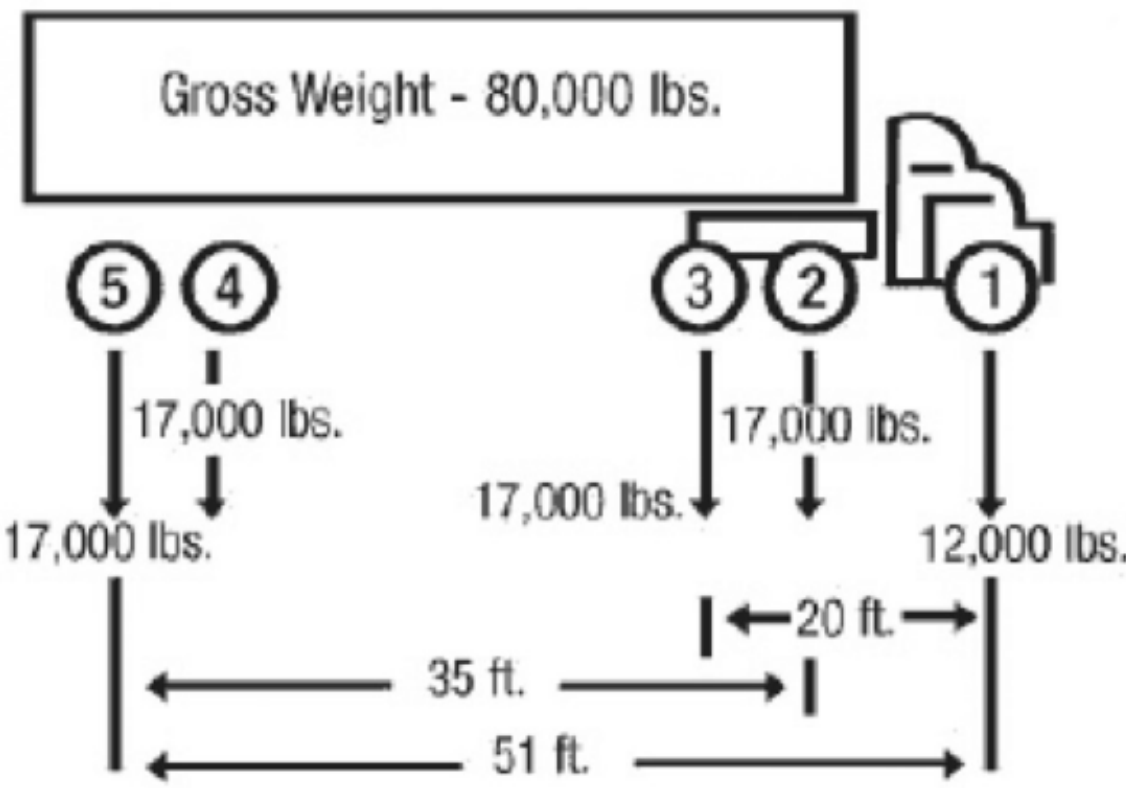
A. CODES AND STANDARDS

THE FOLLOWING CODES AND STANDARDS SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL, AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITION UNLESS NOTED OTHERWISE.

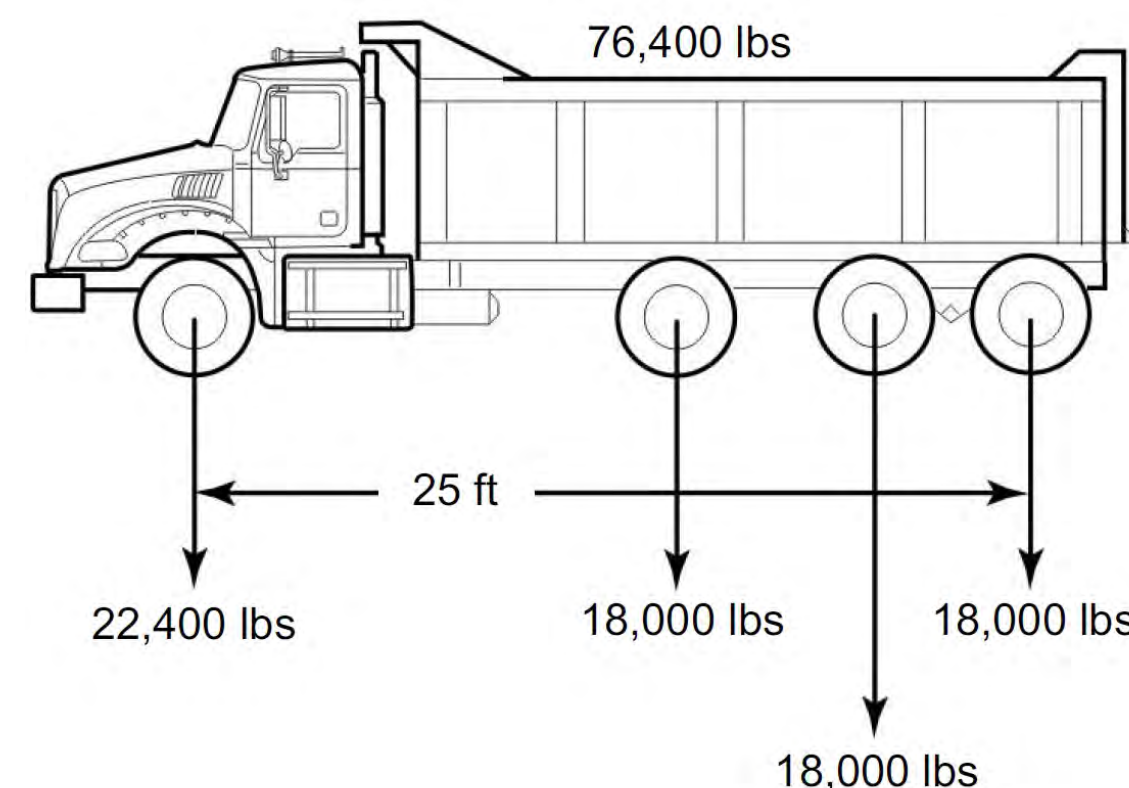
- STATE OF CONNECTICUT BUILDING CODE (IBC 2015), 2018 CONNECTICUT SUPPLEMENT
- SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ANSI/AISC 360-10
- AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318-14)
- "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ANSI/ASCE 7-10, AMERICAN SOCIETY OF CIVIL ENGINEERS.

1. B. DESIGN DATA:

- BRIDGE DEAD LOAD
  - CONCRETE DECK = 75 psf
  - STEEL FORM DECK = 1 psf
  - STRINGERS: 53 lb/ft
  - MISC.: 5 psf
- CONSTRUCTION LOAD: 50 psf
- UNIFORM LIVE LOAD: 500 psf
- TRUCK LIVE LOAD - SEE SKETCH



TRUCK 1

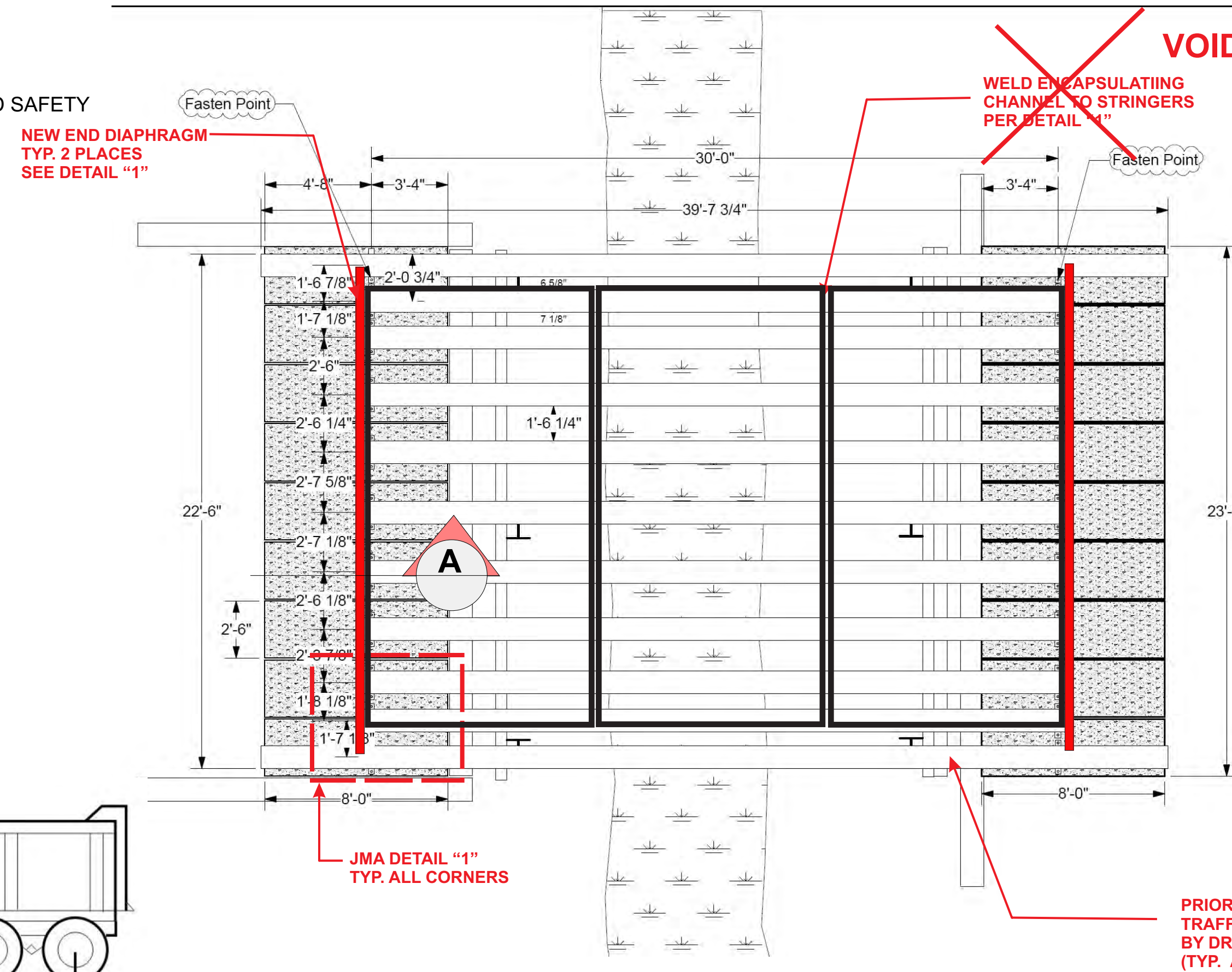


TRUCK 2

C. CONCRETE NOTES:

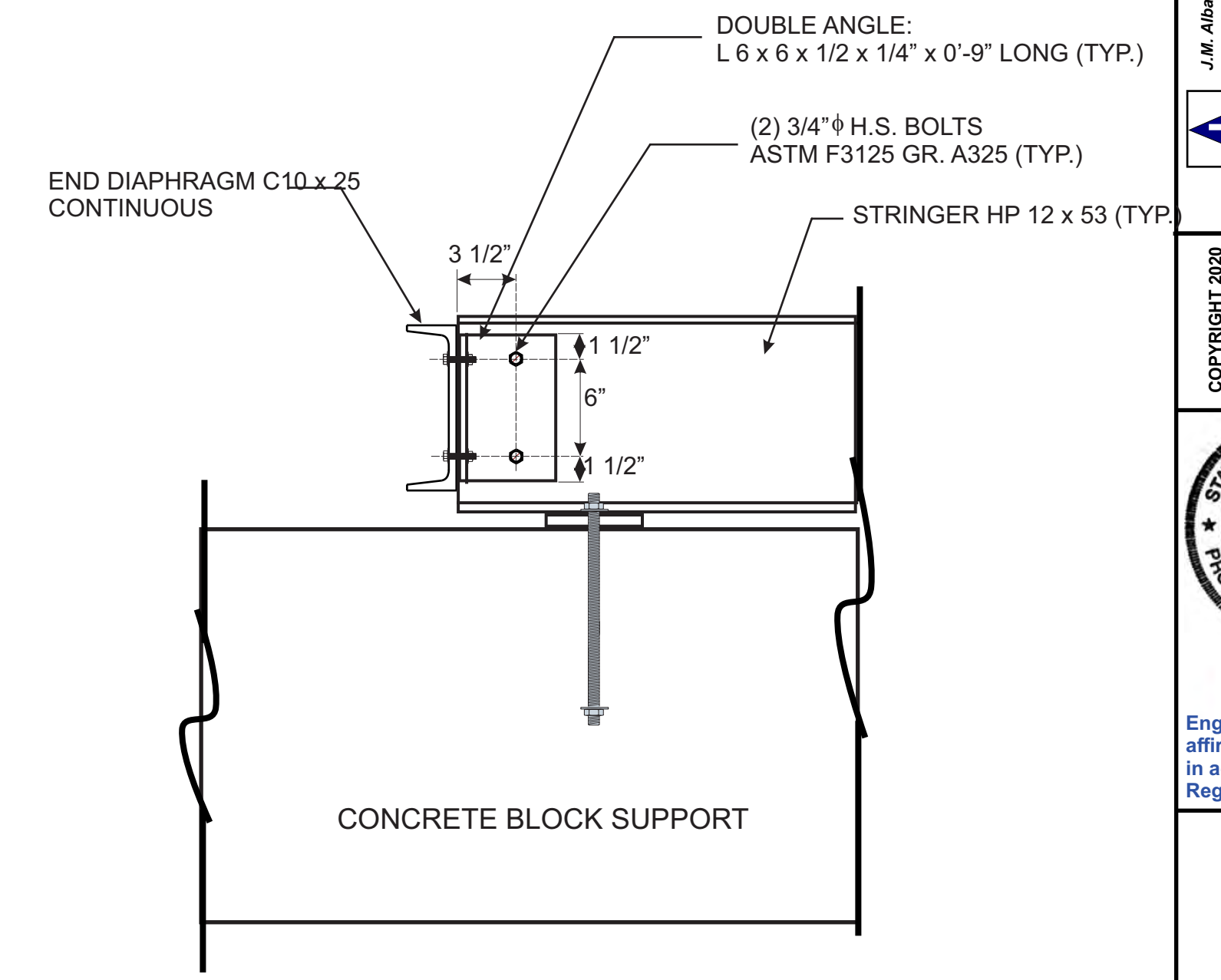
THE FOLLOWING ASTM STANDARDS SHALL BE USED FOR THE CONCRETE FOOTINGS, PERIMETER WALLS, AND CONCRETE SLABS ON THIS PROJECT.

- THE MINIMUM SPECIFIED COMPRESSIVE STRENGTH SHALL BE 4,000 PSI AT 28 DAYS, A MAXIMUM WATER/CEMENT RATIO OF 0.45. CONCRETE SLUMP SHALL 4 INCHES +/- 1" (SLUMP MAY BE INCREASED BY THE ADDITION OF SUPERPLASTICIZER)
- CEMENT: ASTM C150 TYPE I OR II
- AGGREGATES: ASTM C33 (NORMAL WEIGHT), MAXIMUM SIZE 3/4"
- DEFORMED REINFORCEMENT BARS: ASTM A615 GRADE 60  
WELDED WIRE FABRIC (SMOOTH): ASTM A185
- AIR ENTRAINING: 6% +/- 1.5% (SIKA AEA-14 OR APPROVED EQUAL)
- CONCRETE CURING: PROTECT CONCRETE FROM RAPID DRYING AND KEEP IN A MOIST CONDITION WITH TEMPERATURE ABOVE 50° F FOR AT LEAST 7 DAYS AFTER PLACING WITH CURING COMPOUND IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- CONCRETE SHALL NOT BE PLACED ON TOP OF FROZEN SOIL, SNOW, ICE, OR STANDING WATER
- DO NOT APPLY SERVICE LOADS UNTIL THE CONCRETE HAS OBTAINED 50% OF THE SPECIFIED CONCRETE STRENGTH @ 28-DAY. THIS STRENGTH 1,500 psi (50% OF 2,000 psi) SHOULD BE OBTAINED WITHIN 7 DAYS.
- CONCRETE FORMWORK, BRACING SHALL NOT BE REMOVED UNTIL CONCRETE HAS CURED SUFFICIENTLY (3-DAY MIN. AFTER PLACEMENT)
- ALL EPOXY ADHESIVE ANCHORS SHALL BE ONE OF THE FOLLOWINGS (OR ENGINEER'S APPROVAL PER REQUEST)
  - HILTI HIT-RE500 ; b) SIMPSON "SET-3G" ; c) POWERS PE 1000+ d) SIKA ANCHORFIX 3001



KEY PLAN

PRIOR TO OPEN BRIDGE TO NORMAL TRAFFIC, MONITOR ABUTMENT FOR ANY MOVEMENT BY DRIVING TWO PICK-UP TRUCKS IN LINE (TYP. AT EACH END)



SECTION "A"

D. STRUCTURAL SEEL NOTES:

1. THE FOLLOWING ASTM STANDARDS SHALL BE USED FOR THE STEEL MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT

- |   |                                 |
|---|---------------------------------|
| a) STRUCTURAL SHAPES                                    | ASTM A992 GRADE 50              |
| b) OTHER STRUCTURAL SHAPES CHANNELS, ANGLES, AND PLATES | ASTM A-36                       |
| c) STRUCTURAL TUBING                                    | ASTM A500, GRADE B, FY = 46 ksi |
| d) HIGH STRENGTH BOLTS                                  | ASTM F3125 GR. A325             |
| e) ANCHOR RODS  | ASTM F-1554 GRADE 36            |

2. ALL STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN" (ANSI/AISC 360-10).

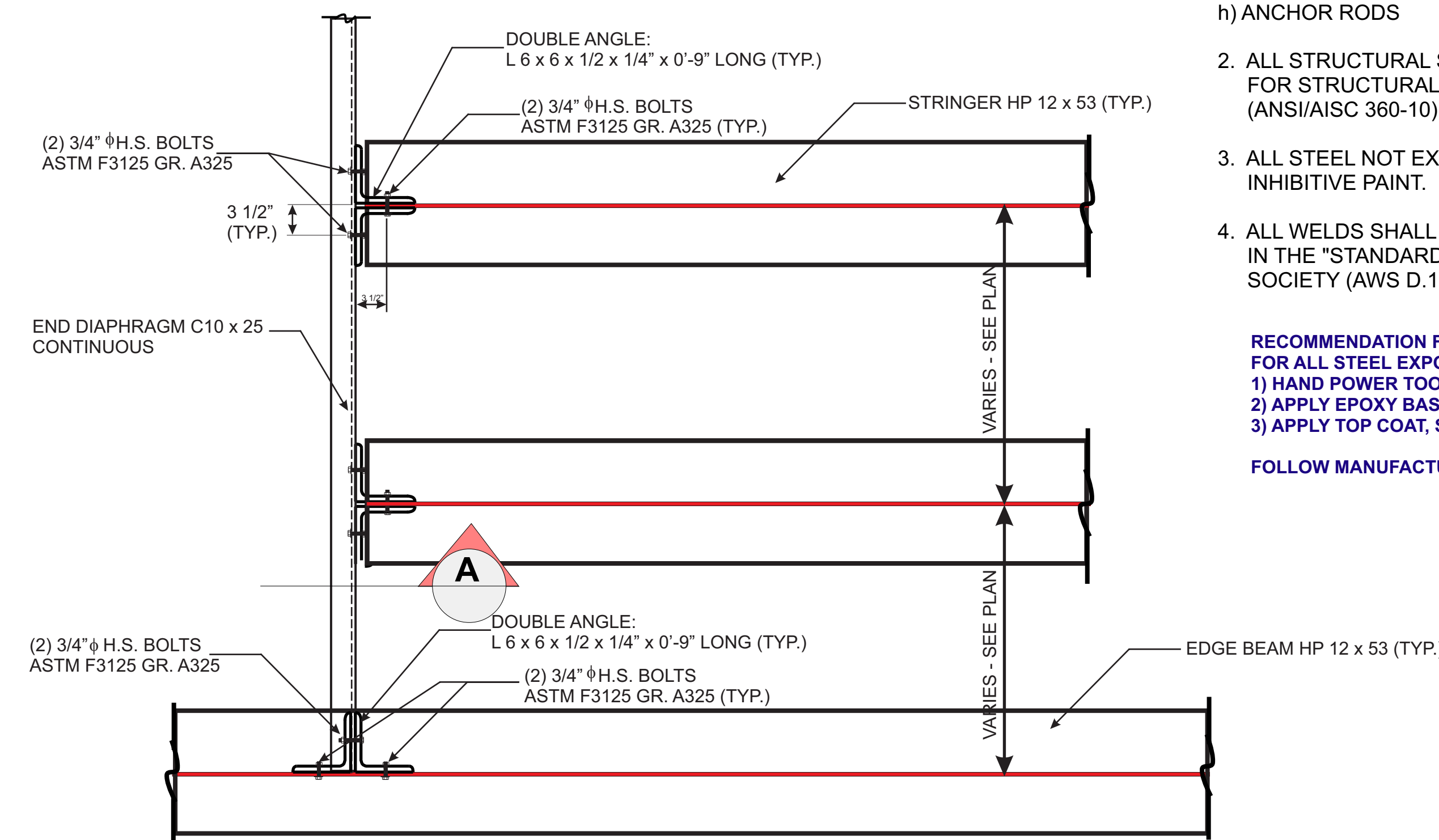
3. ALL STEEL NOT EXPOSED TO HARSH ENVIRONMENT SHALL RECEIVE ONE COAT OF RUST INHIBITIVE PAINT.

4. ALL WELDS SHALL BE MADE ONLY BY WELDERS WHO HAVE BEEN QUALIFIED AS PRESCRIBED IN THE "STANDARD CODE OF WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY (AWS D.1.1).

**RECOMMENDATION FOR LONG-TERM MAINTENANCE & PERFORMANCE FOR ALL STEEL EXPOSED TO HARSH ENVIRONMENT**

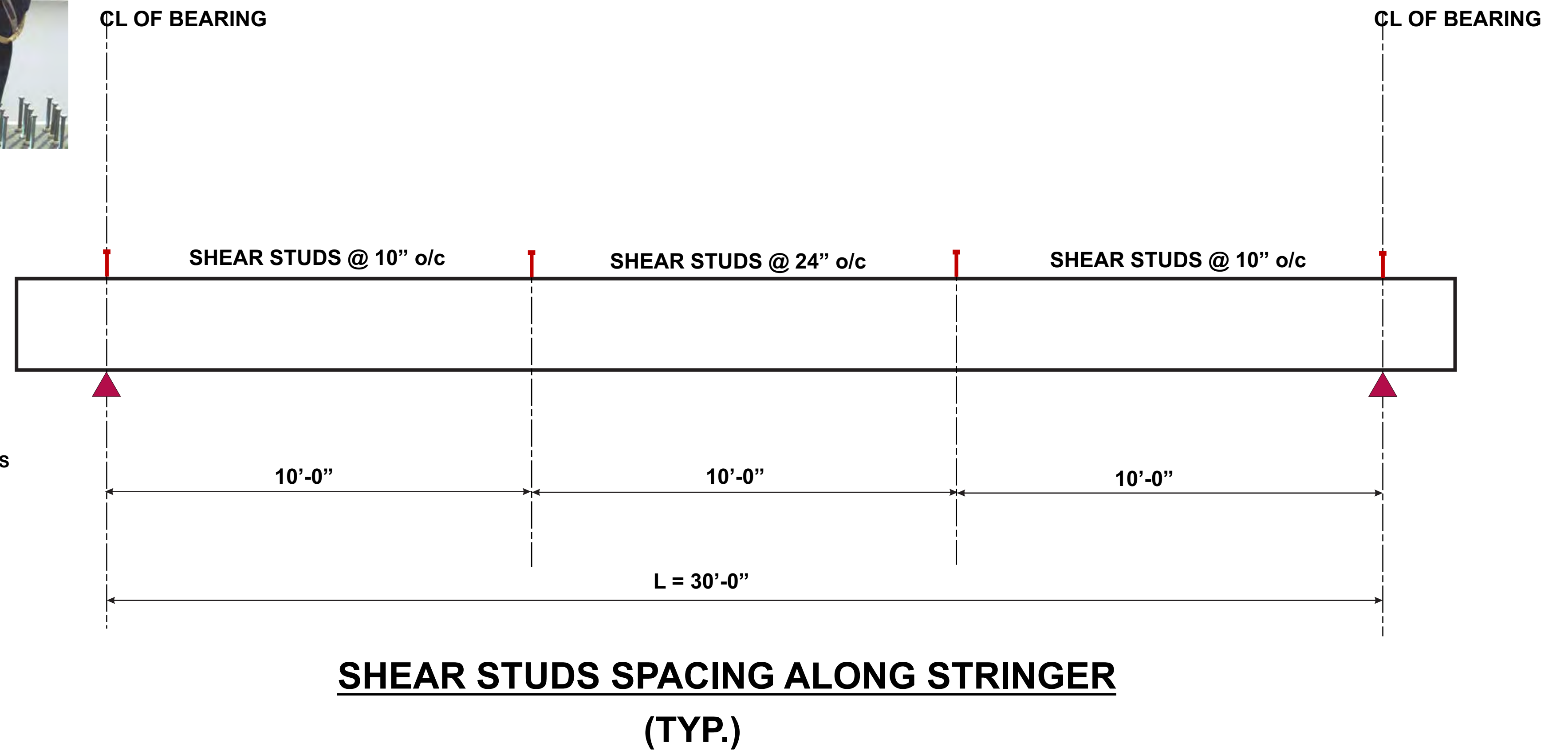
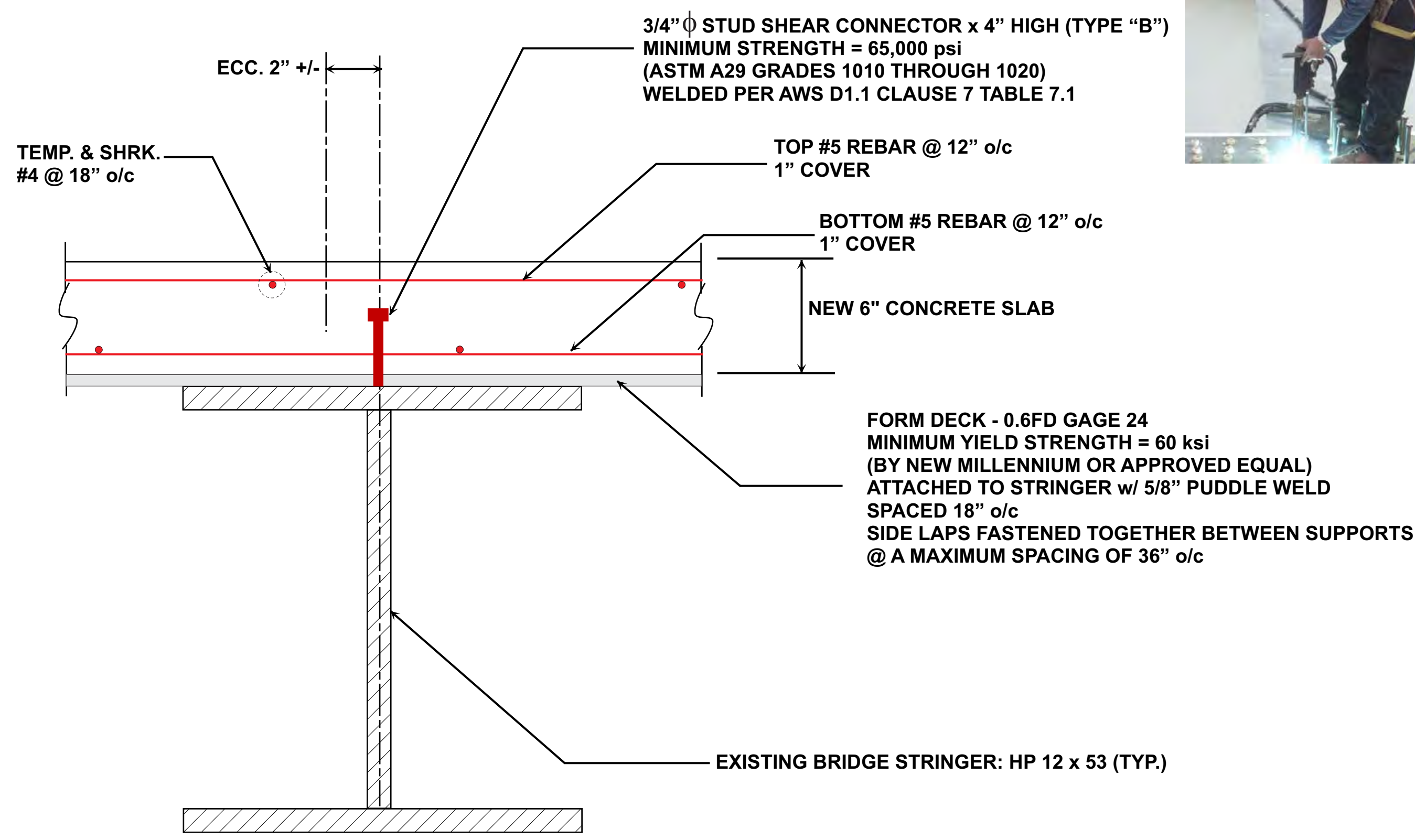
- HAND POWER TOOL SURFACE PREPARATION WITH SOLVENT
- APPLY EPOXY BASED COAT, SUCH AS SHERWIN WILLIAMS "EPOXY MASTIC ALUMINUM II" OR EQUAL
- APPLY TOP COAT, SUCH AS SHERWIN WILLIAMS "ACROLON 218 HS - ACRYLIC POLYURETHANE" OR EQUAL

FOLLOW MANUFACTURER'S INSTRUCTION



DETAIL "1"





**TYP. STRINGER SECTION: HP 12 x 53**

**RECOMMENDATION FOR LONG-TERM MAINTENANCE & PERFORMANCE FOR ALL STEEL EXPOSED TO HARSH ENVIRONMENT**

- 1) HAND POWER TOOL SURFACE PREPARATION WITH SOLVENT
- 2) APPLY ONE EPOXY BASED COAT, SUCH AS SHERWIN WILLIAMS "EPOXY MASTIC ALUMINUM II" OR EQUAL
- 3) APPLY TOP COAT, SUCH AS SHERWIN WILLIAMS "ACROLON 218 HS - ACRYLIC POLYURETHANE" OR EQUAL

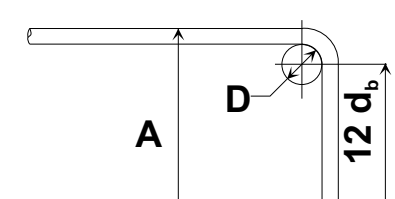
FOLLOW MANUFACTURER'S INSTRUCTION

REINFORCING STEEL LAP SPLICE LENGTH SCHEDULE: $f_c = 4,000$ PSI		
BAR SIZE	TOP BARS	OTHER BARS
#3	2'-0"	1'-6"
#4	2'-6"	2'-0"
#5	3'-0"	2'-6"
#6	4'-0"	3'-0"

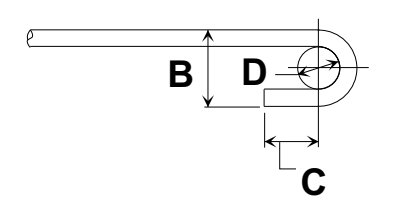
1. SPLICE LENGTH OF LAP FOR TENSION LAP ARE SPLICES CLASS "B" PER ACI 318-14
2. TOP BARS ARE REINFORCEMENT WITH MORE THAN 12" OF CONCRETE CAST BELOW THE REBAR, AND ALL HORIZONTAL BAR WITHOUT EXCEPTION. FOOTING REINFORCING WITH MORE THAN 12" OF CONCRETE BELOW ARE CONSIDERED TOP BARS.
3. OTHER BARS INCLUDE FOOTING, BEAM AND SLAB REINFORCEMENT WITH LESS THAN 12" OF CONCRETE CAST BELOW THE REBAR, AND VERTICAL WALL & COLUMN REINFORCEMENT.
4. MINIMUM CLEAR SPACING OF REBARS SHALL NOT BE LESS THAN 2 BAR DIAMETERS. CLEAR COVER SHALL NOT BE LESS THAN THE MOST RESTRICTIVE REQUIREMENT OF 1 BAR DIAMETER, THE MINIMUM CLEAR COVER DIMENSION LISTED IN THE GENERAL NOTES FOR CONCRETE, AND THE ACI CODE. REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD IMMEDIATELY.

**STANDARD HOOK DETAILS**

BAR SIZE	FINISH BEND DIAMETER D, (in.)	90-deg HOOKS		180-deg HOOKS
		A	B	C
#3	2 1/4"	6"	3"	2 1/2"
#4	3"	8"	4"	2 1/2"
#5	3 3/4"	10"	5"	2 1/2"
#6	4 1/2"	1'-0"	6"	3"

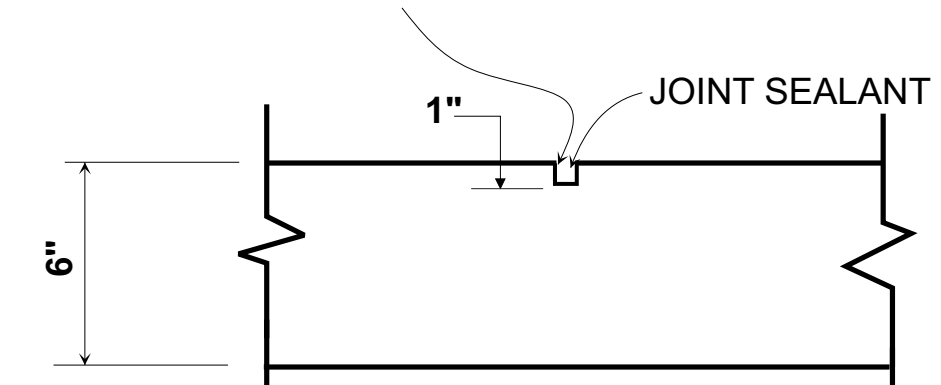


STANDARD 90° HOOK



STANDARD 180° HOOK

PLASTIC(ZSTRIP) OR PREFORMED HARDBOARD STRIP PLACED IN SLAB IMMEDIATELY AFTER CONCRETE PLACING OR SAW CUT BEFORE CONCRETE HARDENED COMPLETELY



TYPICAL SLAB CONTROL JOINT

NOTE: MAXIMUM SPACING OF CONTROL JOINTS SHALL BE 10'-0"





August 4, 2020

Elizabeth Sanderson  
Principle Planner  
City Of Hartford  
260 Constitution Plaza  
Hartford, CT 06103

Hi Elizabeth,

This morning I dropped off the following at 260 Constitution Plaza during my 9:30 appointment.

- 1) Structural Engineer's 2 page Plan for the bridge.
- 2) Structural Engineer's 14 page report for the bridge.
- 3) Answers to questions you sent me via email.
- 4) State DEEP Inland Wetland form filled out.
- 5) Site Plan showing the location of the driveway and driveway detail.
- 6) Affidavit requesting an additional 30 days to have the Erosion & Sediment Control Plan signed/sealed by a PE.

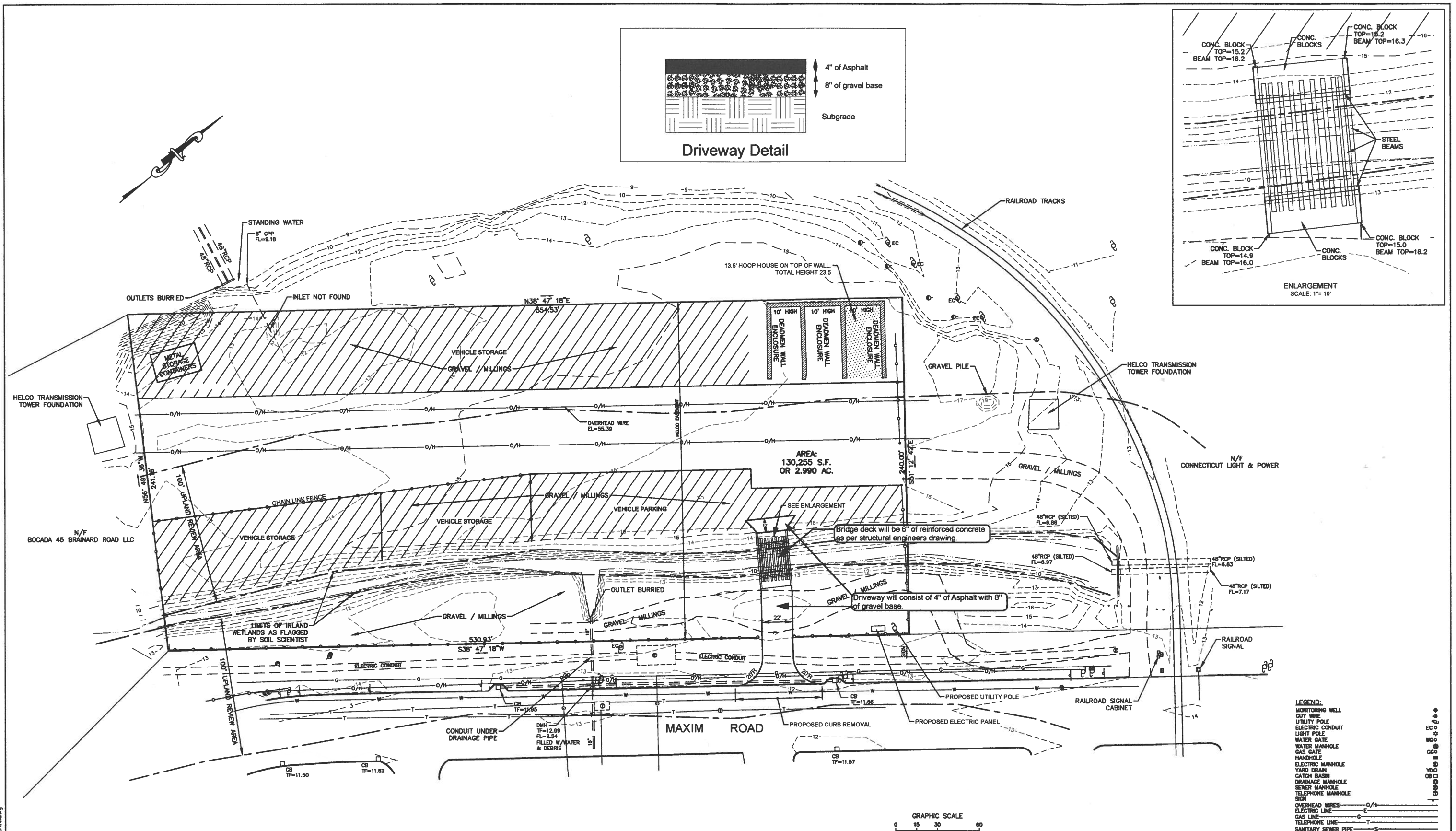
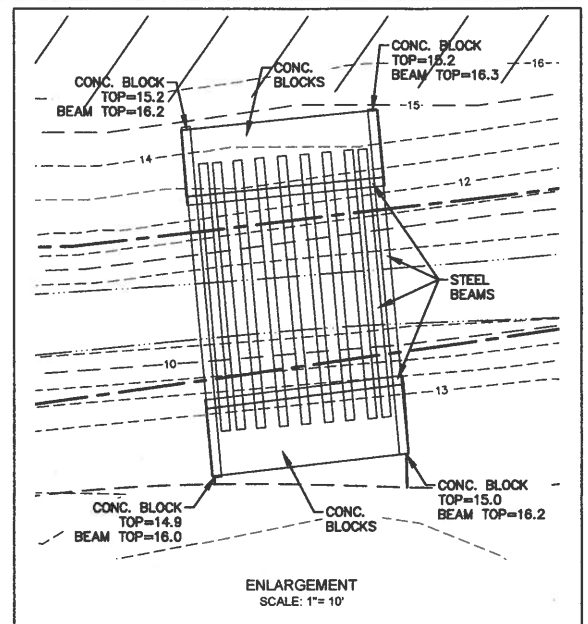
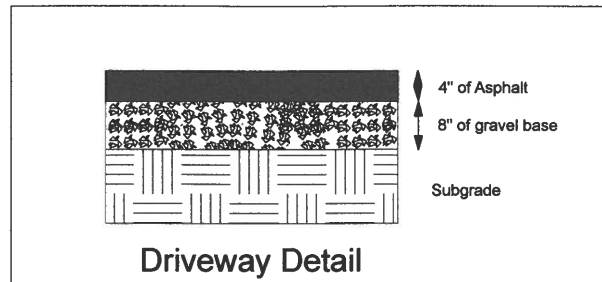
The COVID-19 public health emergency adversely affected the Company's operations and caused the Company to redirect critical management team resources away from this project. It also delayed the Company's ability to obtain an Erosion & Sedimentation Control Plan signed/sealed by a professional engineer.

I have taken over this project for the company and will work diligently to get this back on track. I should have the Erosion & Sedimentation Control Plan in two weeks.

If you have any questions please don't hesitate to contact me.

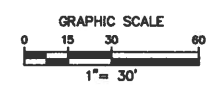
Thanks,

Ron Gaudet  
Director of Operations  
Central Group Companies  
**Cell: 860-729-2780**



**LEGEND:**

- MONITORING WELL
- GUY WIRE
- UTILITY POLE
- ELECTRIC CONDUIT
- LIGHT POLE
- WATER GATE
- WATER MANHOLE
- GAS GATE
- HANDHOLE
- ELECTRIC MANHOLE
- YARD DRAIN
- CATCH BASIN
- DRAINAGE MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- SIGN
- OVERHEAD WIRES
- ELECTRIC LINE
- GAS LINE
- TELEPHONE LINE
- SANITARY SEWER PIPE
- WATER LINE
- CHAIN LINK FENCE



- NOTES:**
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 28, 1996. THIS IS A PROPERTY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY T-2 AND IS INTENDED TO DEPICT THE POSITION OF BOUNDARIES WITH RESPECT TO LOCATIONS OF ALL BOUNDARY MONUMENTATION; APPARENT IMPROVEMENTS AND FEATURES; RECORD EASEMENTS AND VISIBLE EVIDENCE OF THE USE THEREOF; RECORD AND APPARENT MEANS OF INGRESS AND EGRESS; LINES OF OCCUPATION AND DEED RESTRICTIONS PERTAINING TO THE LOCATION OF BUILDINGS OR OTHER IMPROVEMENTS.
  - ELEVATIONS ARE BASED ON NAVD 1988.
  - THIS SURVEY IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

By PAUL W. HUMPHREYS, L.S.  
LIC. NO. 12322

- MAP REFERENCES:**
- "PLAN, BRAINARD INDUSTRIAL CENTER, HARTFORD, CONNECTIUT, BRAINARD CENTER INC. DEVELOPERS, SCALE: 1"= 100', DATE: APRIL, 1965" BY HENRY N. LOOMIS & ASSOCIATES.
  - "PROPERTY OF AETNA LIFE INSURANCE COMPANY & AETNA CASUALTY & INSURANCE COMPANY, PLAN SHOWING LOCATION OF ELECTRIC LINES, MAXIM & BRAINARD ROADS, CITY OF HARTFORD, SCALE: 1"= 40', DATE: JUNE 9, 1988" BY MALCOLM S. HINCKLEY, L.S.

No.	Date	Description
3	10/11/19	SITE PLAN & PROPERTY SURVEY COMBINED
2	7/15/19	TOPOGRAPHY UPDATED
1	4/25/16	TOPOGRAPHY UPDATED

**PROPERTY SURVEY & SITE PLAN**

PROPERTY OF  
**2 MAXIM ROAD LLC**  
2 MAXIM ROAD  
HARTFORD, CONNECTICUT

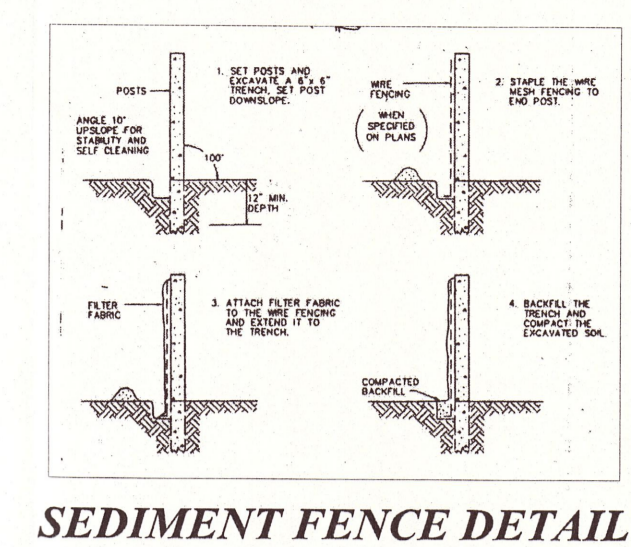
**Close, Jensen & Miller, P.C.**  
Consulting Engineers, Land Planners & Surveyors  
1137 Silas Deane Highway, Wethersfield, Conn. 06109, Tel. (860)563-9375

Compiled P.C. Check  
Designed  
Drawn  
Checked  
Scale 1"=30'  
Date 2/18/16  
Sheet 1 of 1  
Job No. 3 9255  
File No. M4169

R:\CAM\HARTFORD\2 Maxim Road\SITE-PLAN.dwg



LEGEND	
○	UTILITY POLE
—	GUY WIRE
E	ELECTRIC MANHOLE
T	TELECOMM MANHOLE
D	DRAINAGE MANHOLE
W	WATER GATE
⊗	CHAIN LINK FENCE
—(W)—	WATER LINE
—(Gas)—	GAS LINE
—(Cable)—	TELECOMM LINE
⊗⊗⊗⊗	PROPOSED SEDIMENT FENCE



**EROSION CONTROL NOTES**

**GENERAL REQUIREMENTS FOR EROSION CONTROL:**

A SCHEDULE OF OPERATIONS TO INCLUDE STARTING AND COMPLETION DATES FOR MAJOR DEVELOPMENT PHASES, SUCH AS LAND CLEARING AND GRADING, STREET, SIDEWALK, AND STORM SEWAGE INSTALLATION, ETC.

SEEDING, SOODING, OR REVEGETATION PLANS AND SPECIFICATIONS FOR ALL UNPROTECTED OR UNVEGETATED AREAS SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.

**EXCAVATIONS, FILLS AND GRADING:**

CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 UNLESS STABILIZED BY A RETAINING WALL OR CRIBBING, EXCEPT AS APPROVED BY THE COMMISSION UNDER SPECIAL CONDITIONS.

ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATER FROM DAMAGING THE CUT FACE OF EXCAVATION OR THE SLOPING SURFACES OF FILLS. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY.

FILL SHALL BE PLACED AND COMPACTED SO AS TO MINIMIZE SLIDING OR EROSION OF THE SOIL.

GRADING SHALL NOT BE DONE IN SUCH A WAY SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED CONSENT OF THAT LANDOWNER AND THE COMMISSION.

FILLS SHALL NOT ENCRUCH ON THE NATURAL WATERCOURSES OR CONSTRUCTED CHANNELS. DURING GRADING OPERATIONS, NECESSARY MEASURES FOR DUST CONTROL SHALL BE EXERCISED.

GRADING EQUIPMENT WILL NOT BE ALLOWED TO CROSS LIVE STREAMS EXCEPT BY MEANS OF BRIDGES AND CULVERTS OR OTHER METHODS AS APPROVED BY THE COMMISSION.

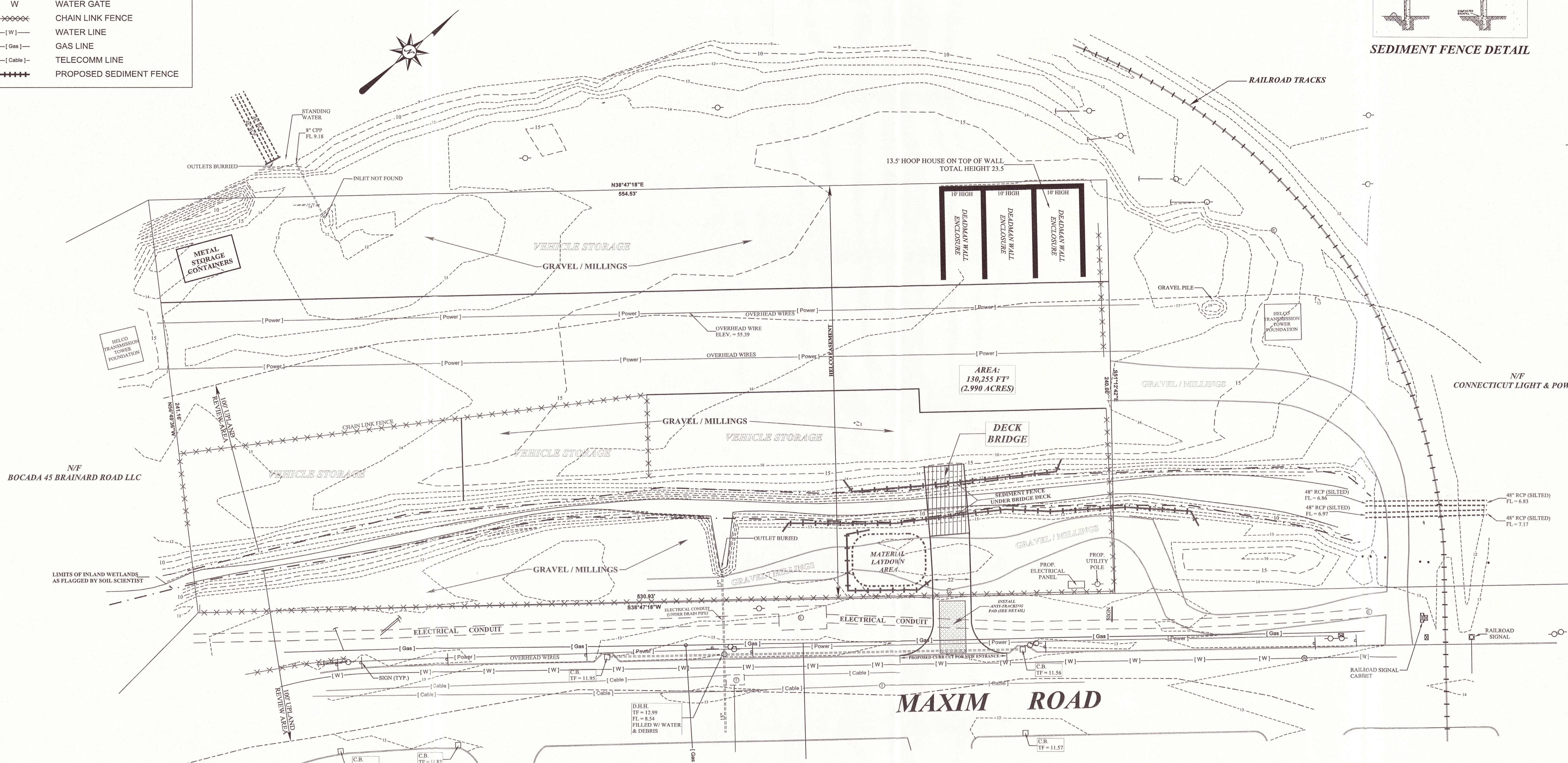
**IMPLEMENTATION PROCEDURES:**

WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.

WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.

WHERE NECESSARY, TEMPORARY VEGETATION AND/OR MULCHING SHOULD BE USED TO PROTECT AREAS EXPOSED DURING DEVELOPMENT.

THE PERMANENT FINAL VEGETATION AND STRUCTURES SHOULD BE INSTALLED AS SOON AS PRACTICAL IN THE DEVELOPMENT.



**SEQUENCE OF CONSTRUCTION**

- 1.) OBTAIN NECESSARY PERMITS
- 2.) HAVE CALL BEFORE YOU DIG MARK ANY UTILITIES IN THE AREA OF ACTIVITY AND NOTIFY THE MAINTAINING AUTHORITY OF ANY UTILITIES IN THE AREA OF CONSTRUCTION.
- 3.) INSTALL SEDIMENT FENCING, ANTI-TRACKING PAD AND ADDITIONAL SEDIMENTATION CONTROLS IF REQUIRED.
- 4.) CONSTRUCT BRIDGE DECK AND ACCESS DRIVEWAY
- 5.) FERTILIZE, SEED AND MULCH AREAS OF EXPOSED EARTH.
- 6.) ONCE EXPOSED EARTH IS STABILIZED, REMOVE TEMPORARY SEDIMENTATION & EROSION CONTROLS.

**MAP REFERENCE**

PROPERTY SURVEY & SITE PLAN - PROPERTY OF 2 MAXIM ROAD LLC - 2 MAXIM ROAD - HARTFORD, CONNECTICUT - SCALE: 1" = 30' - DATE: 2/18/16 - REVISED THRU 10/11/15 - BY CLOSE, JENSON & MILLER

**PLAN NOTES:**

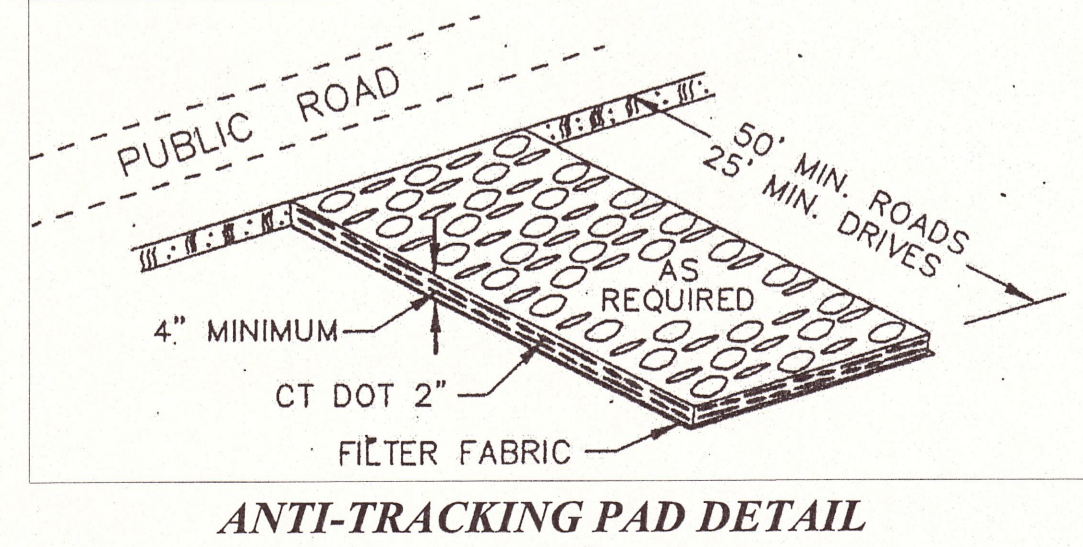
THE PURPOSE OF THIS PLAN IS TO SHOW PLANNED IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL MEASURES FOR A PLANNED CURB CUT AND ACCESS DRIVE RELOCATION OUTLINED ON THE REFERENCE SITE PLAN.

THIS PLAN RELIES HEAVILY ON THE REFERENCED SURVEY & SITE PLAN, BOUNDARY, TOPOGRAPHY AND EXISTING SITE CONDITIONS INFORMATION IS TAKEN DIRECTLY FROM SAID PLAN. AS SUCH, THE REFERENCE PROPERTY SURVEY & SITE PLAN SHOULD BE CONSIDERED AS PART OF THIS PLAN.

THIS PLAN DOES NOT REPRESENT A BOUNDARY DETERMINATION OR SITE CONDITION LOCATION BY THIS ENGINEER.

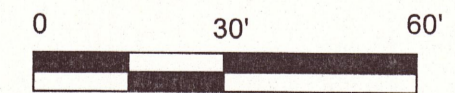
CARE SHOULD BE TAKEN WITH ANY EXCAVATION CONDUCTED ON THIS SITE. CALL BEFORE YOU DIG AND ALL PARTIES WHO MAINTAIN UTILITIES ON THIS SITE SHOULD BE CONTACTED PRIOR TO ANY CONSTRUCTION ACTIVITY IN THIS AREA.

STOP WORK AND NOTIFY DUTCH & ASSOCIATES IMMEDIATELY OF ANY SITE CONDITIONS THAT EXIST THAT ARE INCONSISTANT WITH THIS EROSION & SEDIMENTATION PLAN.



**EROSION & SEDIMENTATION CONTROL PLAN**  
 PREPARED FOR  
**CENTRAL GROUP BRIDGE**

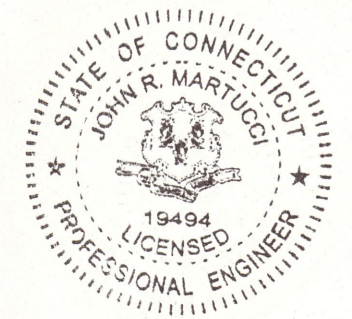
2 MAXIM ROAD - HARTFORD, CONNECTICUT  
 SCALE 1" = 30' - AUGUST 21, 2020



**DUTCH & ASSOCIATES**  
 LAND SURVEYORS

392 SOUTH MAIN STREET, COLCHESTER, CONN.  
 PHONE: (860) 537-3465

"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."



John R. Martucci  
 JOHN R. MARTUCCI, P.E. LICENSE NUMBER 19494



NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) Report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS Report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study Report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study Report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study Report for information on flood control structures for this jurisdiction.

Accredited Levee Notes to Users: Check with your local community to obtain more information, such as the estimated level of protection provided (which may exceed the 1-percent-annual-chance level) and Emergency Action Plan, on the levee system(s) shown as providing protection for areas on this panel. To mitigate flood risk in residual risk areas, property owners and residents are encouraged to consider flood insurance and floodproofing or other protective measures. For more information on flood insurance, interested parties should visit the FEMA Website at http://www.fema.gov/business/nfip/index.shtm.

The projection used in the preparation of this map was Universal Transverse Mercator (UTM) zone 18N. The horizontal datum was NAD 83, GRS 1980 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at http://www.ngs.noaa.gov or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NNGS12  
National Geodetic Survey  
SSMC-3 #9202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at http://www.ngs.noaa.gov.

Base map information shown on this FIRM was provided in digital format by Connecticut Department of Environment (CT DEP). This information was derived from digital orthophotography dated 2008.

The profile baselines depicted on this map represent the hydraulic modeling baselines that match the flood profiles in the FIS report. As a result of improved topographic data, the profile baseline, in some cases, may deviate significantly from the channel centerline or appear outside the SFHA.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information on available products associated with this FIRM visit the Map Service Center (MSC) website at http://msc.fema.gov. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the MSC website.

If you have questions about this map, how to order products, or the National Flood Insurance Program in general, please call the FEMA Map Information eXchange (FMIX) at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at http://www.fema.gov/business/nfip.



LEGEND

- SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**  
The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Areas formerly protected from the 1% annual chance flood by a flood control system that was subsequently destroyed. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE**  
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS**
- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood.
- OTHER AREAS**
- ZONE D** Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D** Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**
- OTHERWISE PROTECTED AREAS (OPAs)**  
CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% Annual Chance Floodplain Boundary
- 0.2% Annual Chance Floodplain Boundary
- Floodway boundary
- Zone D boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities.
- Base Flood Elevation line and value; elevation in feet\*
- Base Flood Elevation value where uniform within zone; elevation in feet\*

\*Referenced to the North American Vertical Datum of 1988

- Cross section line
- Transect line
- Culvert
- Bridge
- Geographic coordinates referenced to the North American Datum of 1983 (NAD 83) Western Hemisphere
- 4989000 M
- 1000-meter ticks: Connecticut State Plane Zone (FIPS Zone 0600), Lambert Conformal Conic projection
- 1000-meter Universal Transverse Mercator grid values, zone 18N
- Bench mark (see explanation in Notes to Users section of this FIRM panel)
- M1.S
- River Mile
- MAP REPOSITORIES  
Refer to Map Repositories list on Map Index
- EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP  
September 28, 2008
- EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL  
September 16, 2011 - To change map notes and flood boundaries to reflect the accreditation of formerly provisionally-accredited levees.
- For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.
- To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'

250 0 500 1000 FEET  
150 0 150 300 METERS

PANEL 0506G

**FIRM**  
FLOOD INSURANCE RATE MAP  
HARTFORD COUNTY,  
CONNECTICUT  
(ALL JURISDICTIONS)

PANEL 506 OF 675  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
HARTFORD CITY OF	095080	0506	G
WETHERSFIELD, TOWN OF	090040	0506	G

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER 09003C0506G  
MAP REVISED SEPTEMBER 16, 2011  
Federal Emergency Management Agency



## Attachment #3: City Comments

---

**From:** Marcotte, Raymond  
**Sent:** Thursday, April 23, 2020 1:28 PM  
**To:** Bette, William; Sanderson, Elizabeth  
**Cc:** Collins, John; Sinani, Elda  
**Subject:** RE: Wetlands Permit Application - New Bridge/Driveway at 2 Maxim Rd.

I quickly looked thru 1612 and it quickly sends you back to a design professional for plans. So, this would be another thing to look for on the design drawings.

*Ray Marcotte*  
Building Plans Examiner  
Department of Development Services  
Licenses and Inspections Division  
[260 Constitution Plaza](#)  
[Hartford, CT 06103](#)  
[\(860\) 757-9266](#)  
[Raymond.Marcotte@hartford.gov](mailto:Raymond.Marcotte@hartford.gov)

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**From:** Bette, William  
**Sent:** Thursday, April 23, 2020 1:18 PM  
**To:** Marcotte, Raymond <[Raymond.Marcotte@hartford.gov](mailto:Raymond.Marcotte@hartford.gov)>; Sanderson, Elizabeth <[Elizabeth.Sanderson@hartford.gov](mailto:Elizabeth.Sanderson@hartford.gov)>  
**Cc:** Collins, John <[John.Collins@hartford.gov](mailto:John.Collins@hartford.gov)>; Sinani, Elda <[SINAE001@hartford.gov](mailto:SINAE001@hartford.gov)>  
**Subject:** RE: Wetlands Permit Application - New Bridge/Driveway at 2 Maxim Rd.

Ray what about 1612.4 if this is designed in a flood area??

*W. Isaac Bette*  
Building Plans Examiner  
City of Hartford  
Division of Licenses and Inspections  
[260 Constitution Plaza 1st floor](#)  
[Hartford, CT 06103](#)  
[William.bette@hartford.gov](mailto:William.bette@hartford.gov)  
[860-757-9237](tel:860-757-9237) (office)  
[860-722-6333](tel:860-722-6333) (fax)

---

**From:** Marcotte, Raymond  
**Sent:** Thursday, April 23, 2020 1:12 PM  
**To:** Sanderson, Elizabeth <[Elizabeth.Sanderson@hartford.gov](mailto:Elizabeth.Sanderson@hartford.gov)>  
**Cc:** Bette, William <[William.Bette@hartford.gov](mailto:William.Bette@hartford.gov)>; Collins, John <[John.Collins@hartford.gov](mailto:John.Collins@hartford.gov)>; Sinani, Elda <[SINAE001@hartford.gov](mailto:SINAE001@hartford.gov)>  
**Subject:** RE: Wetlands Permit Application - New Bridge/Driveway at 2 Maxim Rd.

Hi, Elizabeth. There are two more question to ask, and it sets a trap. The question is:

1. Would the bridge be use by emergency personnel and/or fire to access the site?
2. Would the bridge be required to handle vehicles over 10,000 GVW?

IBC 1607.7 thru 1607.7.2 discusses vehicular traffic over floor and other surfaces. 1607.7.2 specifically discusses emergency vehicles and the requirement for a design. The owner of the property has to provide a design for roadways and bridges, if he answers either of the above questions in the affirmative.

*Ray Marcotte*  
*Building Plans Examiner*  
*Department of Development Services*  
*Licenses and Inspections Division*  
260 Constitution Plaza  
Hartford, CT 06103  
(860) 757-9266  
[Raymond.Marcotte@hartford.gov](mailto:Raymond.Marcotte@hartford.gov)

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**From:** Sanderson, Elizabeth  
**Sent:** Thursday, April 23, 2020 8:51 AM  
**To:** Marcotte, Raymond <[Raymond.Marcotte@hartford.gov](mailto:Raymond.Marcotte@hartford.gov)>  
**Cc:** Collins, John <[John.Collins@hartford.gov](mailto:John.Collins@hartford.gov)>; Bette, William <[William.Bette@hartford.gov](mailto:William.Bette@hartford.gov)>  
**Subject:** RE: Wetlands Permit Application - New Bridge/Driveway at 2 Maxim Rd.

Thanks Ray,  
I will pass these comments along to the applicant.

From looking at the aerial photo of this property, the concrete and steel beams appear to already been installed. I discussed this with the applicant last Friday, and he said something to the effect that “the bridge was built by someone who builds bridges for the state, so should be OK.” Do you have additional comments re: a bridge that is already constructed? Could they produce inspection reports, or would it be necessary to remove & start from scratch? Once I hear back I will consolidate the comments and forward them to the applicant.

Thanks,  
Elizabeth

Sent from [Mail](#) for Windows 10

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**From:** [Marcotte, Raymond](#)  
**Sent:** Thursday, April 23, 2020 8:24 AM  
**To:** [Sanderson, Elizabeth](#)  
**Cc:** [Collins, John](#); [Bette, William](#)  
**Subject:** RE: Wetlands Permit Application - New Bridge/Driveway at 2 Maxim Rd.

From the drawing made by the Surveyor, it appears that the bridge will be composed of a poured concrete block with steel beams embedded into the concrete. I assume there will be a transition from the edge of the block top surface elevation of 14.9 – 15.0 to the top of beam 16.0 – 16.2.



Questions I have are:

1. What is the specification of the vehicle using the bridge?
2. Has a calculation been performed to determine the strength of the members for the dynamic load of the specified vehicle crossing the bridge.
3. Has the soil bearing capacity analysis been completed for the weight of concrete, bridge and specified vehicle.
4. How wide is the bridge?
5. Is there a design for the bridge other than the sketch shown on the plan?
6. What signs will be posted for the use of the bridge (max load capacity, max speed, etc.)?
7. Lighting required for the roadway, including bridge?
8. Will pedestrians have use of the bridge?

*Ray Marcotte*  
*Building Plans Examiner*  
*Department of Development Services*  
*Licenses and Inspections Division*  
*260 Constitution Plaza*  
*Hartford, CT 06103*  
*(860) 757-9266*  
[Raymond.Marcotte@hartford.gov](mailto:Raymond.Marcotte@hartford.gov)

---

**From:** Sanderson, Elizabeth  
**Sent:** Friday, April 17, 2020 9:34 AM  
**To:** Marcotte, Raymond <[Raymond.Marcotte@hartford.gov](mailto:Raymond.Marcotte@hartford.gov)>; Bette, William <[William.Bette@hartford.gov](mailto:William.Bette@hartford.gov)>  
**Subject:** FW: Wetlands Permit Application - New Bridge/Driveway at 2 Maxim Rd.

Good Morning,  
I hope all are well!

The Planning Division received an application for Inland Wetlands Permit related to construction of a new bridge and driveway curb-cut on Maxim Rd. in order to access property at 2 Maxim Rd., Parcel ID: 315-693-002.

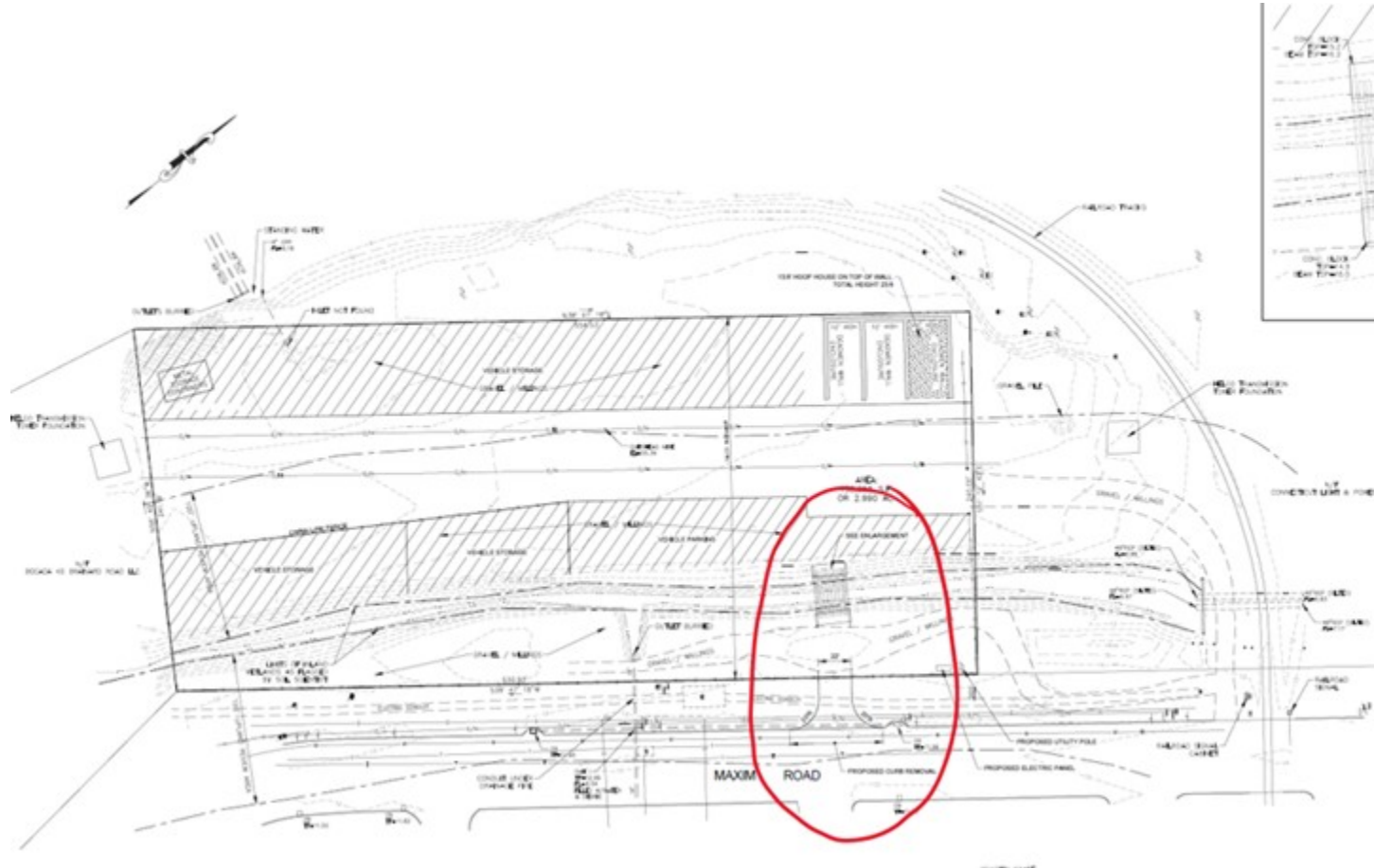
Please see the attached application (the Site Plan is on the last page of pdf) and snip below (which identifies the location of the bridge & driveway), for your review and comment.

Based on my conversation with Ray this morning, it is my understanding that a structural design drawing of the bridge, prepared by a structural engineer, is needed, and that this type of project will require a Special Inspections Statement to be completed. Please let me know if you have other comments which may impact the Inland Wetlands Commission's decision related to this application.

A public hearing will be held on Tuesday, April 28, and I will be finalizing the staff report over the next few days.

If you have any comments, I would appreciate if you could e-mail them to me in advance of the public hearing so we may ensure the Commission can take them into consideration.

Thank you,  
Elizabeth



Sent from [Mail](#) for Windows 10

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**From:** Sanderson, Elizabeth  
**Sent:** Friday, April 17, 2020 3:17 PM  
**To:** servicemanager@centralgroups.com  
**Cc:** cgarro@cjmpc.com  
**Subject:** 2 Maxim Rd. - Inland Wetlands Application - Staff Comments

Mr. Damboise,

Thanks for taking the time to discuss your pending Wetland Permit application with me today. As discussed, during my review (which included discussions with representatives from the Department of Public Works and Building Division), some concerns have been raised which may impact your pending application:

- The proposed driveway and bridge depicted on the provided Site Plan are not paved. Please note that site access & driveways must comply with standards of Sec. 7.5 of the City of Hartford Zoning Regulations (see link to current regulations here: [http://www.hartford.gov/images/DDS\\_Files/Plan\\_Zoning/Zoning\\_Regs/zr03052020.pdf](http://www.hartford.gov/images/DDS_Files/Plan_Zoning/Zoning_Regs/zr03052020.pdf) )
- The proposed bridge will need to be designed by a structural engineer, subject to review by the City of Hartford Division of Licenses & Inspections. It is my understanding that a Special Inspections Statement will need to be completed & submitted to L&I for this type of project. Typically, bridges of this nature consist of pre-cast concrete, including a culvert. If the bridge requires modifications, then your plans will need to indicate removal of the bridge as part of this permit.
- The driveway and bridge will need to be designed to withstand loads of heavy vehicles/equipment that will use it daily.
- Due to flooding issues in this area, it will be necessary that the bridge will not impede flow of the drainage swale.
- During a recent site inspection, stockpiled material was observed within and adjacent to wetland areas. Please note that unpaved areas shall be covered in accordance with standards of Sec. 6.3 (which does not include gravel millings).
- An existing chain link fence is shown on the Site Plan along the front property line, no break for the driveway.
- The proposed driveway will cross an existing electric conduit – have approvals been obtained for work over this utility? How will this conduit be protected during construction and after?
- An Erosion & Sedimentation Control Plan has not been provided (required to complete this application, per Sec. 7.5.(e) of the Inland Wetlands & Watercourses Regulations (the “Wetlands Regulations”))
- A State of Connecticut Department of Environmental Protection (DEEP) Statewide Inland Wetlands & Watercourses Reporting Form (SIWWRF) has not been provided (required to complete application, per Sec.7.5.(k) of the Wetlands Regulations).

In order to address these concerns, please submit the following information:

- Structural Design Drawing of the bridge, certified by a structural engineer, indicating design will withstand the loads of the intended users (dump trucks, heavy equipment, etc.)
  - Include a cross-section at the wetlands/watercourse crossing.
- Revised Site Plan to include the following:
  - Modifications to proposed bridge, designed/certified by a structural engineer



- Identify material of proposed pavement of the new driveway and bridge surfaces, include details/sections of proposed pavement.
- Identify limits of gravel milling stockpiles and debris deposits along the Maxim St. frontage and within the drainage swale that must be removed in order to comply with Sec. 6.3 and to maintain positive drainage within the swale; indicate disturbed areas will be restored and stabilized.
- Indicate how significant trees will be protected from damage throughout development.
- Identify the limits of disturbance for the proposed activity; include calculation of disturbed area in square feet.
- **Complete the attached SIWWRF and return it to me.**
- **Provide an Erosion & Sedimentation Control Plan signed/sealed by a professional engineer.**
  - **Indicate how the wetlands and adjacent properties/streets will be protected from erosion throughout development activities.**
  - **Identify limits of disturbance, taking into consideration other comments above re: removal of debris and stockpiles, and wetland restoration, as per Sec. 7.5.(e) of Wetlands Regulations.**

Please note that additional comments and recommendations may be raised, including during the Public Hearing, which may require further modification of plans. Despite this, I wanted to pass along these initial comments/concerns raised by the Planning Division, as well as other city departments/divisions so you will have time to address them. To avoid potential delays in processing this application, it is recommended that you please submit the requested information as soon as possible (especially bold items).

It is my understanding that subsequent approvals will be necessary related to the proposed work, such as: Site Plan Review, Building Permit(s) from Licenses & Inspections (for the new bridge), and permit(s) from the Department of Public Works (for work within the right-of-way). If plan revisions are necessary in order to comply with other codes and regulations, then any previously approved wetlands permit may need to be modified through a second application. You may wish to coordinate your proposed plans with other departments and/or utility companies to reduce the chance of this happening.

Feel free to e-mail me with questions or comments, or to schedule a time to discuss this over the phone. During COVID-19 pandemic, I am working remotely.

Thank you & Healthy Wishes,

Elizabeth Sanderson, Principal Planner/Inland Wetland Agent  
City of Hartford DDS Planning Division

Disclaimer: This communication is intended for general informational purposes only. Please be advised that unless it is expressly stated, this email correspondence does not constitute zoning approval, a zoning permit, a certificate of zoning compliance or certification of a legal nonconforming use. If a certification, permit or approval is desired, an application, appropriate application fee, and all required supporting documentation must be submitted to the Zoning Administrator in accordance with the Hartford Zoning Regulations. Please email [oneplan@hartford.gov](mailto:oneplan@hartford.gov) to begin that process.

Sent from [Mail](#) for Windows 10

## Sanderson, Elizabeth

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**From:** Ron Gaudet <rgaudet@centralgroups.com>  
**Sent:** Wednesday, August 26, 2020 4:08 PM  
**To:** Sanderson, Elizabeth  
**Subject:** Re: 2 Maxim Road

Hi Elizabeth,

Hope all is well.

Today we received the Civil Engineer's Erosion Control Plan. I have an appointment Friday to drop off 3 copies.

I will also include a plan showing the extension of the driveway beyond the end fo the the bridge. (Comment #2 below)

We will verify the Soil Bearing Capacity is at least 2,000 psi as per the structural engineers report. (Comment #3 below)

Please provide more detail pertaining to Statement of Special Inspections. (Comment #4 below)

Thanks so much,

Ron

On Aug 11, 2020, at 12:49 PM, Sanderson, Elizabeth <[Elizabeth.Sanderson@hartford.gov](mailto:Elizabeth.Sanderson@hartford.gov)> wrote:

Good Morning Ron,

I have reviewed the submitted report and drawings prepared by J.M. Albaine Engineering, LLC, and have the following comments:

1. Please ensure that the Erosion Control Plan that is being prepared by the Civil Engineer takes into consideration all of the Structural Engineer's recommendations when delineating the limits of disturbance.
2. It is recommend that the paved driveway extend beyond the bridge abutments on either side for a distance determined by the Professional Engineer to reduce potential for erosion at abutments; please update the Site Plan to extend paved driveway further into the site, as necessary.
3. Provide a Soils Analysis/Geotechnical Report, as recommended in the Structural Report.
4. Per Building Plans Examiner, a Statement of Special Inspection will required at time of application for Building Permits, and follow-up reports will need to be provided regarding dynamic measurements.

Please provide responses to above. Feel free to e-mail me questions/comments, or to set-up a time to discuss over the phone.

Thank you,

E.L. Sanderson, AICP RLA CZEO  
Principal Planner  
City of Hartford Department of Development Services Planning Division

---

**From:** Sanderson, Elizabeth  
**Sent:** Thursday, August 6, 2020 11:21 AM  
**To:** Ron Gaudet <[rgaudet@centralgroups.com](mailto:rgaudet@centralgroups.com)>  
**Subject:** RE: 2 Maxim Road

Good Morning Ron,  
I am reviewing your submission documents & noticed that a full-size stamped Property Survey & Site Plan was not included. Please submit this as soon as possible.

Thank you,  
Elizabeth

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**From:** Sanderson, Elizabeth  
**Sent:** Tuesday, August 4, 2020 11:04 AM  
**To:** Ron Gaudet <[rgaudet@centralgroups.com](mailto:rgaudet@centralgroups.com)>  
**Cc:** Hartford Planning Division <[oneplan@hartford.gov](mailto:oneplan@hartford.gov)>  
**Subject:** RE: 2 Maxim Road

Thank you Ron; I will save these pdfs to the project file, and pick-up the hard copies from our office tomorrow or Thursday.  
-Elizabeth

---

**From:** Ron Gaudet <[rgaudet@centralgroups.com](mailto:rgaudet@centralgroups.com)>  
**Sent:** Tuesday, August 4, 2020 11:01 AM  
**To:** Sanderson, Elizabeth <[Elizabeth.Sanderson@hartford.gov](mailto:Elizabeth.Sanderson@hartford.gov)>  
**Subject:** 2 Maxim Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Please contact the helpdesk at 860-757-9411 if you have any questions.

Good morning Elizabeth,

This morning I dropped-off several items for your review at 260 Constitution Plaza. Attached is a cover letter listing the items and a digital copy of each item so you can review them from your home office.

If you have any questions please don't hesitate to contact me by email, text or phone. I have taken over this project for the company.

Thanks

Ron

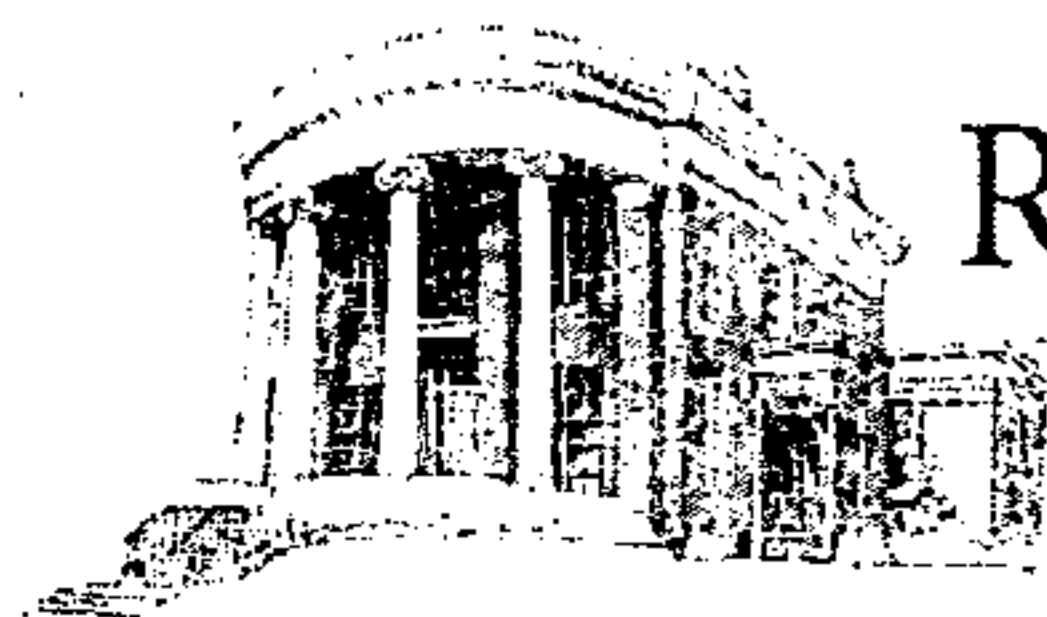
Ronald Gaudet  
Dir. Of Operations  
Central Group Companies  
195 Maxim Road  
Hartford, CT 06114



Attachment #4: Various City Records

1

Alan J. Rome  
John P. Clifford, Jr. \*  
Steven L. Katz ♦  
Allan W. Koerner



Rome Clifford Katz  
& Koerner, LLP  
ATTORNEYS AT LAW

Shana G. Altman\*  
Wendy J. Davies  
Joel M. Ellis  
John J. Robacynski  
Elizabeth A. Strole

214 Main Street, Hartford, CT 06106  
Tel 860.527.7044 Fax 860.920.0000  
www.rckklaw.com

*Also admitted in Florida \**  
*Also admitted in Massachusetts ♦*  
*Also admitted in New York •*

January 9, 2017  
Our File #6934-012

**Via Federal Express**

City of Hartford  
Department of Developmental Services  
250 Constitution Plaza, 4<sup>th</sup> Floor  
Hartford CT 06103  
Attn: Ms. Caitlin Palmer

**RE: 2 Maxim Road**

Dear Ms. Palmer:

This firm represents 2 Maxim Road, LLC, the owner of 2 Maxim Road, Hartford, Connecticut (the "Property").

In response to your letter to 2 Maxim Road, LLC dated September 16, 2016, we enclose a copy of the "Property Fence Installation" plan dated June 26, 1989, last updated April 13, 1992, which Lee Ann Greco had submitted to Jonathan Mullen with her inland/wetlands application dated August 6, 2015.

I also enclose a Property Survey by Close, Jensen & Miller, P.C. dated November 15, 2016. This is an updated plan showing existing conditions at the Property.

A summary of the applicant's position is as follows. The site was acquired September 2015. At the time of acquisition the property had been used historically by the City as a dump for used catch basins, and excavation spoils. There were numerous piles where trucks had been dumped. In cleaning the property, the applicant removed approximately 40 dump truck loads of concrete structures and 80 loads of fill. The applicant leveled the property and applied millings to form a stable base for the parking area.

I understand your position that the applicant failed to obtain proper authorization from the zoning department for all of these activities. From the other side, the applicant feels that they were given permission by Jonathan Mullen for the majority of the

City of Hartford  
Attn: Ms. Caitlin Palmer

January 9, 2017

activities, and relied on that authority. For example, you acknowledge that Mullen gave administrative approval for zoning permit #20153956 for storage of gravel in enclosures. Logically that approval implies that equipment will be used and stored on site for handling and transporting gravel.

My goal is to resolve this situation amicably. The applicant is a small business which employs a substantial number of Hartford residents in its operations. The applicant took a property that was unproductive and a tax delinquent, cleaned it up and returned it to productive use. In light of the fact that the site work has already been completed, I'm not sure what the purpose of requesting the applicant to apply for a wetlands permit is.

Please call me at your convenience so we can discuss next steps. Thank you in advance for your anticipated cooperation.

Very truly yours,

ROME CLIFFORD KATZ & KOERNER, LLP



Allan Koerner

Encl (2)  
cc: Robert Greco



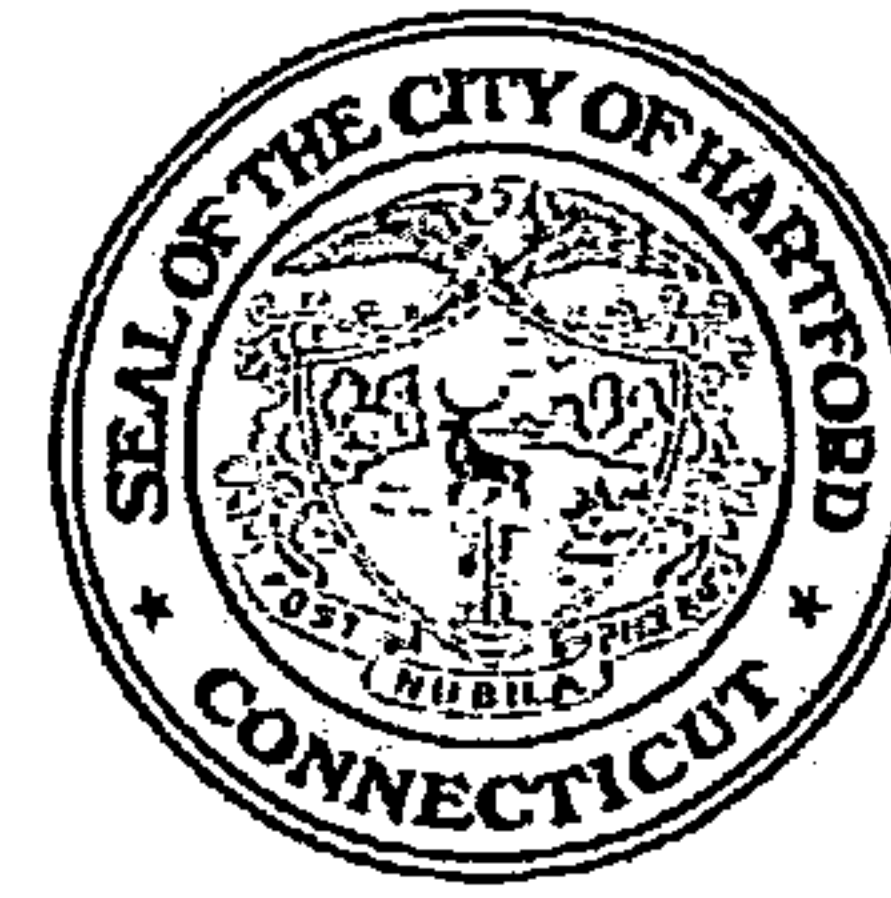
LUKE BRONIN  
MAYOR

# CITY OF HARTFORD

## DEPARTMENT OF DEVELOPMENT SERVICES

Division of Development Services  
250 Constitution Plaza, 4th Floor  
Hartford, Connecticut 06103

Telephone: (860) 757-9040  
Fax: (860) 722-6402  
[www.hartford.gov](http://www.hartford.gov)



SEAN FITZPATRICK  
DIRECTOR OF  
DEVELOPMENT SERVICES

JAMIE BRATT  
DIRECTOR OF PLANNING &  
ECONOMIC DEVELOPMENT  
DIVISION

September 16, 2016

2 Maxim Road LLC  
677 Cromwell Ave  
Rocky Hill, CT 06067

RE: 2 Maxim Road

Dear Property Owner:

Following is a listing of prior applications of record for the subject property:

09/04/2015 Application for Inland Wetlands and Watercourses Permit # 20153886 for work within the upland review area of flagged wetlands. The scope of work was to be the relocation of a drainage swale, clearing and construction of outside storage lot. Application 20153886 was not placed on the 09/22/2015 P&Z agenda because the application was incomplete; although a soil report was submitted a site plan showing current conditions and proposed use was not included. Therefore the application was never heard or acted on.

09/10/2015 Application for Zoning Permit #20153956 for the "Outdoor Storage of Gravel in Deadman Wall Enclosure". Application was administratively approved by J. Mullen.

The applicant/agent for the aforementioned applications was Angelo Ortisi and/or Rob Greco.

The administrative approval for the outside storage of gravel was not an automatic approval of the application filed for an Inland Wetlands Permit, which would have to be approved by the Planning and Zoning Commission. However, it appears the applicant, with knowledge of the permit process evidenced by the prior applications proceeded to: clear, excavate and fill the subject property with road millings without a sediment and erosion control in place, possibly impacting and encroaching upon the wetlands area with road millings; park trucks and vehicles immediately adjacent to an identified wetlands area; develop and operate an outside construction equipment and materials storage yard along with the use of the property for the storage of automobiles and road milling. No applications for site plan review or approval of location have been filed or approved for any of the activities other than the storage of gravel.



On August 26, 2016, staff met with Mr. Angelo Ortisi to review the aforementioned items. Mr. Ortisi stated that he believed a site plan was approved for the property. We request that Mr. Ortisi provide these to staff, however, we have not received any to date and have been unable to locate any approvals or submittals in our records other than those previously identified.

If applicable please submit the site plans and approvals for which you have indicated that you have previously obtained for review. Also please have your soil scientist re-install wetlands markers for review.

Also, prior to any other proposed use of the property an Inland Wetlands Permit must be obtained.

Staff recommends that you discontinue the uses of the property that we do not have record of approval for. Alternatively, we can seek the revocation of the permit for the outside storage of gravel and proceed with enforcement action relative to all non-permitted activities at 2 Maxim Road.

Respectfully,



Caitlin Palmer  
Principal Planner

City of Hartford  
Planning Division  
Department of Development Services

MUNIS App.#: \_\_\_\_\_

THOMAS E. DELLER, AICP  
Director

Return Form to the Planning Desk at the  
Licenses & Inspections Division Counter  
860-757-9239  
260 Constitution Plaza  
Hartford, Connecticut 06103-1822



For Assistance Contact Planning Division  
860-757-9025,  
250 Constitution Plaza, 4<sup>th</sup> Floor  
Hartford, Connecticut 06103-1822  
<http://planning.hartford.gov>

**APPLICATION FOR INLAND WETLAND AND  
WATERCOURSES PERMIT**

(Please reference all attachments by appropriate  
identification on application form)

\_\_\_\_\_ Wetlands Permit  
\_\_\_\_\_ Map Amendment

**A. PROPERTY INFORMATION**

Property Address: 2 MAXIM ROAD City: HARTFORD State: CT Zip Code: 06114  
Zoning District: HARTFORD  
Property Owner: 2 Maxim Rd LLC  
Property Owner's Address: 677 Cromwell Ave City: Rock Hill State: CT Zip Code: 06067  
Phone: 860 655 4291 Email: \_\_\_\_\_

**B. APPLICANT**

Name of Applicant: Lee Ann Greco File Date: \_\_\_\_\_  
Address: 677 Cromwell Ave City: Rock Hill State: CT Zip Code: 06067  
Phone: 860 655 4291 Email: \_\_\_\_\_  
Is applicant owner, lessee, or prospective tenant? member  
Property Owner's Consent to Apply Lee Ann Greco

**C. PRIMARY POINT OF CONTACT:**

Name: ANGELO OTISI  
Phone: 860 246 7616 Ext #19 / 860 655 4012 cell  
Email: ao.otisi@centralgroups.com

**D. PROJECT INFORMATION:**

1. Project Name (may be address) 2 Maxim Rd
2. Size in Square Feet 130' 244.4 / 2.99 ACRES



- 3. Linear Feet of Watercourse and/or Adjacent to site \_\_\_\_\_
- 4. Describe Wetlands and/or Watercourses conditions that make Permit necessary. (Attach description)
- 5. Attach an 8 1/2 x 11 inch photocopy of the appropriate portion of the USGS quadrangle map with the bounds of the property outlined or pinpointed with an arrow adequate to locate site on map.

**E. PROPOSED ACTION:**

1. Activity to be Undertaken:

- |  |   |
|--|---|
| <input type="checkbox"/> Filling                                   | <input type="checkbox"/> Culverting   |
| <input type="checkbox"/> Excavation                                | <input type="checkbox"/> Underground utilities (no other activity)                        |
| <input checked="" type="checkbox"/> Land clearing/grubbing (only)  | <input type="checkbox"/> Roadway construction   |
| <input type="checkbox"/> Stream stabilization                      | <input checked="" type="checkbox"/> Drainage improvements, pond dredging/dam construction |
| <input type="checkbox"/> Stream clearance (removal of debris only) | <input checked="" type="checkbox"/> Other (Explain and attach)                            |

RELOCATE SWALE TO ACCESS PROPERTY

- 2. How much soil will be removed by type of soil? (NCCS Classifications)? (Attach)
- 3. How much soil will be added by type? (NCCS Classifications)? (Attach)
- 4. Provide chemical analysis of fill materials by cubic yard. (Attach)
- 5. Describe specific activities by soil type by cubic yard. (Attach)
- 6. Describe all proposed paving and activities by location. (Attach)
- 7. Describe all proposed buildings both permanent and temporary and give dimensions. (Attach)

**F. TIME PERIOD:**

- 1. Is this permit needed for 2, 3, 4 or 5 years? 2 Years
- 2. Will applicant request renewal of permit? \_\_\_\_\_ Yes

G. Provide names and mailing addresses of all property owners within 150 feet of site including those opposite all public rights-of-way for map amendments and all abutting property owners for permit applications.

**H. ALTERNATIVES:**

- 1. Explain each alternative site considered for proposed activity and explain why it was rejected. (Attach location map for each site).
- 2. Explain each alternative considered for changing the wetlands and watercourses and explain why it was rejected. (Attach site plans and maps).

I. Required supplementary materials which must be attached to each copy of the application prior to its official receipt. Please reference each item by its identification on this application form.

1. Site plan showing existing conditions with contours at two (2) foot intervals, in relation to wetlands and watercourses, existing drainage ways, stormwater runoff systems and how they relate to the existing sewer system (including MDC).
2. Site plans for the proposed use or operation and the property which will be affected with two (2) foot contours, which show proposed conditions, wetlands and watercourses boundaries, boundaries of land ownership, proposed alterations and uses of wetlands and watercourses, and other pertinent features of the development drawn by a professional surveyor, engineer or landscape architect licensed and registered by the State of Connecticut or by other such qualified person.
3. Appropriate engineering reports and analyses and additional drawings to fully describe the proposed project and any filling, excavation, drainage or hydraulic modification to wetlands or watercourses.
4. A map of soil types consistent with the categories established by the National Cooperative Soil Survey (NCCS) of the U.S. Soil Conservation Service delineated in the field by a soil scientist. This soil information is to be incorporated into both side plans.
5. Descriptions of the ecological communities and functions of the wetlands and watercourses involved and the effects of the proposed regulated activities on these communities and wetland functions, and descriptions of how the proposed activities will change, diminish, or enhance the ecological communities and functions of the wetlands or watercourses involved in the application, and with each alternative, a description of why each alternative considered was deemed neither feasible nor prudent.
6. Descriptions of the mitigation actions proposed, including, but not limited to plans or actions which prevent destruction or diminution of wetland or watercourse functions, recreational uses and natural habitats; which prevent flooding, degradation of water quality, erosion and sedimentation and obstruction of drainage; or which otherwise safeguard water resources.

J. I hereby consent to the submission of the attached application for property identified above and for the use described herein.

*Lee-Ann Greco*

Signature of Property Owner

LEE Ann Greco


Print Name of Property Owner

8/6/15

Date



K. The applicant hereby certifies that he is familiar with all the information provided in the application and is aware of the penalties for obtaining a permit through deception and through inaccurate or misleading information.

  
Signature of Applicant/Agent

Angelo ARTISI  
Print Name of Applicant/Agent

8/6/15  
Date

L. The applicant hereby consents to necessary and proper access to the above-mentioned property by the agents of the Agency, at reasonable times, both before and after any permit in question has been granted or denied by the Agency for the purpose of evaluating the application, monitoring implementation or curtailing or correcting any violation of the Inland Wetlands and Watercourses Regulations brought about through the actions or inactions of the applicant or permittee .

  
Signature of Applicant/Agent

Angelo ARTISI  
Print Name of Applicant/Agent

8/6/15  
Date

M. Additionally the applicant shall certify and attach such certification as to whether:

1. Any portion of the property on which the regulated activity is proposed is located within 500 feet of the boundary of an adjoining municipality.
2. Traffic attributable to the completed project on the site will use streets within an adjoining municipality to enter or exit a site.
3. Sewer or water drainage from the project site will flow through and impact the sewage and drainage system within an adjoining municipality.
4. Water run-off from the improved site will impact streets or other municipal or private property with an adjoining municipality.

N. Application fee accepted.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Agent of Agency

FOR OFFICE USE ONLY:			
Final Action:	Approved _____	Denied _____	Withdrawn _____
			Date of Action _____

Application Plan Review

My File Edit Tools Help

Plan Type	Rvw Department	Rvw	Received	Returned	Completed	Status	Comment
	111-PLANNING & ZONING	ZOH1 - JONATHAN MULLBY	09/10/2015		09/10/2015	APPROVED	

Plan review  
Current review: 1

Plan type: [dropdown]  
Department: 111 - PLANNING & ZONING  
Reviewer: ZOH1 - JONATHAN MULLBY  
Review: [dropdown]  
Status: APRV - APPROVED  
Comment: [text area]

Dept sequence: 1  
Due date: [calendar]  
Received: 09/10/2015  
Returned: [calendar]  
Completed: 09/10/2015  
Review time: 1.00  
Notify 1: [calendar]  
Notify 2: [calendar]

Plan Types

Plan Type	Completed	Status	Start Date	Primary Contact
1 of 1		PENDING		

Plan Contact: [calendar] Store Plan: [button]

Application Entry - Munix [CITY OF HARTFORD - Live 11.1]

My File Edit Tools Help

Detail Overview Quick Find Update Status Reactivate Estimate Fees Misc Charges Copy Permit Alerts Property Business Payout History Audit History Summary Print Inap Links Add Full Inap Workflow

Application: 20132856  
Status: A ACTIVE  
Department: 111 - PLANNING & ZONING  
Project/Activity: P202 ZONING PERMIT Active  
Description 1: OUTDOOR STORAGE GRAVEL  
Description 2: [text area]  
Applicant: A001 - APPLICANT  
Estimated cost: 0 Fees effective: 09/10/2015  
Owner: 98896 FAME LLC  
Contractor: [text area]  
Business: [text area]  
Status code: NEW - NEW  
Status memo: SP  
Permit: [text area]

Property/Use	Legal Desc	Dates/Misc	Project Tracking	Permits
Parcel	315693002		Seq 0	
Location	2 MAXIM RD CITY OF HARTFORD CT			
Municipality	HART CITY OF HARTFORD			
Subdivision				
Lot/Section/Phase				
Between				
and				
Location desc				

Existing use: L533 INDUSTRIAL VACANT LAND W / AUX  
zoning: I2-12  
memo: [text area]  
flood zone: [calendar]  
Proposed use: L533 INDUSTRIAL VACANT LAND W / AUX  
zoning: I2-12  
memo: [text area]  
flood zone: [calendar]  
Impervious surface: 0

Prerequisites: [button] Hazard/Resiz: [button] Names: [button] Contractors: [button] Bonds: [button] Sub-Addr: [button] Text: [button] Plan Reviews: [button]  
Buffering: [button] Parking: [button] Septic: [button] Well: [button] Locations: [button] Find Related: [button] Find by Parcel: [button]  
Browse History: [button] Inspections: [button] Violations: [button] Dept/Board Reviews: [button] Open Items: [button] Warnings: [button] Special Conditions: [button]

1 of 1 Attachments (0)

DVR



August 25, 2016

2 Maxim Rd.

Prior activity/ applications:

- 8-6-2015 #20153386 Inlands Wetlands App. submitted for Relocation of drainage swale for the construction of an outdoor storage lot. *was incomplete & so never went to P&Z*
- 9-10-2015 #20153956 "Outdoor Storage of Gravel in deadman wall enclosure" admin. approval by J. Mullen
- 9-22-2015 #20153886 not on agenda for P&Z hearing, application incomplete, no site plan or current conditions, soil report was complete.
- Property Survey dated 2/18/2016 and revised 4/25/2016 to show topography.
- 7/28/2016. Submitted Application for Planning Certificate of Compliance.
- Access is made by an unimproved roadway across land of others, easement documentation not received.
- Aerial photography reveals the storage of construction equipment, construction debris, storage cars, rec. vehicles, trucks, intermodal containers, tractor trailer boxes, dumpsters and a hoop house.

Site Visit/Findings:

- 8/22/2016 Site confirmed condition observed in aerial photos dated 4/15/2016. Also observed what appears to be a partial filling of the wetlands area with road millings and the storage of road millings within proximity of wetlands.
- Construction equipment is stored along the easterly boundary of the wetland area (partially filled)
- There appears to be numerous inoperable motor vehicles on the site, which can be construed as a junk yard.
- The unimproved roadway does not have a tracking pad.
- Complete application was never filled for the use as a construction yard and outside storage yard.
- Clearing and filling of site was done without P&Z / IWWC approvals.
- The construction of the 'Hoop House' was not permitted.
- There is no indication that the storage or maintenance of any vehicles is in compliance with wetlands upland review.
- The storage of construction debris, tires, junk vehicles, is prohibited as to Sec. 3.2.5.C

JT

? (K-7)



a vler erp solution

P 1  
| piappent

CITY OF HARTFORD - Live  
APPLICATION PROFILE

06/12/2019 09:22  
9861haynn001

GENERAL APPLICATION

Application ref 20153956 Fee Effective Dt 09/10/2015  
 Department PLANNING & ZONING  
 Location 2 MAXIM RD  
 Parcel 315693002  
 Cross streets  
 Add'l loc desc  
 Municipality CITY OF HARTFORD  
 Subdivision  
 Existing use INDUSTRIAL VACANT LAND W / AUX Lot  
 Current Zoning I2  
 Flood zone  
 Applicant APPLICANT  
 Proj/Activity ZONING PERMIT  
 Class of work  
 Description OUTDOOR STORAGE GRAVEL  
 Proposed use INDUSTRIAL VACANT LAND W / AUX  
 memo  
 Proposed zoning I2  
 Flood zone  
 Non-conforming N  
 Applic received 09/10/15 0  
 Estimated cost  
 Estim start/end  
 Actual start/end  
 Impervious Surf  
 Assigned to  
 Status ACTIVE  
 Status code desc NEW  
 Next action  
 memo  
 Ordinance ref  
 Reason for app  
 Parent app  
 Multiple submissions N  
 Government owned N

PROGRESS

Prerequisites Approved	1	of	1
Restrictions/Hazards Cleared	0	of	1
Plan Reviews	1	of	1
Department/Board Reviews	0	of	1
Permits Issued/Completed	0	of	0
Inspections	0	of	2
Permit Fees Paid	2	of	0
Miscellaneous Charges Paid	0	of	0
Work Orders Paid	0	of	0





06/12/2019 09:22  
9861haynn001

CITY OF HARTFORD - Live  
APPLICATION PROFILE

Application ref: 20153956 (continued)

ROLES/NAMES

Role  
OWNER  
CID : 98896

Name/Address  
FAME LLC  
PO BOX 340242  
HARTFORD, CT 06134-0242

PREREQUISITES

Prereq Action Dept Needed By Approved By Status  
SITE PLAN APPROVAL 411 09/10/15

PLAN REVIEWS

Plan Type Completed ePlan Status ePlan Start  
1 of 1 MANUAL

Plan Type Dept Review Status Recv Dt Due Dt Retn Dt Compl Dt Time  
--\*Unkn 411 1 APPROVED 09/10/15 09/10/15 01.00  
Reviewer: JONATHAN MULLEN

PERMITS

Type Permit Number Status Issued Fee Unpaid Amt  
S & WTR F FEE 58.00 .00  
CITY SOIL FEE 2.00 .00  
ZONING PER REVIEW 50.00 .00  
TOTAL: 110.00

AUDIT HISTORY

Department Date Comments Action Source Created by  
PLANNING & ZONING 12/11/15 e-mail sent APP 9861loosd001  
MULLJ002@hartford.gov  
PLANNING & ZONING 11/19/15 e-mail sent APP 9861loosd001  
MULLJ002@hartford.gov  
PLANNING & ZONING 09/10/15 Permit payment collected APP 9861rodrd007  
Payment collected on permit ZONING PERMIT  
PLANNING & ZONING 09/10/15 Permit payment collected APP 9861rodrd007  
Permit payment collected on permit CITY SOIL & WATER SURCHARGE  
PLANNING & ZONING 09/10/15 Payment collected on permit CITY SOIL & WATER SURCHARGE  
Permit payment collected on permit CITY SOIL & WATER SURCHARGE  
PLANNING & ZONING 09/10/15 Payment collected on permit CITY SOIL & WATER SURCHARGE  
Permit payment collected on permit CITY SOIL & WATER SURCHARGE  
PLANNING & ZONING 09/10/15 Plan review completed. APP 9861mullj002  
Review #: 01 Reviewer: zjml Completed: 09/10/2015  
PLANNING & ZONING 09/10/15 Prerequisite approved APP 9861mullj002  
SITE PLAN REVIEW on 09/10/15  
PLANNING & ZONING 09/10/15 Application entered. APP 9861mullj002  
PLANNING & ZONING 09/10/15 New plan review started. APP 9861mullj002

Anonymous Letter  
Postmarked Feb. 3, 2017

Caitlin Palmer

How long is Central Towing going to be allowed to run a junk yard along side of the highway in the city without ever getting any approvals from Hartford's boards that are supposed to review any new uses of property. Does your office have any applications? This guy does what he wants without following any rules like the rest of us have to. Takes a lot of nerve to put up a huge sign on Maxim Road declaring that you moved in, tear everything down bring in hundreds of trucks of who knows what and open up for business without ever asking if it's okay. That whole area is in wetlands and he's got hundreds of junk cars and trucks and equipment leaking all kinds of oils right into the wetlands. He has junks spread all over the place even on the property next door. Maybe we should all get together and go to the news stations and have them investigate this since the City doesn't seem to care. Has the city ever looked at his property next to the airport, now there's a real shit hole.

I know that I couldn't get away with what this guy does. Who do you people work for, Central Towing or the City of Hartford.









**Sanderson, Elizabeth**

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**From:** Ron Gaudet <rgaudet@centralgroups.com>  
**Sent:** Saturday, September 12, 2020 3:00 PM  
**To:** Berschet, Paige  
**Cc:** Sanderson, Elizabeth  
**Subject:** Sign  
**Attachments:** IMG\_2180.jpg; ATT00001.txt

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Please contact the helpdesk at 860-757-9411 if you have any questions.

Hi Paige, the sign has been updated.

Thanks, Ron



# ZONING APPLICATION

PENDING ON THIS PROPERTY

*FOR INFORMATION CONTACT*

## PLANNING AND ZONING

**Public Hearing Date: Sept. 22, 2020**

**Time: 6:00 P.M.**

**Remote Access: Webex**

**Teleconference Virtual Meeting**

**<https://tinyurl.com/ddsPZC092220>**

**Meeting number: 173 569 2113**

**Password: ddsPZC092220**

**OR**

**Join by phone: 408-418-9388**

**Access code: 173 569 2113**